

AGENDA
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
January 15, 2019
6:00 P.M.

CALL TO ORDER

CONSENT AGENDA

1. **Approval of Minutes** for the *November 27, 2018* Planning and Zoning Commission meeting.
2. **Approval of Minutes** for the *December 11, 2018* Planning and Zoning Commission meeting.
3. **P2018-047 (Korey)**
Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH West Pods, LTD for the approval of a preliminary plat for Breezy Hill, Phase XII containing 35 single-family residential lots on 44.525-acres of land identified as a portion of Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, located west of the intersection of John King Boulevard and Cozy View Drive, and take any action necessary.

APPOINTMENTS

4. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

PUBLIC HEARING ITEMS

5. **Z2018-055 (Korey)**
Hold a public hearing to discuss and consider a request by Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky of 7.1 Ridge, LLC for the approval of a Specific Use Permit (SUP) for a *Mini-Warehouse* facility on a 2.595-acre tract of land being a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located southwest of the intersection of W. Yellow Jacket Lane and Ridge Road [*FM-740*], and take any action necessary.
6. **Z2018-056 (Korey)**
Hold a public hearing to discuss and consider a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Commercial (C) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.
7. **Z2018-057 (Korey)**
Hold a public hearing to discuss and consider a request by Bill Bricker of Columbia Development Company, LLC for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses being a 56.586-acre tract of land identified as a portion of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) and Planned Development District 59 (PD-59), located between W. Washington Street and T. L. Townsend Drive, and take any action necessary.
8. **Z2018-058 (David)**
Hold a public hearing to discuss and consider a request by Tim McCallum of He Wines She Dines, LLC on behalf of Buffalo Creek Business Park, LTD for the approval of a Specific Use Permit (SUP) for a *Craft Winery* and *Commercial Amusement/Recreation (Outdoor)* on a 7.2-acre tract of land identified as Tracts 20-01 & 20-7 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 203 County Line Road, and take any action necessary.

9. Z2018-059 (Korey)

Hold a public hearing to discuss and consider a request by Heather Cullins for the approval of a zoning change from a Single-Family Estate 2.0 (SFE-2.0) District to Single Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 1085 Dalton Road, and take any action necessary.

ACTION ITEMS

10. SP2018-042 (David)

Discuss and consider a request by Jeff Carol of Carol Architects, Inc. on behalf of Terry Morgan of Z06 Properties, LLC for the approval of a site plan for an office/warehouse building on a 5.690-acre tract of land identified as Lot 3, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northeast corner of the intersection of Discovery Boulevard and Innovation Drive, and take any action necessary.

11. SP2018-043 (David)

Discuss and consider a request by Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a site plan for a 375-unit condominium building on a 6.2-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.

DISCUSSION ITEMS

12. Director's report of post City Council meeting outcomes for development cases (Ryan).

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 11th day of January 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers Conference Room
January 15, 2019
5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-042 (David)

Discuss and consider a request by Jeff Carol of Carol Architects, Inc. on behalf of Terry Morgan of Z06 Properties, LLC for the approval of a site plan for an office/warehouse building on a 5.690-acre tract of land identified as Lot 3, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northeast corner of the intersection of Discovery Boulevard and Innovation Drive, and take any action necessary.

2. SP2018-043 (David)

Discuss and consider a request by Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a site plan for a 375-unit condominium building on a 6.2-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 11th day of January 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES
PLANNING AND ZONING COMMISSION WORK SESSION
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
November 27, 2018
6:00 P.M.

I. CALL TO ORDER

Chairman Lyons called the meeting to order at 6:02 p.m. The Commissioners present at the meeting were, Jerry Welch, Mark Moeller, Annie Fishman, Eric Chodun and John Womble. Absent from the meeting was Commissioner Tracey Logan. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planer Korey Brooks, Planner, Daniella Madubuike, City Engineer, Amy Williams, Civil Engineers, Jeremy White and Sarah Hager.

II. CONSENT AGENDA

1. Approval of Minutes for the September 25, 2018 Planning and Zoning Commission meeting.

2. P2018-038

Consider a request by Mitchell Lenamond, PE of Eric L. Davis Engineering, Inc. on behalf of Jeff Johnston of Woodhill Dental for the approval of a replat for Lot 16, Block 2, Alliance Addition, Phase 2 being a 0.85-acre parcel of land currently identified as Lot 12, Block 2, Alliance Addition, City of Rockwall, Rockwall County, Texas zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H. Wallace Lane, and take any action necessary.

3. P2018-039

Consider a request by Clay Shipman for the approval of a replat for Lot 21, Block A, La Jolla Pointe Addition, Phase 2, being a 1.28-acre parcel of land currently identified as Lot 3, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located on La Jolla Pointe drive northeast of the intersection La Jolla Pointe Drive and Laguna Drive, and take any action necessary.

4. P2018-040

Consider a request by Stephen A. Lamastra on behalf of 4TP Rockwall, LLC for the approval of a final plat for Lot 1, Block A, Village Green Residence Addition, being a 2.0896-acre parcel of land identified as Lot 1, Block A, Rockwall Seniors Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, generally located south of the intersection of T. L. Townsend Drive and Justin Road, and take any action necessary.

5. SP2018-035

Consider a request by Mike and Sonya West for the approval of a site plan converting an existing single-family structure into an office building on a 0.745-acre parcel of land identified as Lot 3 of the Austin Addition City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the N. Goliad Corridor Overlay (NGC OV) District, addressed as 912 N. Goliad Street [SH-205], and take any action necessary.

Commissioner Chodun made a motion to approve the consent agenda. Commissioner Welch seconded the motion which passed by a vote of 6-0 with Commissioner Logan absent.

III. APPOINTMENTS

6. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

Architectural Review representative gave a brief explanation concerning agenda items that were discussed at the Architectural Review Board meeting.

64 IV. DISCUSSION ITEMS

65
66 7. Z2018-043

67 Hold a public hearing to discuss and consider a request by Michael Worrell of Rockwall Honda for the
68 approval of an amendment to SUP No. S-76 (Ordinance No. 10-26) to allow changes to be made to an
69 existing Motorcycle Dealership with Accessory Boat and Trailer Sales being a 1.152-acre parcel of land
70 identified as Lot 6, Block A, Newman Center #1 Addition, City of Rockwall, Rockwall County, Texas,
71 zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action
72 necessary.
73

74 **Planning Manager, David Gonzales, provided a brief explanation and background pertaining to**
75 **the case which involves the location of the display of vehicles as well as the shade structures.**
76 **The request came before the Commission at last month's meeting where a couple of issues were**
77 **brought up at that time that have since been resolved.**

78
79 **Mr. Gonzales advised the Commission that the applicant was present and available for questions**
80 **as well as staff.**

81
82 **Chairman Lyons asked the applicant to come forward.**

83
84 **Michael Worrell**
85 **1030 E. IH-30**
86 **Rockwall, TX**

87
88 **Mr. Worrell came forward and provided a brief explanation of the request. He shared that sales at**
89 **the dealership have been good and therefore their desire to improve the facility. He provided a**
90 **concept plan that showed where they would be placing the additional parking spaces as well as**
91 **where the shade canopy would be located. The proposed shade structures will be located on the**
92 **east side of the property and provide shade for the displayed vehicles. Mr. Worrell indicated that**
93 **they are requesting to provide decomposed granite with a hard edge in order to contain the**
94 **material along IH-30 for the display areas these areas are currently grass surfaces and**
95 **once constructed using the decomposed granite, will provide stability for the displayed**
96 **vehicles and eliminate erosion. Mr. Worrell went on to share that since the last meeting**
97 **where there was a question as to TXDOT and TXU's offset and the build line they have**
98 **since had a survey done which shows where those things are and he provided that**
99 **survey and proceeded to share details of the findings, they will not encroach onto**
100 **TXDOT's property. He indicated he was available for questions the Commission may**
101 **have.**

102
103 **Chairman Lyons asked brought the item back to the Commission for discussion.**

104
105 **Commissioner Womble asked for clarification since they currently already have a display area**
106 **where it is being proposed. Mr. Gonzales indicated that currently the area where they have the**
107 **display area becomes muddy when it rains and therefore the purpose of the request is to be able**
108 **to put a hardscape type element such as crushed granite which would provide a harder surface**
109 **which would be more convenient to allow parking of the displayed vehicles. Mr. Gonzales went**
110 **on to clarify that there would be no display along the TXDOT right of way. Mr. Miller added that it**
111 **is before the Commission because any type of change being requested would be an amendment**
112 **to the current active Specific Use Permit.**

113
114 **There being no further questions Chairman Lyons indicated the case will return to the**
115 **Commission for action at the next scheduled meeting.**

116
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118 8. Z2018-048

119 Hold a public hearing to discuss and consider a request by Amanda Henry for the approval of a Specific
120 Use Permit (SUP) for an accessory building that does not meet the requirements stipulated by the
121 Unified Development Code (UDC) on a 0.253-acre tract of land identified as part of Lot 47B of the B. F.
122 Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District,
123 addressed as 205 S. Clark Street, and take any action necessary.
124
125

126 Senior Planner, Korey Brooks, gave a brief explanation of the request. The applicant is
127 requesting to build a metal structure on the subject property. Currently there is a metal building
128 on the property that is in disrepair and the applicant has indicated that that one would be torn
129 down and the new one be built in the same place. Due to the building being requested being
130 metal it requires a Specific Use Permit.

131
132 Mr. Brooks advised the Commission that the applicant was unable to attend the meeting
133 however staff was available for questions.

134
135 Chairman Lyons brought the item back to the Commission for questions or discussion.

136
137 There being no questions Chairman Lyons indicated the case will return to the Commission for
138 action at the next scheduled meeting.

139
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141 9. Z2018-049

142 Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a Specific
143 Use Permit (SUP) for an *animal shelter* on a 42.66-acre tract of land identified as Tract 7 of the D. Harr
144 Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
145 situated within the East SH-66 Overlay (E. SH-66 OV) District, addressed as 1700 E. SH-66, and take
146 any action necessary.

147
148 Planning Manager, David Gonzales, indicated that this agenda item and agenda item #13 could
149 be included and discussed together.

150
151 Mr. Gonzales gave a brief explanation of the request. It was found that the applicant had
152 constructed a building (an animal shelter) without a permit. A Specific Use Permit is required,
153 since it is an Agricultural zoned property, in order to shelter animals within this facility. There is
154 currently a stop work order from the City in order to complete the zoning process. Mr. Gonzales
155 further noted that agenda item #13 which deals with the attached garage was built without a
156 permit as well and is coming before the Commission seeking approval of a Specific Use Permit.
157 One of the items listed in the Draft Ordinance is the required removal of an accessory building
158 that is in the floodplain therefore one accessory building on the property that was built without a
159 permit and on the floodplain will have to be removed as a condition of approval prior to the
160 issuance of a permit for the animal shelter.

161
162 Mr. Gonzales stated that the applicant was not present however staff was available for
163 questions.

164
165 Chairman Lyons asked for clarification as to which building was to be removed. Mr. Gonzales
166 indicated that would be provided to the Commission prior to the public hearing.

167
168 Commissioner Moeller asked if the detached garage has been completed. Mr. Gonzales stated
169 that it was built prior to the animal shelter and has been up for some time however the applicant
170 has not indicated to be requesting to add anything in addition to that structure.

171
172 Commissioner Womble asked had the structures gone through the normal channels by
173 submitting plans prior to building them, would they be entitled or required a Specific Use Permit.
174 Mr. Gonzales indicated they would have to go through the Specific Use Permitting.

175
176 There being no further questions Chairman Lyons indicated the case will return to the
177 Commission for action at the next scheduled meeting.

178
179
180 10. Z2018-050

181 Hold a public hearing to discuss and consider a request by David Rains for the approval of a Specific
182 Use Permit (SUP) allowing a covered patio that exceeds the maximum requirements for property
183 located within the Lake Ray Hubbard Takeline leased area that is adjacent to a parcel of land identified
184 as Lot 12, Block A, Chandlers Landing, Phase 18, Section 2, City of Rockwall, Rockwall County, Texas,
185 zoned Planned Development 8 (PD-8) District for single family land uses, addressed as 5808
186 Constellation Circle, and take any action necessary.

187

188 Senior Planner, Korey Brooks, advised the Commission that the applicant was present and
189 would discuss the request and following that staff would be available to answer any question the
190 Commission may have.

191
192 Chairman Lyons asked the applicant to come forward

193
194 David Rains
195 5808 Constellation Circle
196 Rockwall, TX

197
198 Mr. Rains came forward and provided a brief explanation of his request. In looking at a location
199 map of the property he explained that running directly behind the house there is a 15 foot utility
200 easement where nothing can be built. There has already been a permit granted for concrete to
201 go on the takeline because that is allowed. The request is for a 16 ½ x35 foot covered patio
202 structure that would allow for them to enjoy the lake and entertaining since there is no patio
203 behind there house due to the utility easement that is not possible. The structure will match the
204 main house and will not obstruct any views. Mr. Rains went on to share that the Chandlers
205 Landing Architectural Review Board however they cannot approve anything that is on the
206 takeline but have approved the concrete and have expressed liking the look of the request and
207 he will be providing such letter at the next scheduled meeting. Mr. Rains indicated he was
208 available for questions.

209
210 Mr. Brooks added that the City of Dallas and the City of Rockwall have an interlocal government
211 agreement for the takeline lease space and is very specific to size height and elevation
212 requirements. In this case the since the requested covered patio has a pitched roof with clay
213 tiles that does not fall within the guidelines stipulated in the agreement. The agreement calls for
214 more of a pergola type style roof that has open air rafters. In addition one of the requirements of
215 the agreement is for anything that is built in the takeline does not obstruct the neighbor's view
216 of the lake; in this case the applicant has indicated they are outside of the view line and would
217 not be obstructing any neighbor's view.

218
219 Chairman Lyons brought the item back to the Commission for questions or discussion.

220
221 Commissioner Womble asked for further clarification of what is allowed within the takeline. Mr.
222 Brooks explained the different types of roofs and height restrictions that are allowed within the
223 takeline as it pertains to different uses.

224
225 There being no further questions Chairman Lyons indicated the case will return to the
226 Commission for action at the next scheduled meeting.

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229 11. Z2018-051
230 Hold a public hearing to discuss and consider a request by Susan Thomas of Petco Animal Supplies
231 Stores, Inc. on behalf of Steve Hagara of Rockwall Holdings, LLC for the approval of a Specific Use
232 Permit (SUP) for an *animal hospital/clinic* in conjunction with an existing retail store situated on a
233 21.424-acre parcel of land identified as Lot 1A, Block B, R. W. Market Center Addition, City of Rockwall,
234 Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV)
235 District, addressed as 2689 Market Center Drive, and take any action necessary.

236
237 Senior Planner, Korey Brooks, indicated that the applicant is requesting a Specific Use Permit to
238 allow for an Animal Hospital in a Commercial District. Currently next door to the Petco there is
239 an existing Veterinary Clinic with an existing Conditional Use Permit with for the same use being
240 requested. Mr. Brooks added that the SUP would add the conditions that no large livestock
241 animals would be allowed to be seen.

242
243 Mr. Brooks advised the Commission that the applicant was not present however staff could
244 answer questions the Commission may have.

245
246 There being no questions Chairman Lyons indicated the case will return to the Commission for
247 action at the next scheduled meeting.

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12. Z2018-052

Hold a public hearing to discuss and consider a request by Russell Phillips on behalf of Rockwall Retail Investors, LLC for the approval of a Specific Use Permit (SUP) for a *mini-warehouse* facility on a 7.489-acre tract of land identified as Lot 23, Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally situated north of Horizon Road and east of Ranch Trail Road, and take any action necessary.

Senior Planner, Korey Brooks, indicated the applicant was present and would go over the request and staff would add any additional needed comments.

Chairman Lyons asked the applicant to come forward

**Russell Phillips
521 Lorraine Way
Heath, TX**

Mr. Phillips came forward and shared that they were had an approved Specific Use Permit and were in design with the plans and had them finished however that SUP expired shortly thereafter. They are before the Commission seeking approval for a Specific Use Permit that is the same as the one that just expired with the exception of some difference in the layout. They are ready to submit the full plans and requesting approval for the Specific Use Permit to allow them to move forward with the project. He indicated he was available for questions.

Mr. Brooks added that the original Specific Use Permit allowed for a maximum of 575 units and in this case on the concept plan it shows 296 and therefore the SUP has been changed to reflect that and should any additional units be added the Specific Use Permit would have to be amended to add those units. Mr. Russell then indicated they would like to keep the 575 units within the SUP however they are doing it in phases and not building them all at once. Mr. Miller added that they would need to update the concept plan that was provided to reflect all 575 units, they would be able to phase it however they want through the site plan process. Mr. Russell indicated those changes to the concept plan would be made and provided to staff before the next scheduled meeting.

Chairman Lyons brought the item back to the Commission for questions or discussion.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

13. Z2018-053

Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a Specific Use Permit (SUP) for a detached garage that does not meet the requirements stipulated by the Unified Development Code (UDC) on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, addressed as 1700 E. SH-66, and take any action necessary.

Agenda item was discussed with Agenda item #9.

14. Z2018-054

Hold a public hearing to discuss and consider a request by Andrew Bennett of BOKA Powell, LLC on behalf of the owner Vinod Miranda for the approval of a Specific Use Permit (SUP) for an office building that will exceed 36-feet in height within the Scenic Overlay (SOV) District on a 9.7-acre tract of land identified at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.

Planning Manager, David Gonzales, shared that the Specific Use Permit is being requested due to the building's height with it being located within the Scenic Overlay District there is the height requirement of 36 feet. Mr. Gonzales indicated the applicant was present and would go over the request and staff would be available for any questions the Commission may have.

312 Chairman Lyons asked the applicant to come forward.
313 Andrew Bennett
314 1400 Highline
315 Dallas, TX
316

317 Mr. Bennett came forward and provided a brief explanation of the request. They would like to
318 take advantage of the views of the lake by building a three story building and also to keep a floor
319 plate size that is efficient for a typical corporate office that are seen in North Texas. He provided
320 a concept plan and shared that with this beautiful site they have the opportunity to place it on
321 the land as it moves down the site which is about 40-50 feet of fall across the site going down
322 the residential area and towards the lake. He shared that essentially a three story building in
323 their office market is a little bit taller than 36 feet and therefore the reason for the request for the
324 additional height. He added that they are looking to build a Class A office building that will serve
325 as a very nice corporate headquarter campus for their client. He indicated he as well as one of
326 the civil engineers working on the project was available to answer any questions.
327

328 Chairman Lyons brought the item back to the Commission for questions or discussion.
329

330 There being no questions Chairman Lyons indicated the case will return to the Commission for
331 action at the next scheduled meeting.
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334 15. P2018-035

335 Discuss and consider a request by Bart A. Tinsley of the Alders at Rockwall Property, LLC for the
336 approval of a final plat for Lot 1, Block A, Alders at Rockwall Addition, being a 10.310-acre parcel of
337 land identified as Lot 2, Block A, Rockwall Seniors Addition, City of Rockwall, Rockwall County, Texas,
338 zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated
339 within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of T. L.
340 Townsend Drive and Justin Road, and take any action necessary.
341

342 Planning Manager, David Gonzales, indicated that the applicant was present and added that the
343 case is before the Commission because it has to go before the Parks Board for fee assessments.
344

345 Chairman Lyons asked the applicant to come forward.
346

347 Joseph Rue
348 Burgess & Niple
349 10701 Corporate Drive, Suite 118
350 Stafford, TX
351

352 Mr. Rue came forward and indicated they are before the Commission to start processing their
353 final plat. The construction plans have been submitted to the City for review and should have an
354 approval in the next coming weeks and they will be before the Parks Board on December 4th and
355 also have received comments from the Planning staff and those will be addressed. He indicated
356 he was available for questions.
357

358 Chairman Lyons brought the item back to the Commission for questions or discussion.
359

360 Mr. Gonzales added that the applicant will need to provide the letters from the utility in order to
361 be able to abandon the utility from a franchise. Mr. Rue stated that he did speak to the City
362 Engineering staff and indicated they would be obtaining letters from AT&T, ATMOS and Charter
363 and will provide staff with those when they receive them.
364

365 There being no questions Chairman Lyons indicated the case will return to the Commission for
366 action on the consent agenda at the next scheduled meeting.
367
368

369 16. P2018-041

370 Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of
371 BH Balance III, LLC. for the approval of a preliminary plat for the Breezy Hill, Phase XI containing 78
372 single-family lots on a 23.849-acre tract of land identified as a portion of Tract 7 and all of Tract 7-06 of
373 the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned

374 Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, generally located
375 adjacent to Breezy Hill Road north of the intersection of Breezy Hill Road and FM-552, and take any
376 action necessary.
377

378 **Senior Planner, Korey Brooks, gave a brief explanation of the case. The request is for a**
379 **preliminary plat for Breezy Hill's latest phase and is coming before the Commission because it**
380 **needs to go before the Park Board to assess fees and will be on the consent agenda at the next**
381 **scheduled meeting. Mr. Brooks indicated he was available for questions.**

382
383 **Chairman Lyons brought the item back to the Commission for questions or discussion.**

384
385 **There being no questions Chairman Lyons indicated the case will return to the Commission for**
386 **action on the consent agenda at the next scheduled meeting.**

387
388
389 17. P2018-042

390 Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of
391 BH Phase 8, LLC for the approval of a preliminary plat for Breezy Hill, Phase VIII containing 61 single-
392 family residential lots on 27.822-acres of land identified as a portion of Tract 7 of the J. Strickland
393 Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development
394 District 74 (PD-74) for Single Family 10 (SF-10) District land uses, located along the eastern side of
395 Breezy Hill Lane, and take any action necessary.

396
397 **Senior Planner, Korey Brooks, provided a brief explanation of the request. The case is coming**
398 **before the Commission because it has to go before the Parks Board to assess Park fee**
399 **assessments and will be on the consent agenda at the next scheduled meeting. Mr. Brooks**
400 **indicated he was available for questions.**

401
402 **Chairman Lyons brought the item back to the Commission for questions or discussion.**

403
404 **There being no questions Chairman Lyons indicated the case will return to the Commission for**
405 **action on the consent agenda at the next scheduled meeting.**

406
407 18. P2018-043

408 Discuss and consider a request by Matt Atkins of Engineering Concepts on behalf of Scott Lewis of
409 RRDC, LTD. for the approval of a final plat for the Whisper Rock Subdivision containing 28 single-family
410 lots on a 9.477-acre tract of land identified as Tract 104 of the E. Teal Survey, Abstract No. 207, City of
411 Rockwall, Rockwall County, Texas, zoned Planned Development District 47 (PD-47) for Single-Family
412 10 (SF-10) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 3231
413 Ridge Road, and take any action necessary.

414
415 **Planning Manager, David Gonzales, indicated that the applicant was present to discuss the**
416 **request. The case is before the Commission because it has to go before the Parks Board to**
417 **assess park fees and will be on the consent agenda at the next scheduled meeting. Mr. Gonzales**
418 **noted that they are working on a PD site plan that will be a condition of approval for the final plat**
419 **and that site plan should be coming before the Commission in the upcoming weeks.**

420
421 **Mr. Gonzales advised the Commission that the applicant was present and available for questions**
422 **as well as staff.**

423
424 **Chairman Lyons asked the applicant to come forward.**

425
426 **Bill Thomas**
427 **201 Winco Circle**
428 **Wylie, TX**

429
430 **Mr. Thomas came forward and shared that they have received comments from the Engineering**
431 **staff in regards to easements which they are working on. They are also preparing to submit as**
432 **Mr. Gonzales mentioned the PD site plan.**

433
434 **There being no questions Chairman Lyons indicated the case will return to the Commission for**
435 **action at the next scheduled meeting.**

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19. SP2018-036

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf Gari Foote for the approval of a site plan for an office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located at the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-205], and take any action necessary.

Senior Planner, Korey Brooks, indicated that the applicant was present and would go over the request and staff would be available for questions.

Chairman Lyons asked the applicant to come forward.

Wayne Mershawn
2313 Ridge Road, Suite 103
Rockwall, TX

Mr. Mershawn came forward and shared that they have met all the conditions as far as the architectural requirements. The Historical Board had recommended some changes be made and those have been made. They feel they have satisfied the comments for both the Historical Board and the Architectural Review Board and are asking for approval to allow them to move forward with the project. He indicated he was available for questions the Commission may have.

Mr. Brooks added that since it will be a Residential Office use the applicant is providing landscape screening in the form of a berm with trees and bushes at the property line adjacent to W. Heath Street to screen the parking lot.

Chairman Lyons brought the item back to the Commission for discussion or questions.

Commissioner Welch asked since it is a "Residential" office would it be a live/work office. Mr. Brooks explained that Residential Office does allow for a live/work however in this case the applicant is not proposing to live in it.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

20. SP2018-037

Discuss and consider a request by Russell Phillips of Sterling One for the approval of a site plan for a 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* of PD-32, located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

Planning Director, Ryan Miller, indicated the applicant was present to discuss the request and staff would be available to answer any additional questions.

Chairman Lyons asked the applicant to come forward.

Russell Phillips
521 Lorraine Way
Heath, TX

Mr. Phillips came forward and shared they are submitting a revised site plan for the 265 units that have been approved. He shared they have come a long way through the process however they needed to come back with a new site plan layout before they can proceed forward with the final plans. The last site plan they had they had gotten to the last round of construction drawings with staff comments, at that time they were unable to move forward with financing however they are now in the final process of getting the financing approval.

497 Mr. Russell went on to share that with this revised site plan the number of units has not
498 changed. They have received staffs comments and will be meeting with them to ensure those are
499 addressed.
500

501 Mr. Miller added that when the site plan originally came before the Commission and City Council
502 there was a dual roadway that connected at the back. At that time it was waived that thru the site
503 planning process, that will probably necessitate approval by the Planning and Zoning
504 Commission as well as City Council. Mr. Miller indicated there are some changes to the
505 requirements and due to this being an expired site plan the new site plan will need to meet
506 those. Specifically the change of condition is the adjacent property is developed and has
507 constructed a portion of Glenn Hill Way and the remainder of Glenn Hill Way is the burden of the
508 subject property therefore that will need to be designed and indicated on the plat. Originally the
509 applicant had requested and was approved for, a facilities agreement that would have delayed
510 the construction until the adjacent property was constructed. They will be asked to amend the
511 site plan to show that alignment. In addition the site plan will go before the Parks Board because
512 since the original site plan was approved the city's Park Districts have been changed and there
513 is now a dedicated park in the Harbor District.
514

515 Mr. Miller advised the Commission staff was available for questions.
516

517 Chairman Lyons brought the item back to the Commission for questions or discussion.
518

519 There being no questions Chairman Lyons indicated the case will return to the Commission for
520 action at the next scheduled meeting.
521

522
523 21. SP2018-038

524 Discuss and consider a request by Doug Galloway of Cooper General Contractors on behalf of Corey
525 Cannon for the approval of a site plan for a craft brewery on a 1.16-acre parcel of land identified as Lot
526 1R of the Cain Properties #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT)
527 District, situated within the SH-66 Overlay (SH-66 OV) District, located north of the intersection of S.
528 Goliad Street [SH-205] and Storrs Street, and take any action necessary.
529

530 Planning Director, Ryan Miller, indicated that the applicant was present to go over the request
531 and staff would be available to answer any questions.
532

533 Chairman Lyons asked the applicant to come forward.
534

535 Doug Galloway
536 3508 Edgewater
537 Dallas, TX
538

539 Mr. Galloway came forward and shared they have a structure that they have built in such a way
540 that it conforms and is an extension to the Downtown with all of the brick structures and detail
541 and then transitions into something that is a little bit more contemporary. Mr. Galloway provided
542 the Commission a sample board and indicated that the Architectural Review Board provided
543 positive feedback on the project when they met earlier in the evening.
544

545 Mr. Miller added that there are three waivers, two minor and one major. The applicant is in the
546 process of working thru the major waiver which is for the parking. The minor waivers relate to
547 the building materials and the bicycle rack. The applicant has indicated they will be putting a
548 bicycle rack and with the material waiver which is for the metal material ultimately will be at the
549 discretion of the Planning and Zoning Commission.
550

551 Chairman Lyons brought the item back to the Commission for discussion or questions.
552

553 Commissioner Womble asked the applicant to discuss further detail in regards to the metal
554 panel system since it only states it is corrugated metal which is pretty broad term. Mr. Galloway
555 shared that the corrugated metal is a representation of the color it would be. It will be a
556 traditional metal rib that is seen on metal buildings. Both on the walls and the actual roof
557 structure there will be more of a contemporary lean with exposed fasteners.

558 Commissioner Moeller asked staff concerning the waiver being requested for the parking. Mr.
559 Miller indicated that the original submittal there were a few parking spaces missing however the
560 applicant is working through their design scheme to try and meet the parking requirements to
561 avoid a “major” waiver.
562

563 There being no further questions Chairman Lyons indicated the case will return to the
564 Commission for action at the next scheduled meeting.
565

566
567 22. SP2018-039
568 Discuss and consider a request by Matt Moore of Claymoore Engineering on behalf of Phil Wagner of
569 Rockwall Economic Development Corporation (REDC) for the approval of a site plan for an industrial
570 building on a 3.634-acre parcel of land identified as Lot 1, Block E, Rockwall Technology Park Addition,
571 City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549
572 Overlay (FM-549 OV) District, located at the northwest corner of the intersection of Technology Way
573 and Observation Trail, and take any action necessary.
574

575 Planning Manager, David Gonzales, shared that the Architectural Review Board reviewed the
576 case and unanimously approved as submitted including the variances associated with the
577 building. Mr. Gonzales indicated the applicant was present and available for questions as well as
578 staff.
579

580 Chairman Lyons asked the applicant to come forward.

581 Brian Berry
582 2 Essex Court
583 Heath, TX
584
585

586 Mr. Berry came forward and shared he represents Heath Hill with Lime Media Group who is a
587 resident of Rockwall who currently operates his headquarters out of Rowlett and is looking to
588 relocate that headquarters to the Technology Park. The plan is to build an approximately 36,000
589 square foot building on the 3.634 acre lot. Mr. Berry went on to share that Lime Media is a
590 marketing and advertising company that wants to create a facility that fits the culture of their
591 company and is part of the building architecture their team is proposing. There are a few
592 variances to the material which they feel the location and orientation of building and the
593 materials being presented will still provide the quality that the City is looking to achieve in the
594 Technology Park. Mr. Berry indicated he and a team of his colleagues were present to answer
595 any questions the Commission may have.
596

597 Chairman Lyons brought the item back to the Commission for discussion or questions.
598

599 There being no questions Chairman Lyons indicated the case will return to the Commission for
600 action at the next scheduled meeting.
601

602 23. SP2018-040
603 Discuss and consider a request by J. C. La Foy & Associates on behalf of MCP Residential, LTD for the
604 approval of a PD site plan for an age/restricted senior living community consisting of 46 single-family
605 lots on a 15.826-acre tract of land identified as Lots 5 & 7, Block A, Eastshore Addition, City of
606 Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68), situated within the
607 SH-205 Overlay (SH-205 OV) District, located on the east side of S. Goliad Street [S. SH-205] north of
608 the intersection of S. Goliad Street and Justin Road, and take any action necessary.
609

610 Planning Manager, David Gonzales, indicated that the applicant was present and would go over
611 the case. He noted that staff has worked with the applicant on the buffer and the applicant has
612 indicated that they will be providing a six foot rod iron fence on the back as well as a three
613 layered landscaping element.
614

615 Chairman Lyons asked the applicant to come forward.

616
617 Camile LaFoy
618 1420 Susan Circle
619 Lucas, TX

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Ms. LaFoy came forward and shared that there is a double row of evergreen screening along the back plus trees which will be approximately 8 foot tall at the time of install which will provide good screening. Ms. LaFoy indicated she was available for questions.

Chairman Lyons brought the item back to the Commission for discussion or questions.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

24. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- ✓ P2018-037: Final Plat for Lots 3 & 4, Block A, Harbor Village Addition [Approved]
- ✓ Z2018-044: SUP for an Accessory Building for 825 Zion Hills Circle (1st Reading) [Denied]
- ✓ Z2018-045: SUP for a Freestanding Commercial Antenna at Yellow Jacket Park (1st Reading) [Approved]
- ✓ Z2018-046: SUP for Temporary Educational Buildings (1st Reading) [Postponed to the December 13, 2018 City Council Meeting]
- ✓ Z2018-047: OURHometown Vision 2040 Comprehensive Plan (1st Reading) [Approved]
- ✓ SP2018-030: Variances for Brakes Plus [Approved]
- ✓ SP2018-032: Variances for an Elementary School in PD-70 [Approved]
- ✓

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting.

V. ADJOURNMENT

Chairman Lyons adjourned the meeting at 7:21 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2019.

Johnny Lyons, Chairman

Attest:

Laura Morales, Planning Coordinator

MINUTES
PLANNING AND ZONING COMMISSION PUBLIC HEARING
City Hall, 385 South Goliad, Rockwall, Texas
Council Chambers
December 11, 2018
6:00 P.M.

I. CALL TO ORDER

Chairman Lyons called the meeting to order at 6:00 p.m. The Commissioners present at the meeting were, Jerry Welch, John Womble, Eric Chodun, Tracey Logan, and Annie Fishman. Absent from the meeting was Commissioner Mark Moeller. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planer Korey Brooks, Planning Coordinator, Laura Morales, Engineering Director, Amy Williams, Civil Engineers Jeremy White and Sarah Hager.

II. CONSENT AGENDA

1. Approval of Minutes for the October 9, 2018 Planning and Zoning Commission meeting.

2. Approval of Minutes for the October 30, 2018 Planning and Zoning Commission meeting.

3. P2018-035

Consider a request by Bart A. Tinsley of the Alders at Rockwall Property, LLC for the approval of a final plat for Lot 1, Block A, Alders at Rockwall Addition, being a 10.310-acre parcel of land identified as Lot 2, Block A, Rockwall Seniors Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of T. L. Townsend Drive and Justin Road, and take any action necessary.

4. P2018-041

Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Balance III, LLC. for the approval of a preliminary plat for the Breezy Hill, Phase XI containing 78 single-family lots on a 23.849-acre tract of land identified as a portion of Tract 7 and all of Tract 7-06 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single-Family 10 (SF-10) District land uses, generally located adjacent to Breezy Hill Road north of the intersection of Breezy Hill Road and FM-552, and take any action necessary.

5. P2018-042

Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH Phase 8, LLC for the approval of a final plat for Breezy Hill, Phase VIII containing 61 single-family residential lots on 27.822-acres of land identified as a portion of Tract 7 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, located along the eastern side of Breezy Hill Lane, and take any action necessary.

6. P2018-043

Consider a request by Matt Atkins of Engineering Concepts on behalf of Scott Lewis of RRDC, LTD. for the approval of a final plat for the Whisper Rock Subdivision containing 28 single-family lots on a 9.477-acre tract of land identified as Tract 104 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 47 (PD-47) for Single-Family 10 (SF-10) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 3231 Ridge Road, and take any action necessary.

7. SP2018-041

Discuss and consider a request by Matt Atkins of Engineering Concepts on behalf of Scott Lewis of RRDC, LTD. for the approval of a site plan for the Whisper Rock Subdivision containing 28 single-family lots on a 9.477-acre tract of land identified as Tract 104 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 47 (PD-47) for Single-Family

62 10 (SF-10) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 3231
63 Ridge Road, and take any action necessary.

64
65 **Commissioner Chodun made a motion to approve the consent agenda. Commissioner Fishman**
66 **seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.**

67
68 III. APPOINTMENTS

69
70 8. Appointment with Architectural Review Board representative to receive the Board's
71 recommendations and comments for items on the agenda requiring architectural review.

72
73 **Architectural Review representative gave a brief explanation concerning agenda items that were**
74 **discussed at the Architectural Review Board meeting.**

75
76 IV. PUBLIC HEARING ITEMS

77
78 9. Z2018-043

79 Hold a public hearing to discuss and consider a request by Michael Worrell of Rockwall Honda for the
80 approval of an amendment to SUP No. S-76 (Ordinance No. 10-26) to allow changes to be made to an
81 existing Motorcycle Dealership with Accessory Boat and Trailer Sales being a 1.152-acre parcel of land
82 identified as Lot 6, Block A, Newman Center #1 Addition, City of Rockwall, Rockwall County, Texas,
83 zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, and take any action
84 necessary.

85
86 **Planning Manager, David Gonzales, provided a brief explanation and background in reference to**
87 **the case. The applicant Michael Worrell of Rockwall Honda had requested the approval of an**
88 **amendment to SUP No. S-76 for the purpose of allowing the addition of three canopy shade**
89 **structures on the site. On October 9, 2018, a motion was approved by the Planning and Zoning**
90 **Commission to continue the public hearing to the October 30, 2018 meeting for the purpose of**
91 **allowing the applicant time to address issues raised by the Planning and Zoning Commission**
92 **and staff concerning the landscape buffer along IH-30 and the display area. With the necessary**
93 **exhibits not being prepared and returned to staff in time for the scheduled public hearing on**
94 **October 30, 2018, the applicant did not have the ability to request an additional postponement,**
95 **as this would have exceeded the 30 day time limitation from the first public hearing date which**
96 **was on October 9, 2018. On October 30, 2018, the Planning and Zoning Commission**
97 **unanimously approved a motion to accept the applicant's request to withdraw the case due to**
98 **the applicants need for additional time to provide staff with the necessary exhibits for those**
99 **concerns that had been raised regarding the landscape buffer along IH-30 and the display area.**
100 **The applicant has provided staff with the necessary exhibits and is requesting approval of an**
101 **amendment to SUP No. S-76 for the purpose of allowing the addition of three canopy shade**
102 **structures on the site. The proposed shade structures will be located on the east side of the**
103 **property and provide shade for the displayed vehicles. The applicant is also requesting to**
104 **provide decomposed granite with a hard edge in order to contain the material along IH-30 for**
105 **the display areas, which are located on the east and south sides of the. These areas are**
106 **currently grass surfaces and once constructed using the decomposed granite, will provide**
107 **stability for the displayed vehicles. Additionally, the applicant is requesting to allow for the**
108 **display area to be expanded within the ten foot landscape buffer along East IH-30. It should be**
109 **known that staff has met with the applicant regarding the landscaping of this display area and**
110 **Mr. Worrell has agreed to provide potted trees and plantings within the display area along IH-30.**
111 **The purpose of this type of landscape scheme is due to a 16-inch water main that runs parallel**
112 **within an existing 20-ft water easement located at the property line. This solution is to mimic the**
113 **use of trees and other landscaping that would normally appear within the ten foot landscape**
114 **buffer, and has been included as a condition of approval. If approved, the applicant will be**
115 **required to submit a site plan and building permit for the decomposed granite and canopy shade**
116 **structures.**

117
118 **Mr. Gonzales further noted that on November 30, 2018, staff mailed 17 notices to property**
119 **owners and residents within 500-feet of the subject property and also emailed a notice to the**
120 **Waterstone Homeowner's Association. Staff did not receive any notices regarding the**
121 **applicant's request either in favor or in opposition.**

122 **Mr. Gonzales advised the Commission that the applicant was present and available for questions**
123 **as well as staff.**

124 Chairman Lyons opened up the public hearing and asked the applicant to come forward.

125
126 Michael Worrell
127 1030 E. IH-30
128 Rockwall, TX

129
130 Mr. Worrell came forward and indicated he was available for questions.

131
132 Chairman Lyons asked if anyone wished to speak to come forward and do so there being no one
133 indicating such Chairman Lyons closed the public hearing and brought the item back to the
134 Commission for discussion or a motion.

135
136 Commissioner Chodun made a motion to approve Z2018-043 with staff recommendations.
137 Commissioner Womble seconded the motion which passed by a vote of 6-0 with Commissioner
138 Moeller absent.

139
140
141 10. Z2018-048

142 Hold a public hearing to discuss and consider a request by Amanda Henry for the approval of a Specific
143 Use Permit (SUP) for an accessory building that does not meet the requirements stipulated by the
144 Unified Development Code (UDC) on a 0.253-acre tract of land identified as part of Lot 47B of the B. F.
145 Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District,
146 addressed as 205 S. Clark Street, and take any action necessary.

147
148 Senior Planner, Korey Brooks, gave a brief explanation of the request. The applicant is
149 requesting the approval of a Specific Use Permit to allow for the construction of a metal
150 accessory building that does not meet the requirements stipulated by the Unified Development
151 Code on a 0.253-acre tract of land. Currently, there is an existing metal accessory building in
152 disrepair that is approximately the same size as the proposed accessory building and will be
153 demolished in order to construct the new structure. According to the submitted site plan, the
154 accessory building will be 910 square feet 15-feet in height, and be situated to the rear of the
155 primary structure roughly in the same location as the existing accessory building. The
156 accessory building will be at least 20-feet from the side property lines and more than 60-feet
157 from the front and rear property lines. According to the applicant, the current accessory building
158 will be utilized as storage and will not be used for commercial land uses. According to the
159 Unified Development Code, no more than two accessory buildings larger than 225 SF each are
160 permitted in a Single-Family 7 District, provided the exterior cladding contains materials found
161 on the main structure. In this case, since the applicant is proposing to utilize metal and exceeds
162 the maximum allowable size for accessory buildings in a Single-Family 7 District, a Specific Use
163 Permit is required. The property located to the north of the subject property is located within the
164 Historic District and approval of this request is a discretionary decision for the Planning and
165 Zoning Commission and the City Council.

166
167 Mr. Brooks further noted that on November 30, 2018, staff mailed 69 notices to property owners
168 and residents within 500-feet of the subject property. Staff also notified the Park Place
169 Homeowner's Association. Staff had received one (1) email in favor of the request.

170
171 Chairman Lyons opened up the public hearing and asked the applicant to come forward.

172
173 Amanda Henry
174 205 S. Clark Street
175 Rockwall, TX

176
177 Ms. Henry came forward and indicated she was available for questions.

178
179 Commissioner Chodun asked if the structure would be placed in the same location as the one
180 that will be demolished.

181
182 Commissioner Logan asked the applicant if she had considered something other than a metal
183 building. Ms. Henry indicated that at the time metal is all she has considered.

184

185 Chairman Lyons asked if anyone wished to speak to come forward and do so there being no one
186 indicating such Chairman Lyons closed the public hearing and brought the item back to the
187 Commission for discussion or a motion.
188

189 Commissioner Fishman made a motion to approve Z2018-048 with staff recommendations.
190 Commissioner Welch seconded the motion which passed by a vote of 5-1 with Commissioner
191 Logan dissenting and Commissioner Moeller absent.
192

193 11. Z2018-049
194 Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a Specific
195 Use Permit (SUP) for an *animal shelter* on a 42.66-acre tract of land identified as Tract 7 of the D. Harr
196 Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
197 situated within the East SH-66 Overlay (E. SH-66 OV) District, addressed as 1700 E. SH-66, and take
198 any action necessary.
199

200 Chairman Lyons indicated that agenda item #15 would be discussed as the next item.
201

202 Planning Manager, David Gonzales, gave a brief explanation of the case. On October 24, 2018,
203 the building inspections department proactively recognized a structure being constructed
204 without a permit on the subject property. The building inspections department then proceeded
205 to confer with planning staff regarding the requirements for building a structure on the subject
206 property. During this meeting, additional structures were found to exist based on aerial images
207 dating back to the year 2013. These images depict two structures that have been built without a
208 permit. The aerial image indicates that one of these structures lies within the designated 100-
209 year flood plain. The other structure is a detached garage that has been enlarged on at least two
210 separate occasions. City records indicate that no permits were requested for the construction of
211 either of these structures. Subsequently, a Stop Work Order was issued on October 25, 2018 for
212 the animal shelter for the purpose of obtaining a building permit. Staff contacted Mr. Peoples
213 and advised him that a Specific Use Permit is also required in order to complete construction of
214 the animal shelter. On November 6, 2018, Mr. Peoples applied for a building permit, and
215 subsequently submitted an application for the SUP for the animal shelter use on November 19,
216 2018. The photos included with this case were taken from SH-66 by the building inspections
217 department. Staff has made several requests for the applicant to provide photos of these
218 structures and a survey that would locate the structures on this site and have not received either
219 of these items.
220

221 Mr. Gonzales further shared that the applicant is requesting the approval of a Specific Use
222 Permit to allow for an animal shelter as stipulated by the Unified Development Code. The 2,720
223 square foot 40-ft x 68-ft metal structure stands approximately 15-feet in height and is situated
224 north of the primary structure, adjacent to SH-66. The animal shelter is to be used for the
225 purpose of providing shelter for the animals on the subject property. As was noted above, there
226 are two existing accessory buildings on the subject property that have been built without a
227 permit and one that lies within the designated 100-year flood plain. This structure is required to
228 be demolished and has been added as a condition of approval of the SUP and the other
229 structure is a detached garage that is being considered for a Specific Use Permit concurrently
230 with this request.
231

232 Mr. Gonzales further noted that on November 30, 2018 staff mailed 33 notices to property owners
233 and residents within 500-feet of the subject property and also notified the Rolling Meadows
234 Homeowner's Association. Staff received three notices in favor of the request and one in
235 opposition.
236

237 Mr. Gonzales advised the applicant that the applicant was present and available for questions as
238 well as staff.
239

240 Chairman Lyons opened up the public hearing and asked the applicant to come forward.
241

242 Mike Peoples
243 1700 E. SH-66
244 Rockwall, TX
245

246 Mr. Peoples came forward and shared that the current structure was placed there after a
247 previously existing structure which was at the exact same location became dilapidated after
248 wind damage and was an eye sore. He shared that what is currently there is an improvement
249 from the building that was in place before and is used mainly to show cows. He indicated he was
250 available for questions.

251
252 Chairman Lyons asked what the size of the structure that was removed was. Mr. Peoples
253 indicated it was approximately 40x50 in size and the current one is 50x50 in size.

254
255 Commissioner Logan asked if the request was approved did he plan to comply with all the City's
256 stipulations and conditions that come with the approval. Mr. Peoples indicated he planned on
257 following the necessary conditions the city sets forth.

258
259 Chairman Lyons asked if anyone wished to speak to come forward and do so there being no one
260 indicating such Chairman Lyons closed the public hearing and brought the item back to the
261 Commission for discussion or a motion.

262
263 Commissioner Womble asked if what was before the Commission to be approved was the "use"
264 and not the soundness of the structure which would go through a different process. Mr.
265 Gonzales indicated that was correct as well as tying down the size of the structure to the
266 ordinance. Mr. Miller added that should it be approved by both the Planning Commission and
267 City Council it would still need to go through the Building Inspection process to ensure the
268 proper drainage and detention is provided.

269
270 Commissioner Womble made a motion to approve Z2018-049 with staff recommendations.
271 Commissioner Welch seconded the motion which passed by a vote of 5-1 with Commissioner
272 Chodun dissenting and Commissioner Moeller absent.

273
274 12. Z2018-050
275 Hold a public hearing to discuss and consider a request by David Rains for the approval of a Specific
276 Use Permit (SUP) allowing a covered patio that exceeds the maximum requirements for property
277 located within the Lake Ray Hubbard Takeline leased area that is adjacent to a parcel of land identified
278 as Lot 12, Block A, Chandlers Landing, Phase 18, Section 2, City of Rockwall, Rockwall County, Texas,
279 zoned Planned Development 8 (PD-8) District for single family land uses, addressed as 5808
280 Constellation Circle, and take any action necessary.

281
282 Senior Planner, Korey Brooks, provided a brief explanation and background pertaining to the
283 request. The applicant is requesting the approval of a Specific Use Permit to allow a covered
284 patio that exceeds the maximum requirements for properties in the Lake Ray Hubbard Takeline
285 leased area. The applicant is proposing to construct an approximately 350 square foot 35-foot
286 by 10.5-foot covered patio in the leased area. The proposed patio cover will be constructed of
287 materials matching the primary structure being stucco and mission tile with regard to the posts
288 and pitched roof. The covered patio will be located approximately two feet outside of the
289 property line and be 12-feet high. In this case, the proposed covered patio is in conformance
290 with the view preservation and maximum height requirements as stipulated by the UDC;
291 however, the takeline ordinance requires all patios to be constructed of water-resistant wood
292 and/or native stone. Additionally, the Unified Development Code requires that the structure be
293 open on all sides, have vertical posts with rafters at the top, pergola-style roof, and have a
294 maximum width of 12' x 20'. According to the submitted site plan, the structure will be open on
295 all sides; however, the applicant is proposing to utilize stucco on the columns and a pitched roof
296 with mission tiles. Since the width and size of the structure exceeds the maximum allowable
297 requirements and will be constructed with materials not allowed by the takeline ordinance, a
298 Specific Use Permit is required. Approval of a Specific Use Permit is a discretionary decision for
299 the Planning and Zoning Commission and the City Council.

300
301 Mr. Brooks further noted that on November 30, 2018, staff mailed 60 notices to property owners
302 and residents within 500-feet of the subject property and have received one email and three
303 notices in opposition, one email in favor, and one notice that shared comments but was neutral
304 concerning the request.

305
306 Mr. Brooks advised the Commission that the applicant was present and available for questions
307 as well as staff. Planning Director, Ryan Miller, added that if City Council ultimately approves the

308 request the structure would need to be approved by the City of Dallas because it does not
309 conform to the Takeline Lease Agreement.

310
311 Chairman Lyons opened up the public hearing and asked the applicant to come forward.

312
313 David Rains
314 5808 Constellation Circle
315 Rockwall, TX

316
317 Mr. Rains came forward and provided a brief explanation of his request and shared pictures
318 showing the rendering of the proposed height of the structure he shared that they would like to
319 have the materials match the primary structure. He indicated they would have liked to build
320 directly behind the house however a 15 foot utility easement prevents it from being placed
321 anywhere but where they are proposing to build where he feels will not impede views of the lake
322 to his neighbors. He provided the Commission a letter from the Chandler's Landing
323 Environmental Committee which showed unanimous approval of the proposal. He shared
324 several pictures and renderings of the proposed structure and noted that he could build another
325 type of structure, be it a gazebo/pergola, in this area without having to receive City approval. He
326 indicated he was available for questions and requested approval from the Commission.

327
328 Chairman Lyons asked if anyone wished to speak to come forward and do so.

329
330 Scott Seals
331 5812 Constellation Circle
332 Rockwall, TX

333
334 Mr. Seals came forward and indicated he lives two houses south from the subject property. He
335 feels when property is bought on the lakefront homeowners pay high premium due to the lake
336 front view and anything that obstructs the lake view to adjacent properties would have a
337 negative impact. He generally expressed not being in favor of the request.

338
339 Carol Inman
340 5806 Constellation Circle
341 Rockwall, TX

342
343 Ms. Inman came forward and provided photos that showed the views she sees from her back
344 window of the lake. She expressed concern of the request because the structure would be in
345 direct view of her view of the lake.

346
347 Susan Martin
348 5810 Constellation Circle
349 Rockwall, TX

350
351 Ms. Martin came forward and indicated she has lived at her residence for 17 years which was
352 long before anything was allowed to be on the takeline. She generally expressed not being in
353 favor of the request she feels the structure will negatively impact her property value due to it
354 obstructing her view of the lake.

355
356 Vincent Walters
357 608 Severige Court
358 Rockwall, TX

359
360 Mr. Walters came forward and shared that he has lived in the property since 2017 and provided
361 two pictures which showed in his opinion if the request is approved, will cause him to lose part
362 of his view of the lake which could result in loss of his property's value. He generally expressed
363 being in opposition of the request.

364
365 Chairman Lyons asked the applicant to come forward should he want to add any rebuttal. Mr.
366 Rains came forward and generally expressed that he does not feel the structure will be in the
367 adjacent properties view corridor. He shared he would be willing to scale it down a ten feet in
368 length however the main reason he is seeking the Specific Use Permit is for the materials which

369 he feels will make the property look more atheistically pleasing because it will match the primary
370 structure.

371
372 Chairman Lyons asked if anyone else wished to speak to come forward and do so there being no
373 one indicating such; Chairman Lyons closed the public hearing and brought the item back to the
374 Commission for discussion or action.

375
376 Chairman Lyons shared expressed the importance of the decision taken by the Commission
377 would set a precedent and should be well thought out. Extensive general discussion took place
378 between the Commission in regards to the view corridor, the Takeline Lease Agreement as well
379 as discussion over the comments that were heard from concerned adjacent neighbors.

380
381 Chairman Lyons made a motion to deny Z2018-050. Commissioner Chodun seconded the motion
382 which passed by a vote of 5-1 with Commissioner Womble dissenting and Commissioner
383 Moeller absent.

384
385 Chairman Lyons called a recess at 7:37 p.m.
386 Chairman Lyons called the meeting back to order at 7:48 p.m.

387
388 13. Z2018-051
389 Hold a public hearing to discuss and consider a request by Susan Thomas of Petco Animal Supplies
390 Stores, Inc. on behalf of Steve Hagara of Rockwall Holdings, LLC for the approval of a Specific Use
391 Permit (SUP) for an *animal hospital/clinic* in conjunction with an existing retail store situated on a
392 21.424-acre parcel of land identified as Lot 1A, Block B, R. W. Market Center Addition, City of Rockwall,
393 Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV)
394 District, addressed as 2689 Market Center Drive, and take any action necessary.

395
396 Chairman Lyons indicated that the applicant has requested to withdraw the case and action
397 would need to be taken.

398
399 Commissioner Chodun made a motion to accept the withdrawal of case Z2018-051.
400 Commissioner Fishman seconded the motion which passed by a vote of 6-0 with Commissioner
401 Moeller absent.

402
403 14. Z2018-052
404 Hold a public hearing to discuss and consider a request by Russell Phillips on behalf of Rockwall Retail
405 Investors, LLC for the approval of a Specific Use Permit (SUP) for a *mini-warehouse* facility on a 7.489-
406 acre tract of land identified as Lot 23, Rainbow Acres Addition, City of Rockwall, Rockwall County,
407 Texas, zoned Commercial (C) District, generally situated north of Horizon Road and east of Ranch Trail
408 Road, and take any action necessary.

409
410 Senior Planner, Korey Brooks, provided a brief explanation and background of the case. On
411 October 16, 2017, the City Council approved a Specific Use Permit (SUP) for a mini-warehouse
412 on the subject property. Since that approval, the applicant has not made and subsequent
413 submittals and the Specific Use Permit expired on November 6, 2018. In response to this
414 expiration, the applicant resubmitted a request for a Specific Use Permit to allow a 575-unit mini-
415 warehouse facility. According to the concept plan, the subject property will be developed in two
416 phases. Phase 1 will have seven buildings totaling 293 units ranging from 16 units to 121 units
417 per building. Phase 2 will have 12 buildings totaling 282 units ranging from ten units to 32 units
418 per building. The proposed mini-warehouse will have perimeter building that utilizes masonry on
419 all exterior facades visible from the street. The interior buildings will utilize metal and will not be
420 visible from the street. Staff should note that most of the surrounding buildings are constructed
421 of metal. Building One will include the leasing office and climate-controlled units that are
422 accessible internally in the building. The remaining buildings will have drive-up units with roll-up
423 doors, which will be oriented so the roll-up doors will not face Ranch Trail or Horizon Road. The
424 applicant is proposing to utilize landscape screening for the mini-warehouse facility to limit the
425 visibility of the facility from Ranch Trail and Horizon Road. Additionally, the northeast portion of
426 the subject property is wooded and will be preserved to provide landscape screening for
427 adjacent properties. According to the Unified Development Code a mini-warehouse facility is
428 permitted in a Commercial District by Specific Use Permit, which is a discretionary decision for
429 the Planning and Zoning Commission and the City Council. If the request is approved, the

430 applicant will be required to submit a site plan, landscape plan, photometric plan, and building
431 elevations to the Architectural Review Board and the Planning and Zoning Commission.
432

433 Mr. Brooks further noted that on November 30, 2018, staff sent 29 notices to property owners
434 and residents within 500-feet of the subject property and staff did not receive any notices
435 concerning this case.
436

437 Mr. Brooks indicated the applicant was present and available for questions as well as staff.
438

439 Chairman Lyons opened up the public hearing and asked the applicant to come forward.
440

441 Russell Phillips
442 521 Lorraine Way
443 Heath, TX
444

445 Mr. Phillips came forward and provided additional explanation concerning the request and
446 provided a conceptual plan showing what he is proposing to construct. He indicated he is
447 available for questions.
448

449 Chairman Lyons asked if anyone wished to speak to come forward and do so there being no one
450 indicating such Chairman Lyons closed the public hearing and brought the item back to the
451 Commission for discussion or a motion.
452

453 Commissioner Chodun made a motion to approve Z2018-052 with staff recommendations.
454 Commissioner Welch seconded the motion which passed by a vote of 6-0 with Commissioner
455 Moeller absent.
456

457 15. Z2018-053

458 Hold a public hearing to discuss and consider a request by Mike Peoples for the approval of a Specific
459 Use Permit (SUP) for a detached garage that does not meet the requirements stipulated by the Unified
460 Development Code (UDC) on a 42.66-acre tract of land identified as Tract 7 of the D. Harr Survey,
461 Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated
462 within the East SH-66 Overlay (E. SH-66 OV) District, addressed as 1700 E. SH-66, and take any action
463 necessary.
464

465 Planning Manager, David Gonzales, provided a brief explanation of the case which is for the
466 same location as agenda item #11 he indicated that additional structures, one being a detached
467 garage, were found to exist based on aerial images dating back to the year 2013. These images
468 depict two structures that have been built without a permit. The aerial image indicates that one
469 of these structures lies within the designated 100-year flood plain. The other structure is a
470 detached garage that has been enlarged on at least two separate occasions with aerial images
471 indicating that to be from December 2015 & September 2017. City records indicate that no
472 permits were requested for the construction of either of these structures. According to Section
473 2, of Article V, Agricultural District of the Unified Development Code, allows for an accessory
474 use, detached garage, to be a permitted with a main use single-family home on more than ten
475 acres within an Agricultural District, Section 2.1.2, of Article IV, Permissible Uses, of the UDC,
476 allows for one detached garage that does not exceed 900 square feet in area or 15 feet in height
477 provided the exterior cladding contains the same materials as is found on the main structure. In
478 this case, the detached garage appears to be a metal structure. Accessory buildings such as a
479 detached garage not meeting these standards shall require approval of an SUP. The existing
480 detached garage does not meet the material or size requirements as stipulated by the UDC and
481 approval is discretionary for the City Council.
482

483 Mr. Gonzales went on to state that 33 notices were sent out to property owners within 500 feet of
484 the subject property and staff received 3 notices in favor of the request.
485

486 Mr. Gonzales advised the Commission that essentially it is the same request as was previously
487 discussed with this being for the "detached garage" he added that the applicant was available
488 for questions as well as staff.
489

490 Chairman Lyons opened up the public hearing and asked the applicant to come forward.
491

492 Mike Peoples
493 1700 E. SH-66
494 Rockwall, TX
495

496 Mr. Peoples came forward and shared additional information pertaining to the request and
497 indicated he was available for questions.
498

499 Chairman Lyons asked if anyone wished to speak to come forward and do so there being no one
500 indicating such Chairman Lyons closed the public hearing and brought the item back to the
501 Commission for discussion or a motion.
502

503 Following additional dialogue Commissioner Welch made a motion to approve Z2018-053 with
504 staff recommendations. Chairman Lyons seconded the motion which passed by a vote of 6-0
505 with Commissioner Moeller absent.
506

507 16. Z2018-054

508 Hold a public hearing to discuss and consider a request by Andrew Bennett of BOKA Powell, LLC on
509 behalf of the owner Vinod Miranda for the approval of a Specific Use Permit (SUP) for an office building
510 that will exceed 36-feet in height within the Scenic Overlay (SOV) District on a 9.7-acre tract of land
511 identified at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County,
512 Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the
513 southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.
514

515 Planning Manager, David Gonzales, gave a brief explanation of the request. The applicant is
516 requesting the approval of a Specific Use Permit to allow an office building that will exceed 36-
517 feet in height within the Scenic Overlay District on a 9.7-acre tract of land. The proposed 80,000
518 square foot office building will be comprised of three stories of office space and a single-story of
519 parking that will be located below grade. The office building will reach an overall height of 60-
520 feet; however, the building will be located approximately 156-feet from the right-of-way of Ridge
521 Road and due to the slope of the property the finished floor of the building will be set
522 approximately five to seven feet below the surface of Ridge Road. This means that the first floor
523 of the office building may not be visible from Ridge Road. According to the Unified
524 Development Code, any structure over 36-feet in height requires a Specific Use Permit. Should
525 the applicants request be approved, staff has included a condition of approval allowing the
526 structure to have an overall height of four stories, not to exceed 60-feet.
527

528 Mr. Gonzales further noted that on November 30, 2018, staff mailed 107 notices to property
529 owners and residents within 500-feet of the subject property and also emailed a notice to the
530 Turtle Cove and Lakeside Village Homeowner's Associations which are the only HOA's located
531 within 1,500-feet of the subject property participating in the notification program. Staff received
532 one notification in opposition of the request and one in favor.
533

534 Mr. Gonzales advised the Commission that the applicant was present and available for
535 questions.
536

537 Chairman Lyons opened up the public hearing and asked the applicant to come forward.
538

539 Andrew Bennett
540 1400 Highline
541 Dallas, TX
542

543 Mr. Bennett came forward and shared that he works with BOKA Powell Architects. The company
544 that is looking to relocate to the subject property and the land owner have hired him and asked
545 they present the case requesting the Specific Use Permit on their behalf. Mr. Bennett went on to
546 provide additional details concerning the request which included reasons behind the request for
547 the variance in the height. He indicated he was available for questions.
548

549 Chairman Lyons asked if anyone wished to speak to come forward and do so.
550

551 Naomi Shipley
552 2313 Ridge Road
553 Rockwall, TX

554 Ms. Shipley came forward and shared her concern with the additional traffic will cause and will
555 possibly necessitate additional traffic stop signs or such. She indicated she did not turn in a
556 notice in favor or in opposition because she wanted to attend the meeting first to gather
557 additional information concerning the requests.

558
559 **Molly Brooks**
560 **2504 Ridge Road**
561 **Rockwall, TX**

562
563 Mrs. Brooks came forward and expressed not being in favor of the request due to the amount of
564 traffic it would generate as well as the variance to the height of the building which she feels will
565 not preserve the Scenic Overlay Districts standards. She urged the Commission to not grant
566 approval of the request.

567
568 **Richard Brooks**
569 **2504 Ridge Road**
570 **Rockwall, TX**

571
572 Mr. Brooks came forward and expressed agreeing with all the same concerns Mrs. Molly Brooks
573 shared and indicated he is not in favor of the request.

574
575 **Phil Wagner**
576 **REDC**
577 **Rockwall, TX**

578
579 Mr. Wagner came forward and indicated he is President of the Rockwall Economic Development
580 Corporation. He shared he was not present to advocated but simply to add additional
581 information concerning the request. The REDC has been working with the company that is
582 looking to relocate to this location and feel they provide some benefits to the community with
583 the value that they bring with jobs and wages they feel it will be a high quality company.

584
585 Chairman Lyons closed the public hearing and asked the applicant to come forward to offer any
586 rebuttal.

587
588 Mr. Bennett came forward and shared that with concern as to clarification as to where the
589 building will sit; the building is intended to sit well off of Ridge Road further behind the adjacent
590 property.

591
592 Chairman Lyons brought the item back to the Commission for discussion or action. Chairman
593 Lyons shared that he feels the building is a nice building and will be an asset to the community.
594 Commissioner Chodun shared generally being in favor of the request as there isn't anything
595 east of the proposed building that it would block view of the lake and it appears that they will
596 maximize the use well as it takes up a small footprint.

597
598 Commissioner Chodun made a motion to approve Z2018-054 with staff recommendations.
599 Commissioner Logan seconded the motion which passed by a vote of 6-0 with Commissioner
600 Moeller absent.

601
602 V. ACTION ITEMS

603
604 17. SP2018-036

605 Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf Gari Foote for
606 the approval of a site plan for an office building on a 0.26-acre portion of a larger one (1) acre tract of
607 land identified as Block 26 of the Garner Addition, zoned Planned Development District 50 (PD-50) for
608 Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV)
609 District, located at the northwest corner of the intersection of W. Heath Street and S. Goliad Street [SH-
610 205], and take any action necessary.

611
612 Senior Planner, Korey Brooks, gave a brief explanation of the request. The applicant is
613 requesting approval for a site plan for the purpose of constructing a 2,430 square foot office
614 building within Planned Development District 50 to be used as a counseling facility. The
615 applicant is proposing to utilize a Craftsman-style architecture and clad the façade with brick

616 and hardie board. The proposed material percentages are in conformance with the North Goliad
617 Corridor Overlay District's development standards. Additionally, the applicant is providing
618 landscape screening of a berm with trees and bushes at the property line adjacent to W. Heath
619 Street to screen the parking lot. The proposed office building is permitted by-right in a
620 Residential-Office District and will not need any additional approvals. The submitted site plan,
621 landscape plan, photometric plan, and building elevations conform to the technical requirements
622 contained within the Planned Development District 50 and the Unified Development Code
623 development standards. Mr. Brooks further noted that on November 15, 2018, the Historic
624 Preservation Advisory Board's Motion to recommend approval of the site plan for an office
625 building with the condition that additional Craftsman-style architectural elements be
626 incorporated into the façade. The applicant made additional revisions and met with the
627 Architectural Review Board and after reviewing proposed building elevations forwarded a
628 recommendation of approval with additional conditions.

629
630 Mr. Brooks advised the Commission that the applicant was present and available for questions
631 as well as staff.

632
633 Greg Wallace
634 2313 Ridge Road
635 Rockwall, TX
636

637 Mr. Wallace came forward and shared that they have met with both the Historical Board and the
638 Architectural Review Board and have complied with the recommendations that were given. He
639 indicated he was available for questions.

640 Chairman Lyons brought the item back to the Commission for discussion or action.

641
642
643 Chairman Lyons made a motion to approve SP2018-036 with both staff and Architectural Review
644 Boards recommendations. Commissioner Welch seconded the motion which passed by a vote of
645 6-0 with Commissioner Moeller absent.

646
647 18. SP2018-037

648 Discuss and consider a request by Russell Phillips of Sterling One for the approval of a site plan for a
649 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac
650 Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of
651 Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the
652 *Interior Subdistrict* of PD-32, located south of the intersection of Summer Lee Drive and Glen Hill Way,
653 and take any action necessary.

654
655 Planning Director, Ryan Miller, provided a brief explanation and background of the request. On
656 March 10, 2015, the Planning and Zoning Commission approved a site plan for a 265-unit
657 condominium building and subsequently, the City Council approved waivers to the building
658 height requirements and variances to the material requirements on March 16, 2015. Following
659 these approvals, the applicant submitted civil engineering plans to the Engineering Department
660 on June 23, 2016. Staff reviewed this submittal and returned the plans to the applicant on July
661 11, 2016. The applicant made subsequent submittals on September 20, 2016 and January 30,
662 2017, with staff returning those submittals with comments on October 5, 2016 and February 14,
663 2017. The last action taken on this case is considered to be February 14, 2017. Based on the
664 inactivity on the civil plans for a period of one year the engineering submittal automatically
665 expired on February 14, 2018 in accordance with the General Requirements, of the Engineering
666 Standards of Design and Construction manual. Due to the expiration of the civil engineering
667 plans, the Planning and Zoning Department expired the site plan based on the requirements of
668 the Unified Development Code which states that, "(i)f development of a lot or tract with an
669 approved site plan has not been completed within two [2] years, or more with an extension, of its
670 final approval, the site plan shall be deemed to have expired and a new review and approval of a
671 site plan for development of the property shall be undertaken, and this new approval shall be
672 required before a building permit is issued for development." Staff notified the applicant of the
673 expired site plan in person and by email on October 30, 2018. In response to the expiration of the
674 original site plan, the applicant resubmitted the site plan on November 16, 2018 with minor
675 changes.
676

677 Mr. Miller went on to share that in looking at the requirements of Planned Development 32 the
678 submitted site plan package the proposed case is in conformance with the majority of the
679 requirements stipulated by Ordinance No. 17-22, Resolution No. 10-40, and the UDC with the
680 exception of a couple of waivers with regard to the building form as well as variances to the
681 material requirements all of which Mr. Miller detailed and went over. According to the Unified
682 Development Code, the approval of any variances is discretionary to the City Council pending a
683 recommendation from the Planning and Zoning Commission. The variances relating to materials
684 have been granted to other buildings within the Harbor District; however, variances and waivers
685 are to be considered on a case-by-case basis by the City Council. In this case, the proposed
686 project does appear to meet the general intent of the Interior Subdistrict; however, granting any
687 waivers to the requirements of Ordinance No. 17-22 is a discretionary decision for the City
688 Council pending a recommendation from the Planning and Zoning Commission. Staff should
689 point out, with the majority of the Interior Subdistrict being built out; the approval of this project
690 would not prevent the implementation or intent of this Planned Development District. The
691 waivers for this case require a simple majority vote for approval. In addition based on the City
692 Council's recent action, a Traffic Impact Analysis is required for all development projects in the
693 Harbor District Planned Development District 32. In this case, the applicant is requesting that
694 the City Council consider waiving the TIA requirement. According to the applicant's letter, the
695 purpose of this request is due to the fact that they are not requesting any additional units from
696 the originally approved site plan. Section 2.3, PD Site Plans, of Article X, Planned Development
697 Regulations, of the UDC states that the City Council can require a TIA "(i)f no development plan
698 has been required and approved by the Council and in this case, no PD Development Plan was
699 approved for the proposed development. The waiver of any request for a TIA is at the discretion
700 of the City Council. The applicant met with the Architectural Review Board and received a
701 recommendation of approval pending the building elevations are amended to match the color
702 scheme in the color rendering and also that the arched windows on the third floor are removed..
703

704 Mr. Miller advised the Commission that the applicant was present and available for questions as
705 well as staff.
706

707 General discussion took place concerning the Traffic Impact Analysis as well as the rendering
708 that was provided.
709

710 Chairman Lyons asked the applicant to come forward.
711

712 Russell Phillips
713 525 Lorraine Way
714 Heath, TX
715

716 Mr. Russell came forward and indicated that they are far along on the plans and were almost at
717 completion before when some issues came up and they had to relook at financing which had
718 changed in the market place which played a major role in the reason for the delay. They are now
719 ready to move forward and are before the Commission seeking approval. Mr. Phillips indicated
720 he was available for questions.
721

722 Chairman Lyons brought the item back to the Commission for discussion or motion.
723

724 Commissioner Welch made a motion to approve SP2018-037 with both staff and Architectural
725 Review Board's recommendations. Commissioner Womble seconded the motion which passed
726 by a vote of 6-0 with Commissioner Moeller absent.
727

728 19. SP2018-038

729 Discuss and consider a request by Doug Galloway of Cooper General Contractors on behalf of Corey
730 Cannon for the approval of a site plan for a craft brewery on a 1.16-acre parcel of land identified as Lot
731 1R of the Cain Properties #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT)
732 District, situated within the SH-66 Overlay (SH-66 OV) District, located north of the intersection of S.
733 Goliad Street [SH-205] and Storrs Street, and take any action necessary.
734

735 Planning Director, Ryan Miller, gave a brief explanation and background of the request. On
736 August 20, 2018, the City Council approved a Specific Use Permit allowing a Craft Brewery on
737 the 1.16-acre subject property located along the west side of Alamo Street/S. Goliad Street and
738 is zoned Downtown District. The applicant has submitted a site plan showing the proposed

739 layout of the 11,931 square feet Craft Brewery. The applicant's proposed site plan, landscape
740 plan, treescape plan, building elevations, and photometric plan are in substantial conformance
741 to the requirements for properties situated in the Downtown District as stipulated by the Unified
742 Development Code with the exception of a couple of minor waivers; the applicant is requesting
743 the following minor waivers: 1)Materials. According to Section IV.B.3 of the Downtown District
744 requirements, "(g)round floor exterior walls, excluding windows, doors, and other openings,
745 shall be constructed of 100 percent brick, natural or cast stone on the exterior façade" and "a
746 minimum of 85 percent of exterior walls which face on a street right-of-way, plaza or open space,
747 excluding windows, doors, and other openings, shall be constructed of brick, natural or cast
748 stone." In this case, the applicant is proposing to use primarily brick adjacent to S. Alamo
749 Street/N. Goliad Street; however, the portions of the building that utilize corrugated metal panel
750 and GFRC wall panel will be visible from public rights-of-way. This will require the approval of a
751 minor waiver by the Planning and Zoning Commission. 2) Color. According to Section IV.B.4 of
752 the Downtown District requirements, "(t)he dominant color of all buildings (including above
753 grade parking structures) shall be muted shades of warm gray, red, green, beige and/or brown.
754 Black, gold and stark white shall not be used except as an accent color." In this case, the
755 applicant is proposing to use a black corrugated metal panel and black GFRC wall panel. This
756 will require the approval of a minor waiver by the Planning and Zoning Commission. According
757 to Section VIII.B, Waivers of Design Standards, of the Downtown District minor waivers may be
758 approved by the Director of Planning and Zoning in conjunction with a site plan upon a finding
759 that the waivers meet the full intent of the zoning district. The requested waivers while not
760 meeting the full intent of the zoning district do not appear to create a negative impact to
761 neighboring properties or to the intent of the Downtown District; however, these waivers are
762 substantial enough that staff would defer the approval of the waivers to the Planning and Zoning
763 Commission pending a recommendation from the Architectural Review Board. The applicant met
764 with the Architectural Review Board and received a recommendation of approval.
765

766 Mr. Miller further noted that the applicant was able to provide additional parking and added the
767 bicycle parking which were major waivers that they were able to resolve.
768

769 Mr. Miller indicated that the applicant is present and available for questions as well as staff.
770

771 Chairman Lyons asked the applicant to come forward.
772

773 Doug Galloway
774 3508 Edgewater
775 Dallas, TX
776

777 Mr. Galloway came forward and provided additional comments in regards to the project and
778 indicated he was available for questions.
779

780 Chairman Lyons brought the item back to the Commission for discussion or motion.
781

782 Commissioner Womble made a motion to approve SP2018-038 with staff recommendations.
783 Chairman Lyons seconded the motion which passed by a vote of 5-1 with Commissioner Logan
784 dissenting and Commissioner Moeller absent.
785

786
787 20. SP2018-039

788 Discuss and consider a request by Matt Moore of Claymoore Engineering on behalf of Phil Wagner of
789 Rockwall Economic Development Corporation (REDC) for the approval of a site plan for an industrial
790 building on a 3.634-acre parcel of land identified as Lot 1, Block E, Rockwall Technology Park Addition,
791 City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549
792 Overlay (FM-549 OV) District, located at the northwest corner of the intersection of Technology Way
793 and Observation Trail, and take any action necessary.
794

795 Planning Manager, David Gonzales, gave a brief explanation of the request. The applicant is
796 requesting approval of a site plan for the purpose of constructing an approximately 35,525
797 square feet manufacturing/office facility, to be known as Lime Media, within the REDC
798 Technology Park. The proposed facility will be situated on a 3.634-acre parcel of land located at
799 the northwest corner of the intersection of Technology Way and Observation Trail, north of
800 Discovery Boulevard, and is zoned Light Industrial District. The subject property is located

801 within the FM-549 Overlay District and required to meet these standards. According to the
802 Unified Development Code a manufacturing/office facility is a permitted by-right use in a Light
803 Industrial District. The subject property proposes two ingress and egress access points, one
804 along Technology Way and one along Observation Trail, and meets the distance requirements
805 from existing driveway approaches per the Engineering Standards of Design Manual. With the
806 exception of the variances being requested the submitted site plan, landscape plan, treescape
807 plan, photometric plan, and building elevations generally conform to the technical requirements
808 contained within the UDC for properties located within the Light Industrial District and the FM-
809 549 Overlay District. In regards to the treescape plan provided by the applicant indicates all trees
810 being removed from the site are primarily Cedar and Hackberry trees, which are not a protected
811 tree if they are less than 11-caliper inch DBH (i.e. diameter breast height). Additionally, there are
812 several Bois-d-arc trees that are not a protected species and will not require mitigation.
813 However, the applicant has indicated a total of 135-caliper inches being removed being Cedar
814 and Hackberry trees will require mitigation. The inches will be calculated at 50% of the caliper
815 inches being removed. This will equate to a total mitigation balance of 67.5-caliper inches. The
816 applicant is providing a total of 87-caliper inches on site, and the mitigation balance is
817 considered to be satisfied.

818
819 Mr. Gonzales further noted that the site plan went before the Architectural Review Board on
820 November 27, 2018 where they reviewed the proposed building elevations for the site. General
821 discussion concerning the rear north facing façade elevation took place due to its flat plane, no
822 bump-outs or recesses; however, the board agreed that since the façade faces a 44-acre vacant
823 tract of land, and the landscape plan includes additional trees for screening, this would not be
824 seen by the general public. Additionally, the board agreed with the variances being requested
825 and made a motion to recommend approval of the building elevations as presented. Additionally
826 the applicant is requesting a variance to the stone requirement, they do have some stone on the
827 building however on the north and west elevations they do not meet the stone requirement.

828
829 Mr. Gonzales advised the Commission the applicant was present and available for questions as
830 well as staff.

831
832 Commissioner Chodun asked if the Agricultural property was privately owned. Mr. Gonzales
833 indicated it was privately owned.

834
835 Chairman Lyons asked the applicant to come forward.

836
837 Brian Berry
838 2 Essex Court
839 Heath, TX

840
841 Mr. Berry came forward and shared he is shared that the company Lime Media, a marketing
842 company, is currently located in Rowlett and the owner wishes to relocate to the Technology
843 Park. They are looking to construct a state of the art building and feel the materials and the
844 orientation they are proposing will result in a high quality product. Mr. Berry indicated he was
845 available for questions.

846
847 Chairman Lyons brought the item back to the Commission for discussion or action.

848
849 Commissioner Welch made a motion to approve SP2018-039 with staff recommendations.
850 Commissioner Fishman seconded the motion which passed by a vote of 6-0 with Commissioner
851 Moeller absent.

852
853
854 21. SP2018-040
855 Discuss and consider a request by J. C. La Foy & Associates on behalf of MCP Residential, LTD for the
856 approval of a PD site plan for an age/restricted senior living community consisting of 46 single-family
857 lots on a 15.826-acre tract of land identified as Lots 5 & 7, Block A, Eastshore Addition, City of
858 Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68), situated within the
859 SH-205 Overlay (SH-205 OV) District, located on the east side of S. Goliad Street [S. SH-205] north of
860 the intersection of S. Goliad Street and Justin Road, and take any action necessary.
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Planning Manager, David Gonzales, shared that the request meets all the technical requirements for Planned Development 68, and should have been on the consent agenda. He indicated staff was available to answer any questions.

Chairman Lyons brought the item back to the Commission for discussion or action.

Commissioner Logan made a motion to approve SP2018-040 with staff recommendations. Commissioner Womble seconded the motion which passed by a vote of 6-0 with Commissioner Moeller absent.

VI. DISCUSSION ITEMS

22. Director's report of post City Council meeting outcomes for development cases.

Planning Director, Ryan Miller, indicated there were no case taken to the City Council meeting. No discussion took place concerning this agenda item.

VII. ADJOURNMENT

Chairman Lyons adjourned the meeting at 9:05 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2019.

Johnny Lyons, Chairman

Attest:

Laura Morales, Planning Coordinator

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/15/2019

APPLICANT: Chase Finch; *Corwin Engineering*

AGENDA ITEM: **P2018-047**; *Preliminary Plat for Breezy Hill, Phase XII*

SUMMARY:

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH West Pods, LTD for the approval of a preliminary plat for Breezy Hill, Phase XII containing 35 single-family residential lots on 44.525-acres of land identified as a portion of Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, located west of the intersection of John King Boulevard and Cozy View Drive, and take any action necessary.

PLAT INFORMATION:

- The Breezy Hill Subdivision is a master planned community that will provide approximately 405-acres of residential and commercial development. The residential subdivision will be composed of 750 single-family lots on 371.45-acres of land, and be broken down per the lot mix indicated in Planned Development District 74 (PD-74). The lot mix in this Planned Development District is as follows.

<i>Lot Types</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>	<i>E</i>	<i>F</i>	<i>G</i>
<i>Minimum Lot Frontage (Feet)</i>	60'	70'	80'	100'	60'	100'	70'
<i>Minimum Lot Depth (Feet)</i>	120'	120'	125'	200'	110'	180'	120'
<i>Minimum Lot Size (SF)</i>	7,200 SF	8,400 SF	10,000 SF	20,000 SF	7,200 SF	18,000 SF	8,400 SF
<i>Number of Units</i>	164	131	137	140	40	44	94
<i>Dwelling Unit %</i>	21.86%	17.46%	18.27%	18.67%	5.34%	5.87%	12.53%

- The applicant is requesting to *preliminary plat* Phase XII of the Breezy Hill Subdivision for the purpose of laying out 35 of the 750 lots on ~44.525-acres. The 35 proposed lots will be constructed to the *Type 'D'* standards (*all standards are displayed in the above table*). In addition to the preliminary plat, the applicant has also submitted a preliminary water and sanitary sewer plan and a drainage plans establishing that the developer can provide adequate utilities to service the proposed phase.
- On January 4, 2019 the Parks and Recreation Board reviewed the *preliminary plat* and made a recommendation to approve the plat with the following conditions:
 - The developer is to pay the pro-rata equipment fees required in the amount of \$8,925 [*i.e. 35 Lots @ \$255.00 Per Lot*].
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat, conforming to the requirements for preliminary plats as stated in the *Subdivision Ordinance* in the *Municipal Code of Ordinances*, is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Recommendation* section below.
- ☑ With the exception of the items listed in the *Recommendation* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

RECOMMENDATIONS:

If the Planning and Zoning Commission chooses to recommend approval of the *preliminary plat* for *Breezy Hill, Phase XII*, staff would recommend the following conditions:

- 1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- 2) The developer shall construct a ten (10) foot sidewalk along John King Blvd; and
- 3) Any construction resulting from the approval of this *preliminary plat* shall conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History

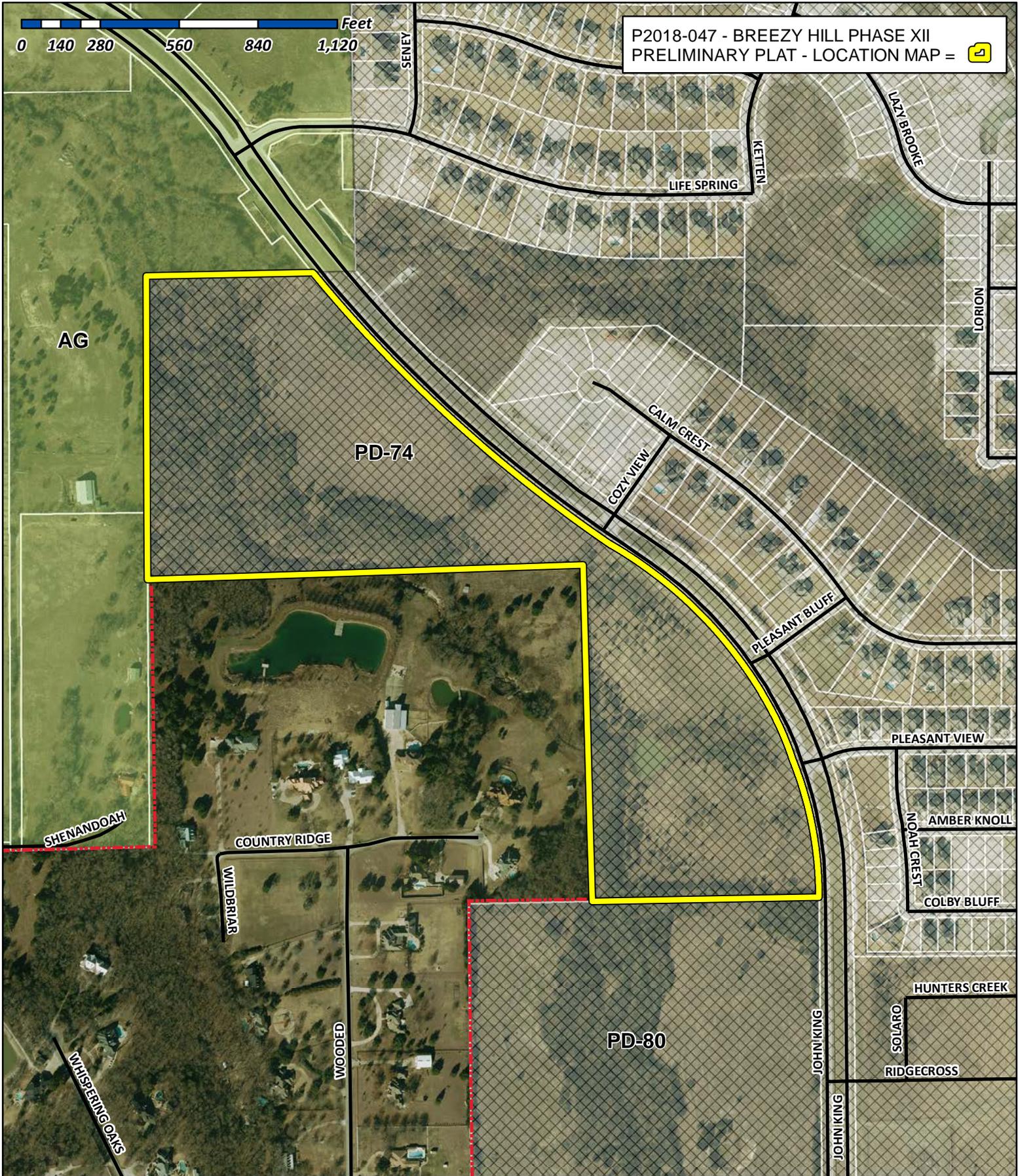


Project Number P2018-047	Owner BREEZY, HILL 405 LTD	Applied 12/17/2018	LM
Project Name Breezy Hill Phase XII	Applicant CORWIN ENGINEERING, INC.	Approved	
Type PLAT		Closed	
Subtype PRELIMINARY		Expired	
Status Staff Review		Status	
 Site Address N JOHN KING BLVD		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision	Tract 7-1	Block NULL	Lot No 7-1
		Parcel No 0187-0000-0007-01-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/17/2018	12/24/2018	12/18/2018	1	APPROVED	
ENGINEERING	Amy Williams	12/17/2018	12/24/2018				
FIRE	Ariana Hargrove	12/17/2018	12/24/2018	12/19/2018	2	APPROVED	
GIS	Lance Singleton	12/17/2018	12/24/2018	12/18/2018	1	APPROVED	
PLANNING	Korey Brooks	12/17/2018	12/24/2018	12/27/2018	10	COMMENTS	Comments

P2018-047 Breezy Hill, Phase XII
Please address the following comments (M= Mandatory Comments; I = Informational Comments).

- I.1 This is a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of BH West Pods, LTD for the approval of a preliminary plat for Breezy Hill, Phase XII containing 35 single-family residential lots on 44.525-acres of land identified as a portion of Tract 7-1 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 74 (PD-74) for Single Family 10 (SF-10) District land uses, located west of the intersection of John King Boulevard and Cozy View Drive
- I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
- M.3 For reference, include the case number (P2018-047) in the lower right hand corner of all pages on future submittals.
- M.4 Please provide lot types on table
- M.5 For Lots 2, 3, and 6, Block C, please show frontage at the build line, not the property line (since the frontages are curved).
- M.6 If all of the Lots are Type D as the concept plan shows, Lots 11, 12, 13, 14, 15, 16, Block A, do not meet 100-foot frontage.
- I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 2019. The Planning and Zoning Meeting for this case is January 15, 2019. Park Board Meeting for this case is January 3, 2018.
- I.8 The projected City Council meeting date and subsequent approval for this plat is January 23, 2019.

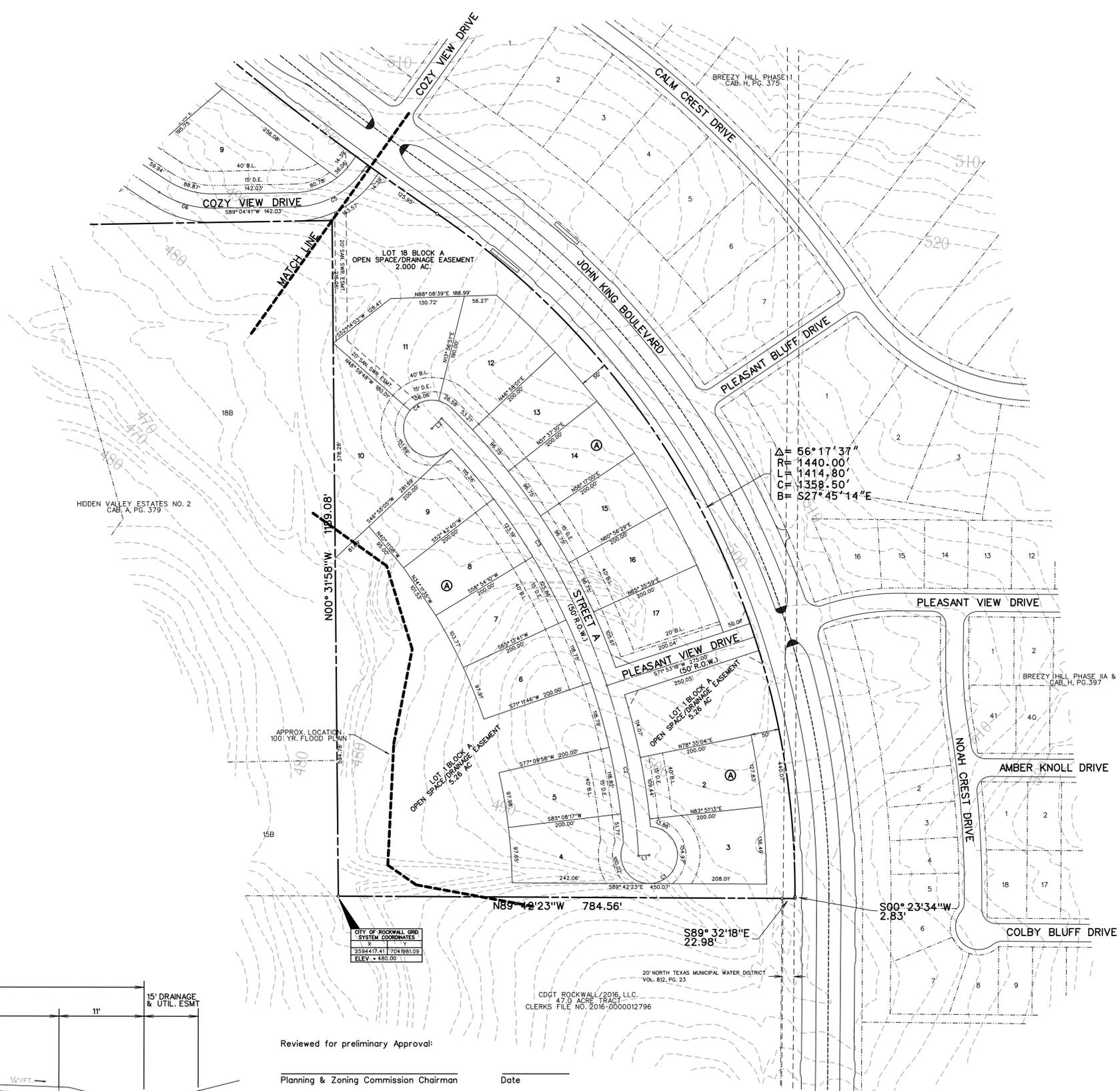
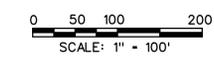


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- LEGEND**
- B.L. - BUILDING LINE
 - D.E. - DRAINAGE EASEMENT
 - U.E. - UTILITY EASEMENT
 - R.O.W. - RIGHT OF WAY
 - H.O.A. - HOMEOWNERS ASSOCIATION

- NOTES:**
- ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
 - HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.

PRELIMINARY PLAT
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES

OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

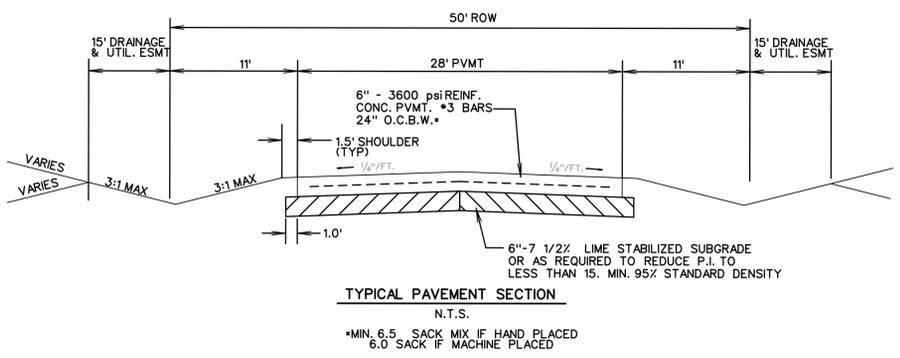
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH WEST PODS, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential/Lot Type DJ

TOTAL ACRES	44.525
TOTAL RESIDENTIAL LOTS	35
DENSITY	1.272

NOVEMBER 2018 SCALE 1" = 100'



Reviewed for preliminary Approval:
Planning & Zoning Commission Chairman _____ Date _____

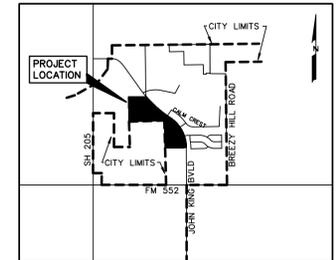
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall, on the _____ of _____, 2018.
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

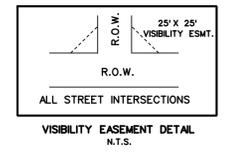
CDGT ROCKWALL 2016, L.L.C.
47.0 ACRE TRACT
CLERKS FILE NO. 2016-000012796
20' NORTH TEXAS MUNICIPAL WATER DISTRICT
VOL. 812, PG. 23

CITY OF ROCKWALL GRID
SYSTEM COORDINATES
X = 2584417.41
Y = 7041881.09
ELEV. = 480.00

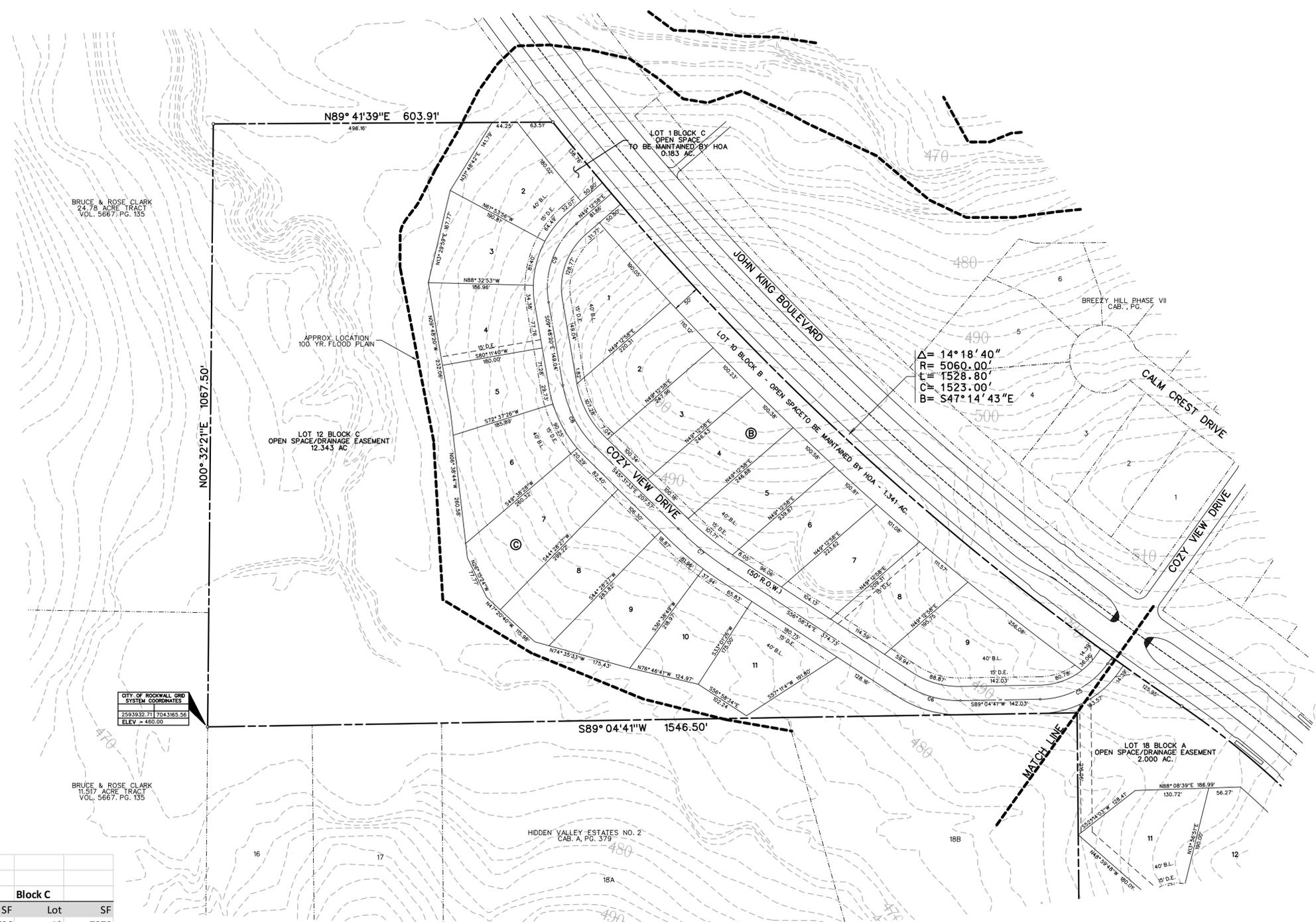
0 50 100 200
SCALE: 1" = 100'



LOCATION MAP
N.T.S.



ALL STREET INTERSECTIONS
VISIBILITY EASEMENT DETAIL
N.T.S.



$\Delta = 14^\circ 18' 40''$
 $R = 5060.00'$
 $T = 1528.80'$
 $C = 1523.00'$
 $B = S47^\circ 14' 43'' E$

CITY OF ROCKWALL GRID SYSTEM COORDINATES
250+932.71 704+365.56
ELEV. = 480.00

CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	67°48'17"	50.00'	254.99'	55.78'	N58°48'45"E
2.	15°01'41"	1165.0'	305.57'	304.69'	S10°35'52"E
3.	27°29'00"	1165.0'	558.82'	553.48'	N31°51'12"W
4.	91°15'24"	50.00'	234.52'	71.48'	S00°02'00"W
5.	53°33'09"	150.00'	140.20'	135.15'	S62°18'06"W
6.	33°56'45"	175.00'	103.68'	102.17'	N73°56'57"W
7.	11°27'01"	575.00'	114.91'	114.72'	N51°15'04"W
8.	35°43'13"	200.00'	124.69'	122.68'	N27°39'57"W
9.	59°01'19"	150.00'	154.52'	147.78'	N19°42'19"E

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 86°54'29" E	18.91'
2.	S 44°24'18" W	25.00'
3.	S 35°31'32" W	14.21'

BREEZY HILL PHASE XII					
Block A		Block B		Block C	
Lot	SF	Lot	SF	Lot	SF
1*	229342	1	29726	1*	7970
2	23726	2	26401	2	26280
3	21698	3	24702	3	22572
4	22125	4	24629	4	23530
5	21679	5	24499	5	20434
6	21665	6	23160	6	28777
7	22962	7	21629	7	33213
8	22570	8	22265	8	31489
9	21105	9	35673	9	29368
10	35842	10	58442	10	21585
11	28263			11	24761
12	27746			12*	537688
13	20978				
14	20975				
15	20975				
16	20975				
17	23317				
18*	87122				

* Denotes Open Space

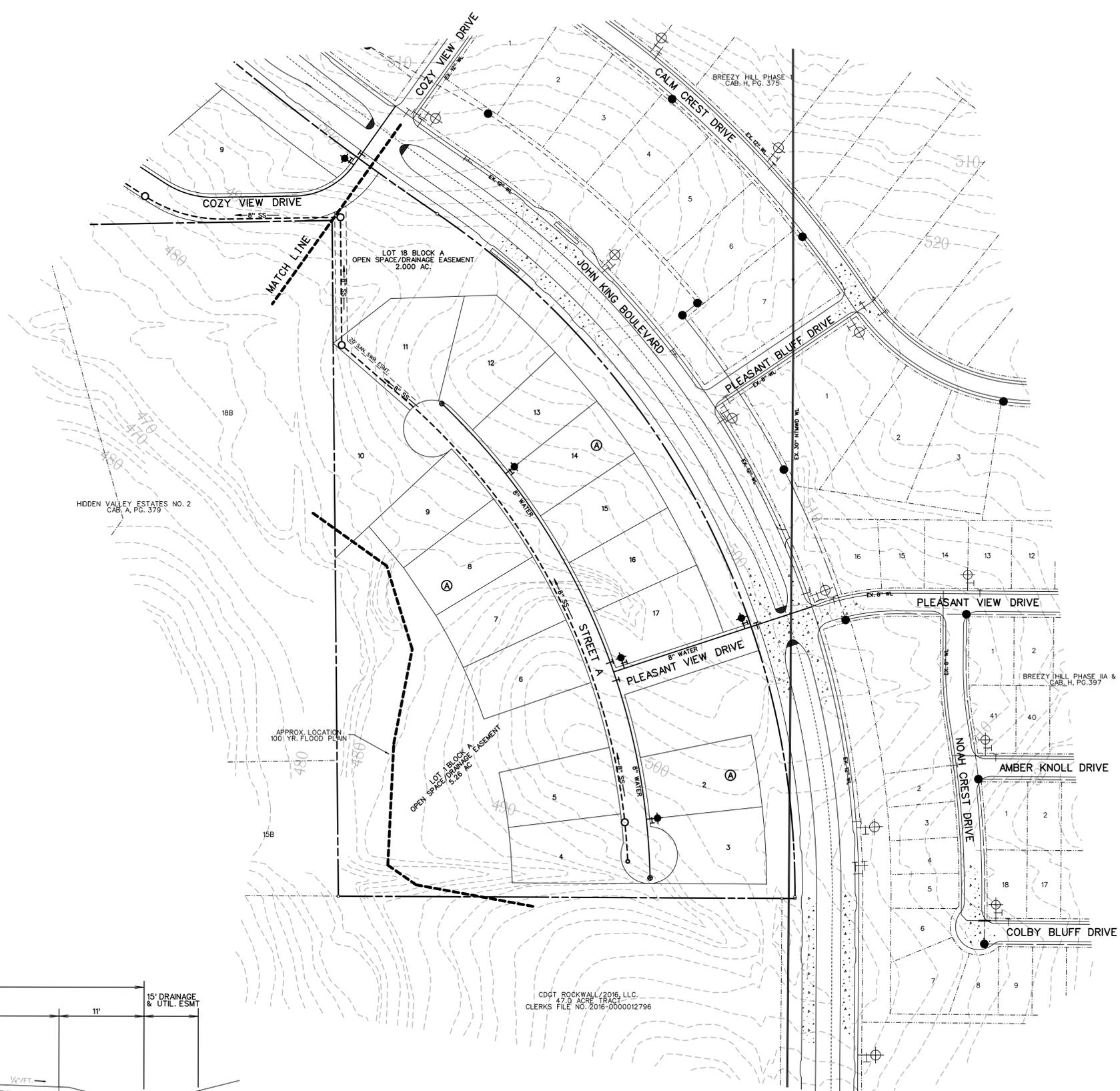
LEGEND
B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
U.E. - UTILITY EASEMENT
R.O.W. - RIGHT OF WAY
H.O.A. - HOMEOWNERS ASSOCIATION

NOTES:
ALL OPEN SPACE AREAS WILL BE MAINTAINED BY THE HOA.
HOA/PROPERTY OWNER TO MAINTAIN, REPLACE, AND REPAIR ALL DRAINAGE, DETENTION, AND OPEN SPACE EASEMENTS AND LOTS.

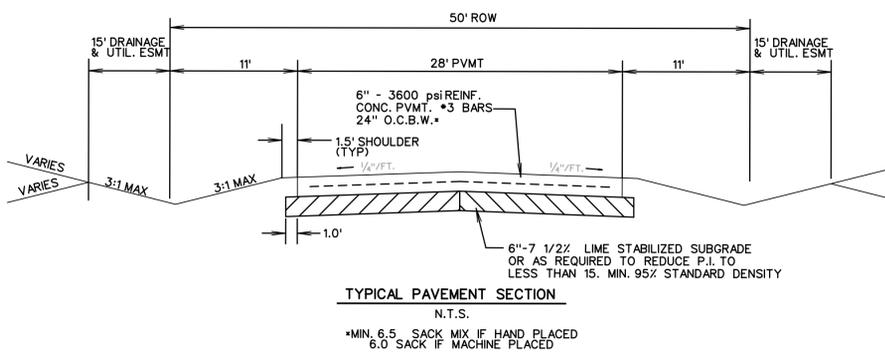
Zoning: Planned Development District (PD-74)
Single Family Residential (Lot Type DJ)
TOTAL ACRES 44.525
TOTAL RESIDENTIAL LOTS 35
DENSITY 1.272

PRELIMINARY PLAT
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH WEST PODS, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
NOVEMBER 2018 SCALE 1" = 100'

0 50 100 200
SCALE: 1" = 100'



CDGT ROCKWALL 2016, LLC.
47.0 ACRE TRACT
CLERKS FILE NO. 2016-000012796



PRELIMINARY
WATER & SANITARY SEWER PLAN
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES

OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

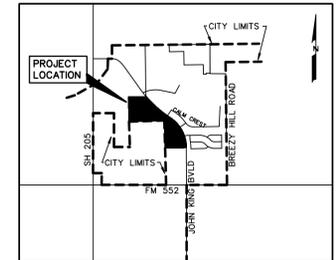
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214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential (Lot Type C, F & G)

TOTAL ACRES	44.525
TOTAL RESIDENTIAL LOTS	35
DENSITY	1.272

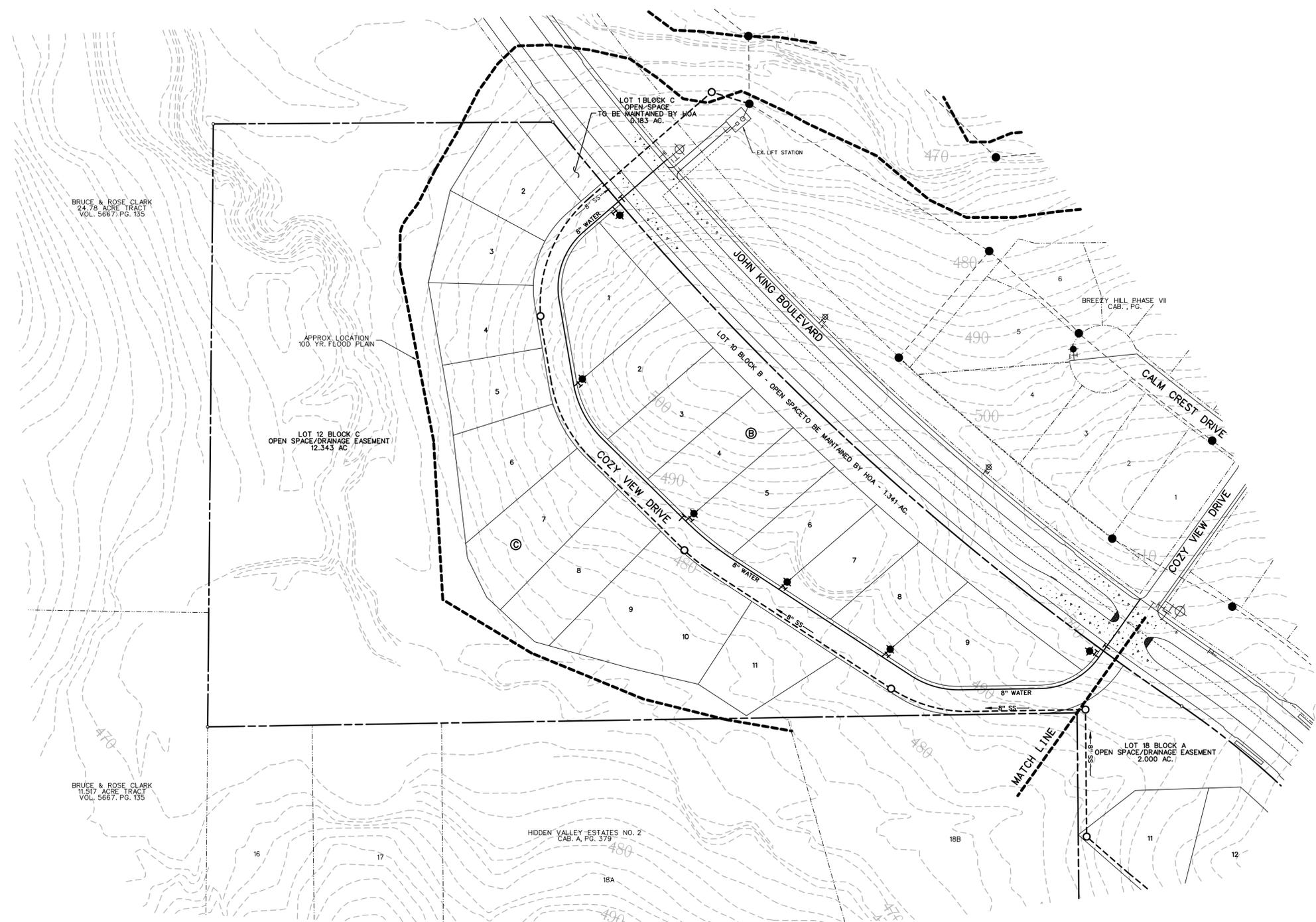
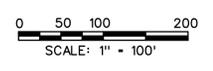
NOVEMBER 2018 SCALE 1" = 100'



LOCATION MAP
N.T.S.

LEGEND

- PROP. WATER LINE
- PROP. FIRE HYDRANT AND VALVE
- PROP. GATE VALVE
- PROP. FLUSH VALVE
- EXIST. WATER LINE
- EXIST. FIRE HYDRANT AND VALVE
- PROP. SANITARY SEWER
- PROP. MANHOLE
- PROP. CLEANOUT
- EXIST. SANITARY SEWER
- EXIST. MANHOLE
- PROP. STORM SEWER
- PROP. CURB INLETS
- PROP. CONC. HEADWALL

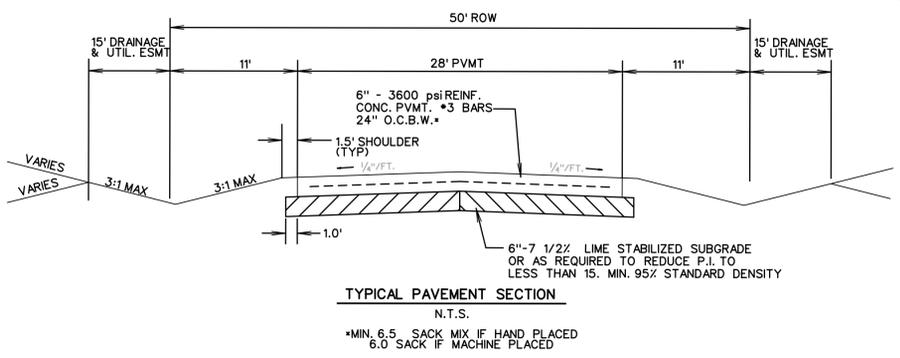
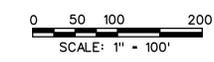


PRELIMINARY
WATER & SANITARY SEWER PLAN
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES
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972-396-1200

Zoning: Planned Development District (PD-74)
Single Family Residential (Lot Type DJ)

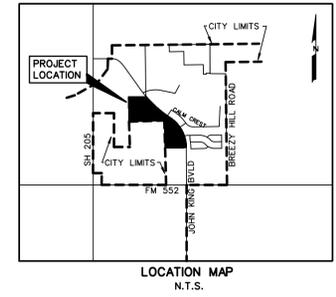
TOTAL ACRES	44.525
TOTAL RESIDENTIAL LOTS	35
DENSITY	1.272

NOVEMBER 2018 SCALE 1" = 100'

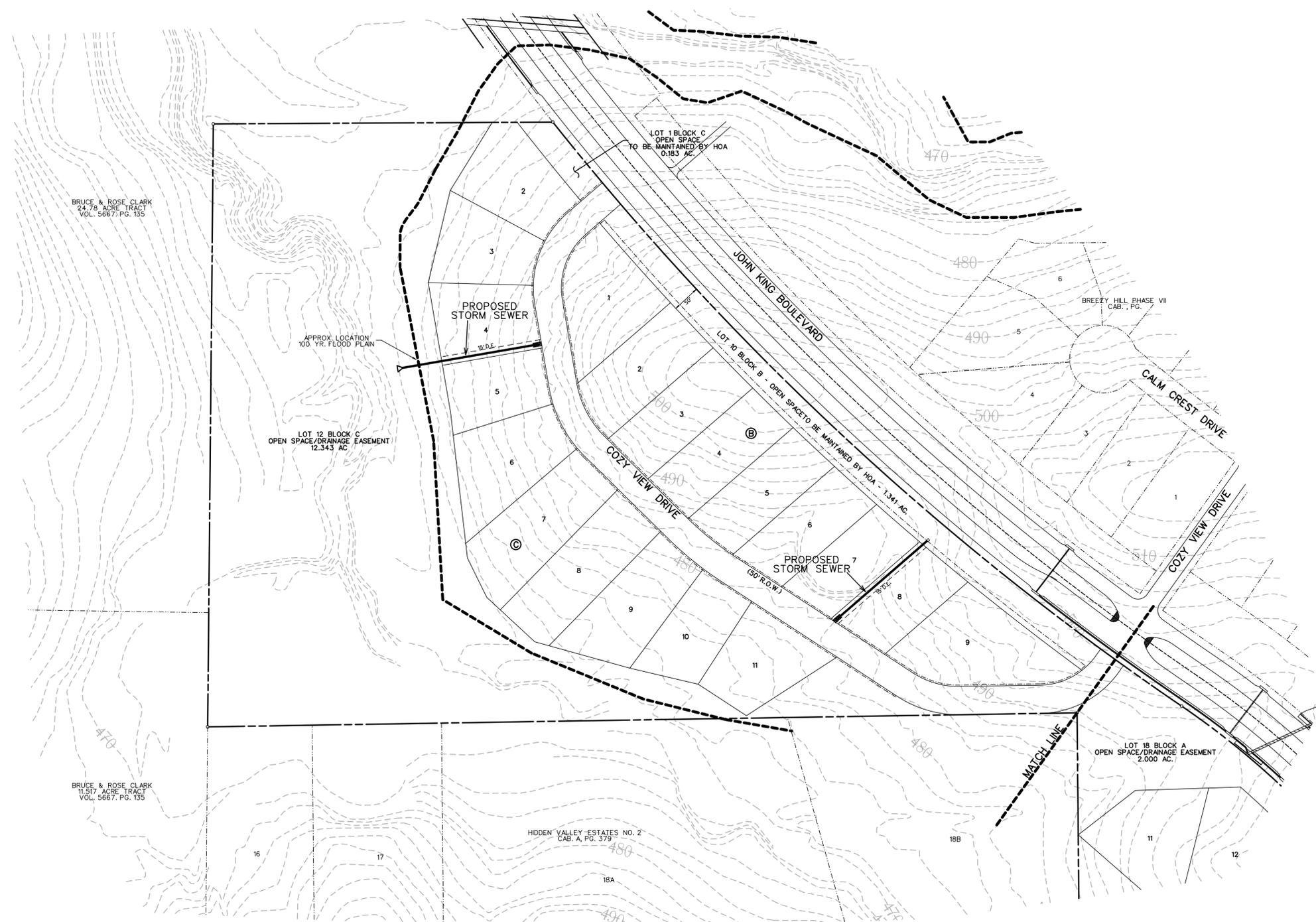
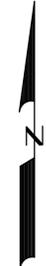


PRELIMINARY
DRAINAGE PLAN
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES
OUT OF THE
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CDGT ROCKWALL 2016, L.L.C.
47.8 ACRE TRACT
CLERKS FILE NO. 2016-000012796



0 50 100 200
SCALE: 1" = 100'



LEGEND

	PROP. STORM SEWER
	PROP. CURB INLETS
	PROP. CONC. HEADWALL

PRELIMINARY
DRAINAGE PLAN
OF
BREEZY HILL PHASE XII
LOTS 1-17, BLOCK A
LOTS 1-9, BLOCK B
LOTS 1-11, BLOCK C
BEING 44.525 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER
BH WEST PODS, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

NOVEMBER 2018 SCALE 1" = 100'

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/15/2019

APPLICANT: Kyle Jenkins; *Jenkins Organization*

AGENDA ITEM: **Z2018-055**; *SUP for Mini-Warehouse*

SUMMARY:

Hold a public hearing to discuss and consider a request by Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky of 7.1 Ridge, LLC for the approval of a Specific Use Permit (SUP) for a Mini-Warehouse facility on a 2.595-acre tract of land being a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located southwest of the intersection of W. Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

PURPOSE AND CHARACTERISTICS OF THE REQUEST:

The applicant is requesting approval of a Specific Use Permit (SUP) to allow a *mini-warehouse* (i.e. *Lakeview Storage*) in a Commercial (C) District. The proposed mini-warehouse will be three (3) stories, ~126,600 SF, and contain 800 climate-controlled units. According to the applicant, the mini-warehouse will be constructed to resemble an office building, and is intended to blend in with the surrounding buildings. The facility will be accessible from 6 AM to 10 PM. The majority of the units will be accessed from internal corridors and any exterior doors will be limited to the rear building elevation. The applicant has also stated that the existing tree line will be preserved to provide a natural buffer from the residential properties to the northwest.

According to Section 1.01, *Use of Land and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) a mini-warehouse facility is permitted in a Commercial (C) District by Specific Use Permit (SUP). Furthermore, section 2.1.10, *Wholesale, Distribution, and Storage*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) details the specific land use requirements for a *mini-warehouse facility*. The following is a summary of the applicant's proposal and its compliance to these land use requirements:

<i>Code Requirement</i>	<i>Proposed Plan</i>	<i>Compliance</i>
The maximum site area shall not exceed five (5) acres.	2.6-Acres	In Conformance
The maximum number of storage units shall not exceed 125 units per acre.	800 total units.	<i>Not In Conformance¹</i>
The maximum height shall not exceed one (1) story, except for the residential unit which shall be less than 36-feet.	The proposed buildings is three (3) stories and ~34-feet in height	<i>Not In Conformance</i>
The minimum number of parking spaces required is two (2). Parking requirement is three (3) spaces plus one (1) per 100 units.	11 parking spaces are required and 11 parking spaces are provided.	In Conformance
No direct access from FM740, SH205, SH66, SH276, FM3097, FM552, FM549 or John King Boulevard.	The concept plan shows one (1) driveway on FM-740.	<i>Not In Conformance</i>
Overhead doors shall not face adjacent streets.	The buildings are not visible from any adjacent streets or roadways.	In Conformance

All exterior walls facing the front, side and rear property lines shall be 100% brick construction.	All exterior walls facing the street will incorporate brick.	In Conformance
The front, side and rear building setback areas shall incorporate clustered landscaping.	The concept rendering shows clustered landscaping along the perimeter of the facility.	In Conformance
Gates shall be incorporated limiting access to the facility.	Wrought iron gates are being proposed.	In Conformance
Screening fences shall be wrought iron or masonry.	Landscape screening and wrought Iron fencing are shown on the site plan.	In Conformance
Concrete shall be used for all paving.	All paving will be concrete.	In Conformance
Roof shall have a minimum roof pitch of 1:3 and be constructed with metal standing seam.	The applicant is proposing to utilize a flat roof design.	<i>Not In Conformance</i>
Lighting standards shall be limited to a maximum of 20-feet in height.	Will be handled at the time of site plan submittal on the Photometric Plan. The SUP Ordinance include this requirement under the Operational Conditions.	Photometric Plan (Site Plan)
A single residential unit not exceeding 1,600 SF in size is permitted.	There will be no residential unit.	In Conformance
Outside Storage shall be prohibited.	The site will not have outside storage.	In Conformance

Notes:

¹: At 2.6-acres a maximum of 325 units are permitted.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are all follows:

- North:** Directly north of the subject property is a vacant tract of land zoned Commercial (C) District followed by a railroad (*i.e. Union Pacific/Dallas Garland N. E.*). Beyond this is a single-family residential subdivision (*i.e. Lakeridge Park*). This area is zoned Single-Family 10 (SF-10) District.
- South:** Directly south of the subject property is Ridge Road [FM 740], which is identified as a *M4D (Major Collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan. Beyond this is an office building and several commercial businesses (*e.g. Big D Auto Care, Wal-Mart, etc.*) This area is zoned Commercial (C) District.
- East:** Directly east of the subject property a vacant tract of land followed by Ridge Road [FM-740], which is identified as a *M4D (Major Collector, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan. Beyond this are several commercial businesses (*e.g. Little Caesar's, Everybody Massage, etc.*) These areas are zoned Commercial (C) District.
- West:** Directly west of the subject property is a house of worship (*i.e. Great Faith Church*) and several commercial businesses (*e.g. State Farm, Family Dental, etc.*) followed by a railroad (*i.e. Union Pacific/Dallas Garland N. E.*). Beyond this is a single-family residential subdivision (*i.e. Turtle Cove Subdivision*). This area is zoned Planned Development District 2 (PD-2) for single-family land uses.

STAFF ANALYSIS:

When looking at the requirements contained in the Unified Development Code (UDC), it is important to note that these requirements were drafted with the intent of regulating campus style mini-warehouse facilities. Campus style mini-warehouse facilities typically incorporate multiple buildings that are generally one (1) story in height, and have non-climate controlled storage

units accessible from the exterior of the building. Due to the mini-warehouse requirements, the applicant is seeking variances to the number of units per acre, the maximum number of stories, the pitched roof requirement, and to allow direct access from Ridge Road [FM-740]. The facility proposed by the applicant is a compact design, which allows more units in a smaller footprint. Although the proposed building is three (3) stories, the proposed building is ~34-feet in height, which conforms to the maximum height requirement of 36-feet. Additionally, only two (2) stories will be visible from Ridge Road [FM-740]. The proposed facility is intended to have the appearance of an office building with all units being climate controlled and accessible from the interior of the building. Specifically, the proposed structure is three (3) stories in height--in which only two (2) stories are visible from Ridge Road--and utilizes a flat roof design with a parapet (more typical of an office or commercial development). Since these do not meet the mini-warehouse requirements, variances are required. The proposed driveway shown on the concept plan will require permission from TxDOT as well as a traffic impact analysis (TIA) at the time of site plan. In addition, the applicant is proposing to limit the hours of operation from 6:00 AM to 10 PM, which is consistent to a non-residential land use. The mini-warehouse land use is considered to be a lower-intensity land use that does not generate high volumes of traffic (*i.e. ~15-20 visitors per day according to the applicant*). With that being said, the three (3) requirements not in compliance with the Unified Development Code (UDC) do not appear to negatively impact the surrounding developments. Additionally, the proposed design of the facility (*i.e. appearance of an office building*) provides for easier redevelopment opportunities than the traditional campus style mini-warehouse facilities should the use transition in the future. Staff should note, approval of the applicant's request is a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission. Should this request be approved, the applicant will be required to submit a site plan, landscape plan, photometric plan, and building elevations to the Architectural Review Board (ARB) and the Planning and Zoning Commission. Attached is a concept plan and building elevations, and conformance to these plans is a requirement of the draft ordinance.

NOTIFICATION:

On December 28, 2018, staff sent 77 notices to property owners and residents within 500-feet of the subject property. Additionally, staff notified the Lakeside Village and Turtle Cove Homeowner's Associations (HOA's) which are the only HOA's/Neighborhood Associations within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property as required by the UDC. At the time this report was drafted, staff had not received any notices concerning this case.

RECOMMENDATIONS:

Should the Planning and Zoning Commission and City Council choose to approve the Specific Use Permit (SUP) request, the following conditions of approval should be adopted with this case:

1. The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and summarized as follows:
 - a) The development shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the attached ordinance.
 - b) The building elevations shall generally conform to the *Concept Building Elevations* depicted in *Exhibit 'C'* of the attached ordinance.
 - c) The maximum number of storage units provided shall not exceed 800 units for the facility.

- d) The maximum number of floors is limited to three (3) stories.
 - e) The mini-warehouse facility shall not be greater than 36-feet in height.
 - f) No outside storage of any kind shall be allowed (*including the outside storage of boats, recreational vehicles, trailers, and motor or self-propelled vehicles*).
 - g) Businesses shall not be allowed to operate within individual storage units.
 - h) The commercial operation of rental trucks and trailers shall be prohibited.
 - i) The developer shall maintain the treeline adjacent to the northwest property line.
2. Any construction or building necessary to complete this request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number Z2018-055	Owner 7.1 Rigde, LLC, Micheal Swiercinsky	Applied 12/12/2018 DMA
Project Name SUP for Mini Warehouse	Applicant MAXWELL J FISHER, AICP / KYLE JENKINS	Approved
Type ZONING		Closed
Subtype SUP		Expired
Status Staff Review		Status

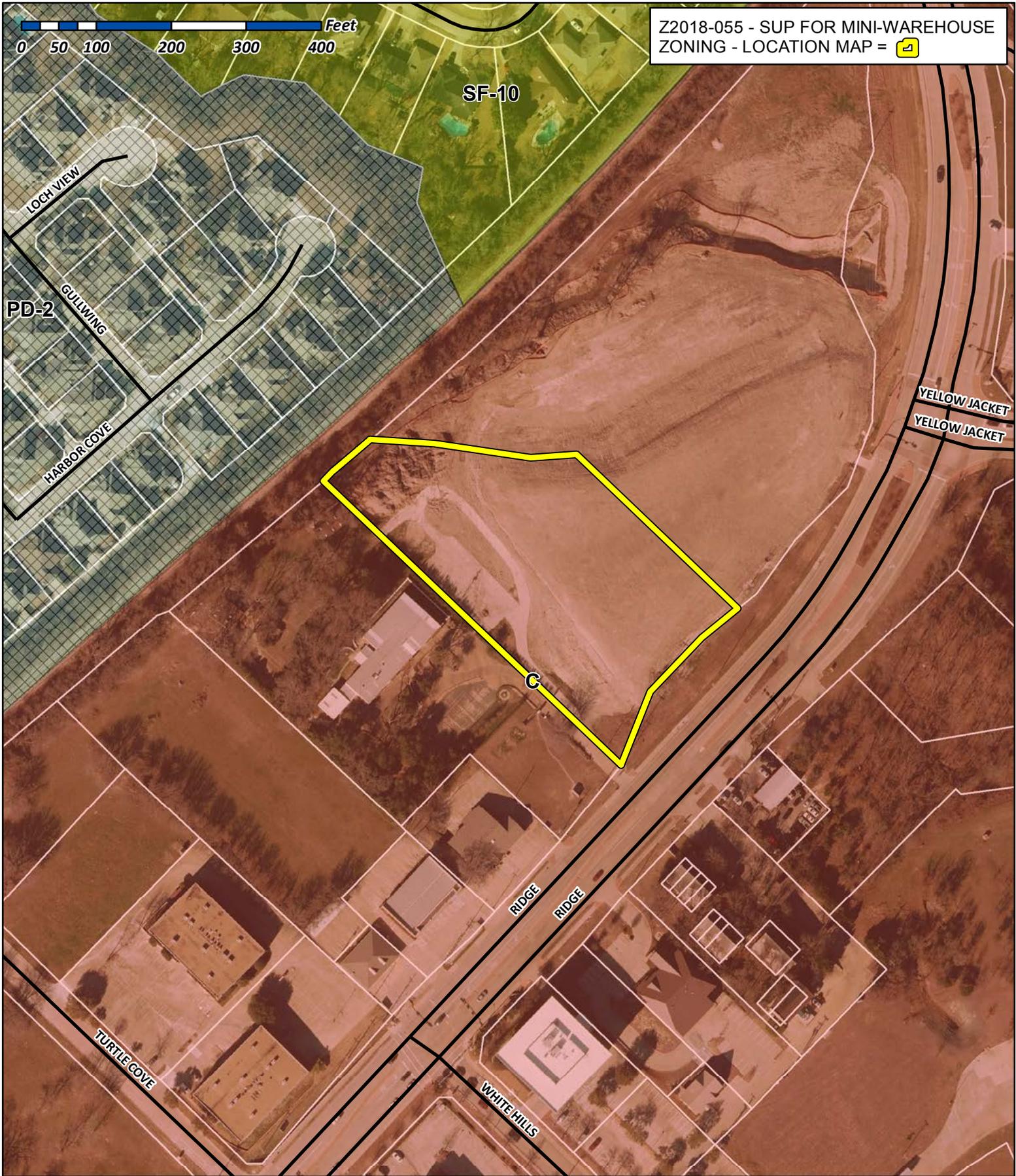
Site Address FM740 & Yellow Jacket	City, State Zip ROCKWALL, TX 75087	Zoning
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Subdivision	Tract	Block	Lot No	Parcel No	General Plan
	19	NULL	19	0064-0000-0019-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/12/2018	12/19/2018	12/18/2018	6	APPROVED	
ENGINEERING	Sarah Hager	12/12/2018	12/19/2018	12/20/2018	8	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(12/20/2018 3:24 PM SH)							
<ul style="list-style-type: none"> - Dumpster to drain to an oil/water separator. - There are no existing manholes in the sewer easement shown. Any proposed manholes in the floodplain must be 2' above the floodplain elevation and must be sealed. - Will there be a domestic water meter for the project. - Driveway spacing is minimum 360'. Label the spacing shown. - There is not an existing driveway so a TxDOT permit and Traffic Impact Analysis are required. - Extending the wall onto the neighboring property will require approval from the property owner. - No grate inlets allowed. Inlets in paving must be curb inlets or Y-inlets. - Engineer must size the culvert under the driveway and the headwalls must be outside of the curb return. - Label the existing sewer easement width and the instrument number for the easement. - Curve radius for the driveway must be 30' Radius for the fire trucks. <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees. - Impact fees - Fire Lane to be 24' min, 20' curve radii. - Parking is 20'x9' min. - Min 20' utility easements. - No structures or walls in easements. - No trees within 5' of public utilities. - Retaining walls 3' and over must be designed by a licensed engineer. All walls to be rock or stone. No smooth concrete walls. - Finish pad elevation must be 2' above floodplain elevation. - Paving must be 1' above floodplain elevation. - Max Slope is 4:1 (25%) - Lot must be replatted. - TxDOT driveway permit and Traffic Impact Analysis required. - \$10/LF sidewalk pro-rata due along FM 740. - Must meet all City Engineering Standards. 							
FIRE	Ariana Hargrove	12/12/2018	12/19/2018	12/19/2018	7	APPROVED	
PLANNING	Korey Brooks	12/12/2018	12/19/2018	12/27/2018	15	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2018-055 SUP FOR MINI_WAREHOUSE						
Please address the following comments (M= Mandatory Comments; I = Informational Comments).						
I.1 This a request by Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky of 7.1 Ridge, LLC for the approval of a Specific Use Permit (SUP) for a Mini-Warehouse facility on a 2.595-acre tract of land being a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located southwest of the intersection of W. Yellow Jacket Lane and Ridge Road [FM-740]						
I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2018-055) in the lower right hand corner of all pages on future submittals.						
M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting.						
I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 20019. The Planning and Zoning Meeting for this case is January 15, 2019 2018.						
I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.						



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

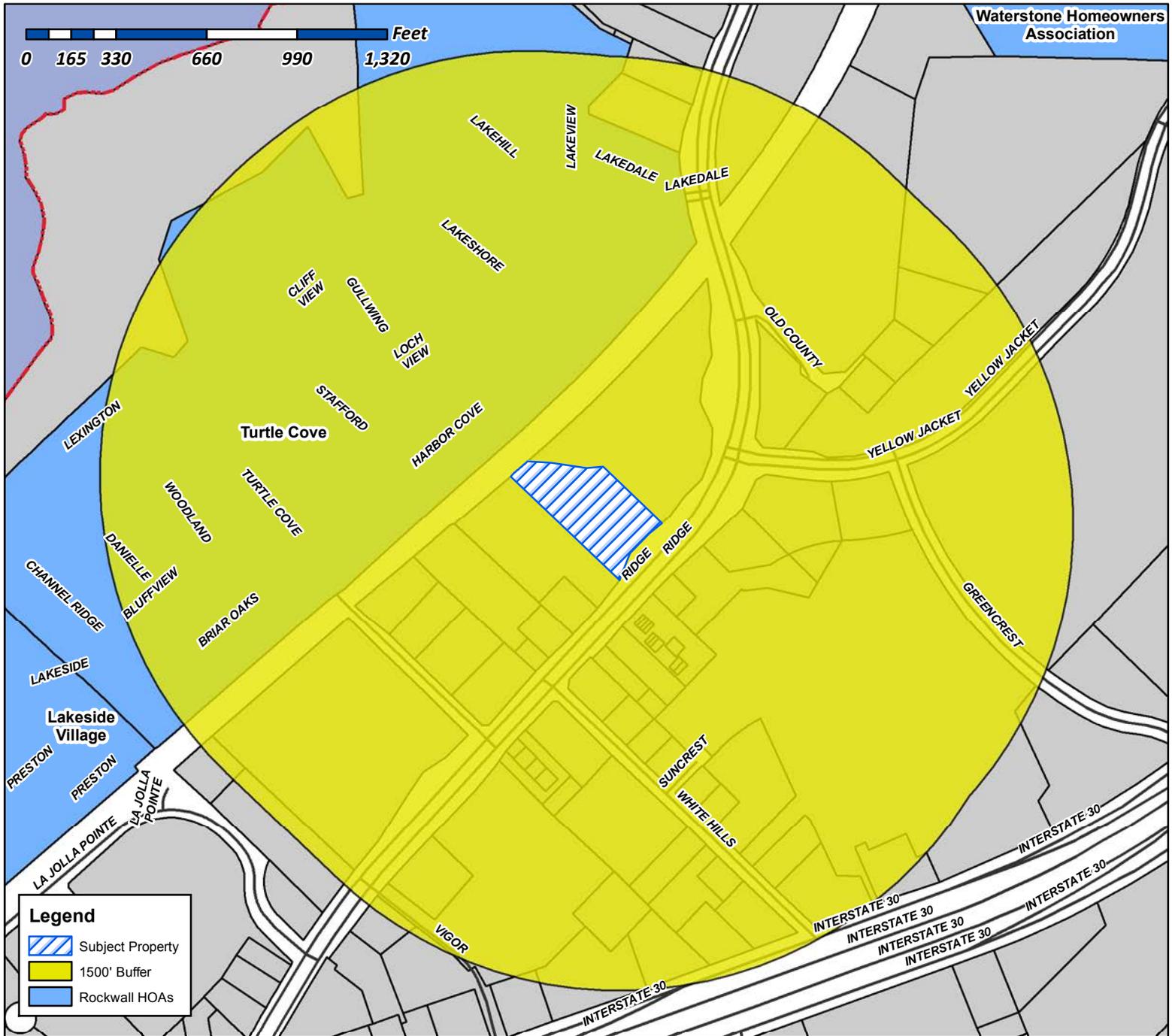




City of Rockwall

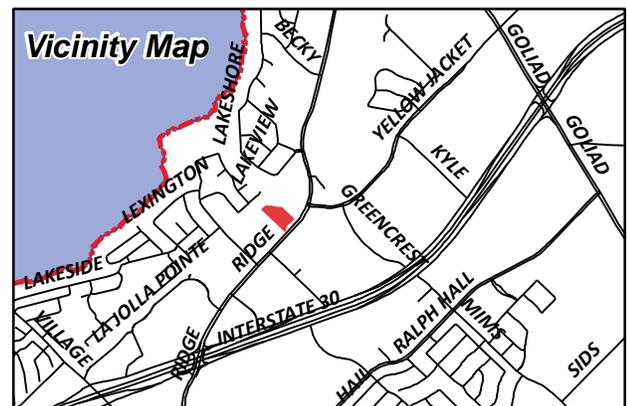
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2018-055
Case Name: SUP for a Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: SWC of the Intersection of Ridge Road and Yellow Jacket Lane

Date Created: 12/17/2018
For Questions on this Case Call (972) 771-7745



From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Friday, December 28, 2018 2:40:55 PM
Attachments: [Z2018-HOA Map.pdf](#)
[PUBLIC NOTICE.pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **December 28, 2018**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 1/15/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Tuesday 1/22/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

Z2018-055- Hold a public hearing to discuss and consider a request by Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky of 7.1 Ridge, LLC for the approval of a Specific Use Permit (SUP) for a Mini-Warehouse facility on a 2.595-acre tract of land being a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located southwest of the intersection of W. Yellow Jacket Lane and Ridge Road [FM-740], and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

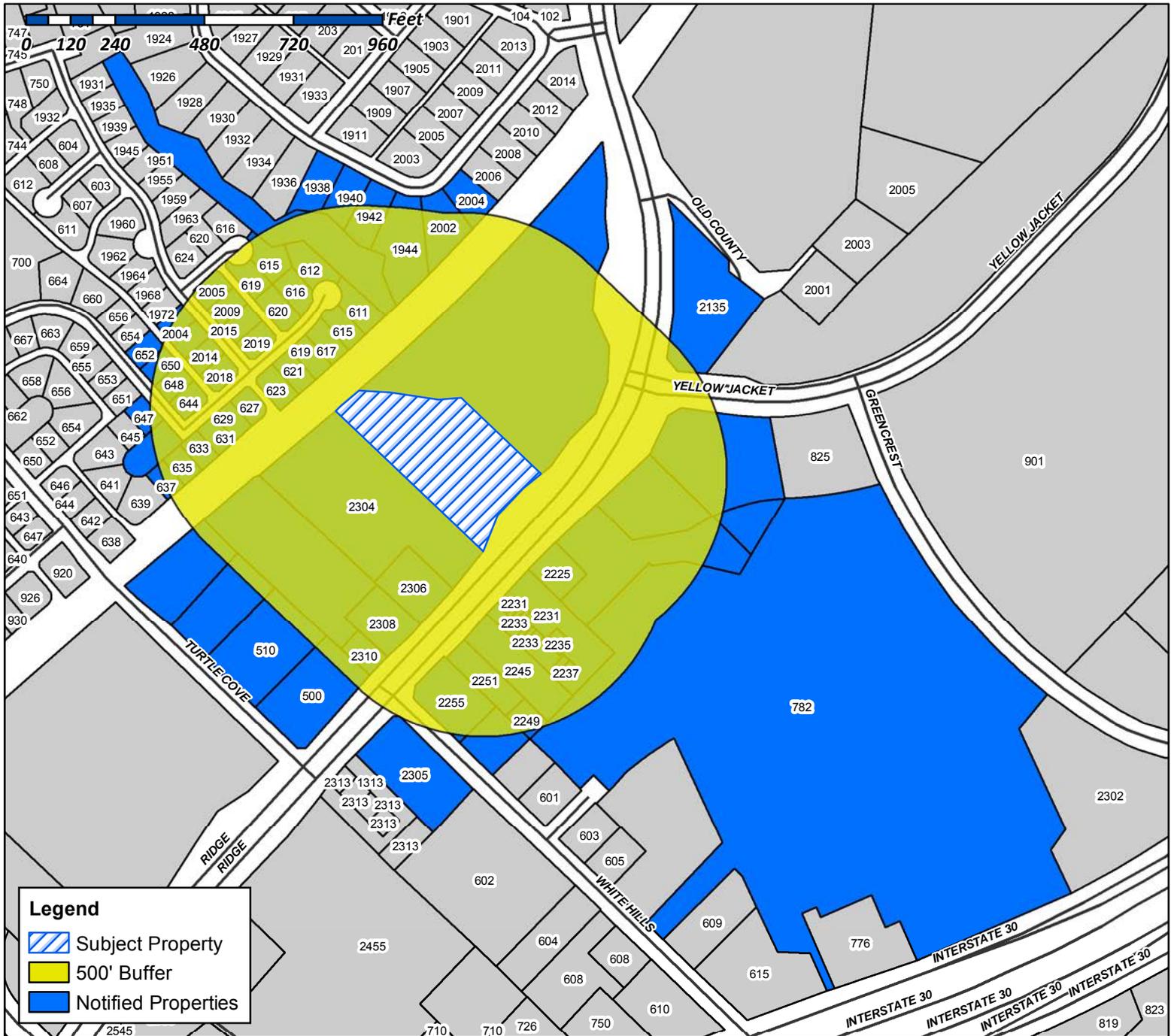
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
lmorales@rockwall.com | <http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

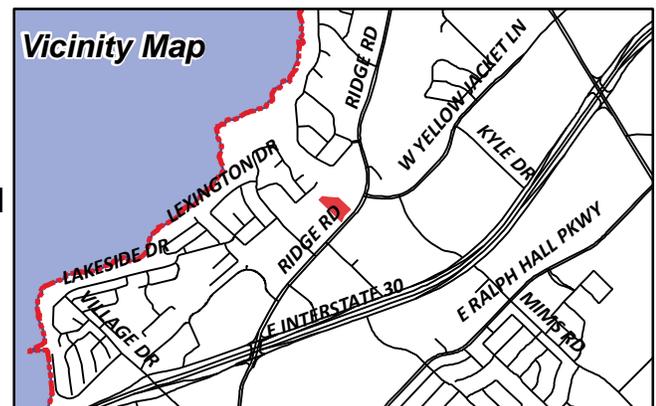
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Case Number: Z2018-055
Case Name: SUP for a Mini-Warehouse
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: SWC of the Intersection of Ridge Road and Yellow Jacket Lane

Date Created: 12/12/2018

For Questions on this Case Call (972) 771-7745



7.1 RIDGE LLC
106 E RUSK SUITE 200
ROCKWALL, TX 75087

ONE RIDGE PLACE LP
1121 E SPRING CREEK PKWY STE 110-312
PLANO, TX 75074

VANDERSLICE ROBERT
1408 S LAKESHORE DR
ROCKWALL, TX 75087

JARA PARTNERS LTD
1425 HUNTERS GLEN
ROYSE CITY, TX 75189

FRANK RUSSELL
15 PRINGLE LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1710 WEISKOPF DR
ROCKWALL, TX 75032

CURRENT RESIDENT
1721 FAIR OAKS LN
ROYSE CITY, TX 75189

WHITE JUDY GAIL
1807 BAYHILL DR
ROCKWALL, TX 75087

STORMS STEWART M
1938 S LAKESHORE DR
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E
1940 S LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1942 LAKESHORE DR
ROCKWALL, TX 75032

PORTELE MICHAEL & PAIGE
1944 LAKESHORE DRIVE
ROCKWALL, TX 75087

BENTO SERGIO
2002 S LAKESHORE DR
ROCKWALL, TX 75087

CHAPMAN BOBBY E II
2004 GULLWING DR
ROCKWALL, TX 75087

CROSS STEVEN C
2004 S LAKESHORE DR
ROCKWALL, TX 75087

BOWLES MARK S II AND
2005 GULLWING DR
ROCKWALL, TX 75087

GIESE DIANE LYNN DOOLIN
2008 GULLWING DR
ROCKWALL, TX 75087

HAYNES NANCY W
2009 GULLWING DR
ROCKWALL, TX 75087

WILLIAMSON KEEGAN DANIEL AND TERRY KING
2014 GULLWING DR
ROCKWALL, TX 75087

LOTT CHERYL R
2015 GULLWING DR
ROCKWALL, TX 75087

HINKLE RONALD E AND DEBRA D
2018 GULLWING DRIVE
ROCKWALL, TX 75087

TANKERSLEY VICKI A
2019 GULLWING DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2135 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2231 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2233 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2235 RIDGE RD STE 200
ROCKWALL, TX 75087

CURRENT RESIDENT
2237 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2245 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2249 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2251 RIDGE RD
ROCKWALL, TX 75032

MMF INVESTMENTS LLC
2255 RIDGE RD SUITE 333
ROCKWALL, TX 75087

CURRENT RESIDENT
2304 RIDGE RD
ROCKWALL, TX 75032

HUDSPETH WARD
2304 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2305 RIDGE RD
ROCKWALL, TX 75032

MCKENNEY CARL K
2306 RIDGE RD STE 2
ROCKWALL, TX 75087

CURRENT RESIDENT
2308 RIDGE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
2310 RIDGE RD
ROCKWALL, TX 75032

MOUNTAINPRIZE INC
3225 CUMBERLAND BLVD SUITE 100
ATLANTA, GA 30339

CHACKO & ABRAHAM INVESTMENTS LLC
4102 NORWICH DRIVE
GARLAND, TX 75043

CURRENT RESIDENT
500 TURTLE COVE BLVD
ROCKWALL, TX 75032

CURRENT RESIDENT
510 TURTLE COVE BLVD
ROCKWALL, TX 75032

PSB INDEMNITY FAMILY LTD PTRN
510 TURTLE COVE BLVD STE 200
ROCKWALL, TX 75087

IN KYUNG H &
512 SUNSTONE DR
IRVING, TX 75060

GUERRIERO LISA HUDSPETH
537 STANFORD AVE
DALLAS, TX 75209

CURRENT RESIDENT
601 CARRIAGE TRL
ROCKWALL, TX 75087

COIT RIDGE PROPERTIES LLC
6031 SHERRY LN SUITE C
DALLAS, TX 75225

JORDAN MARK S
607 HIGHLAND COLONY PKWY SUITE 200
RICHLAND, MS 39157

BRUCE SCOTT L & CRISTINA V
611 HARBOR COVE DR
ROCKWALL, TX 75087

GIBSON ROBIN S & JOHN
612 HARBOR COVE DRIVE
ROCKWALL, TX 75087

FLORENCIA HECTOR J
615 HARBOR COVE DR
ROCKWALL, TX 75087

FEDDERSON WILLIAM R & PATRICIA L
615 LOCH VIEW COURT
ROCKWALL, TX 75087

BURMANIA DARLENE M & IAN J
616 HARBOR COVE DR
ROCKWALL, TX 75087

CHERRY BEVERLY A REVOCABLE LIVING TRUST
617 HARBOR COVE DR
ROCKWALL, TX 75087

GRIFFITH JOHN E IV & VIVIAN
619 HARBOR COVE DR
ROCKWALL, TX 75087

PRATT CHARLES A AND PATRICIA L
619 LOCH VIEW CT
ROCKWALL, TX 75087

SHAW STEPHANIE AND BRYAN
620 HARBOR COVE DR
ROCKWALL, TX 75087

ROTRAMEL CHRISTIE &
621 HARBOR COVE DR
ROCKWALL, TX 75087

SEAY KENNETH WAYNE & ELIZABETH CAUFIELD
623 HARBOR COVE DRIVE
ROCKWALL, TX 75087

LITHERLAND LORILEE
627 HARBOR COVE DR
ROCKWALL, TX 75087

RICE CARINE
629 HARBOR COVE DR
ROCKWALL, TX 75087

DELAY MANAGEMENT TRUST DELORES
631 HARBOR COVE DRIVE
ROCKWALL, TX 75087

BARROW KYLE
633 HARBOR COVE DR
ROCKWALL, TX 75087

ALFORD JIM AND BARBARA
635 STAFFORD CIR
ROCKWALL, TX 75087

PACHECO ENRIQUE AND JOANN T
637 STAFFORD CIR
ROCKWALL, TX 75087

LAYAN INVESTMENTS INC
6403 CRESTMOOR LN
SACHSE, TX 75048

LEBRESCU JODIE AND ROGER
644 STAFFORD CIRCLE
ROCKWALL, TX 75087

FISH WADE W
647 STAFFORD CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
648 STAFFORD CIR
ROCKWALL, TX 75032

WHITESIDE JANIS G
650 STAFFORD CIR
ROCKWALL, TX 75087

WEST WILLIAM MARSHALL &
652 STAFFORD CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75032

CURRENT RESIDENT
9615 COUNTY ROAD 2432
ROCKWALL, TX 75160

TURTLE COVE RESIDENTIAL ASSOC
C/O TURTLE COVE HOA 3102 OAK LAWN AVE
SUITE #202
DALLAS, TX 75219

DAIKER PARTNERS LTD.
PO BOX 1059
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

STORMS STEWART M
PO BOX 12632
DALLAS, TX 75225

WAL-MART REAL ESTATE
PO BOX 8050
BENTONVILLE, AR 72712

Letter of Explanation

TJO – Ridge Road & Yellow Jacket

On behalf of The Jenkins Organization, Masterplan requests a Specific Use Permit to construct a 3-story, approximately 126,600-square foot, upscale climate controlled self-storage facility on a 2.6-acre property located southwest of the intersection of Ridge Road and Yellow Jacket Lane. It is projected that the balance of the property to the north would be developed with a future neighborhood retail building.

TJO develops and operates best in class self storage facilities in affluent Texas communities such as Craig Ranch in McKinney, Southlake, Frisco, and Bee Cave in the Austin area. TJO is interested in developing a neighborhood friendly facility with excellent customer service in the Rockwall community.

The development proposal includes the following features:

1. Premium architecturally inspired building design
2. Vast majority of units would be accessed from interior corridors
3. Well-lit, safe and secure facility
4. Building will be positioned to minimize height from street and align with adjacent retail
5. Building will step down from Ridge Rd following the topography of the site
6. Low-traffic generator – 15 visitors per day
7. Hours of access and operation from Monday-Sunday 6AM-10PM.

The proposal includes a request for relief from certain provisions of the Unified Development Code as follows:

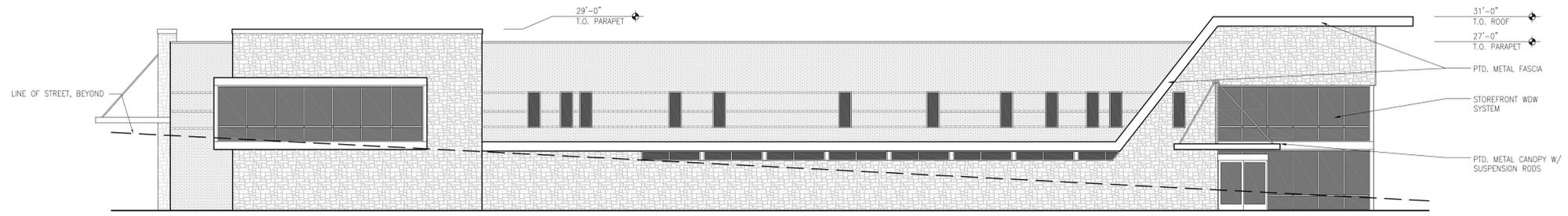
Pitched roof. TJO's building design is modern with clean lines. The roof would be flat with parapets to align with the overall modern design.

Perimeter screening adjacent to residential districts. The grade at the rear driveway will sit well below the grade of Turtle Cove. Moreover, the tree line will be preserved to provide a natural buffer from Turtle Cove to the northwest. Moreover, the elevated railroad berm provides a solid screen and fully blocks view of the subject property from Turtle Cove. A screening wall would sit well below the adjacent property, serving minimal to no purpose. Please refer to the enclosed sight line exhibit for additional information.

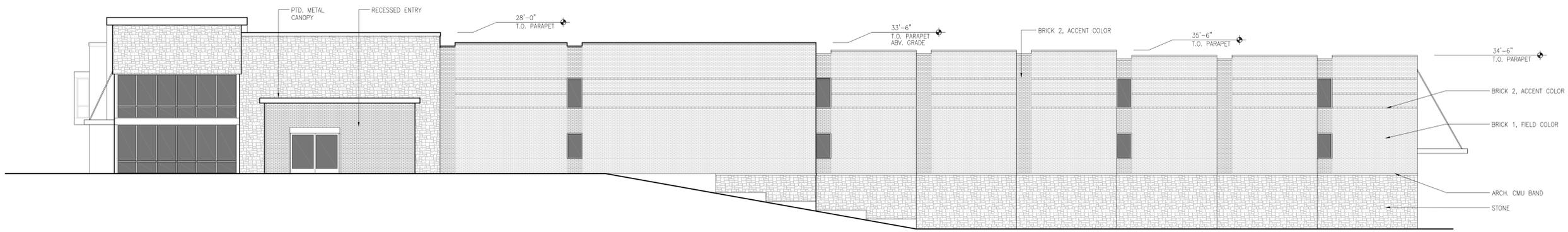
Floor-to-area ratio. A maximum floor-to-area ratio of 1.2. Use intensity for a self-storage facility is disproportionately low compared to other commercial uses. This facility would generate approximately 15-20 visitors spread out over an entire day.

One direct access point to Ridge Road. Access is necessary to serve the facility.

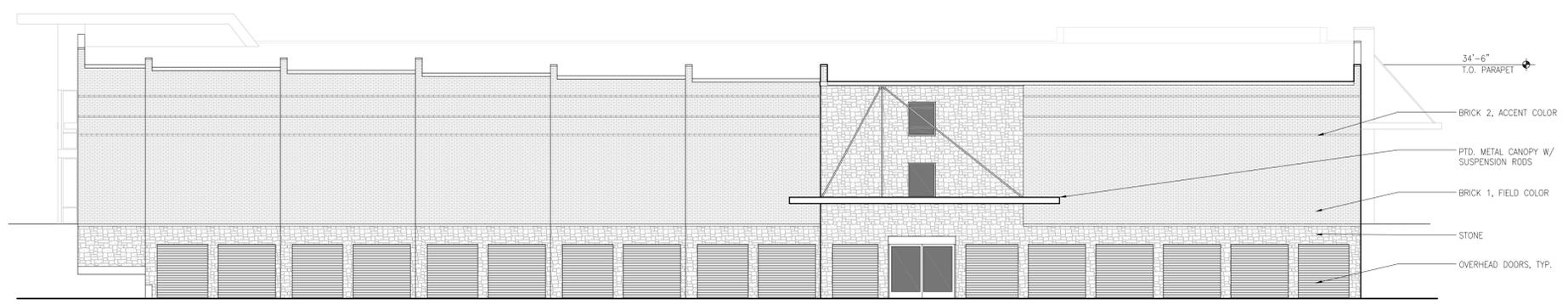
NO.	REVISIONS	DESCRIPTION	DATE



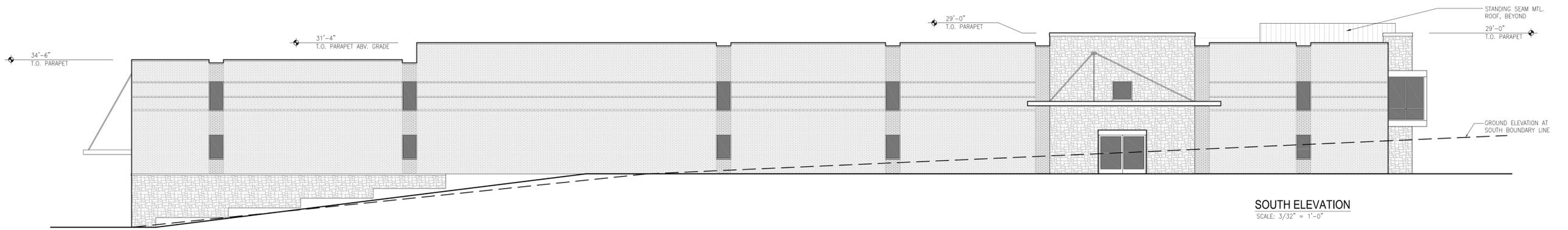
FRONT ELEVATION (RIDGE ROAD)
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION (REAR)
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

exterior elevations

Lakeview Storage
A new facility for The Jenkins Organization
Ridge Road, Rockwall, Texas

PROJECT NUMBER
1830
DATE
11.13.18
SHEET NUMBER
SUP-1



LAKEVIEW storage

RIDGE ROAD

507'

496'

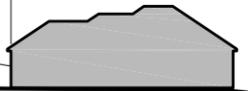
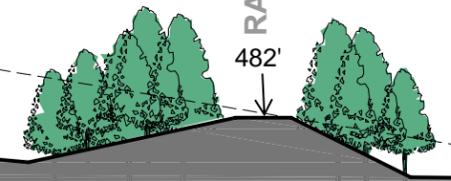


478'

295' ±

RAILROAD R.O.W.

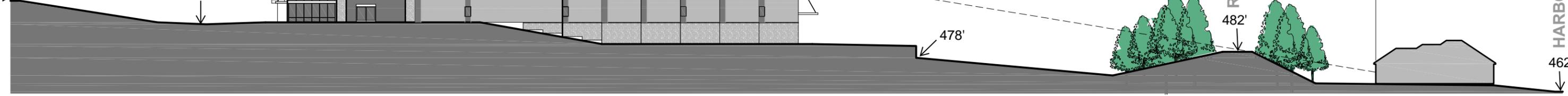
482'



HARBOR COVE DR.

462'

SITE LINE STUDY



ID	NAME	UNITS
1	PUBLIC STORAGE NORTH	526
2	PUBLIC STORAGE	555
3	BUFFALO RIDGE / AGAPE	160
4	THE VAULT SELF STORAGE	325
5	CUBESMART SELF STORAGE	579
6	KRISTY LN STORAGE	111
7	ROCKWALL MINI STORAGE	260
8	H&V SELF STORAGE	80
9	THE STORAGE LOCKER	201
10	STORE N MORE	294

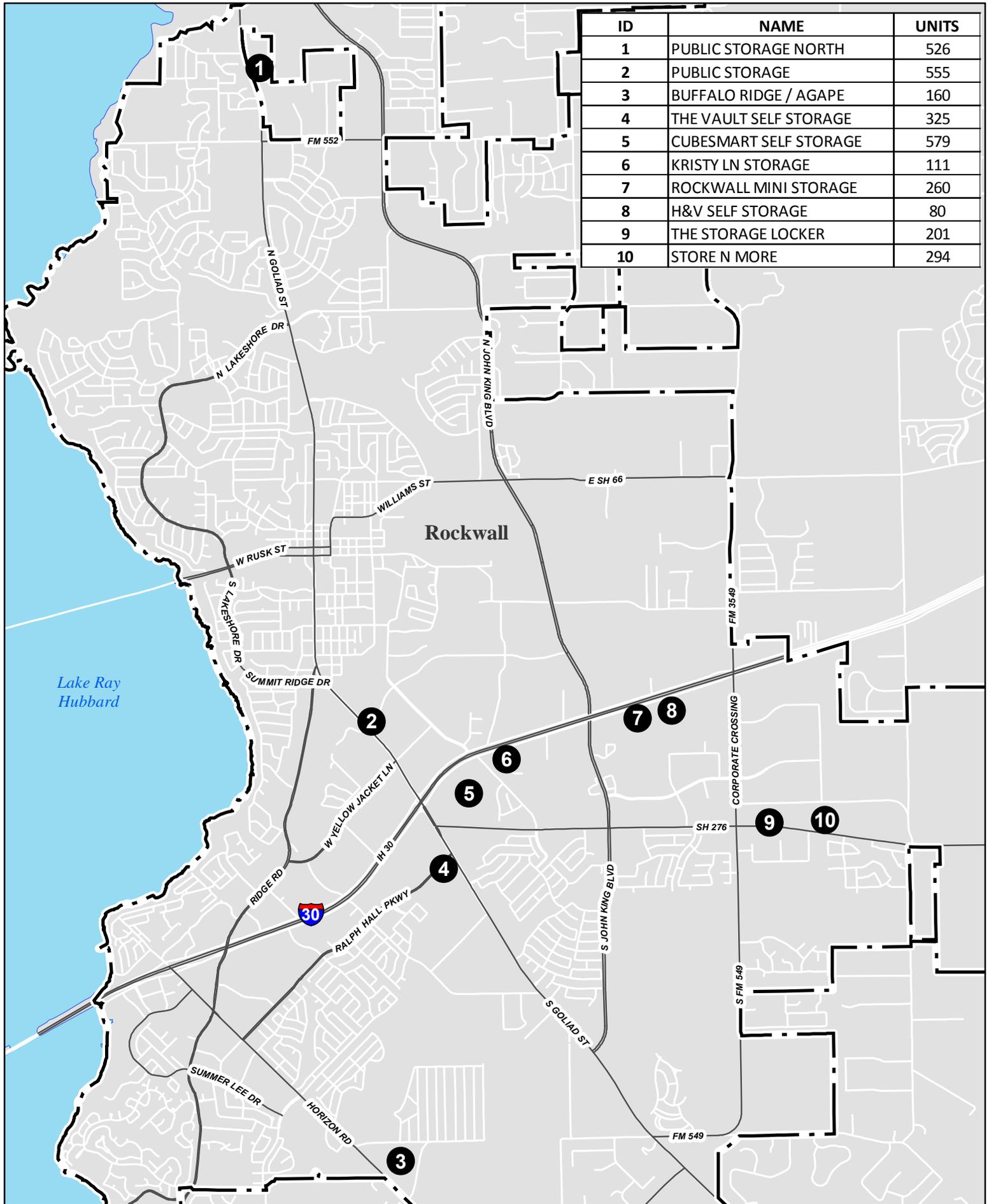


EXHIBIT A

BEING a 2.595 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being a part of Lot 1, Block A, Sky Ridge Addition, an addition to the City of Rockwall, recorded in Volume J, Page 243, Map Records, Rockwall County, Texas, and this tract being more particularly described as follows:

BEGINNING at a point for corner at the south corner of said Lot 1, Block A, Sky Ridge Addition, said corner being in the northeast boundary line of Lot 1, Block A, Hudspeth Addition, an addition to the City of Rockwall, as recorded in Cabinet B, Slide 6, Plat Records, Rockwall, Texas and in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way from which a TXDOT Monument with an Aluminum Disk found for reference bears South 57 degrees 23 minutes 15 seconds West, a distance of 0.23 feet;

THENCE, North 46 degrees 22 minutes 15 seconds West, along the common boundary line of said Lot 1, Block A, Hudspeth Addition and said Lot 1, Block A, Sky Ridge Addition, a distance of 548.61 feet to a 1/2-inch iron rod found for the west corner of said Lot 1, Block A, Sky Ridge Addition and the north corner of said Lot 1, Block A, Hudspeth Addition, said corner being in the southeast right-of-way line of the Union Pacific Railroad, a 100 ft. right-of-way;

THENCE North 43 degrees 40 minutes 54 seconds East, along the common line of said Railroad and said Lot 1, Block A, Sky Ridge Addition, a distance of 17.68 feet to a point for corner at the beginning of a non-tangent curve to the left having a radius of 5449.50 feet, and a chord which bears North 49 degrees 39 minutes 04 seconds East, a distance of 65.76 feet;

THENCE Northeasterly, along the common line of said Railroad and Lot 1, Block A, Sky Ridge Addition, and with said curve to the left, through a central angle of 00 degrees 41 minutes 29 seconds, an arc distance of 65.76 feet to a point for corner from which a 5/8-inch iron rod with a yellow plastic cap, stamped "RPLS 3963", set for reference, bears South 86 degrees 26 minutes 38 seconds East, a distance of 20.00 feet;

THENCE Southeasterly, traversing across said Lot 1, Block A, Sky Ridge Addition, the following courses:

South 86 degrees 26 minutes 38 seconds East, a distance of 86.16 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

South 81 degrees 33 minutes 11 seconds East, a distance of 129.76 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

North 85 degrees 43 minutes 25 seconds East, a distance of 61.14 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner;

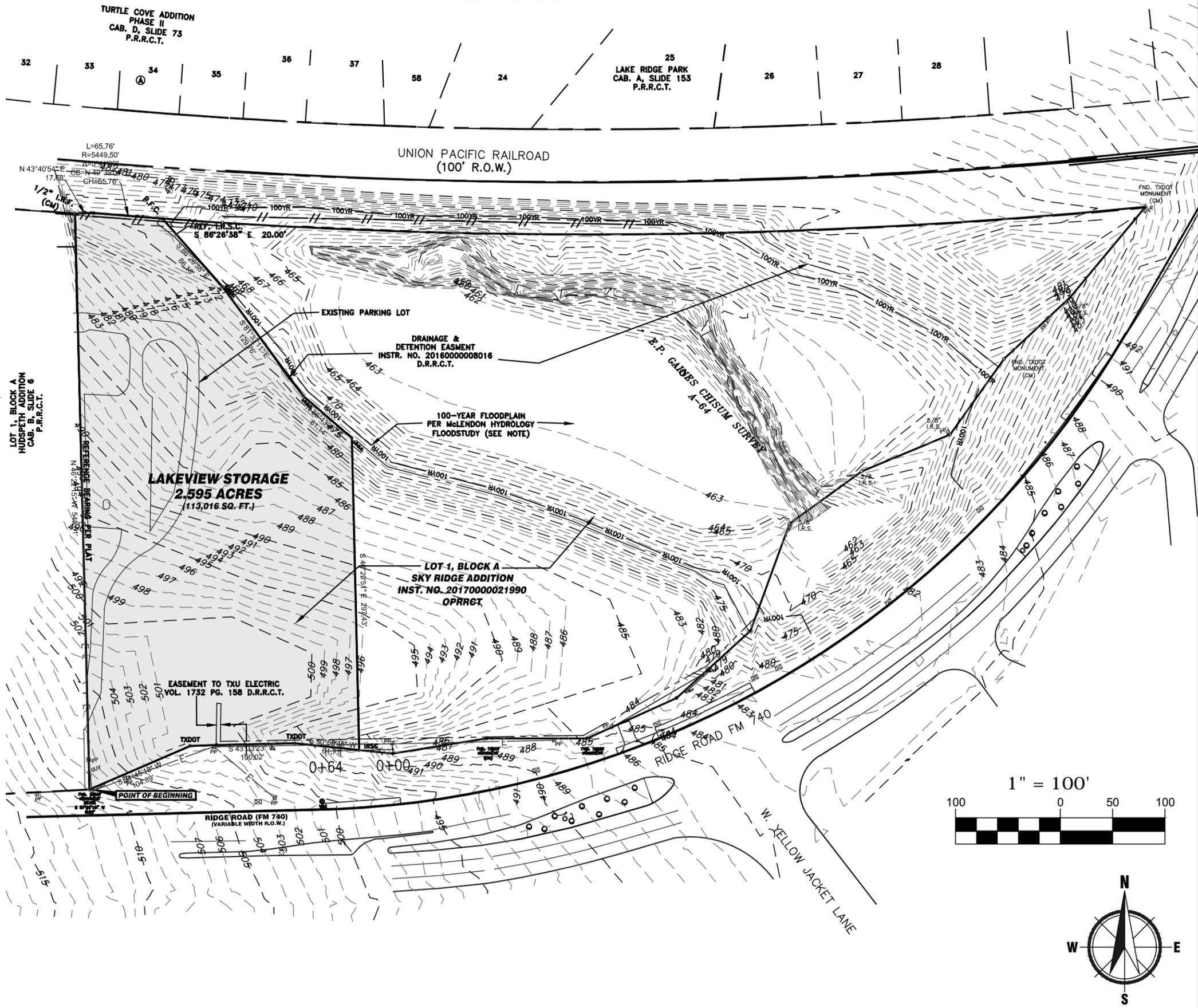
South 46 degrees 20 minutes 51 seconds East, a distance of 297.43 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner in the northwest line of said FM 740 and the southeast line of said Lot 1, Block A, Sky Ridge Addition;

THENCE Southwesterly, along the common line of said FM 740 and said Lot 1, Block A, Sky Ridge addition, the following courses:

South 50 degrees 59 minutes 46 seconds West, a distance of 61.71 feet to a TXDOT Monument with an Aluminum Disk found for corner;

South 43 degrees 33 minutes 23 seconds West, a distance of 100.02 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears South 12 degrees 53 minutes 00 seconds West, a distance of 0.14 feet;

South 21 degrees 45 minutes 18 seconds West, a distance of 104.89 feet to the POINT OF BEGINNING AND CONTAINING 113,016 square feet or 2.595 acres of land.



M3 ENGINEERING
 2593 S. BESSNER RD., SUITE 13
 PLANO, TEXAS 77063
 PHONE: 972.222.2295
 FAX: 972.222.2295
 FIRM # 188663
 WWW.M3ENGINEERING.COM

DATE: 20/11/2018

**EXHIBIT A SUP
 BOUNDARY EXHIBIT**

**LAKEVIEW STORAGE
 THE JENKINS ORGANIZATION**

DRAWN BY: TLM
FILE: 18003-SITE SUP.DWG
SCALE: 1"=100'
PROJECT No. 18003
A

2.595 ACRES (DWG)

BEING a 2.595 acre tract of land situated in the E.P. Gaines Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas and being a part of Lot 1, Block A, Sky Ridge Addition, an addition to the City of Rockwall, recorded in Volume J, Page 243, Map Records, Rockwall County, Texas, and this tract being more particularly described as follows:

BEGINNING at a point for corner at the south corner of said Lot 1, Block A, Sky Ridge Addition, said corner being in the northeast boundary line of Lot 1, Block A, Hudspeth Addition, an addition to the City of Rockwall, as recorded in Cabinet B, Slide 6, Plat Records, Rockwall, Texas and in the northwest right-of-way line of Farm to Market Road 740 (Ridge Road), a variable width right-of-way from which a TXDOT Monument with an Aluminum Disk found for reference bears South 57 degrees 23 minutes 15 seconds West, a distance of 0.23 feet;

THENCE, North 46 degrees 22 minutes 15 seconds West, along the common boundary line of said Lot 1, Block A, Hudspeth Addition and said Lot 1, Block A, Sky Ridge Addition, a distance of 548.61 feet to a 1/2-inch iron rod found for the west corner of said Lot 1, Block A, Sky Ridge Addition and the north corner of said Lot 1, Block A, Hudspeth Addition, said corner being in the southeast right-of-way line of the Union Pacific Railroad, a 100 ft. right-of-way;

THENCE North 43 degrees 40 minutes 54 seconds East, along the common line of said Railroad and said Lot 1, Block A, Sky Ridge Addition, a distance of 17.68 feet to a point for corner at the beginning of a non-tangent curve to the left having a radius of 5449.50 feet, and a chord which bears North 49 degrees 39 minutes 04 seconds East, a distance of 65.76 feet;

THENCE Northeasterly, along the common line of said Railroad and Lot 1, Block A, Sky Ridge Addition, and with said curve to the left, through a central angle of 00 degrees 41 minutes 29 seconds, an arc distance of 65.76 feet to a point for corner from which a 5/8-inch iron rod with a yellow plastic cap, stamped "RPLS 3963", set for reference, bears South 86 degrees 26 minutes 38 seconds East, a distance of 20.00 feet;

THENCE Southeasterly, traversing across said Lot 1, Block A, Sky Ridge Addition, the following courses:

South 86 degrees 26 minutes 38 seconds East, a distance of 86.16 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

South 81 degrees 33 minutes 11 seconds East, a distance of 129.76 feet to a 5/8-inch iron rod with a yellow plastic cap stamped "RPLS 3963", set for corner;

North 85 degrees 43 minutes 25 seconds East, a distance of 61.14 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner;

South 46 degrees 20 minutes 51 seconds East, a distance of 297.43 feet a 5/8-inch iron rod with yellow plastic cap stamped "RPLS 3963", set for corner in the northwest line of said FM 740 and the southeast line of said Lot 1, Block A, Sky Ridge Addition;

THENCE Southwesterly, along the common line of said FM 740 and said Lot 1, Block A, Sky Ridge addition, the following courses:

South 50 degrees 59 minutes 46 seconds West, a distance of 61.71 feet to a TXDOT Monument with an Aluminum Disk found for corner;

South 43 degrees 33 minutes 23 seconds West, a distance of 100.02 feet to a point for corner from which a TXDOT Monument with an Aluminum Disk found for reference bears South 12 degrees 53 minutes 00 seconds West, a distance of 0.14 feet;

South 21 degrees 45 minutes 18 seconds West, a distance of 104.89 feet to the POINT OF BEGINNING AND CONTAINING 113,016 square feet or 2.595 acres of land.

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A MINI-WAREHOUSE FACILITY IN A COMMERCIAL (C) DISTRICT, SITUATED ON A 2.595-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF LOT 1, BLOCK A, SKY RIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kyle Jenkins of the Jenkins Organization on behalf of Michael Swiercinsky for the approval of a Specific Use Permit (SUP) to allow a *mini-warehouse facility* in a Commercial (C) District on a 2.595-acre tract of land being described as a portion of Lot 1, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, and being more specifically depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *mini-warehouse facility* within a Commercial (C) District as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the conditions set forth in Subsection 2.1.10, *Wholesale, Distribution, and Storage*, of Section 2, *Use Standards*, of Article IV, *Permissible Uses*, and Subsection 4.5, *Commercial (C) District*, of Section 4, *Commercial District and Subsection 6.8, Scenic Overlay (SOV) District*, of Section 6, *Overlay Districts* of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*], as

heretofore amended and as may be amended in the future, and shall be subject to the following operational conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions shall pertain to the operation of a *mini-warehouse facility* on the subject property, and conformance to these operations is required for continued operation:

- 1) The development shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The building elevations shall generally conform to the *Concept Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) The maximum number of storage units provided shall not exceed 400 units for the facility.
- 4) The maximum number of floors is limited to three (3) stories.
- 5) The mini-warehouse facility shall not be greater than 36-feet in height.
- 6) No outside storage of any kind shall be allowed (*including the outside storage of boats, recreational vehicles, trailers, and motor or self-propelled vehicles*).
- 7) Businesses shall not be allowed to operate within individual storage units.
- 8) The commercial operation of rental trucks and trailers shall be prohibited.
- 9) The developer shall maintain the treeline adjacent to the northwest property line.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF FEBRUARY, 2019.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

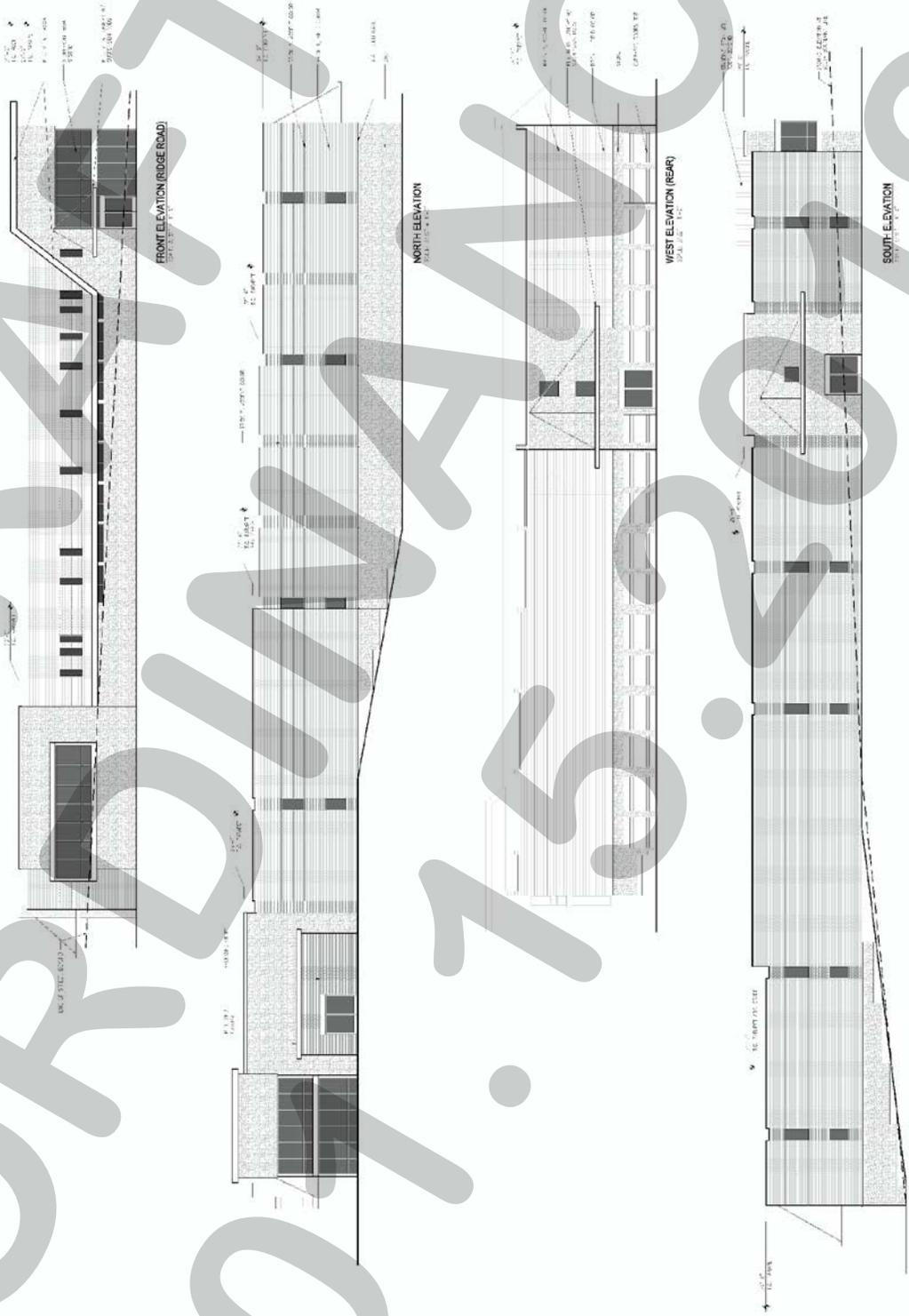
Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

**Exhibit 'C':
Concept Building Elevations**

 <p>10000 W. STATE ST. SUITE 100 DALLAS, TEXAS 75243 PHONE: 214.353.8800 WWW.DAVIDBACAARCHITECTS.COM</p>	<p>SCHEMATIC DESIGN REVIEW NOT FOR REGULATION APPROVAL NOT TO BE CONSIDERED</p>	<p>DATE: 11/13/18</p>
		<p>PROJECT: Lakeview Storage A new facility for The Jentens Organization Ridge Road, Rockwall, Texas</p>



exterior elevations

Exhibit 'C':
Concept Building Elevations



**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 01/15/2019

APPLICANT: Tom Jones

AGENDA ITEM: **Z2018-056**; *Zoning Change (AG to C)*

SUMMARY:

Hold a public hearing to discuss and consider a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Commercial (C) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

BACKGROUND INFORMATION AND PURPOSE:

The applicant is requesting a change in zoning from an Agricultural (AG) District to a Commercial (C) District for the purpose of constructing a *house of worship* on the subject property. The subject property is situated on a 6.03-acre tract of land, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, and is located east of the intersection of Justin Road and John King Boulevard.

The subject property was annexed in 1985 [*Ordinance No. 85-69*] and zoned Agricultural (AG) District. The Agricultural (AG) District is a holding district with the intent that a property will be rezoned in conformance with the Land Use Plan in the future. The applicant is requesting to rezone the subject property to Commercial (C) District for the purpose of constructing a house of worship (*i.e. Friendship Baptist Church*). According to Section 1.0, *Use of Land and Buildings*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a house of worship is permitted in an Agricultural (AG) District by Specific Use Permit (SUP) or permitted by-right in a Commercial (C) District. Rezoning the property is in conformance with the City's Future Land Use Plan.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are all follows:

North: Directly north of the subject property is a railroad (*i.e. Union Pacific/Dallas Garland N. E.*) followed by several vacant tracts of land. Beyond this is Airport Road which is identified as a M4U (*Major Collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the Rockwall Municipal Airport. These areas are zoned Agriculture (AG) District.

South: Directly south of the subject property is Justin Road, which is identified M4D (*Major Collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are several vacant tracts of land zoned Light Industrial (LI) District and Commercial (C) District followed by IH-30, which is identified as a TxDOT roadway on the City's Master Thoroughfare Plan.

East: Directly east of the subject property are several vacant tracts of land zoned Agricultural (AG) District and Light Industrial (LI) District. Beyond this is FM-3549, which is identified as a TxDOT Roadway, which delineates the city limits of Rockwall.

West: Directly west of the subject property is a small vacant tract of land followed by S. John King Boulevard, which is identified as a P6D (*Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are two (2) manufacturing companies (*i.e. Channell Commercial Corporation and Graham Packaging Technologies*). These areas are zoned Light Industrial (LI) District.

UNIFIED DEVELOPMENT CODE:

According to the purpose statements stipulated in Subsection 4.05, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is the "...proper zoning classification for most types of commercial development (*e.g. larger shopping centers, office, retail, etc.*)..." The Unified Development Code (UDC) goes on to state "...an area should not be zoned Commercial (C) District unless it is located close to an arterial or major collector that is capable of carrying additional traffic generated by land uses in the district..." In this case, the subject property is located at the intersection of an arterial and a major collector (*i.e. S. John King Blvd and Airport Road*) and conforms to these requirements. The following is a summary of the minimum development standards for a property within a Commercial (C) District:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>
<i>Minimum Lot Width</i>	<i>60-Feet</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>
<i>Minimum Side Yard Setback</i>	<i>25-Feet</i>
<i>Maximum Height</i>	<i>60-Feet</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>
<i>Minimum Dwelling SF</i>	<i>2,500</i>
<i>Maximum Building Coverage</i>	<i>60%</i>
<i>Floor Area Ratio</i>	<i>4:1</i>

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, designates the subject property for Special Commercial Corridor land uses, which is intended to provide regional commercial/retail uses (*e.g. regional shopping centers, entertainment, restaurant corporate uses, etc.*). In this case this applicant's proposed use (*i.e. a house of worship*) does not appear to meet the intent of the Special Commercial Corridor; however, the change in zoning (*i.e. from AG to C*) conforms to the Future Land Use Plan and will not require any changes to the Future Land Use Plan.

STAFF ANALYSIS:

When analyzing the applicant's request (*i.e. to rezone the subject property for the purpose of constructing a house of worship*) the Commercial (C) District appears to be an appropriate zoning district. With that being said, a house of worship is designated as a Quasi-Public land use (*e.g. universities, community centers, private schools, etc.*) in the Comprehensive Plan and approval of a zoning change is discretionary to the City Council, pending a recommendation from the Planning and Zoning Commission.

NOTIFICATION:

On December 28, 2018, staff mailed 10 notices to property owners and residents within 500-feet of the subject property. There are no HOA's/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Staff also advertised the public hearings in the Rockwall Harold Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had not received any notices concerning this case.

RECOMMENDATIONS:

Should the Planning and Zoning Commission recommend approval of the change in zoning, staff would recommend the following conditions of approval:

- 1) Any construction or building necessary to complete this change in zoning request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number Z2018-056	Owner ATHEY, BOBBY FRANK	Applied 12/14/2018 LM
Project Name Zoning Change (AG to C)	Applicant ROCKWALL FRIENDSHIP BAPTIST CHURCH	Approved
Type ZONING		Closed
Subtype REZONE		Expired
Status Staff Review		Status

Site Address AIRPORT RD	City, State Zip ROCKWALL, TX 75087	Zoning
-----------------------------------	--	---------------

Subdivision	Tract 2-4	Block NULL	Lot No 2-4	Parcel No 0102-0000-0002-04-0R	General Plan
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Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/18/2018	12/25/2018	12/18/2018		APPROVED	
ENGINEERING (12/27/2018 10:56 AM SH) - 4% Engineering Inspection Fees. - Impact Fees. - Justin Road paving improvements and right-of-way dedication. 85' ROW for M4D pavement section. - Off site right-of-way dedication required. - Driveway spacing on Justin Rd is 200' from John King and 100' to the east. - Median in Justin Rd. to be stamped and stained in truck full depth. - Detention is required. "C" value for drainage is by land use. - Minimum utility easement width is 20'. - Install 12" water line adjacent to Justin, along John King, and connect to existing 12" line at Airport Road. - Sewer is available along the proposed Justin road. - No dead-end parking. Must include a loop or turnaround. - Parking to be 20'x9' - Drive isles to be 24' wide with 20' min radius. - 10 ft trail along John King - Impoundments/Retention of Water requires State Approval - Dumpster to drain to oil/water separator or grease trap. - Must install left turn lane on John King. - Must construct a 10' wide trail along John King. - TxDOT permit required. - Must meet City Standards.	Sarah Hager	12/14/2018	12/21/2018	12/27/2018	13	APPROVED	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Ariana Hargrove	12/14/2018	12/21/2018	12/19/2018	5	APPROVED	
PLANNING	Korey Brooks	12/14/2018	12/21/2018	12/27/2018	13	COMMENTS	Comments
<p>Z2018-056 ZONING CHANGE (AG TO C) Please address the following comments (M= Mandatory Comments; I = Informational Comments).</p> <p>I.1 This a request by Tom Jones on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of a zoning change from an Agricultural (AG) District to a Commercial (C) District for a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard</p> <p>I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</p> <p>M.3 For reference, include the case number (Z2018-056) in the lower right hand corner of all pages on future submittals.</p> <p>M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting.</p> <p>I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 20019. The Planning and Zoning Meeting for this case is January 15, 2019 2018.</p> <p>I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.</p>							



**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

NEW WORSHIP CENTER





- 4% Engineering Inspection Fees.
- Impact Fees.
- Justin Road paving improvements and right-of-way dedication. 85' ROW for M4D pavement section.
- Off site right-of-way dedication required.
- Detention is required. "C" value for drainage is by land use.
- Minimum utility easement width is 20'.
- Install 12" water line adjacent to Justin, along John King, and connect to existing 12" line at Airport Road.
- Sewer is available along the proposed Justin road.
- No dead-end parking. Must include a loop or turnaround.
- Parking to be 20'x9'
- Drive isles to be 24' wide with 20' min radius.
- 10 ft trail along John King
- Impoundments/Retention of Water requires State Approval
- Dumpster to drain to oil/water separator or grease trap.
- Must install left turn lane on John King.
- Must meet City Standards.

No deadend parking, must have a loop or turnaround.

Retention/impoundments require State Approval unless a water line supplies water.



**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

MASTER SITE PLAN

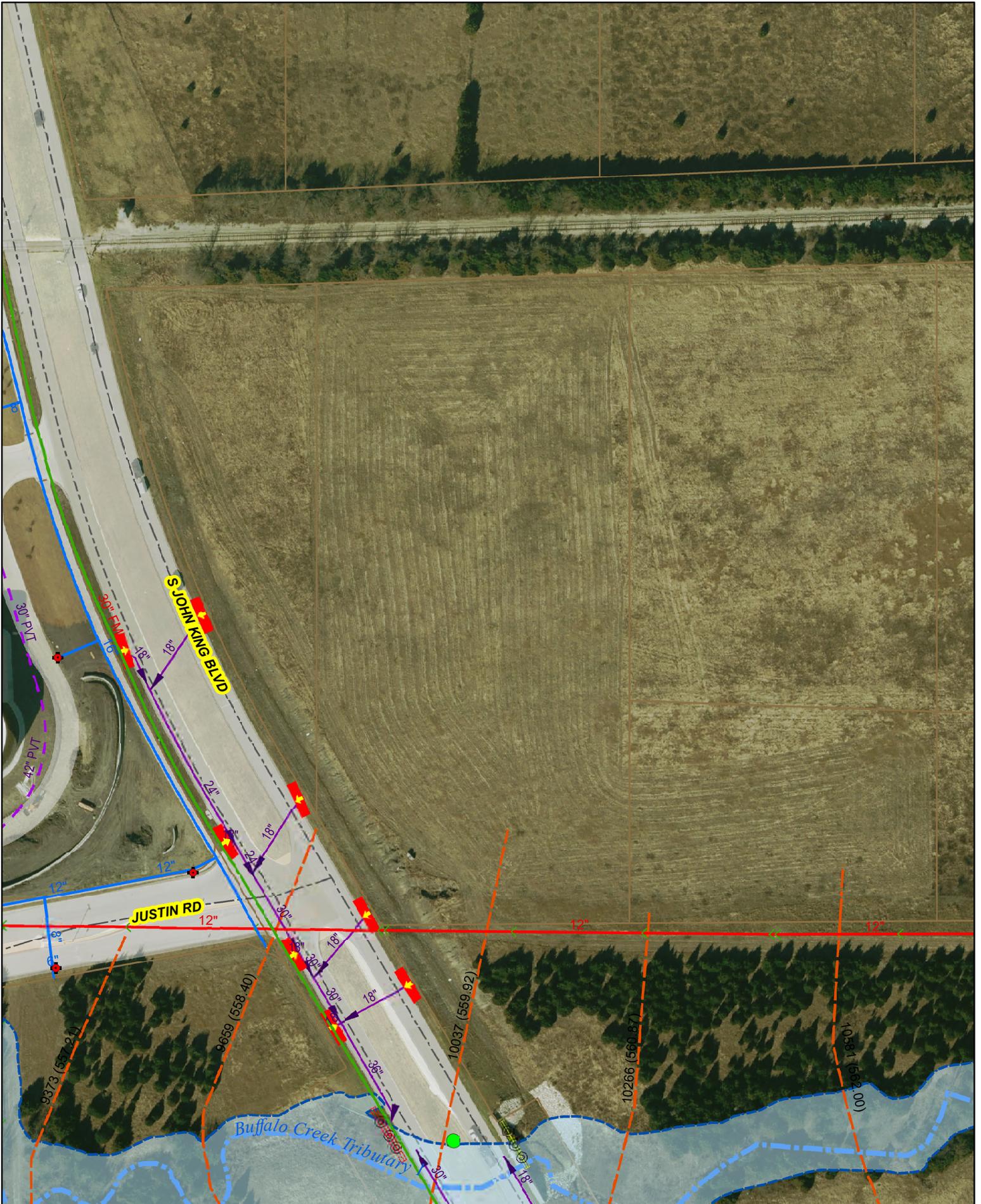




**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

FLOOR PLAN





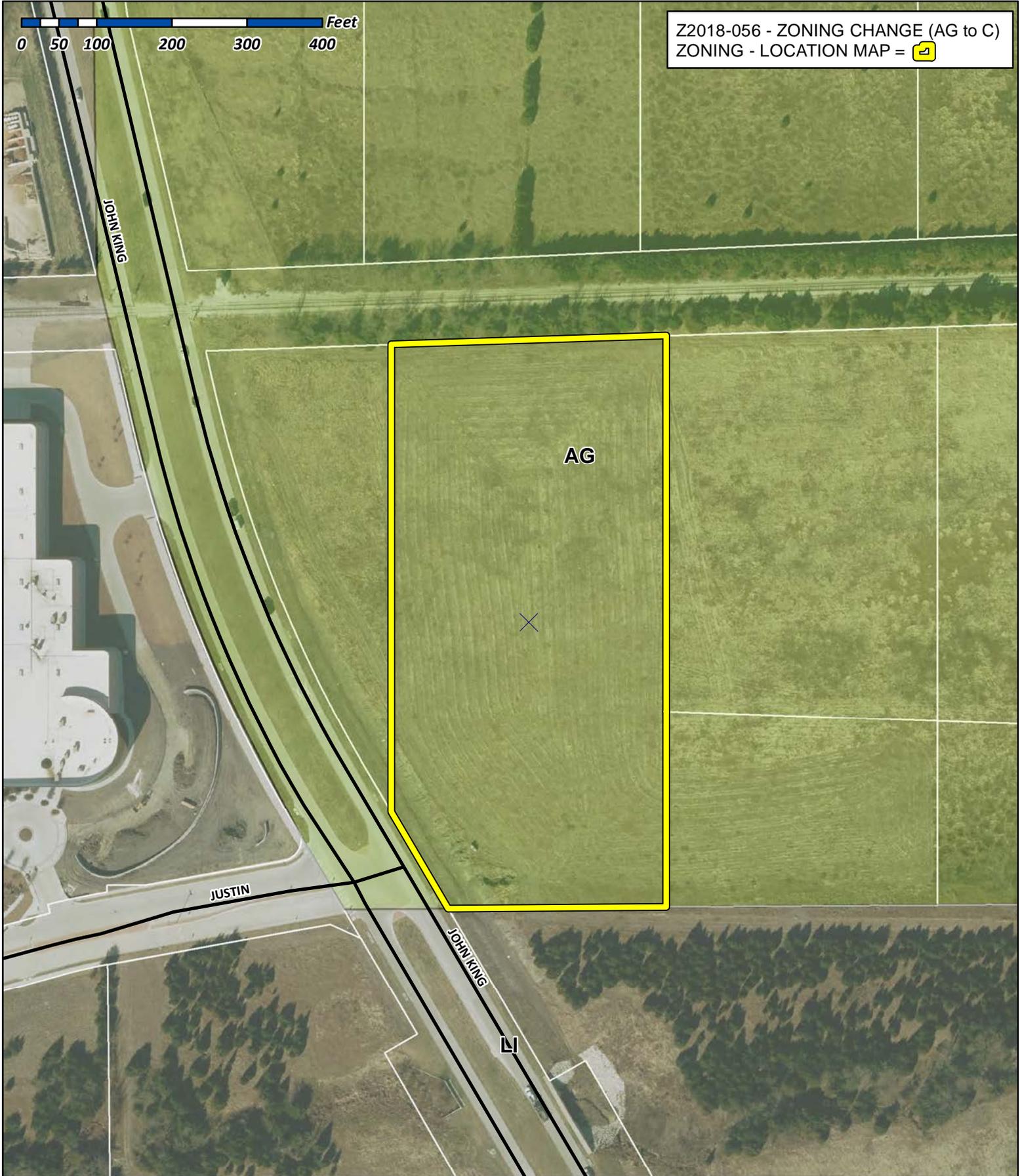
0 50 100 Feet
 CITY OF ROCKWALL GEOGRAPHIC INFORMATION SYSTEMS
 1 inch = 142 feet
 Date: 12/3/2018

The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.

**Approximate
 Utility Locations**

0 50 100 200 300 400 Feet

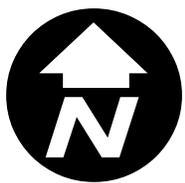
Z2018-056 - ZONING CHANGE (AG to C)
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

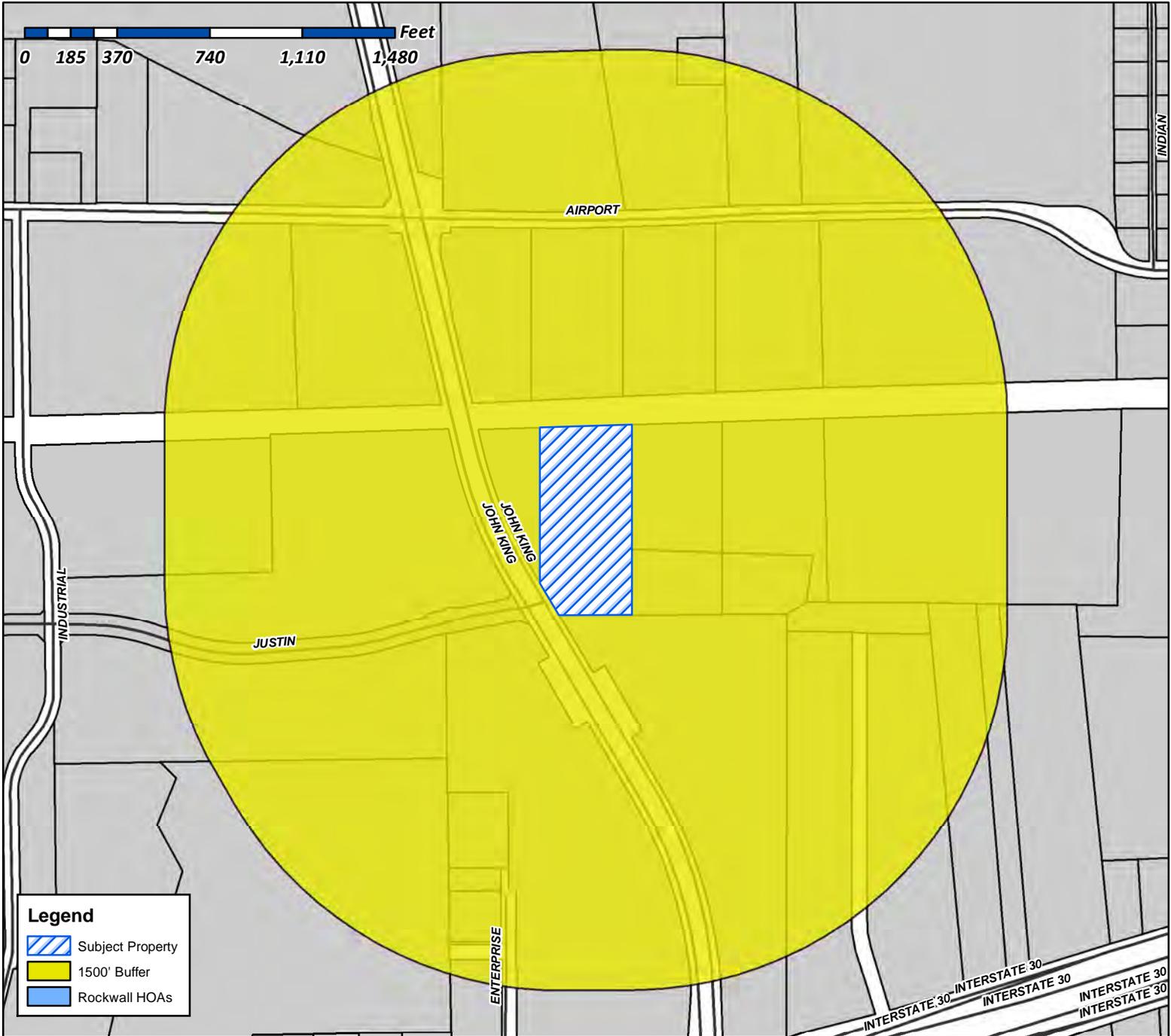
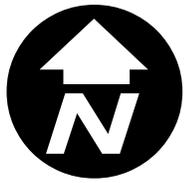




City of Rockwall

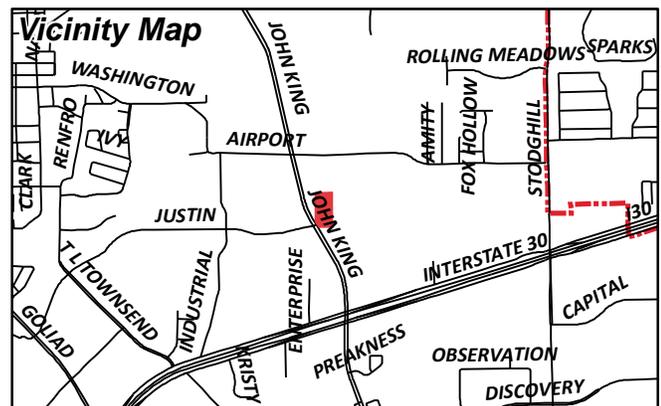
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2018-056
Case Name: Zoning Change (AG to C)
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: East of the Intersection of Justin Road and John King Blvd.

Date Created: 12/14/2018
 For Questions on this Case Call (972) 771-7745

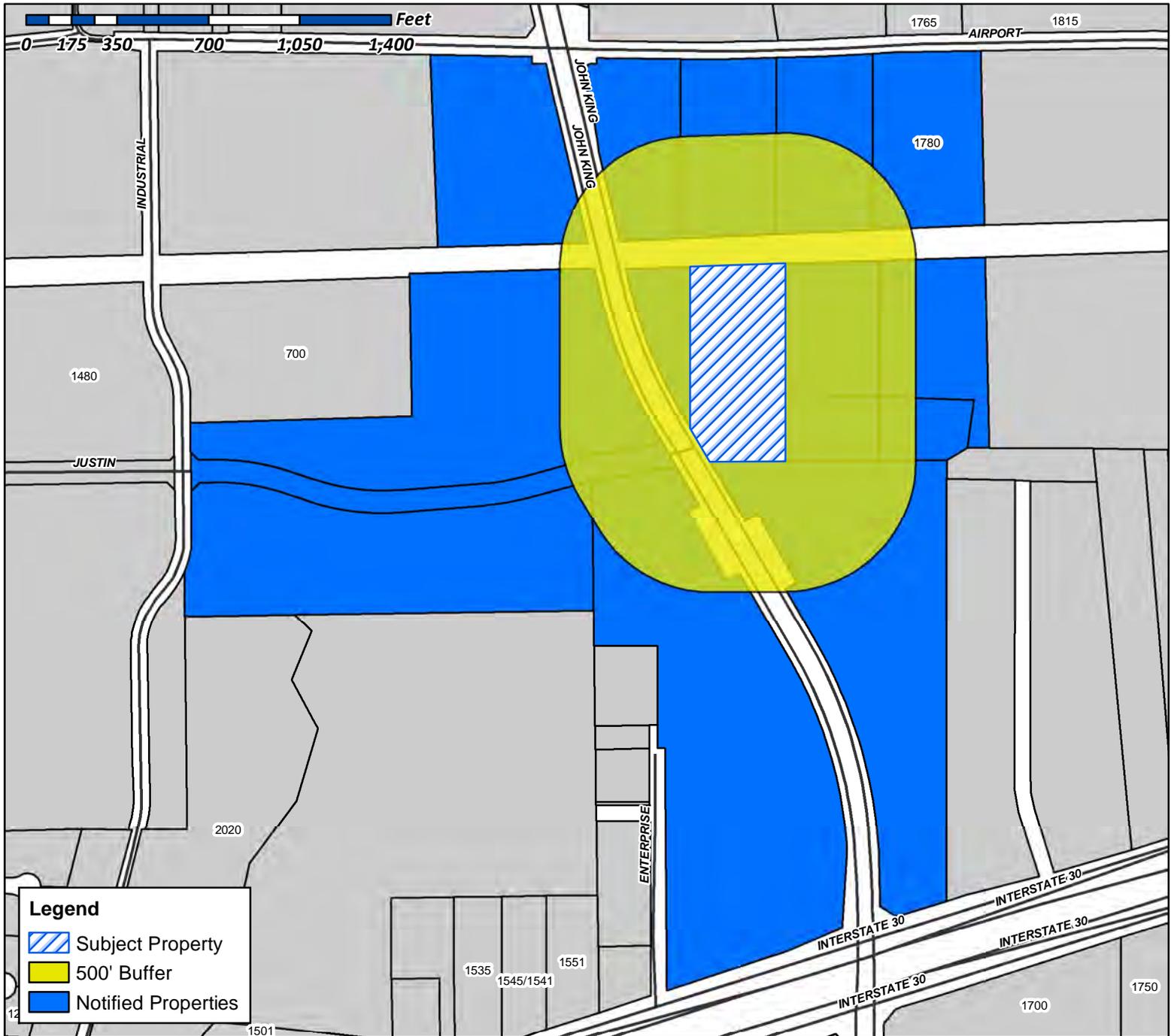
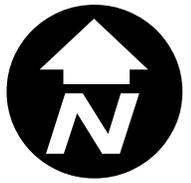




City of Rockwall

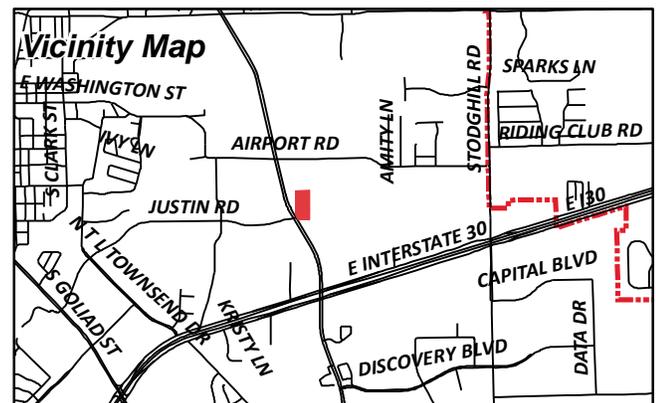
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Case Number: Z2018-056
Case Name: Zoning Change (AG to C)
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: East of the Intersection of Justin Road and John King Blvd.

Date Created: 12/14/2018
 For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1780 AIRPORT RD
ROCKWALL, TX 75087

ATHEY JACKIE RAY
1780 AIRPORT RD
ROCKWALL, TX 75087

VALK RON
1834 S FM 551
FATE, TX 75189

WILLCAR HOLDINGS LLC
ATTN: WILLIAM H CHANNELL JR
26040 YNEZ ROAD
TEMECULA, CA 92591

TEMUNOVIC PARTNERSHIP LTD
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

ROCKWALL FRIENDSHIP BAPTIST CHURCH
REV SHANON THOMAS, PASTOR
5651 STATE HIGHWAY 276
ROYSE CITY, TX 75189

ATHEY JO ANN
PO BOX 219
LAVON, TX 75166

ATHEY BOBBY FRANK
PO BOX 472051
GARLAND, TX 75047

ATHEY BOBBY FRANK
PO BOX 472051
GARLAND, TX 75047

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087



**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

NEW WORSHIP CENTER





**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

MASTER SITE PLAN

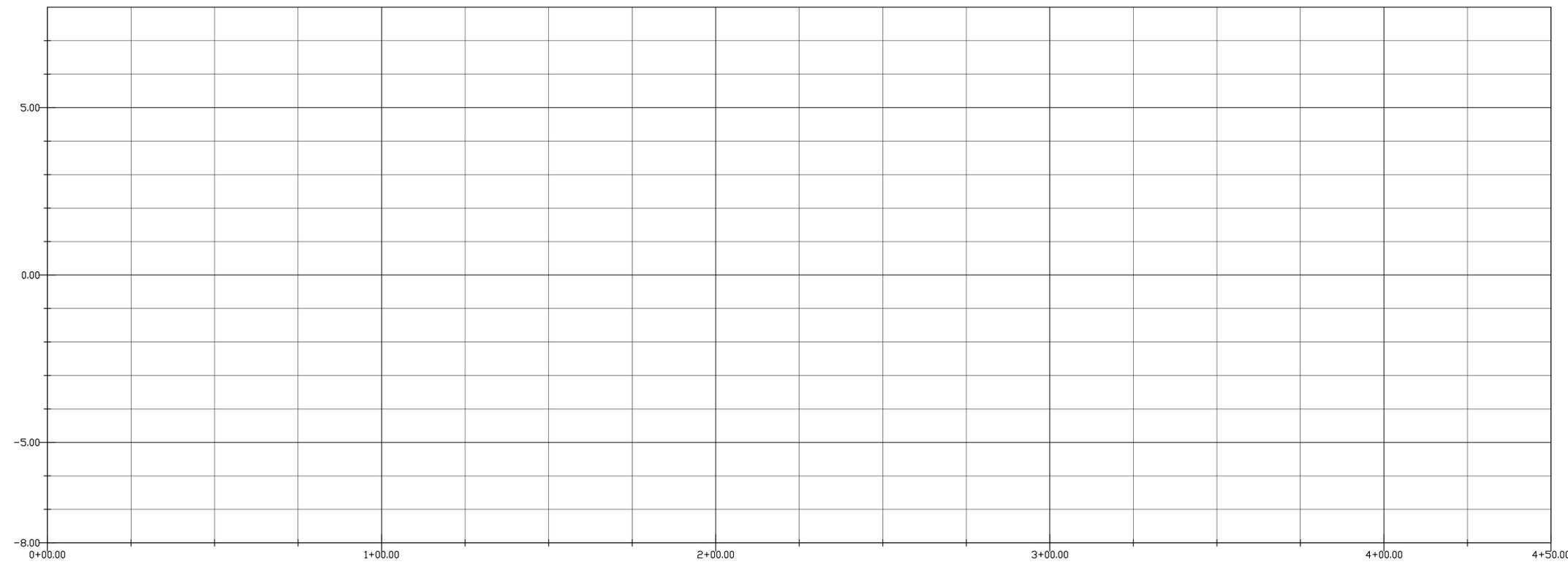
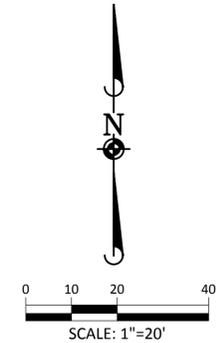
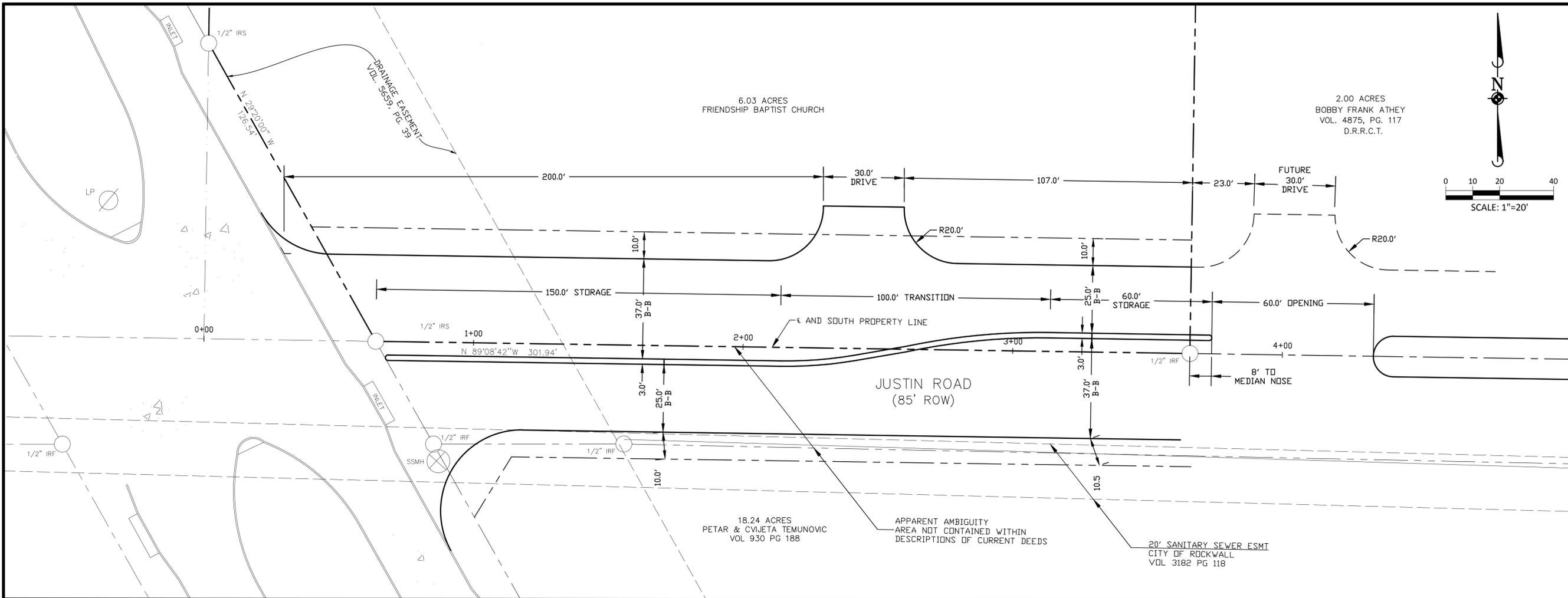




**ROCKWALL
FRIENDSHIP**
BAPTIST CHURCH

FLOOR PLAN





NO.	DATE	REVISIONS

TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679-1679
 tjones@tomden.com
 FIRM No. 19244

**JUSTIN ROAD EXTENSION
 FRIENDSHIP BAPTIST CHURCH
 PRELIMINARY ROADWAY LAYOUT**

THOMAS P. JONES, P.E.
 TEXAS P.E. No. 58887
 ISSUED THIS DATE:
 DECEMBER 10, 2018
 PROJ. MGR.: TJ
 PROJ. ASSOC.: AC
 DRAWN BY: AC
 DATE: 12/10/2018
 SCALE:

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 6.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-4 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND FURTHER DESCRIBED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Tom Jones on behalf of Susan Thomas of Rockwall Friendship Baptist Church for a change in zoning from an Agricultural (AG) District to a Commercial (C) District on a 6.03-acre tract of land identified as Tract 2-4 of the D. Harr Survey, Abstract No. 103, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 1.1, *Use of Land and Buildings*, of Article IV, *Permissible Uses* and Section 4.5, *Commercial (C) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A'
Zoning Exhibit

Legal Description: Tract 2-4 of the D. Harr Survey, Abstract No. 102

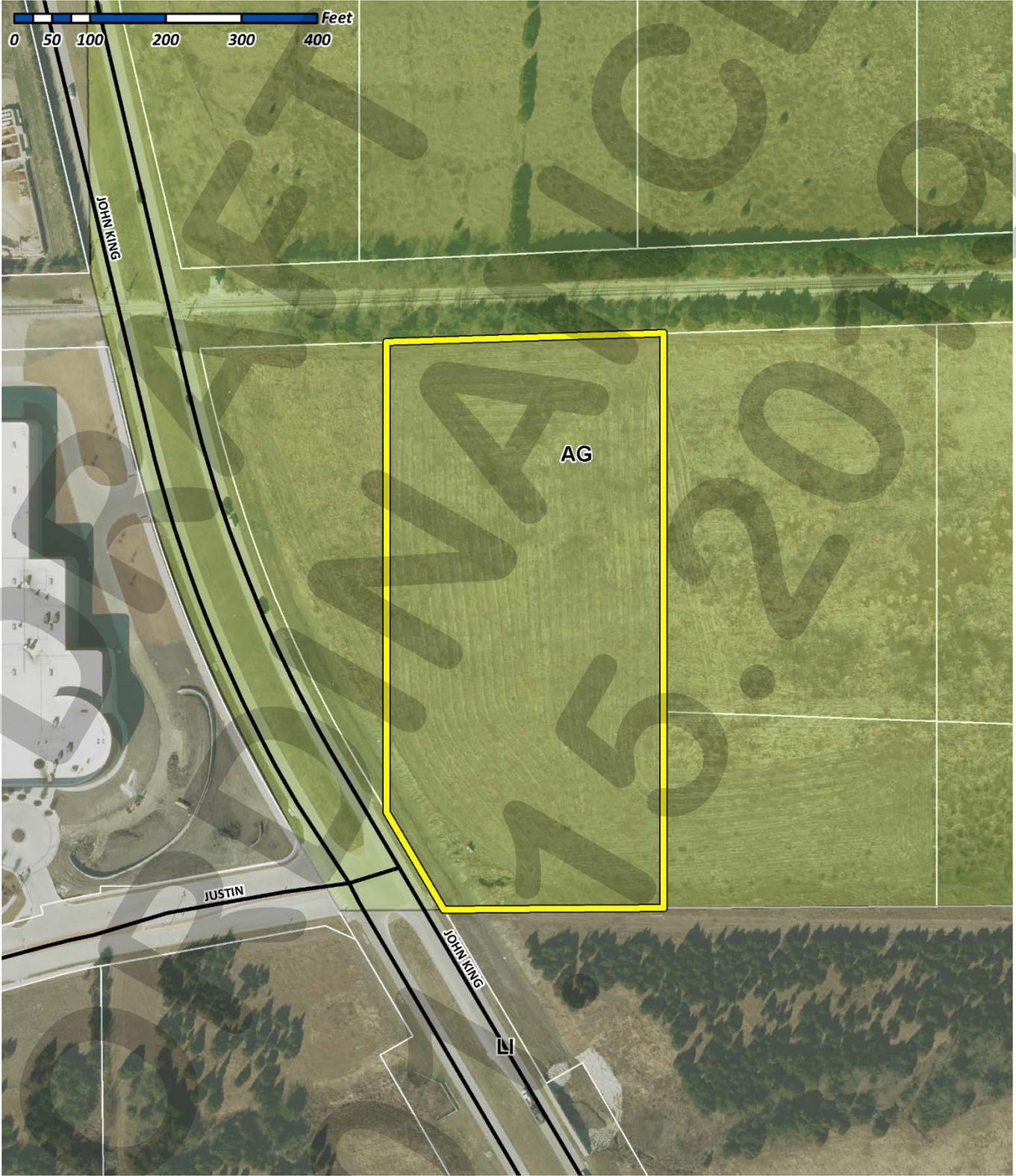


Exhibit 'B'
Legal Description

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 120, City of Rockwall, Rockwall County, Texas, and being a part of a 50 acres tract of land as described in a Warrantydeed to F.B. Athey, as recorded in Volume 42, Page 91 of the Deed Records of Rockwall County, Texas, and being a part of Tract B2 as described in a Deed to Bobby Frank Athey, as recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the south right-of-way line of M.K. & T. Railroad, said point being at the northwest corner of Tract B2, said point being N. 89 deg. 23 min. 21 sec. E, a distance of 360.54 feet from the intersection of the west boundary of said 50 acres and said railroad right-of-way;

THENCE N. 89 deg. 23 min. 21 sec. E. along said right-of-way line, a distance of 365.97 feet to a 1/2" iron rod found for corner;

THENCE S. 00 deg. 56 min. 05 sec. W. a distance of 732.64 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 08 min. 42 sec. W. a distance of 301.94 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner in the northeast right-of-way line of John King Boulevard, per Volume 5659, Page 39 of the Official Public Records of Rockwall County, Texas;

THENCE N. 29 deg. 20 min. 00 sec. W. along said right-of-way line, a distance of 126.54 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner;

THENCE N. 00 deg. 55 min. 26 sec. E. a distance of 613.93 feet to the POINT OF BEGINNING and containing 262,780 square feet or 6.03 acres of land.

CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/15/2019

APPLICANT: Bill Bricker, *Columbia Development Company, LLC*

AGENDA ITEM: **Z2018-057**; *Amendment to Planned Development 59 (PD-59)*

SUMMARY:

Hold a public hearing to discuss and consider a request by Bill Bricker of Columbia Development Company, LLC for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses being a 56.586-acre tract of land identified as a portion of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) and Planned Development District 59 (PD-59), located between W. Washington Street and T. L. Townsend Drive, and take any action necessary.

PURPOSE & BACKGROUND:

The subject property is a 0.786-acre tract of land that is located between Washington Street and T. L. Townsend Drive and is currently part of Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses. The tract of land is currently vacant and is adjacent to Planned Development District 59 (PD-59). The applicant is requesting the approval of an amendment to Planned Development District 59 (PD-59) to incorporate the subject property and designate it for Residential-Office (RO) District land uses.

On October 18, 2004, the City Council passed *Ordinance No. 04-59*, establishing Planned Development District 59 (PD-59) as the Park Place Subdivision. In its current configuration, Park Place consists of the following Phases: [1] Phase 1, which is zoned for Neighborhood Services (NS) District land uses; [2] Phase 2, which is zoned for Single-Family 7 (SF-7) District land uses; and [3] Phase 3, which is zoned for Single-Family 7 (SF-7) and Residential-Office (RO) District (*i.e. live/work*) land uses. The applicant is proposing to establish Phase 4 by incorporating the subject property for Residential-Office (RO) District land uses and removing the Residential-Office (RO) District land uses from Phase 3 (*i.e. Phase 3 will only allow SF-7 land uses*). A concept plan has been submitted showing that the new Phase will be adjacent to the western boundary of Phase 3 and will consist of five (5) additional lots accessible via Park Place Boulevard. One (1) of the lots currently exists in Phase 3.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant tract of land within the Park Place Subdivision followed by several single-family homes. These areas are zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses, Single-Family 7 (SF-7) District, and Planned Development District 59 (PD-59) for Single-Family 7 (SF-7) District land uses.

South: Directly south of the subject property is a railroad (*i.e. Union Pacific/Dallas Garland N. E.*) followed by several vacant tracts of land and the Rockwall County maintenance facility.

Beyond this is Whitmore Drive and two (2) commercial businesses (*i.e. Ensearch Bail Bonds and Back Street Salon*). These areas are zoned Commercial (C) District and Light Industrial (LI) District.

East: Directly east of the subject property are several single-family homes within the Park Place Subdivision followed by a horizontal mixed-use development containing residential, retail/office, and industrial land uses (*i.e. Park Station*) that is currently in the development phase. These areas are zoned Planned Development District 59 (PD-59) and Planned Development District 87 (PD-87).

West: Directly west of the subject property is Townsend Drive, which is identified as an M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. This is followed by the RSID bus barn. Beyond this are metal buildings followed by several single-family homes. These areas are zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses and Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST:

The applicant has submitted a concept plan and development standards for the existing and proposed Phases of the Park Place Subdivision. The characteristics and development standards for each phase are as follows:

Phase 1: Neighborhood Services (1.8-Acres)

Phase 1 is existing and no changes are being proposed. This phase is subject to the Neighborhood Services (NS) District land uses. A summary of the density and dimensional requirements for Phase 1 is as follows:

Minimum Lot Width ⁽¹⁾	60'
Minimum Lot Depth	100'
Minimum Lot Area	6,000 SF
Minimum Front Yard Setback ⁽²⁾	15'
Minimum Side Yard Setback	20'
Minimum Distance Between Buildings	15'
Maximum Height	36'
Minimum Rear Yard Setback	20'
Maximum Lot Coverage	60%
Maximum Building Size	5,000 SF

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.

Phases 2 & 3: Single-Family 7 (53.6-Acres)

Phases 2 & 3 are existing and both phases allow single-family land uses; however, Phase 3 also allows Residential-Office (RO) District (*i.e. live/work*) land uses. The applicant is proposing to remove the Residential-Office (RO) District land uses from Phase 3, and transition it to Phase 4. This means that Phase 3 will be subject to the Single-Family 7 (SF-7) District land uses. A summary of the density and dimensional requirements for Phases 2 & 3 are as follows:

Minimum Lot Width ⁽¹⁾	40'
Minimum Lot Area	4,000 SF
Minimum Average Lot Area	7,000 SF
Minimum Front Yard Setback ^{(2) & (3)}	10'
Minimum Side Yard Setback ⁽⁴⁾	5'
Minimum Side Yard Adjacent to a Street	10'
Minimum Distance Between Buildings	15'

Maximum Height ⁽³⁾	36'
Minimum Rear Yard Setback ^(4, 5)	10'
Maximum Lot Coverage	60%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The minimum side yard setback for an internal lot or a lot abutting open space or HOA common area is five (5) feet. For yards abutting a street, the minimum side yard setback shall be 10-feet.
- ⁵: Lots with double frontage shall have a minimum rear yard setback of 15 feet.

Phase 4 Residential-Office (1.3-Acres)

The proposed Phase 4 will contain approximately five (5) residential-office units and will be designed to a residential scale (*i.e. the buildings will be designed to look like the existing homes within Park Place*). Since the phase will have residential adjacency, the applicant is proposing to prohibit certain uses within Phase 4 (*e.g. assisted living facility, landfill, transit passenger facility, etc.*) and allow other uses (*e.g. general store larger than 2,000 SF, hair salon, office building more than 5,000 SF*) with a Specific Use Permit (SUP). This phase will be subject to the Residential-Office (RO) District land uses with the exception of the uses outlined in the attached ordinance. A summary of the density and dimensional requirements is as follows:

Minimum Lot Width ⁽¹⁾	60'
Minimum Lot Depth	100'
Minimum Lot Area	6,000 SF
Minimum Front Yard Setback ⁽²⁾	10'
Minimum Side Yard Setback	5'
Minimum Distance Between Buildings	15'
Maximum Height ⁽³⁾	36'
Minimum Rear Yard Setback	10'
Maximum Lot Coverage	60%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the residential-office structure.

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan designates the subject property for Medium-Density Residential land uses, which is characterized as developments containing greater than 2½ units-per-acre, but not higher than three (3) units-per-acre unless an increased amenity is provided, in which event 3½ units-per-acre can be allowed. Should this request be approved, the designation would need to be changed to Live/Work land uses, which is characterized as low-intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties. Although this does not conform to the Future Land Use Plan, given the subject property's current zoning of Heavy Commercial (HC) District, this request will bring the property closer to conformance with the Future Land Use Plan. The change of designation has been made a condition of approval.

STAFF ANALYSIS:

When looking at the applicant's request (*i.e. to amend PD-59 to incorporate a tract of land for residential-office land uses*), the live/work units provide a transition from the single-family residential land uses east of the subject property to the light industrial and heavy commercial land uses to the west of the subject property. The incorporation of the subject property as residential-office units seems to be appropriate given its proximity to the adjacent railroad, does not appear to negatively affect the adjacent properties, and will not preclude the properties from being single-family units.

With that being said, approval of this request is discretionary to the City Council, pending a recommendation from the Planning and Zoning Commission.

NOTIFICATION:

On December 28, 2018, staff mailed 194 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property as required by the UDC. At the time this report was drafted, staff had received seven (7) notices in favor of this case.

RECOMMENDATIONS:

Should the Planning and Zoning Commission choose to recommend approval of the applicant's request to amend Planned Development District 59 (PD-59) to incorporate a 0.786-acre tract of land for Residential-Office (RO) District land uses, staff would propose the following conditions of approval:

- 1) The applicant shall be responsible for maintaining compliance with the conditions contained within the *Planned Development District* ordinance;
- 2) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Plan. Specifically, this will change the designation of the subject property from a Medium-Density Residential designation to a Live/Work designation; and
- 3) Any construction resulting from the approval of this *zoning change* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



Project Number Z2018-057	Owner COLUMBIA EXTRUSION	Applied 12/14/2018	LM
Project Name Amendment to PD-59	Applicant COLUMBIA EXTRUSION	Approved	
Type ZONING		Closed	
Subtype PD		Expired	
Status Staff Review		Status	
 Site Address 305 PARK PLACE		City, State Zip ROCKWALL, TX 75087	
		Zoning	
Subdivision PARK PLACE WEST PH II ADDITION	Tract 2	Block X	Lot No 2
		Parcel No 4621-000X-0002-00-OR	General Plan

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/18/2018	12/25/2018	12/18/2018		APPROVED	
ENGINEERING (12/27/2018 11:14 AM SH) - Lots will need to be replatted. - 4% engineering inspection fees. - Impact Fees. - Flood study and review retainer will be needed unless each lot has detention. - No walls to be smooth concrete. Walls 3' and over must be designed by an engineer.	Sarah Hager	12/14/2018	12/21/2018	12/27/2018	13	COMMENTS	
FIRE	Ariana Hargrove	12/14/2018	12/21/2018	12/19/2018	5	APPROVED	
PLANNING Z2018-057 Amendment to PD-59 Please address the following comments (M= Mandatory Comments; I = Informational Comments). I.1 This is a request by Bill Bricker of Columbia Development Company, LLC for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses being a 56.586-acre tract of land identified as a portion of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) and Planned Development District 59 (PD-59), located between W. Washington Street and T. L. Townsend Drive. I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (Z2018-057) in the lower right hand corner of all pages on future submittals. M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting. I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 2019. The Planning and Zoning Meeting for this case is January 15, 2019 2018. I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.	Korey Brooks	12/14/2018	12/21/2018	12/27/2018	13	COMMENTS	Comments

ZONING DESCRIPTION - PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 100, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
 BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 88.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
 THENCE North 80°56'29" East a distance of 126.45 feet to a 1/2" iron pipe for corner;
 THENCE North 88°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°54'45" East a distance of 240.70 feet to fence post found (controling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Remfro Street;
 THENCE continuing along said Remfro Street North 101°3'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Remfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
 THENCE North 01°20'58" West a distance of 208.56 feet to a 1/2" iron pipe for corner;
 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 69°05'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
 THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;
 THENCE North 88°50'03" East a distance of 300.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
 THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;
 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left; THENCE in a southeasterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 888.32 feet to a 1/2" pipe found for corner;
 THENCE departing said right-of-way North 04°28'08" West a distance of 134.73 feet to a fence post found for corner;
 THENCE South 85°54'51" West a distance of 210.88' to the POINT OF BEGINNING and containing 55.8 acres of land more or less.

ZONING DESCRIPTION - PD 52

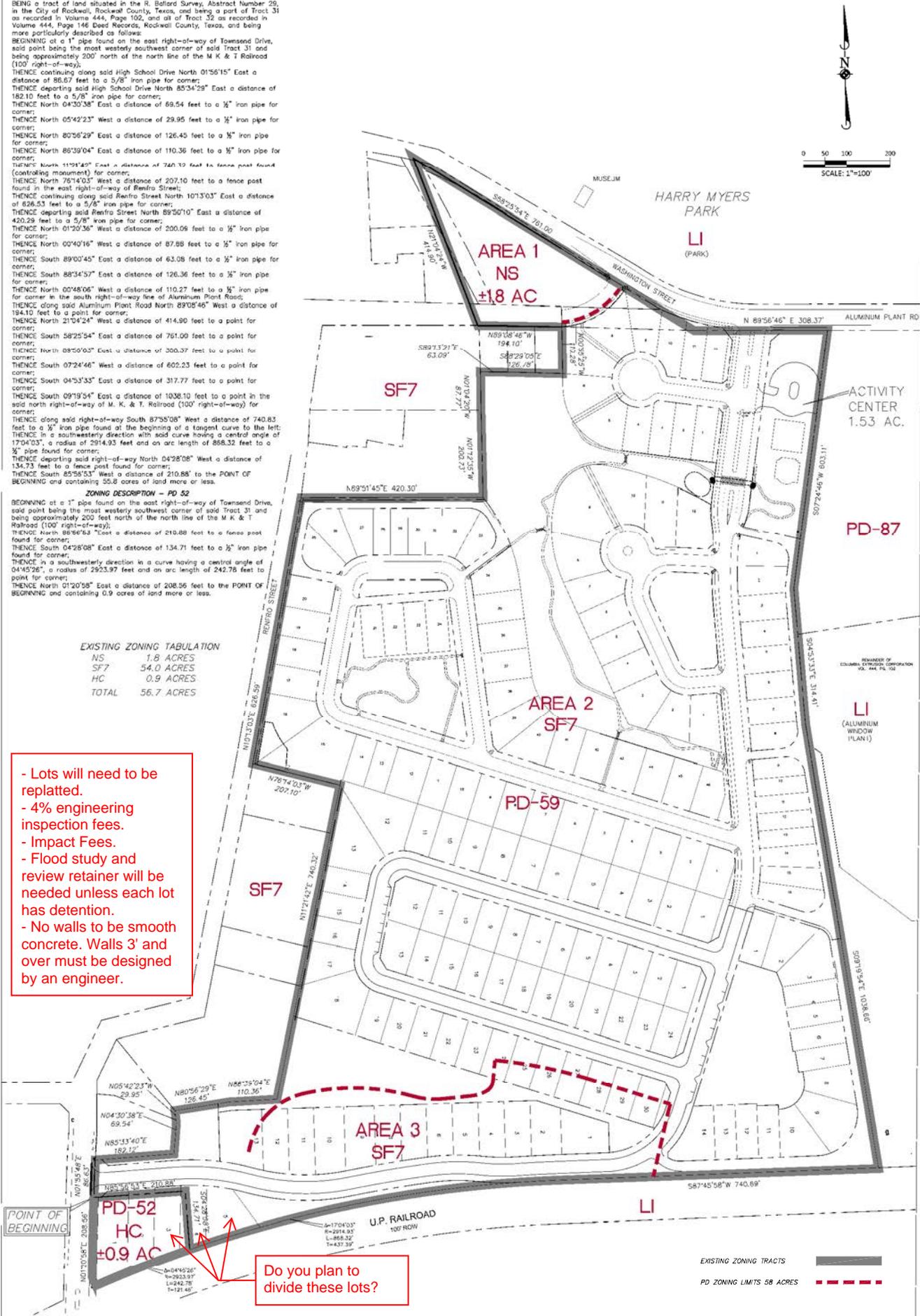
BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 100, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
 BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200 feet north of the north line of the M & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 210.88 feet to a fence post found for corner;
 THENCE South 04°28'08" East a distance of 134.71 feet to a 1/2" iron pipe found for corner;
 THENCE in a southeasterly direction in a curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to a point for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to the POINT OF BEGINNING and containing 0.9 acres of land more or less.

EXISTING ZONING TABULATION

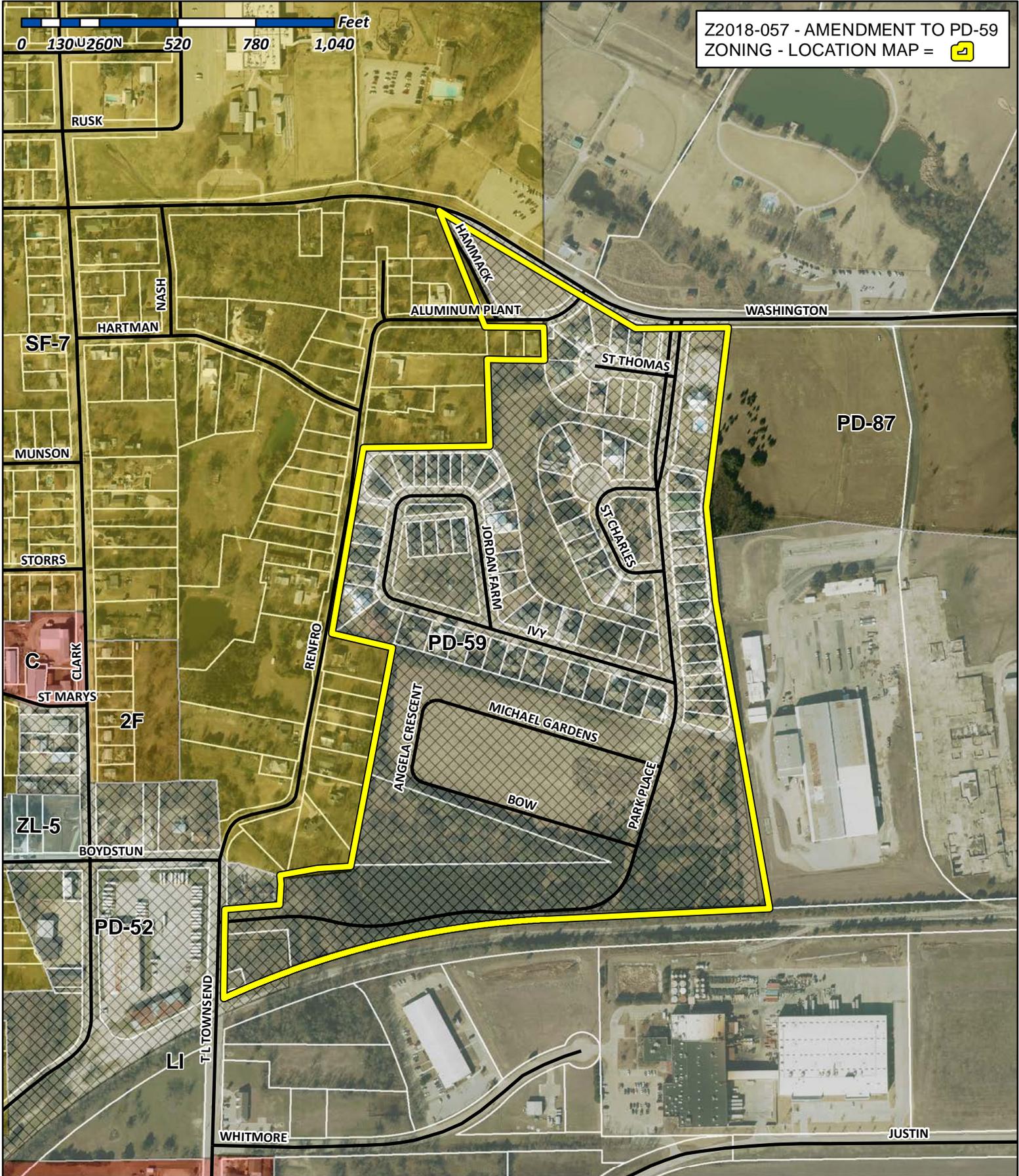
NS	1.8 ACRES
SF7	54.0 ACRES
HC	0.9 ACRES
TOTAL	56.7 ACRES

- Lots will need to be replatted.
- 4% engineering inspection fees.
- Impact Fees.
- Flood study and review retainer will be needed unless each lot has detention.
- No walls to be smooth concrete. Walls 3' and over must be designed by an engineer.

Do you plan to divide these lots?



EXISTING ZONING TRACTS
 PD ZONING LIMITS 58 ACRES



Z2018-057 - AMENDMENT TO PD-59
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

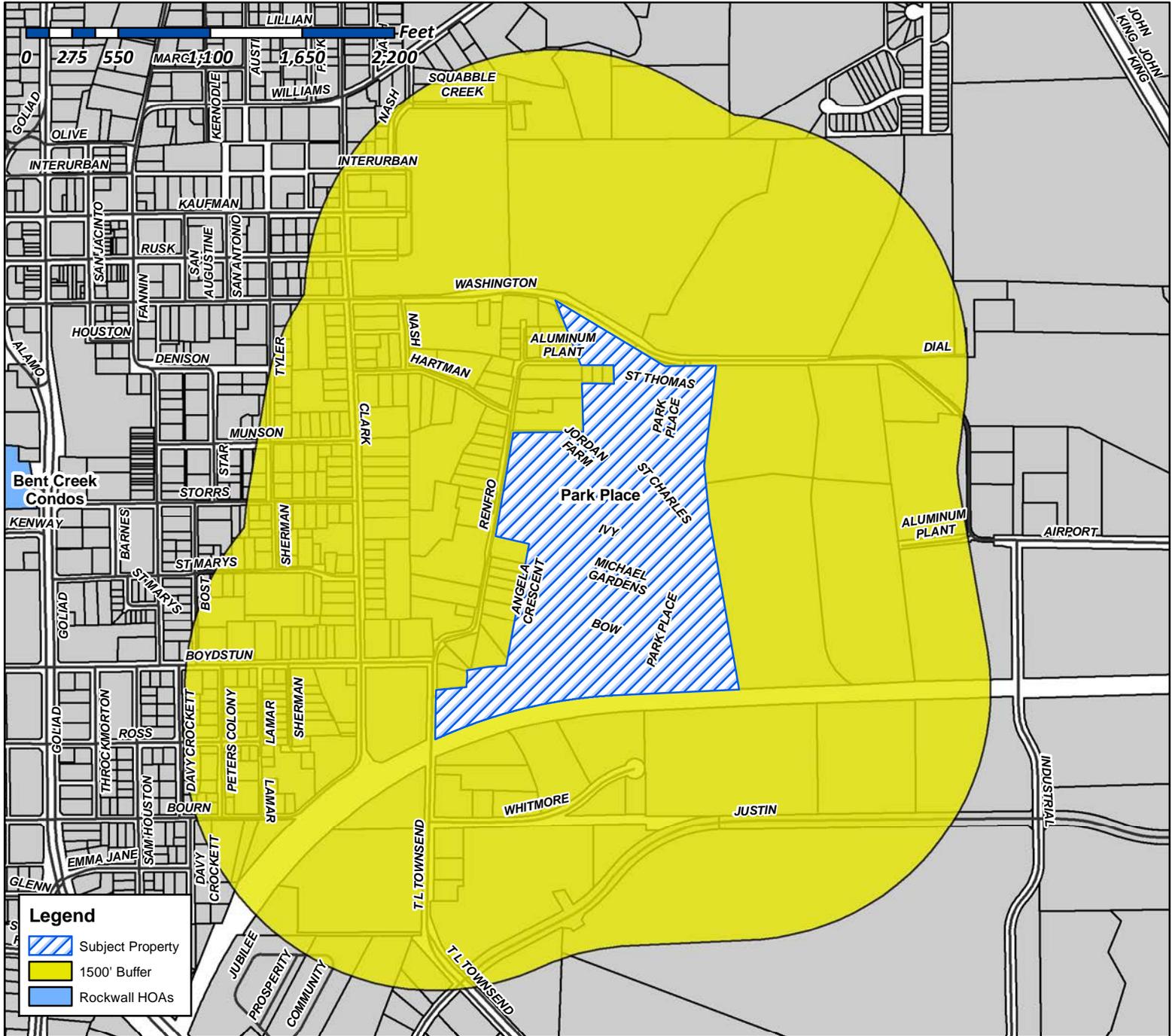




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2018-057
Case Name: Amendment to PD-59
Case Type: Zoning
Zoning: PD-59 & PD-57
Case Address: Between W. Washington Street and T.L. Townsend Drive

Date Created: 12/17/2018
For Questions on this Case Call (972) 771-7745

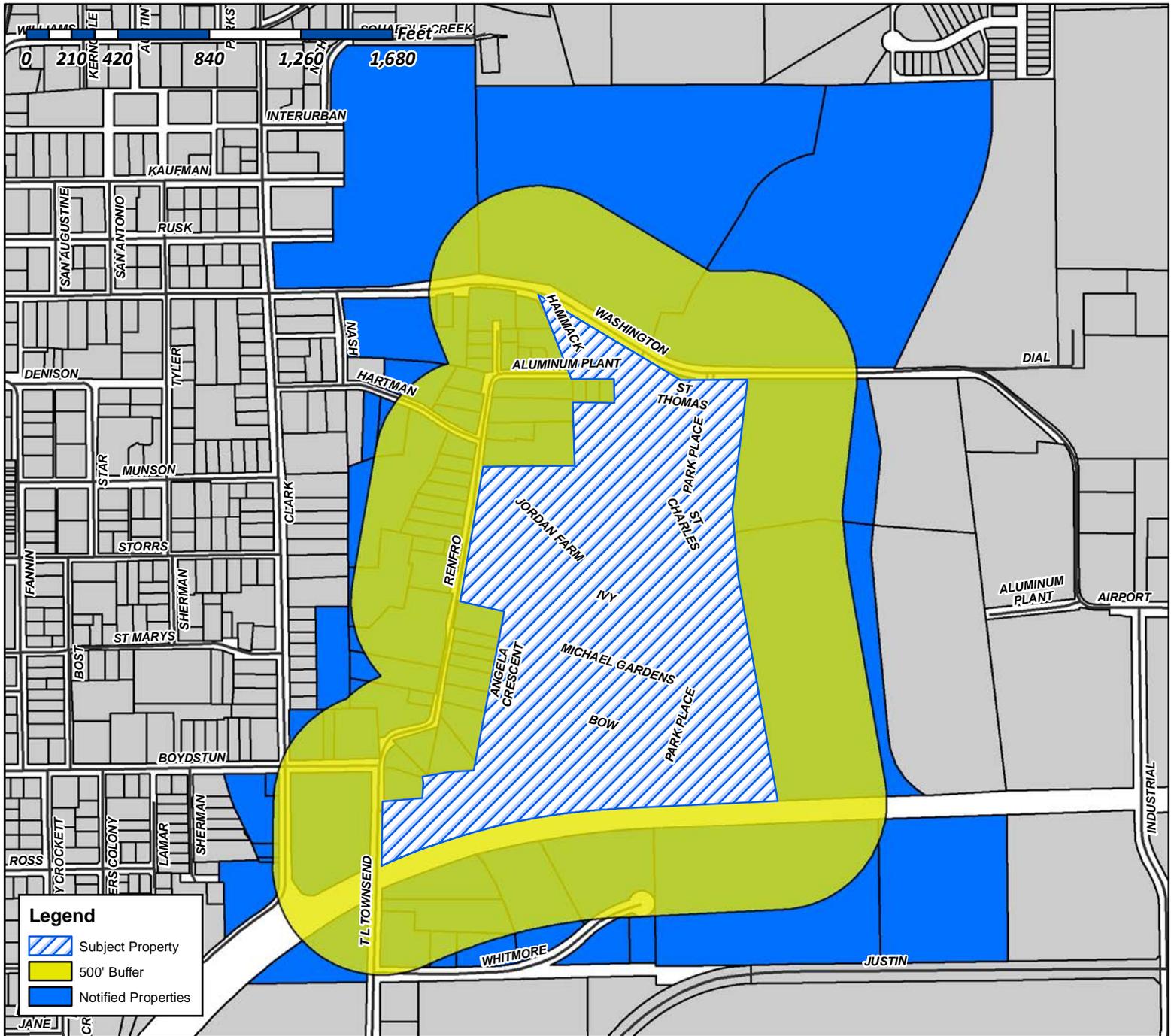
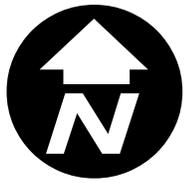




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1001 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1002 ST CHARLES CT
ROCKWALL, TX 75087

TENNEY LYNN H III AND CHRISTINE L
1002 IVY LN
ROCKWALL, TX 75087

TROSPER MARK AND GLORIA
1007 ST. CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1008 ST CHARLES CT
ROCKWALL, TX 75087

RIPP KEEGAN & NICOLA
1008 IVY LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1009 IVY LN
ROCKWALL, TX 75087

ROCKWALL COUNTY
C/O COUNTY TREASURER
101 E RUSK ST SUITE 101
ROCKWALL, TX 75087

CURRENT RESIDENT
1014 ST CHARLES CT
ROCKWALL, TX 75087

MOORE BECKY INEZ AND
CYNTHIA ANN HUDDLESTON
1014 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1015 ST CHARLES CT
ROCKWALL, TX 75087

BUCKNER DANA RENEE
1015 IVY LN
ROCKWALL, TX 75087

ARCHER ADAM AND SHAUNA
1020 IVY LANE
ROCKWALL, TX 75087

DAVID DAVID A AND CHRISTINE A
1020 SAINT CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1021 IVY LN
ROCKWALL, TX 75087

LEWIS WANDA C
1023 SAINT THOMAS CT
ROCKWALL, TX 75087

FECHT JARED W & JULIE
1026 IVY LN
ROCKWALL, TX 75087

YOUNG PHIL & KATHY
1026 SAINT CHARLES COURT
ROCKWALL, TX 75087

IVEY BRUCE AND TINA
1026 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1027 IVY LN
ROCKWALL, TX 75087

FOX DENNIS AND KAREN
1027 ST THOMAS CT
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

CONFIDENTIAL
1031 SAINT THOMAS COURT
ROCKWALL, TX 75087

JACKSON JOEY W AND ANITA L
1032 IVY LANE
ROCKWALL, TX 75087

FIELDS SHAY AND JONI
1032 ST CHARLES COURT
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST
EDWINA W EDWARDS TRUSTEE
1034 ST THOMAS CT
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST
EDWINA W EDWARDS TRUSTEE
1034 ST THOMAS CT
ROCKWALL, TX 75087

EDWARDS EDWINA W REVOCABLE TRUST
EDWINA W EDWARDS TRUSTEE
1034 ST THOMAS CT
ROCKWALL, TX 75087

JOHNSON RICHARD ERIC AND DIANNA MUNRO
1035 SAINT THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1038 ST THOMAS CT
ROCKWALL, TX 75087

ALMQUIST DANA
1038 IVY LANE
ROCKWALL, TX 75087

BEER TERRY L AND
CYNTHIA OLSON
1039 ST THOMAS CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1040 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1042 ST THOMAS CT
ROCKWALL, TX 75087

SMITH TAMMY WILLIAMS AND RICHARD
1044 IVY LN
ROCKWALL, TX 75087

SMITH RICHARD AND TAMMY
1044 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1046 ST CHARLES CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1046 ST THOMAS CT
ROCKWALL, TX 75087

CONFIDENTIAL
1050 IVY LANE
ROCKWALL, TX 75087

HOULE GARY AND AYURNI NAKAMURA
114 MISCHIEF LN
ROCKWALL, TX 75032

TUCKER JANA
120 PLEASANT HILL LN
FATE, TX 75189

CURRENT RESIDENT
1200 E WASHINGTON
ROCKWALL, TX 75087

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

CURRENT RESIDENT
1250 JUSTIN RD
ROCKWALL, TX 75087

SOMMER RICHELLE AND RICHARD
131 COPTER LN
FATE, TX 75189

ARCHULETA JOSEPH AND KATHY
1403 ST THOMAS
ROCKWALL, TX 75087

CHADICK CABE
1403 WINDSOR DRIVE
MCKINNEY, TX 75070

HOGUE MIKE AND VICKY
1498 HUBBARD DR
FORNEY, TX 75126

TAH MS BORROWER LLC
C/O TRICON AMERICAN HOMES LLC
1508 BROOKHOLLOW DRIVE
SANTA ANA, CA 92705

VRANA MARK AND
PAM VRANA
1650 JOHN KING BLVD APT 3107
ROCKWALL, TX 75032

LAKEVIEW SUMMIT PROPERTIES LLC
1870 HILLCROFT DR
ROCKWALL, TX 75087

CURRENT RESIDENT
202 HAMMACK LN
ROCKWALL, TX 75087

CURRENT RESIDENT
202 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
203 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
204 RENFRO ST
ROCKWALL, TX 75087

CANNEDY ELIZABETH R AND RANDY D
206 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
207 S NASH ST
ROCKWALL, TX 75087

POWELL SEAN DAVID
208 DWYER CT
ROCKWALL, TX 75032

RIJU LTD PARTNERSHIP, A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

P & P ENTERPRISES
230 MYERS RD
HEATH, TX 75032

SHERMAN JOCELYN D
233 WILLINGHAM DR
COPPELL, TX 75019

JOE & DAVID TACOS LTD
2455 RIDGE RD #135
ROCKWALL, TX 75087

LIGHTFOOT MARSHALL & CYNTHIA
256 WINDY LN
ROCKWALL, TX 75087

PIGEON MICHAEL AND COLLEEN
2603 W 10TH ST
DALLAS, TX 75211

CORDOSO FRANCISCO
2848 TANGLEGLEN DR
ROCKWALL, TX 75032

CURRENT RESIDENT
301 RENFRO ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

CHERRY JOHN T
303 RENFRO STREET
ROCKWALL, TX 75087

CURRENT RESIDENT
305 PARK PLACE
ROCKWALL, TX 75087

COLUMBIA DEVELOPMENT CO LLC
ATTN BILL BRICKER
305 PARK PLACE BLVD
ROCKWALL, TX 75087

PRATER SAMUEL LEE AND LAUREN NICOLE
305 RENFRO ST
ROCKWALL, TX 75087

WERCHAN ALLEN AND KELLI
309 GLENN AVE
ROCKWALL, TX 75087

COX GERALD GLEN & ROSALBA
3150 HAYS LN
ROCKWALL, TX 75087

BUCHANAN DAVID
365 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

STRADTMANN TROY H
366 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
369 JORDAN FARM CIR
ROCKWALL, TX 75087

CLINE DAVID W AND INA L
373 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
374 RENFRO ST
ROCKWALL, TX 75087

JOHNSON JENNIFER
377 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
381 JORDAN FARM CIR
ROCKWALL, TX 75087

HALL JESSIE MARIE AND
JAMIE KATE HALL
382 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
385 JORDAN FARM CIR
ROCKWALL, TX 75087

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

CAVAZOS BRUNO III AND STACI
389 JORDAN FARM CIR
ROCKWALL, TX 75087

PEURIFOY REBECCA
393 JORDAN FARM CIR
ROCKWALL, TX 75087

BIETENDORF GUY A AND CYNTHIA K
BIETENDORF
397 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
400 RENFRO ST
ROCKWALL, TX 75087

CLARK JERRY W & PAMELA
401 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
402 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
404 RENFRO ST
ROCKWALL, TX 75087

FREDERICK MARSHA
405 JORDAN FARM CIR
ROCKWALL, TX 75087

BARRON GARY S AND DELL S
405 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
406 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
408 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
408 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
410 RENFRO ST
ROCKWALL, TX 75087

KESSLAR MARILYNN
411 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

JONES KENNETH AND CINDY
411 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
412 RENFRO ST
ROCKWALL, TX 75087

FLYNT GARY & NANCY
414 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

CURRENT RESIDENT
417 JORDAN FARM CIR
ROCKWALL, TX 75087

COLBERT PHILIP AND MARGIE
417 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
420 JORDAN FARM CIR
ROCKWALL, TX 75087

HOWARD DALE E AND JOYCE
420 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

RADNEY STEPHEN P AND MARTHA M
423 JORDAN FARM CIR
ROCKWALL, TX 75087

STANLEY STEVE AND ROBIN
423 PARK PLACE BLVD
ROCKWALL, TX 75087

STANLEY STEVEN B AND ROBIN
423 PARK PLACE BLVD
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
425 E SOUTHLAKE BLVD #100
SOUTHLAKE, TX 76092

WALKER ANTHONY W AND JENNIFER
426 JORDAN FARM CIR
ROCKWALL, TX 75087

RADNEY FAMILY TRUST
STEPHEN P AND MARTHA RADNEY
429 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

MORGAN WILBUR J AND NANCY F
429 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
434 JORDAN FARM CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
435 JORDAN FARM CIR
ROCKWALL, TX 75087

ROLLINS DANNY & JONNA
4505 LAKE HILL DR
ROWLETT, TX 75089

KRAEMER TERESA A
4525 COLE AVENUE #1105
DALLAS, TX 75205

CURRENT RESIDENT
500 RENFRO ST
ROCKWALL, TX 75087

LOVOI JOSEPH J SR AND VELMA J
501 PARK PLACE BLVD
ROCKWALL, TX 75087

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

SAMPLES CLARENCE E & ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFRO STREET
ROCKWALL, TX 75087

CURRENT RESIDENT
507 RENFRO ST
ROCKWALL, TX 75087

RASMUSSEN MICHAEL AND DELILA RASMUSSEN
507 PARK PLACE BLVD
ROCKWALL, TX 75087

GARCIA MELISSA P AND
JOE DOWELL LOFTIS JR AKA JOE DOWELL LOFTIS
513 PARK PLACE BLVD
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

BLACKWOOD SCOTT W & GLENITA G
5205 S FM 549
ROCKWALL, TX 75032

CURRENT RESIDENT
523 PARK PLACE BLVD
ROCKWALL, TX 75087

PROPER GROUP, LLC
5250 TX-78 SUITE 750-299
SACHSE, TX 75048

CURRENT RESIDENT
535 PARK PLACE BLVD
ROCKWALL, TX 75087

HENRY PATRICIA A
541 PARK PLACE BLVD
ROCKWALL, TX 75087

DUKE JERI L
5911 PINEY BIRCH COURT
KINGWOOD, TX 77345

CURRENT RESIDENT
601 PARK PLACE BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
601 RENFRO ST
ROCKWALL, TX 75087

HOGUE MARVIN E & JOYCE M
LIFE ESTATE
602 RENFRO ST
ROCKWALL, TX 75087

CONWAY MICHAEL AND JEAN
603 S GOLIAD ST
ROCKWALL, TX 75087

CALDWELL KEVIN L & LINDA D
605 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
606 RENFRO ST
ROCKWALL, TX 75087

CURRENT RESIDENT
607 PARK PLACE BLVD
ROCKWALL, TX 75087

GOOD EARTH FUNDING INC
607 HIGHLAND COLONY PKWY SUITE 200
RIDGELAND, MS 39157

GOOD EARTH FUNDING INC
607 HIGHLAND COLONY PKWY SUITE 200
RIDGELAND, MS 39157

HARRINGTON DEBORAH
607 RENFRO ST
ROCKWALL, TX 75087

RUFF DAVE & ANNE
6105 LAKESHORE DR
ROWLETT, TX 75089

RUFF DAVID & ANNE
6105 LAKESHORE DR
ROWLETT, TX 75089

CURRENT RESIDENT
613 PARK PLACE BLVD
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO ST
ROCKWALL, TX 75087

ABBOTT TODD & WHITNEY
619 RENFRO STREET
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
% DOUGLAS A KAUFMANN
627 SORITA CIR
HEATH, TX 75032

CURRENT RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

CURRENT RESIDENT
703 TOWNSEND DR
ROCKWALL, TX 75087

CURRENT RESIDENT
703 E BOYSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707 TOWNSEND
ROCKWALL, TX 75087

CURRENT RESIDENT
707 S CLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

GILLIAM ROBERT W JR & PERRILYN
712 HARTMAN ST
ROCKWALL, TX 75087

PIERCY DUANE AND JENNIFER
713 HARTMAN
ROCKWALL, TX 75087

HOOVER LINDA WEST-
716 HARTMAN STREET
ROCKWALL, TX 75087

CURRENT RESIDENT
720 E WASHINGTON
ROCKWALL, TX 75087

CURRENT RESIDENT
724 E WASHINGTON ST
ROCKWALL, TX 75087

DANIEL MICHAEL D
801 ALUMINUM PLANT RD
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

WISE ALICE
803 ALUMINUM PLANT ROAD
ROCKWALL, TX 75087

CURRENT RESIDENT
805 ALUMINUM PLANT RD
ROCKWALL, TX 75087

VARNER ROBERT R JR &
GLEN COX
815 TL TOWNSEND
ROCKWALL, TX 75087

POOL STOP INC
838 STEGER TOWN RD
ROCKWALL, TX 75032

WOOD WILLIAM AND SANDIE
8718 CLEARLAKE DR
ROWLETT, TX 75088

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
886 IVY LN
ROCKWALL, TX 75087

OGDEN DONNA AND WENDELL
891 IVY LN
ROCKWALL, TX 75087

HARRILL EVELYN
892 IVY LN
ROCKWALL, TX 75087

RAGSDALE ELIZABETH J LIFE ESTATE
LISA JANE BAKER & DONALD KIRK RAGSDALE
895 IVY LN
ROCKWALL, TX 75087

MASON MARSHA
901 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
902 ALUMINUM PLANT RD
ROCKWALL, TX 75087

WILLMON WENDY LYNN
904 ALUMINUM PLANT RD
ROCKWALL, TX 75087

CURRENT RESIDENT
905 IVY LN
ROCKWALL, TX 75087

STATON CARL E & BOBBIE JANE
906 ALUMINUM PLANT RD
ROCKWALL, TX 75087

BENEDETTO MATT
907 W HOLIDAY RD
ROCKWALL, TX 75087

MOORE CONNIE JO
908 COUNTRY CLUB DR
HEATH, TX 75032

BUCHANAN BARRY D & MELISSA M
908 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
914 IVY LN
ROCKWALL, TX 75087

CURRENT RESIDENT
915 WHITMORE
ROCKWALL, TX 75087

CURRENT RESIDENT
920 WHITMORE
ROCKWALL, TX 75087

WHITMORE MANUFACTURING CO
930 WHITMORE DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
930/1250 JUSTIN RD
ROCKWALL, TX 75087

RUSHING JOE L & DONNA S
9414 SHEARER ST
ROWLETT, TX 75088

MARTIN CHARLES TED & RHONDA K
995 ST CHARLES CT
ROCKWALL, TX 75087

HITT FLOYD ESTATE
DOROTHY SUE HITT MATTHIES AND
LYNDEL RAY TIPTON JR INDEPENDENT CO
EXECUTORS 7836 YAMINI DR
DALLAS, TX 75230

COX STEPHEN
M/R
, TX

CCO TRANSFERS LLC
ATTN; PROPERTY TAX DEPT
P.O. BOX 7467
CHARLOTTE, NC 28241

CCO TRANSFERS LLC
ATTN; PROPERTY TAX DEPT
P.O. BOX 7467
CHARLOTTE, NC 28241

PODINA HERB AND LAURA
PO BOX 1586
ROCKWALL, TX 75087

ALLISON DEANNA JO
PO BOX 1624
ROCKWALL, TX 75087

MISHLER MICHAEL L AND RHONDA
PO BOX 38
ROCKWALL, TX 75087

DAVIS SHAUNTE AND JACOB
PO BOX 462311
GARLAND, TX 75046

HOWELL RONALD L AND MICHELE L
PO BOX 761
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2018-057: Amendment to PD-59

Hold a public hearing to discuss and consider a request by Bill Bricker of Columbia Development Company, LLC for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses being a 56.586-acre tract of land identified as a portion of R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) and Planned Development District 59 (PD-59), located between W. Washington Street and T. L. Townsend Drive, and take any action necessary.

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As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by **1/22/2019** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



**MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development-cases)**

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2018-057: Amendment to PD-59

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

I am a current resident of Park Place. I believe this request by Bill Bricker & Columbia should be granted as Bill has done a great job developing Park Place.

Name: *Shay A. Fields*
Address: *1032 St. Charles Ct - Rockwall*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2018-057: Amendment to PD-59

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

I am familiar with the details of the zoning change request and am in favor of it. It is a good change for the neighborhood of Park Place.

Barry Buchanan

Name: **BARRY Buchanan**

Address: **908 Ivy Ln, Rockwall, TX 75087**

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CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

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Ryan Miller, AICP
Director of Planning & Zoning



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Case No. Z2018-057: Amendment to PD-59

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Empty lined area for handwritten comments.

Name: Dennis Fox

Address: 1627 St Thomas Ct Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Michael Rasmussen

To: planning@rockwall.com
Subject: Subject: Case No Z2018-057 PZ 1/15 City Council 1/22
Expires: Thursday, January 17, 2019 12:00 AM

Korey Brooks planning@rockwall.com
Rockwall Planning and Zoning Dept
385 S. Goliad Street
Rockwall, TX 75087

Subject: Case No Z2018-057 PZ 1/15 City Council 1/22
Request to consider Bill Bricker of Columbia Development amendment to add .786 acre tract of land.....

I am in agreement to the proposed change adding additional acreage and RO (Residential Office) designation to new addition. However in addition it should be noted that Mr. Bricker has indicated simultaneously removing the existing 20 lots currently designated as LW (See Item A Below)

I do not see this language in the zoning notice.

A) "At the same time we will remove the LW from the 20 lots in the current Ph III, so that at no time in the future can the use be office or commercial related."

Original Request Sent to HOA From Mr. Bricker

3) "Our case is simple. I want to bring this acre of HC land into Park Place as Residential Office (RO) use. It will be combined with one lot on the south side of Park Place Blvd to create a total of 5 lots. RO zoning is the new name which is a more restrictive designation for LW and is the same as the zoning for the North Goliad district. This RO area along Goliad is looking nice, and has some very compatible uses with surrounding residential homes. In bringing them into the HOA, we will control the architecture and the buildings will look to be Park Place homes."

Respectfully,

Michael Rasmussen
507 Park Place Blvd
Rockwall TX 75087



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Director of Planning & Zoning



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Case No. Z2018-057: Amendment to PD-59

Please place a check mark on the appropriate line below:

See Attached Letter

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Blank lines for providing reasons for support or opposition.

Name:

Address:

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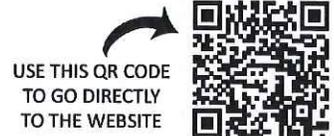
**Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

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Case No. Z2018-057: Amendment to PD-59

Please place a check mark on the appropriate line below:

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- I am opposed to the request for the reasons listed below.

GREAT PLAN!

Name: *John WARDEN, owner*
Address: *506 REVERO, ROCKWALL, TX 75087*

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- I am opposed to the request for the reasons listed below.

GREAT PLAN!

Name: *JOHN WARDEN, RESIDENT*
Address: *880 IVY, ROCKWALL, TX, 75087*

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Case No. Z2018-057: Amendment to PD-59

Please place a check mark on the appropriate line below:

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- I am opposed to the request for the reasons listed below.

Improves The subdivision.

Name: *Mike Mishler*
Address: *1009 Joy Ln. Rockwall, TX 75087*

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Case No. Z2018-057: Amendment to PD-59

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Good use of an awkward piece of land -
Probably would have difficulty w/ other
uses because of shape, size, & proximity
to railroad tracks

Name: Mike + JEAN CONWAY

Address: 435 JORDAN FARM CIRCLE

Tex. Loc. Gov. Code, Sec. 211.006 (d). If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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**Columbia
Development
Company, L.L.C.**

305 Park Place Blvd.
Rockwall, Texas 75087
Tel 972.722.2439
Cell 214.801.6157
bill@parkplacerockwall.com

December 28, 2018

City of Rockwall
385 S. Goliad St
Rockwall, TX 75087

Columbia Development Company, LLC is requesting a zoning case to amend and add some desired uses for Park Place West. There are two driving thoughts behind this request.

One, to bring a tract of land currently zoned as PD-52 which is generally Heavy Commercial (HC) into the PD_59 of Park Place. This will allow restricting uses to be more compatible with Park Place residents and residential development and at the same time allow controlled live/work units as well as some commercial use. These lots would be part of the HOA and be subject to HOA approval as far as the designs.

The second is to remove the Area 3 commercial use from PD-59 on up to 19 lots leaving them as residential lots only. Original planning for Ph III included this "Live/Work" component as this was a popular idea. As time has passed and the demand for Park Place residential lots is strong enough, I feel the Live/Work use would be incompatible with the balance of the community.

By rezoning the area we will eliminate potential unwanted use of some of the lots now and in the future while adding a viable and useful area zoned for services to the neighborhood and community.

Sincerely;

A handwritten signature in blue ink that reads "C.W. Bricker".

C.W. Bricker
President

ZONING DESCRIPTION - PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:

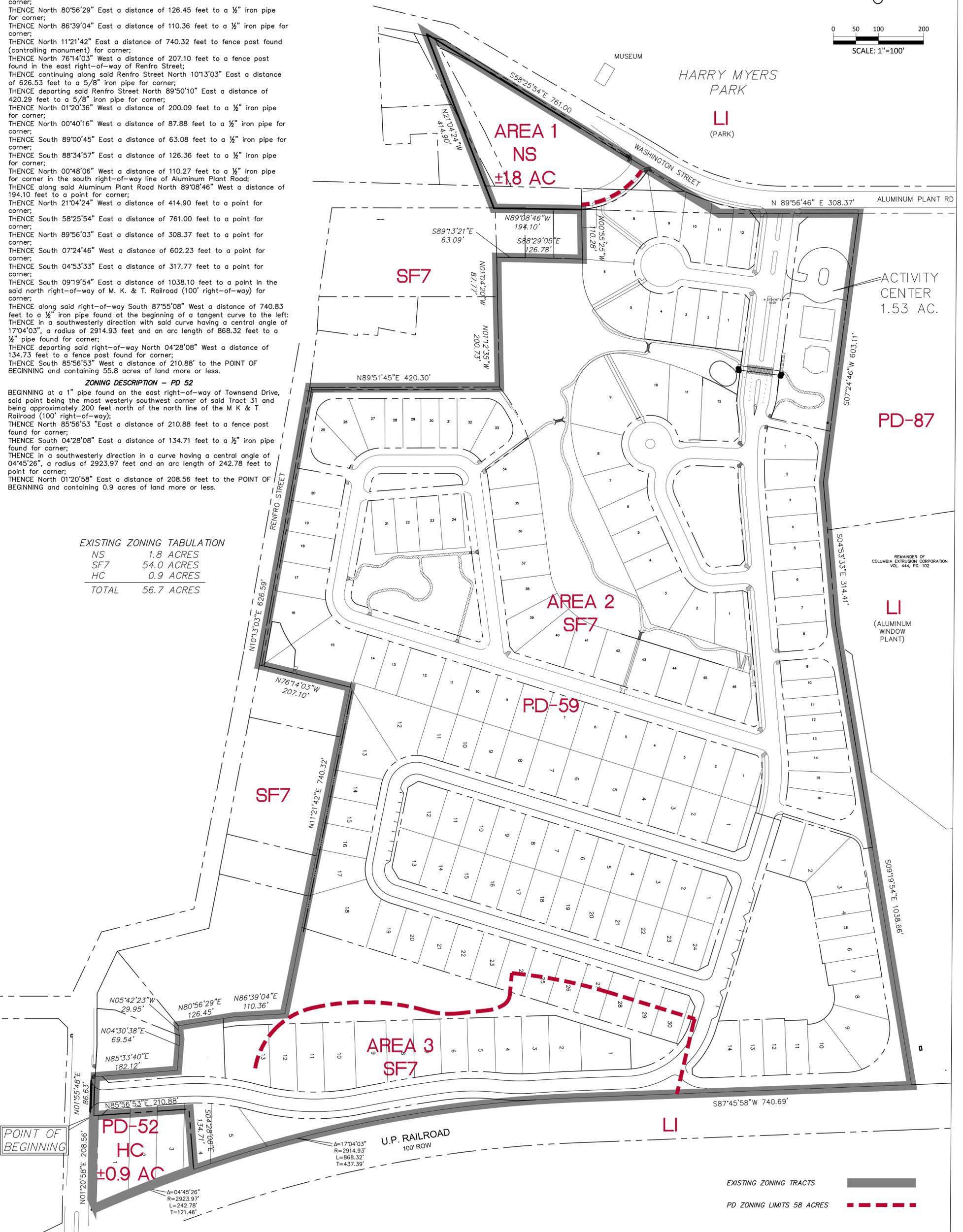
BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M K & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
 THENCE North 80°56'29" East a distance of 126.45 feet to a 1/2" iron pipe for corner;
 THENCE North 86°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°21'42" East a distance of 740.32 feet to fence post found (controlling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Renfro Street;
 THENCE continuing along said Renfro Street North 10°13'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
 THENCE North 01°20'36" West a distance of 200.09 feet to a 1/2" iron pipe for corner;
 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 89°08'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
 THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;
 THENCE North 89°56'03" East a distance of 308.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
 THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;
 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left; THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a 1/2" pipe found for corner;
 THENCE departing said right-of-way North 04°28'08" West a distance of 134.73 feet to a fence post found for corner;
 THENCE South 85°56'53" West a distance of 210.88' to the POINT OF BEGINNING and containing 55.8 acres of land more or less.

ZONING DESCRIPTION - PD 52

BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200 feet north of the north line of the M K & T Railroad (100' right-of-way);
 THENCE North 85°56'53" East a distance of 210.88 feet to a fence post found for corner;
 THENCE South 04°28'08" East a distance of 134.71 feet to a 1/2" iron pipe found for corner;
 THENCE in a southwesterly direction in a curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to point for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to the POINT OF BEGINNING and containing 0.9 acres of land more or less.

EXISTING ZONING TABULATION

NS	1.8 ACRES
SF7	54.0 ACRES
HC	0.9 ACRES
TOTAL	56.7 ACRES



POINT OF BEGINNING

EXISTING ZONING TRACTS
 PD ZONING LIMITS 58 ACRES

EX A

PARK PLACE
 PD 59
 ROCKWALL TEXAS
 EXISTING ZONING PLAN



TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679-1679
 FIRM No. 19244 tjones@tomden.com

12.11.2018

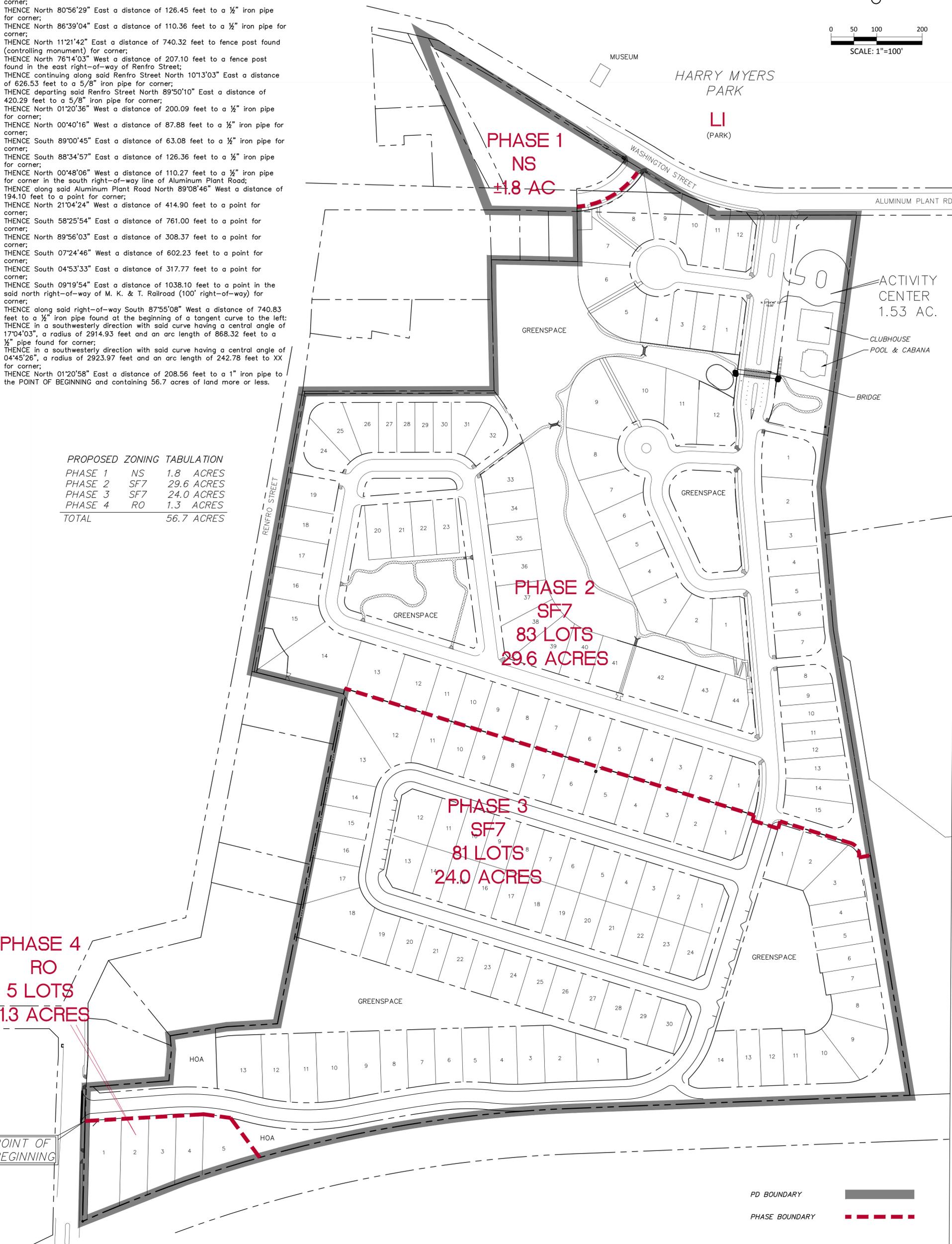
ZONING DESCRIPTION - REVISED PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
 BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M K & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
 THENCE North 80°56'29" East a distance of 126.45 feet to a 1/2" iron pipe for corner;
 THENCE North 86°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°21'42" East a distance of 740.32 feet to fence post found (controlling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Renfro Street;
 THENCE continuing along said Renfro Street North 10°13'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
 THENCE North 01°20'36" West a distance of 200.09 feet to a 1/2" iron pipe for corner;
 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 89°08'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
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 THENCE North 89°56'03" East a distance of 308.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
 THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;
 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left;
 THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a 1/2" pipe found for corner;
 THENCE in a southwesterly direction with said curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to XX for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to a 1" iron pipe to the POINT OF BEGINNING and containing 56.7 acres of land more or less.



PROPOSED ZONING TABULATION

PHASE 1	NS	1.8	ACRES
PHASE 2	SF7	29.6	ACRES
PHASE 3	SF7	24.0	ACRES
PHASE 4	RO	1.3	ACRES
TOTAL		56.7	ACRES



EX B

PARK PLACE
 PD 59
 ROCKWALL TEXAS
 CONCEPT PLAN

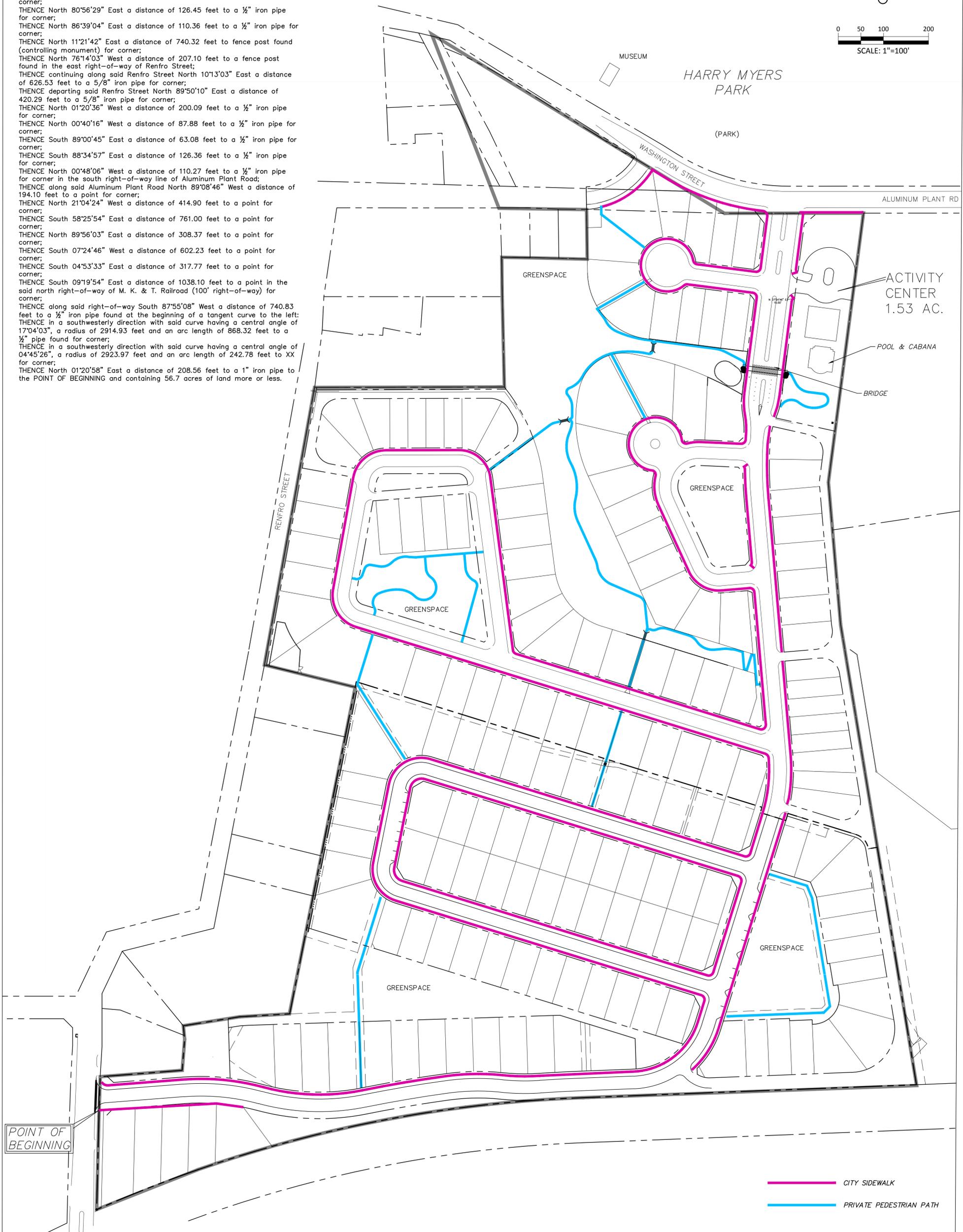


TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
 (214) 679 - 1679
 FIRM No. 19244 tjones@tomden.com

12.11.2018

ZONING DESCRIPTION - REVISED PD 59

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31 as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:
 BEGINNING at a 1" pipe found on the east right-of-way of Townsend Drive, said point being the most westerly southwest corner of said Tract 31 and being approximately 200' north of the north line of the M K & T Railroad (100' right-of-way);
 THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;
 THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;
 THENCE North 04°30'38" East a distance of 69.54 feet to a 1/2" iron pipe for corner;
 THENCE North 05°42'23" West a distance of 29.95 feet to a 1/2" iron pipe for corner;
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 THENCE North 86°39'04" East a distance of 110.36 feet to a 1/2" iron pipe for corner;
 THENCE North 11°21'42" East a distance of 740.32 feet to fence post found (controlling monument) for corner;
 THENCE North 76°14'03" West a distance of 207.10 feet to a fence post found in the east right-of-way of Renfro Street;
 THENCE continuing along said Renfro Street North 10°13'03" East a distance of 626.53 feet to a 5/8" iron pipe for corner;
 THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;
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 THENCE North 00°40'16" West a distance of 87.88 feet to a 1/2" iron pipe for corner;
 THENCE South 89°00'45" East a distance of 63.08 feet to a 1/2" iron pipe for corner;
 THENCE South 88°34'57" East a distance of 126.36 feet to a 1/2" iron pipe for corner;
 THENCE North 00°48'06" West a distance of 110.27 feet to a 1/2" iron pipe for corner in the south right-of-way line of Aluminum Plant Road;
 THENCE along said Aluminum Plant Road North 89°08'46" West a distance of 194.10 feet to a point for corner;
 THENCE North 21°04'24" West a distance of 414.90 feet to a point for corner;
 THENCE South 58°25'54" East a distance of 761.00 feet to a point for corner;
 THENCE North 89°56'03" East a distance of 308.37 feet to a point for corner;
 THENCE South 07°24'46" West a distance of 602.23 feet to a point for corner;
 THENCE South 04°53'33" East a distance of 317.77 feet to a point for corner;
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 THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a 1/2" iron pipe found at the beginning of a tangent curve to the left;
 THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a 1/2" pipe found for corner;
 THENCE in a southwesterly direction with said curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to XX for corner;
 THENCE North 01°20'58" East a distance of 208.56 feet to a 1" iron pipe to the POINT OF BEGINNING and containing 56.7 acres of land more or less.



POINT OF BEGINNING

— CITY SIDEWALK
 — PRIVATE PEDESTRIAN PATH

EX C

PARK PLACE
 PD 59
 ROCKWALL TEXAS
 PEDESTRIAN PLAN



TOMDEN ENGINEERING, L.L.P.
 5815 MEADOWCREST
 DALLAS, TX 75230
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 FIRM No. 19244 tjones@tomden.com

12.11.2018

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND PLANNED DEVELOPMENT DISTRICT 59 (PD-59) [ORDINANCE NO.'s 04-59 AND 6-51] AND PLANNED DEVELOPMENT DISTRICT 52 (PD-52) [ORDINANCE NO. 16-45] FOR THE PURPOSE OF INCORPORATING A 0.789-ACRE TRACT OF LAND FOR RESIDENTIAL-OFFICE (RO) DISTRICT LAND USES BEING A 56.586-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF THE R. BALLARD SURVEY, ABSTRACT NO. 29, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ZONED PLANNED DEVELOPMENT DISTRICT 52 (PD-52) AND PLANNED DEVELOPMENT DISTRICT 59 (PD-59) AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by the applicant Bill Bricker of Columbia Development Company, LLC, for the approval of an amendment to Planned Development District 59 (PD-59) for the purpose of incorporating a 0.786-acre tract of land for Residential-Office (RO) District land uses, being a 56.586-acre tract of land identified as a portion of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 52 (PD-52) [Ordinance No. 16-45] and Planned Development District 59 (PD-59) [Ordinance No.'s 04-59 and 06-51], located between W. Washington Street and T. L. Townsend Drive and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 59 (PD-59) [Ordinance No.'s 04-59 and 06-51], Planned Development District 52 (PD-52) [Ordinance No. 16-45], and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No.'s 04-59 and 06-51;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future;

SECTION 3. That development of the *Subject Property* shall be in accordance with the *Planned Development Concept Plan*, contained in Exhibit 'D' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'D', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall be in accordance with the *Development Standards*, described in Exhibit 'F' of this ordinance, attached hereto and incorporated herein by

reference as *Exhibit 'F'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 8. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A':
Legal Description

BEING a tract of land situated in the R. Ballard Survey, Abstract Number 29, in the City of Rockwall, Rockwall County, Texas, and being a part of Tract 31, as recorded in Volume 444, Page 102, and all of Tract 32 as recorded in Volume 444, Page 146 Deed Records, Rockwall County, Texas, and being more particularly described as follows:

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THENCE continuing along said High School Drive North 01°56'15" East a distance of 86.67 feet to a 5/8" iron pipe for corner;

THENCE departing said High School Drive North 85°34'29" East a distance of 182.10 feet to a 5/8" iron pipe for corner;

THENCE North 04°30'38" East a distance of 69.54 feet to a ½" iron pipe for corner;

THENCE North 05°42'23" West a distance of 29.95 feet to a ½" iron pipe for corner;

THENCE North 80°56'29" East a distance of 126.45 feet to a ½" iron pipe for corner;

THENCE North 86°39'04" East a distance of 110.36 feet to a ½" iron pipe for corner;

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THENCE departing said Renfro Street North 89°50'10" East a distance of 420.29 feet to a 5/8" iron pipe for corner;

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THENCE South 09°19'54" East a distance of 1038.10 feet to a point in the said north right-of-way of M. K. & T. Railroad (100' right-of-way) for corner;

THENCE along said right-of-way South 87°55'08" West a distance of 740.83 feet to a ½" iron pipe found at the beginning of a tangent curve to the left;

THENCE in a southwesterly direction with said curve having a central angle of 17°04'03", a radius of 2914.93 feet and an arc length of 868.32 feet to a ½" pipe found for corner;

THENCE In a southwesterly direction with said curve having a central angle of 04°45'26", a radius of 2923.97 feet and an arc length of 242.78 feet to XX for corner;

THENCE North 01°20'58" East a distance of 208.56 feet to a 1" iron pipe to the POINT OF BEGINNING and containing 56.7 acres of land more or less.

Exhibit 'B': Survey

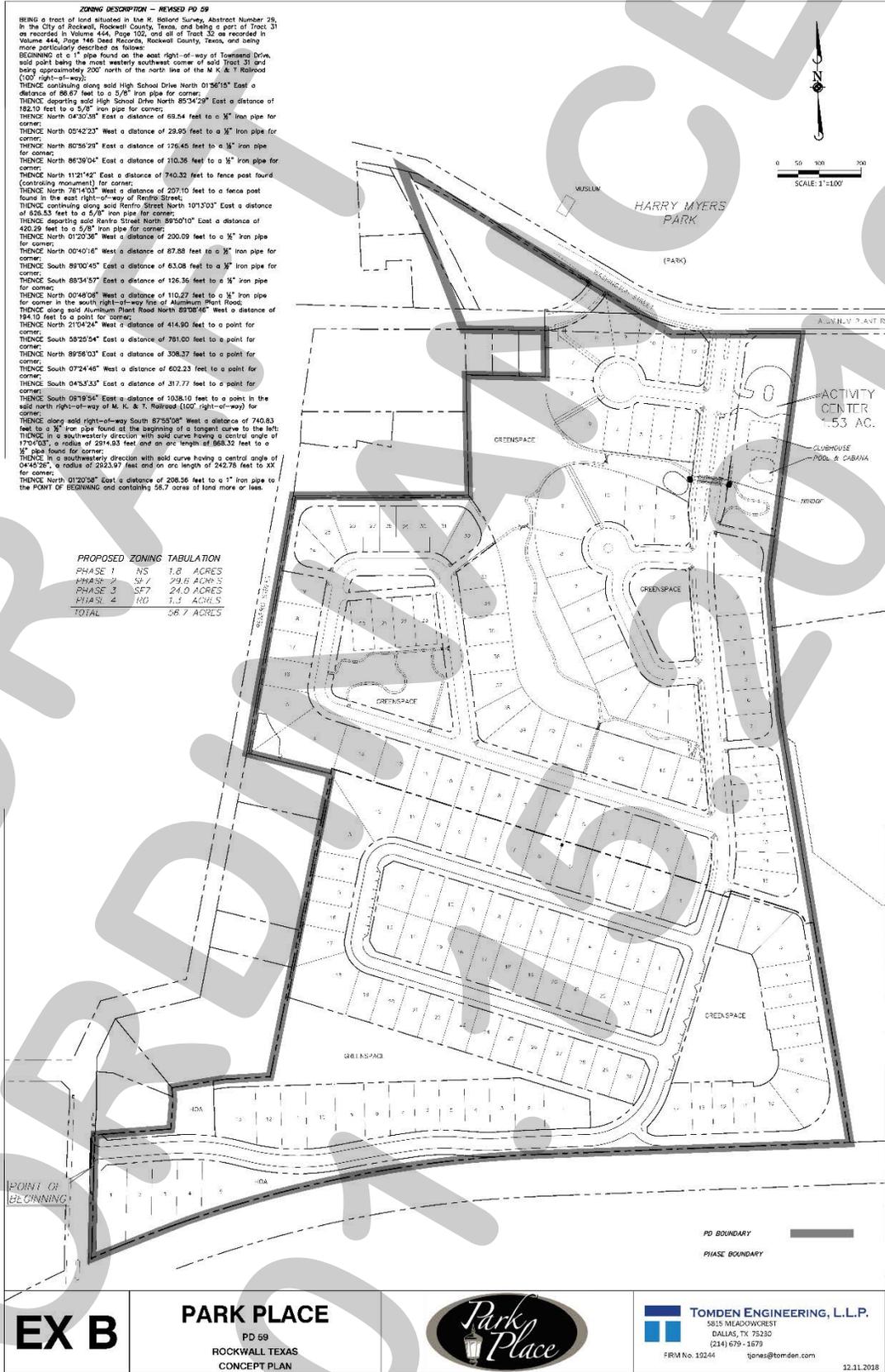


Exhibit 'C':
Area Map

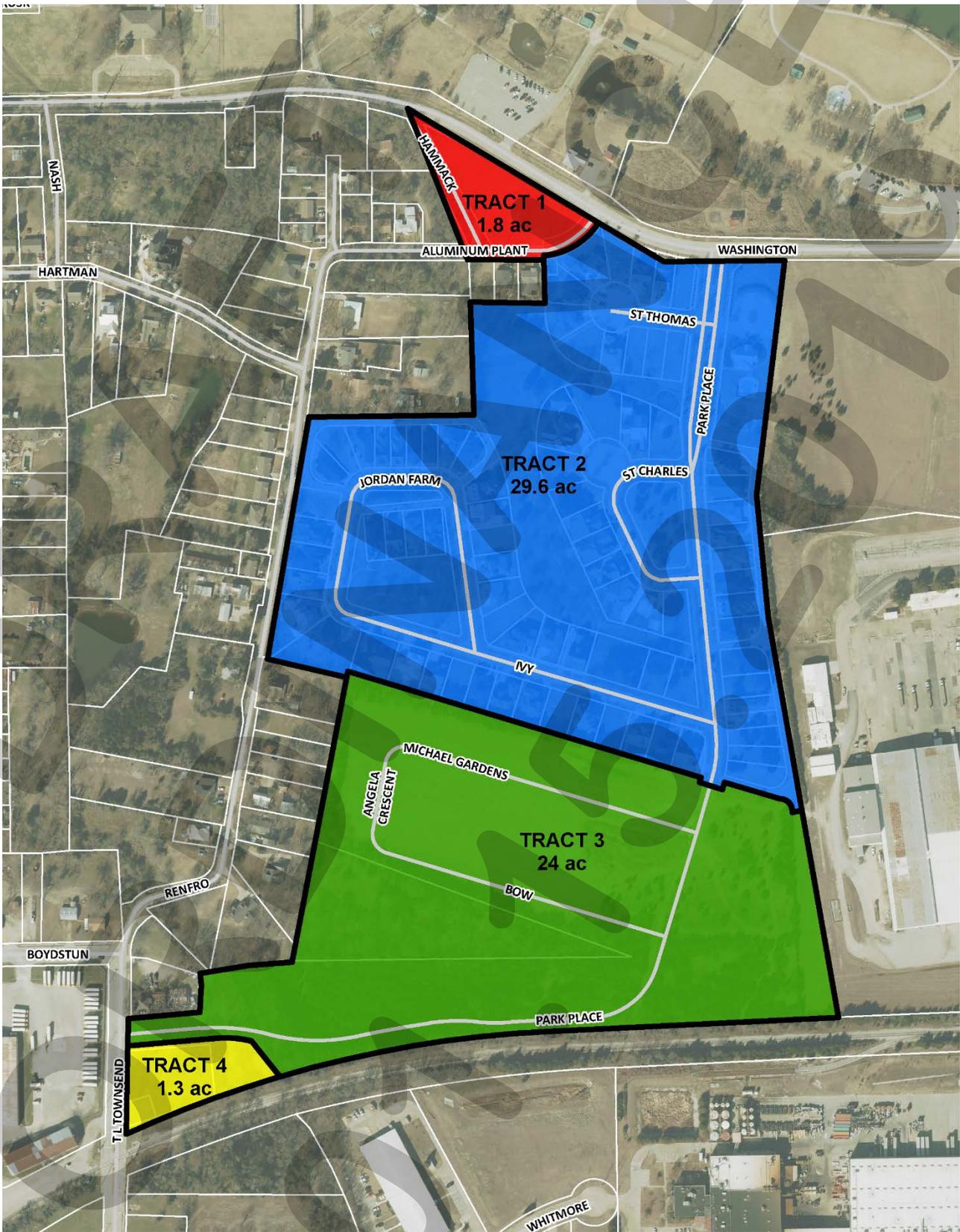


Exhibit 'D': Concept Plan

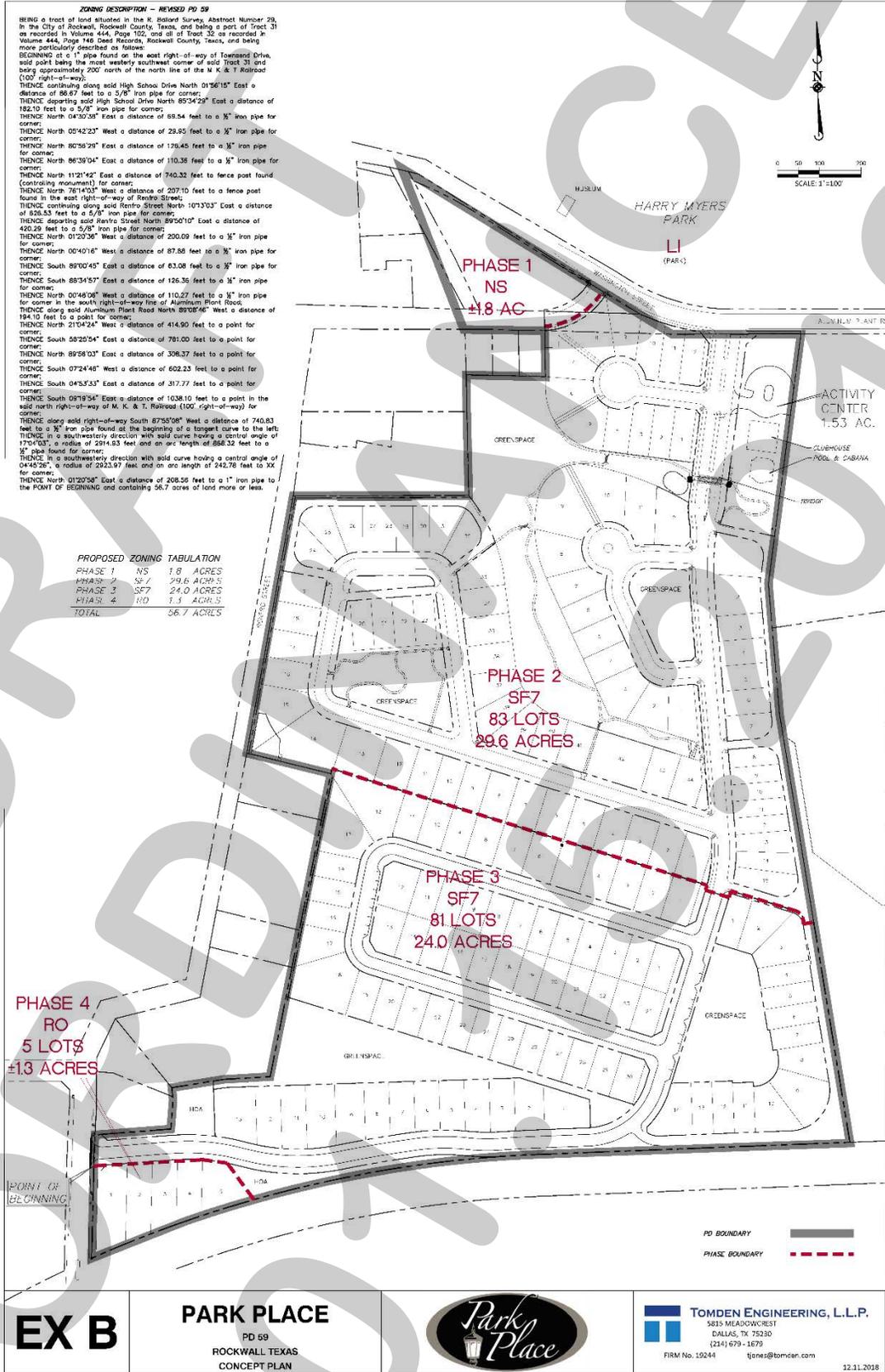


Exhibit 'E': Hardscape Plan

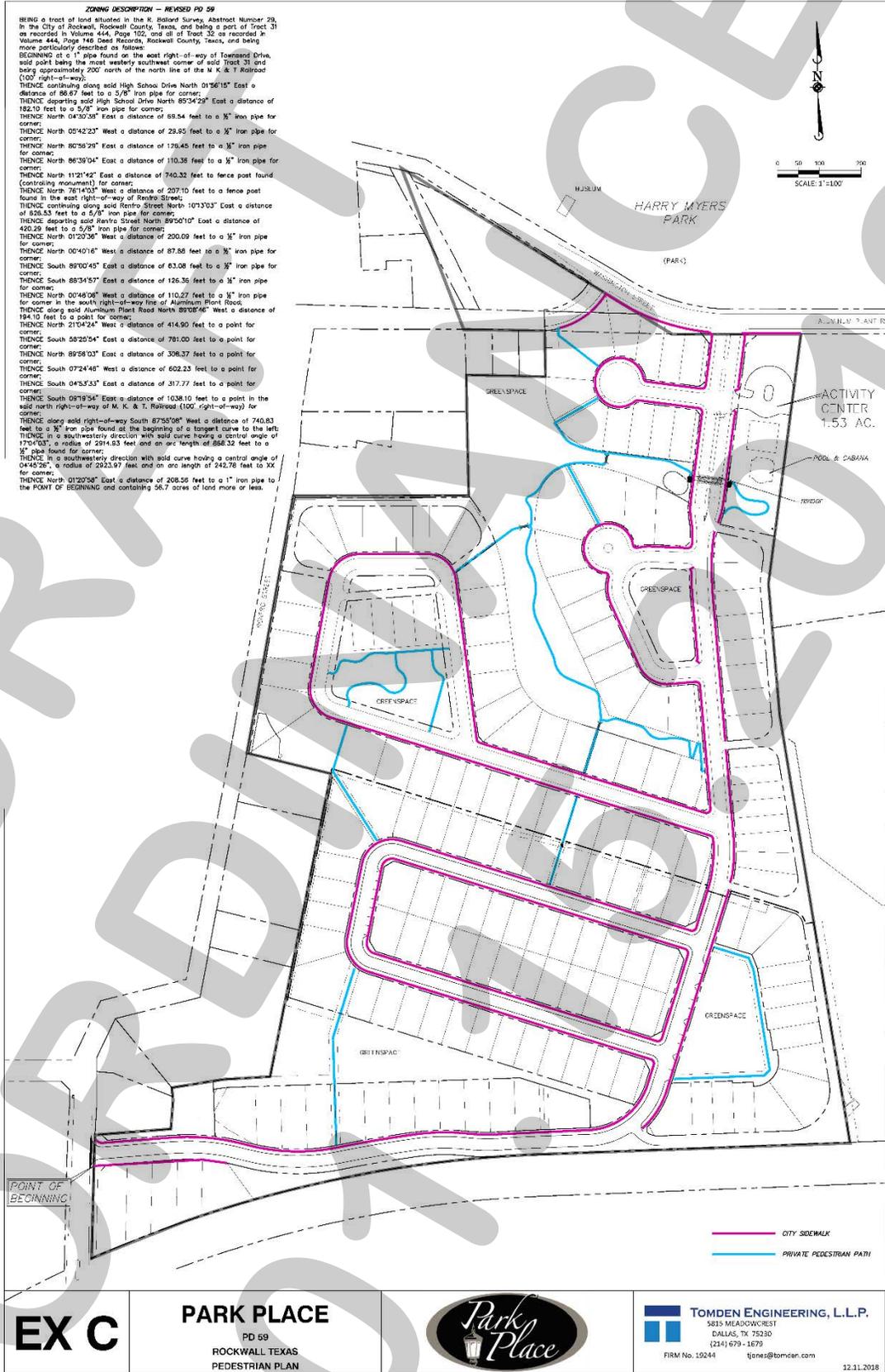


Exhibit 'F':
PD Development Standards

Phases 1-4 (56.586-Acres): Development Standards for all Phases

- (1) **Streetscape Standards.** The following aspects of development shall be reviewed in conjunction with a preliminary plat and/or site plan:
 - (a) **Street Lighting.** Street lighting shall be compatible with neo-traditional design methods, the Old Town Rockwall Historic District guidelines, and any proposed guidelines for the City's Downtown Plan.
 - (b) **Street Signage and Traffic Control.** Signage and traffic control methods shall be compatible with neo-traditional design and complement the surrounding historic areas of the City.
 - (c) **Street Sections.** A PD Development Plan shall include any alternative street and alley cross-sections, paving methods, use of street trees, and other proposed engineering details.

- (2) **Private Parks and Open Space.** Details for private parks and open space as indicated in *Exhibit 'B'* shall be subject to the following requirements and approved as part of the preliminary plat and/or site plan:
 - (a) A site/landscape plan for all open space, pocket parks, the community center, and trail systems. The development plan and/or preliminary plat shall also be reviewed by the City's Parks and Recreation Board.
 - (b) All city-required trails and public sidewalks shall be constructed with concrete and meet all City standards.
 - (c) Drainage area trails, which shall be maintained by the HOA, may be constructed with asphalt.
 - (d) The developer shall install a screening fence adjacent to the railroad along the south boundary of the subject property. The exact location, construction material(s), and height of the screening fence shall be reviewed and approved as part of the required site plan.

- (3) **Hardscape.** Hardscape plans--depicted in *Exhibit 'E'*--indicating the location of all sidewalks and trails shall be reviewed and approved with the preliminary plat and/or final plat.

- (4) **Fence Standards.** All fences shall be required to be wrought iron or tubular steel and vinyl shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height unless situated in the front yard. Front yard fences shall meet the following requirements:
 - (a) No front yard fences shall be located within a public right-of-way;
 - (b) The maximum height for a front yard fence is 42-inches (*i.e.* 3 ½ feet); and
 - (c) All front yard fences shall be open or *picket-style* fencing constructed of wrought iron, tubular steel, or vinyl.

Phase 1: Neighborhood Services (1.8-Acres)

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, *Phase 1* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Neighborhood Services (NS) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance*

Exhibit 'F':
PD Development Standards

- (2) *No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.
- (3) *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development ordinance, *Phase 1* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards for the Neighborhood Services (NS) District as stipulated in Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future. All lots shall conform to the standards depicted in *Table 1*, which are as follows:

Table 1: Density and Dimensional Requirements

<i>Minimum Lot Width</i> ⁽¹⁾	60'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	6,000 SF
<i>Minimum Front Yard Setback</i> ⁽²⁾	15'
<i>Minimum Side Yard Setback</i>	20'
<i>Minimum Distance Between Buildings</i>	15'
<i>Maximum Height</i>	36'
<i>Minimum Rear Yard Setback</i>	20'
<i>Maximum Lot Coverage</i>	60%
<i>Maximum Building Size</i>	5,000 SF

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.

- (4) *Building Standards.* All development shall be subject to site plan and Architectural Review Board (ARB) review and shall adhere to the following building standards:
 - (a) *Masonry Requirements.* The minimum masonry requirement for the exterior façades of all buildings shall be 80%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and/or similar cementitious products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (i.e. *three [3] part stucco* or similar) shall be prohibited.
 - (b) *Roof Design Requirements.* All structures having a footprint of 6,000 SF or less shall be constructed with a pitched roof system.
 - (c) *Architectural Requirements.* All units shall be architecturally finished on all sides of the building that are visible from a public right-of-way or open space. This should include the detailing and features. This will be reviewed by the Architectural Review Board (ARB) for conformance.
- (5) *Landscape Buffer.* A minimum 10-foot landscape buffer shall be required along all street frontages. The buffer shall include a minimum of one (1) tree per 30 linear feet.
- (6) *Signage.* Permanent, free-standing signage for Phase 1 shall be limited to one (1) monument not exceeding five (5) feet in height or a maximum of 60 SF in area.
- (7) *Lighting.* In addition to the outdoor lighting requirements stipulated in Article VII, Environmental Performance, of the Unified Development Code (UDC), no light pole, pole base, or combination thereof shall exceed 20-feet in height. All lighting fixtures shall focus downward and be contained on the subject property

Exhibit 'F':
PD Development Standards

Phases 2 & 3: Single-Family 7 (53.6-Acres)

- (1) **Permitted Uses.** Unless specifically provided by this Planned Development ordinance, *Phases 2 & 3* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Single-Family 7 (SF-7) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.
- (2) **Density and Dimensional Requirements.** Any development on *Phases 2 & 3* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the development standards required for properties in a Single-Family 7 (SF-7) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.

Table 2: SF-7 Lot Dimensional Requirements

<i>Minimum Lot Width</i> ⁽¹⁾	40'
<i>Minimum Lot Area</i>	4,000 SF
<i>Minimum Average Lot Area</i>	7,000 SF
<i>Minimum Front Yard Setback</i> ^{(2) & (3)}	10'
<i>Minimum Side Yard Setback</i> ⁽⁴⁾	5'
<i>Minimum Side Yard Adjacent to a Street</i>	10'
<i>Minimum Distance Between Buildings</i>	15'
<i>Maximum Height</i> ⁽³⁾	36'
<i>Minimum Rear Yard Setback</i> ^(4, 5)	10'
<i>Maximum Lot Coverage</i>	60%

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The minimum side yard setback for an internal lot or a lot abutting open space or HOA common area is five (5) feet. For yards abutting a street, the minimum side yard setback shall be 10-feet.
- ⁵: Lots with double frontage shall have a minimum rear yard setback of 15 feet.

- (3) **Building Standards.** Housing type and construction shall generally conform to the *Architectural Styles* depicted in *Exhibit 'G'* of this ordinance; however, all development shall adhere to the following building standards:
 - (a) **Masonry Requirements.** The minimum masonry requirement for all exterior façades (*excluding walls on a porch, patio, courtyard, or breezeway*) greater than 100 SF shall be 80%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or similar cementitious products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (*i.e. three [3] part stucco or similar*) shall be prohibited.
 - (b) **Anti-Monotony.** An anti-monotony standard shall not allow the same structure—in terms of materials and elevation--any closer than five (5) houses apart on either side of the street.
 - (c) **Common Areas and Open Space.** All common areas, dedicated landscape easements, and open space areas shall be maintained by a Homeowner's Association, which shall be created subject to the requirements of the City's Subdivision Ordinance and filed prior to approval of the final plat(s)

Exhibit 'F':
PD Development Standards

- (d) *Guest Quarters/Secondary Living Unit.* A guest quarters/secondary living unit shall be permitted by-right within Phases 2 & 3 and subject to the following conditions:
- (i) Such quarters must be ancillary to the primary use;
 - (ii) The area of such quarters shall not exceed 30% of the area of the main structure;
 - (iii) The area of such quarters shall also conform to the maximum lot coverage for the overall lot;
 - (iv) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the *Subdivision Ordinance*; and
 - (v) Such quarters shall be designed for temporary occupancy or as a secondary living unit. These structures are not to be used as rental accommodations.
- (4) *Access.* Lots with rear yards that abut Renfro Street shall not have access from Renfro Street.

Phase 4: Residential-Office (1.3-Acres)

- (1) *Permitted Uses.* Unless specifically provided by this Planned Development District Ordinance, *Phase 4* as depicted in *Exhibits 'C' & 'D'* of this ordinance shall be subject to the land uses permitted for the Residential-Office (RO) District as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, the following conditions shall apply:

The following land uses shall be expressly prohibited on the *Phase 4*:

- Accessory Building
- Bed and Breakfast
- Convent or Monastery
- Daycare (7 or more children)
- Residential Care Facility
- Assisted Living Facility
- Convalescent Care Facility/Nursing Home
- Congregate Care Facility
- General Retail Store*
- Group or Community Home
- Halfway House
- Library, Art Gallery, or Museum (Public)
- Restaurant, Less Than 2,000 SF w/o Drive-Thru
- Railroad Yard or Shop
- Studio-Art, Photography, or Music
- Shoe and Boot Repair and Sales
- Transit Passenger Facility
- Antenna, Accessory
- Antenna, Commercial
- Antenna, Amateur Radio
- Antenna, Dish
- Wireless Communication Tower
- Utilities (Non-Municipally Owned or Controlled), Including Sanitary Landfill and Wastewater Treatment
- Municipally Owned or Controlled Facilities, Utilities, and Use

Exhibit 'F':
PD Development Standards

*General Retail Store less than 2,000 SF shall be allowed by-right. General Retail Stores larger than 2,000 SF shall require a Specific Use Permit

The following land uses shall be permitted by Specific Use Permit (SUP) on the *Phase 4*:

- General Retail Store*
- Hair Salon, Manicurist
- Office Building, 5,000 SF or More
- Solar Energy Collector Panels and Systems

*General Retail Store less than 2,000 SF shall be allowed by-right. General Retail Stores larger than 2,000 SF shall require a Specific Use Permit

- (2) *Density and Dimensional Requirements.* Any development on *Phase 4* as depicted in Exhibits 'C' & 'D' of this ordinance shall be subject to the development standards required for properties in a Residential-Office (RO) District as stipulated by Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future; however, all development shall adhere to the following building standards:

Table 3. *Density and Dimensional Requirements*

<i>Minimum Lot Width</i> ⁽¹⁾	60'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	6,000 SF
<i>Minimum Front Yard Setback</i> ⁽²⁾	10'
<i>Minimum Side Yard Setback</i>	5'
<i>Minimum Distance Between Buildings</i>	15'
<i>Maximum Height</i> ⁽³⁾	36'
<i>Minimum Rear Yard Setback</i>	10'
<i>Maximum Lot Coverage</i>	60%

General Notes:

¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.

²: The location of the *Front Yard Building Setback* as measured from the front property line.

³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the residential-office structure.

- (3) *Building Standards.* *Building Standards.* Housing type and construction shall generally conform to the *Architectural Styles* depicted in *Exhibit 'G'* of this ordinance; however, all development shall adhere to the following building standards:

(a) *Masonry Requirements.* The minimum masonry requirement for all exterior façades (*excluding walls on a porch, patio, courtyard, or breezeway*) greater than 100 SF shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and/or similar cementitious products may be used for up to 100% of the exterior of the building pending conformance with the anti-monotony restrictions outlined in this ordinance. Stucco (*i.e. three [3] part stucco or similar*) shall be prohibited.

(b) *Anti-Monotony.* An anti-monotony standard shall not allow the same structure—in terms of materials and elevation--any closer than five (5) houses apart on either side of the street.

(c) *Common Areas and Open Space.* All common areas, dedicated landscape easements, and open space areas shall be maintained by a Homeowner's

Exhibit 'F':
PD Development Standards

Association, which shall be created subject to the requirements of the City's Subdivision Ordinance and filed prior to approval of the final plat(s).

- (d) *Guest Quarters/Secondary Living Unit.* A guest quarters/secondary living unit shall be permitted by-right within Phases 2 & 3 and subject to the following conditions:
 - (i) Such quarters must be ancillary to the primary use;
 - (ii) The area of such quarters shall not exceed 30% of the area of the main structure;
 - (iii) The area of such quarters shall also conform to the maximum lot coverage for the overall lot; and
 - (iv) No such use may be sold or conveyed separately without meeting the requirements of the zoning district and the *Subdivision Ordinance*.
 - (v) Such quarters shall be designed for temporary occupancy or as a secondary living unit. These structures are not to be used as rental accommodations.
- (4) *Access.* Lots with rear yards that abut Renfro Street shall not have access from Renfro Street.
- (5) *Parking Requirements.* Parking requirements for Phase 4 shall be all follows:
 - (a) Two (2) parking spaces per lot for single-family uses.
 - (b) One (1) additional space per 500 SF for non-residential uses as permitted by this ordinance. Off-site common or shared parking agreements shall be considered for Phase 4, subject the review of the proposed parking area(s) with the required development plan.

Exhibit 'G':
Conceptual Architectural Styles



**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 01/15/2019

APPLICANT: Tim McCallum

AGENDA ITEM: **Z2018-058**; *SUP for a Craft Winery and Commercial Amusement/ Recreation (Outdoor)*

SUMMARY:

Hold a public hearing to discuss and consider a request by Tim McCallum of He Wines She Dines, LLC on behalf of Buffalo Creek Business Park, LTD for the approval of a Specific Use Permit (SUP) for a *Craft Winery and Commercial Amusement/Recreation (Outdoor)* on a 7.2-acre tract of land identified as Tracts 20-01 & 20-7 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 203 County Line Road, and take any action necessary.

PURPOSE AND CHARACTERISTICS OF THE REQUEST:

The applicant, Tim McCallum, has submitted a request for a Specific Use Permit (SUP) to allow a *Craft Winery and Commercial Amusement/Recreation (Outdoor)* facility to be located within a Commercial (C) District. Currently, the subject property -- *at 203 County Line Road* -- is being operated as a warehouse and shipping facility for the applicant's wine club (*i.e. no retail sales*). The applicant has stated that they would like the opportunity to expand this use to a *Craft Winery* for the purpose of allowing wine to be mixed, produced and sold on-site. With this request, the applicant has submitted a floor plan showing the proposed *Craft Winery* layout, which will be situated in a 1,250 SF building. Of this area, 500 SF of the building [*i.e. 40% of total SF*] will be dedicated for the retail sales and tasting component of the on-site manufactured product. The remaining 750 SF will be used for wine display racks, an overhead storage area, blending tanks, and wine barrels. Additionally, the applicant has provided a concept plan for the *Commercial Amusement/Recreation (Outdoor)* use [*i.e. outdoor venue*], which will be located outdoors in front of the facility. The applicant has indicated to staff that this area will be used on a limited and infrequent basis. In addition, Mr. McCallum has submitted a letter indicating that the use of the outdoor venue will only take place on a scheduled basis, Thursday through Monday (*i.e. nights, weekends, and occasionally on Mondays and holidays*). The outdoor venue will include a seating area, space for food vendors, and space for live music [*e.g. acoustic guitar*].

According to Section 1.1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), both the *Craft Winery* and *Commercial Amusement/Recreation (Outdoor)* land uses require approval of a Specific Use Permit (SUP) in a Commercial (C) District. Additionally, Section 2.1.6, of Article IV, *Permissible Uses*, of the UDC, defines a *Craft Winery* as being a small scale manufacturing and retail operation that is subject to the following conditions: (1) the total building area (*i.e. area under roof*) is less than 12,000 SF, and (2) the total floor area dedicated to the direct sale of the on-site manufactured product does not exceed a maximum of 40% of the total floor area. The section also goes on to list the permitted accessory uses as:

- (a) a tasting room to dispense product manufactured on site for on premise consumption,
- (b) a meeting/banquet facility,

- (c) a restaurant, and/or
- (d) the retail sales of on-site manufactured product for off-premise consumption.

Included in the attached packet is the applicant's letter outlining the proposed business plan, a concept plan depicting the outdoor venue, a floor plan for the *Craft Winery*, and a draft ordinance containing regulations for the proposed land uses. Based on staff's review, the applicant's request does appear to be in conformance with these requirements; however, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

ADJACENT LAND USES AND ACCESS:

The subject property is generally situated north of the intersection of Horizon Road [FM-3097] and County Line Road, and is addressed as 203 County Line Road. The land uses adjacent to the subject property are as follows:

- North:* Directly north of the subject property is a 14.374-acre tract of land, restricted as open space and drainage per the requirements of Planned Development District 75 (PD-75).
- South:* Directly south of the subject property is a continuation of the Buffalo Creek Business Park, LTD, which represents a 6.841-acre portion of a larger 9.84-acre tract of land identified as Tracts 20, 20-05, and 20-06 of the W. W. Ford Survey, Abstract No. 80. Currently on this property are several non-residential structures, which are occupied (*i.e. multi-tenant strip centers and individual standing buildings*). All of these properties are zoned Commercial (C) District.
- East:* Directly east of the subject property is a continuation of Buffalo Creek Business Park, LTD, which represents a 1.00-acre portion of a larger 9.84-acre tract of land identified as Tracts 20-03 of the W. W. Ford Survey, Abstract No. 80. This property is currently occupied with a non-residential structure, and is zoned Commercial (C) District.
- West:* Directly west of the subject property and beyond the Buffalo Creek Business Park, LTD is Horizon Road [FM-3097], which is identified as an TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, roadway*) on the City's Master Thoroughfare Plan. Beyond this thoroughfare is a 39.347-acre tract of land identified as Tract 93-01, of the E. Teal Survey, Abstract No. 207 and is zoned Agricultural (AG) District. The Buffalo Creek Business Park, LTD is zoned Commercial (C) District.

NOTIFICATION:

On January 2, 2019, staff mailed 63 notices to property owners and residents within 500-feet of the subject property. Staff did not send a neighborhood notification as there were no Home Owners Associations (HOA's) participating in the Neighborhood Notification Program within 1500-feet of the subject property. Additionally, staff posted a sign on the subject property as required by the UDC. At the time this report was drafted, staff had not received any notices regarding the applicant's request.

RECOMMENDATIONS:

Should the Planning and Zoning Commission choose to recommend approval of the applicant's request, staff would offer the following conditions of approval:

- 1) The operation of the *Craft Winery* and *Commercial Amusement/Recreation (Outdoor)* on the subject property shall be subject to the following operational conditions, which are contained in the SUP ordinance:

A. *Craft Winery:*

- 1) The maximum square footage of the building used for a winery shall not exceed 12,000 SF in total building area, and is depicted in *Exhibit 'C'* of the draft ordinance.
- 2) The areas dedicated to the direct sale of the on-site manufactured product shall not exceed 40% of the total floor area of the building, and is depicted in *Exhibit 'D'* of the draft ordinance.
- 3) The hours open to the public for this facility shall be limited to Sunday through Saturday, 11:00 AM to 12:00 AM.

B. *Commercial Amusement/Recreation (Outdoor)*

- 1) The operation of a *Commercial Amusement/Recreation (Outdoor)* use shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
 - 2) The *Subject Property* may be used for all permitted accessory uses as well as the use of an *outdoor venue* that may include live music and food truck vendors as depicted in *Exhibit 'B'* of this ordinance. The use of temporary tents or similar uses must be made of fire retardant materials and meet the City's fire codes.
 - 3) The hours of operation associated with the *Outdoor Venue* for this facility shall be limited to Thursday through Monday, 11:00 AM to 12:00 AM.
 - 4) There shall be no outside storage of equipment, furniture, or other materials associated with the operation of this business or from any outdoor gatherings on the *Subject Property*.
 - 5) No parking associated with the uses permitted on the *Subject Property* shall be permitted along County Line Road or Horizon Road [FM-3097].
- 2) Any construction or building necessary to complete this request must conform to the requirements set forth by the *UDC*, the *International Building Code*, the *Rockwall Municipal Code of Ordinances*, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



Z2018-058 - SUP FOR CRAFT WINERY AND COMMERCIAL AMUSEMENT (OUTDOOR) ZONING - LOCATION MAP =

PD-75

COUNTY LINE

Subject Property

C

HORIZON

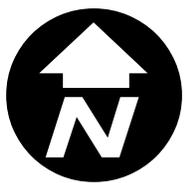
AG



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

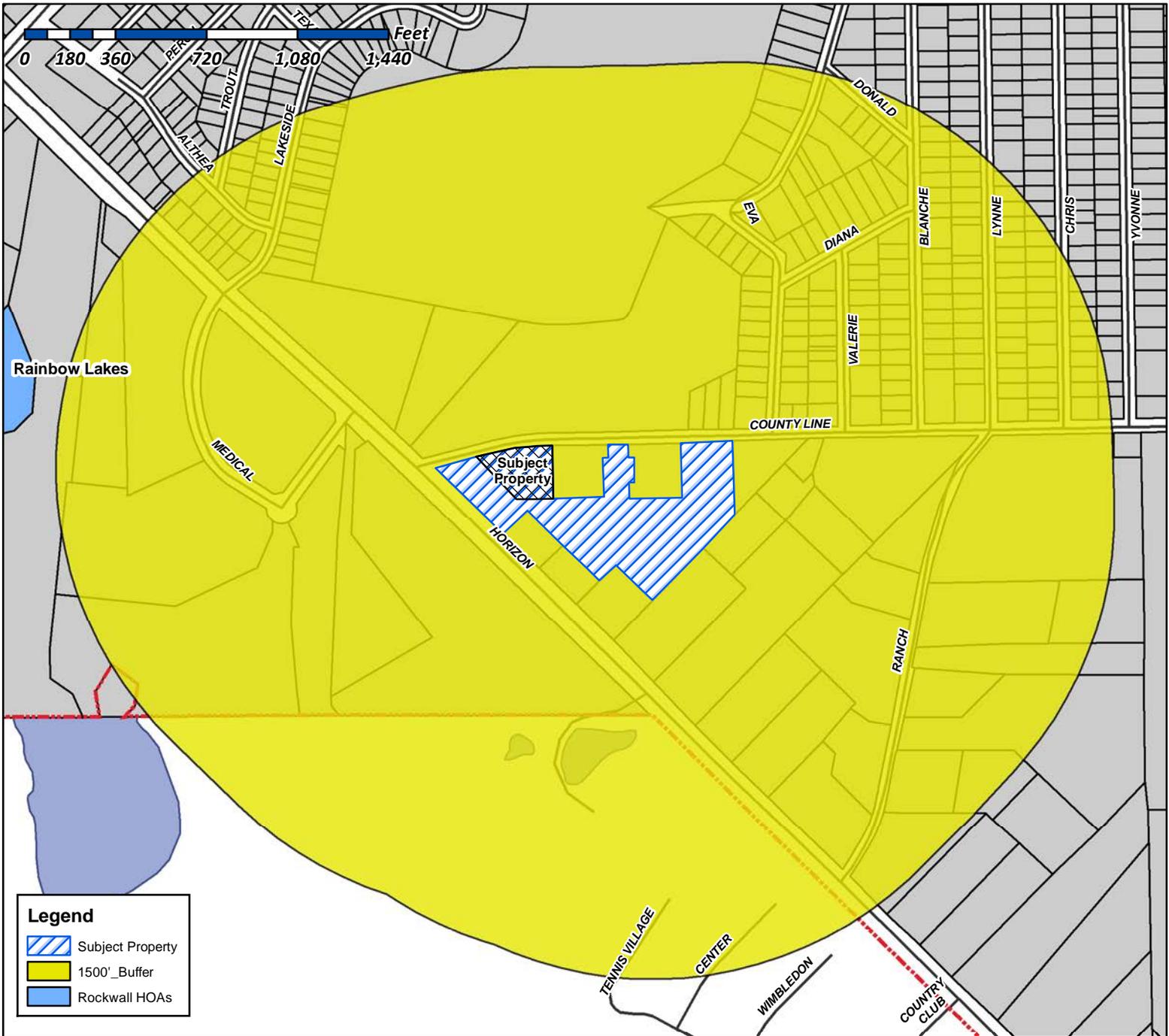
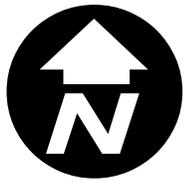




City of Rockwall

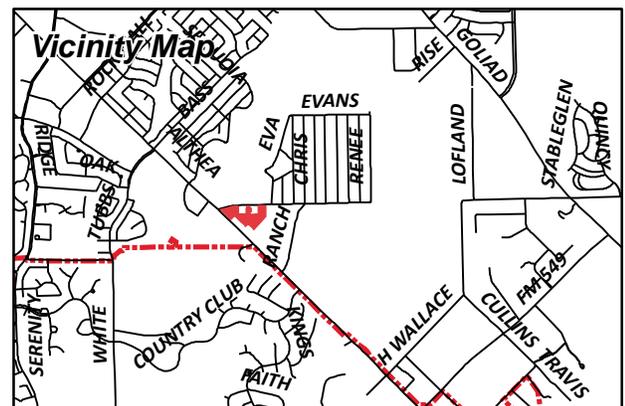
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Case Number: Z2018-058
Case Name: SUP for a Craft Winery and Commercial Amusement (Outdoor)
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 203 County Line Road

Date Created: 12/18/2018
 For Questions on this Case Call (972) 771-7745

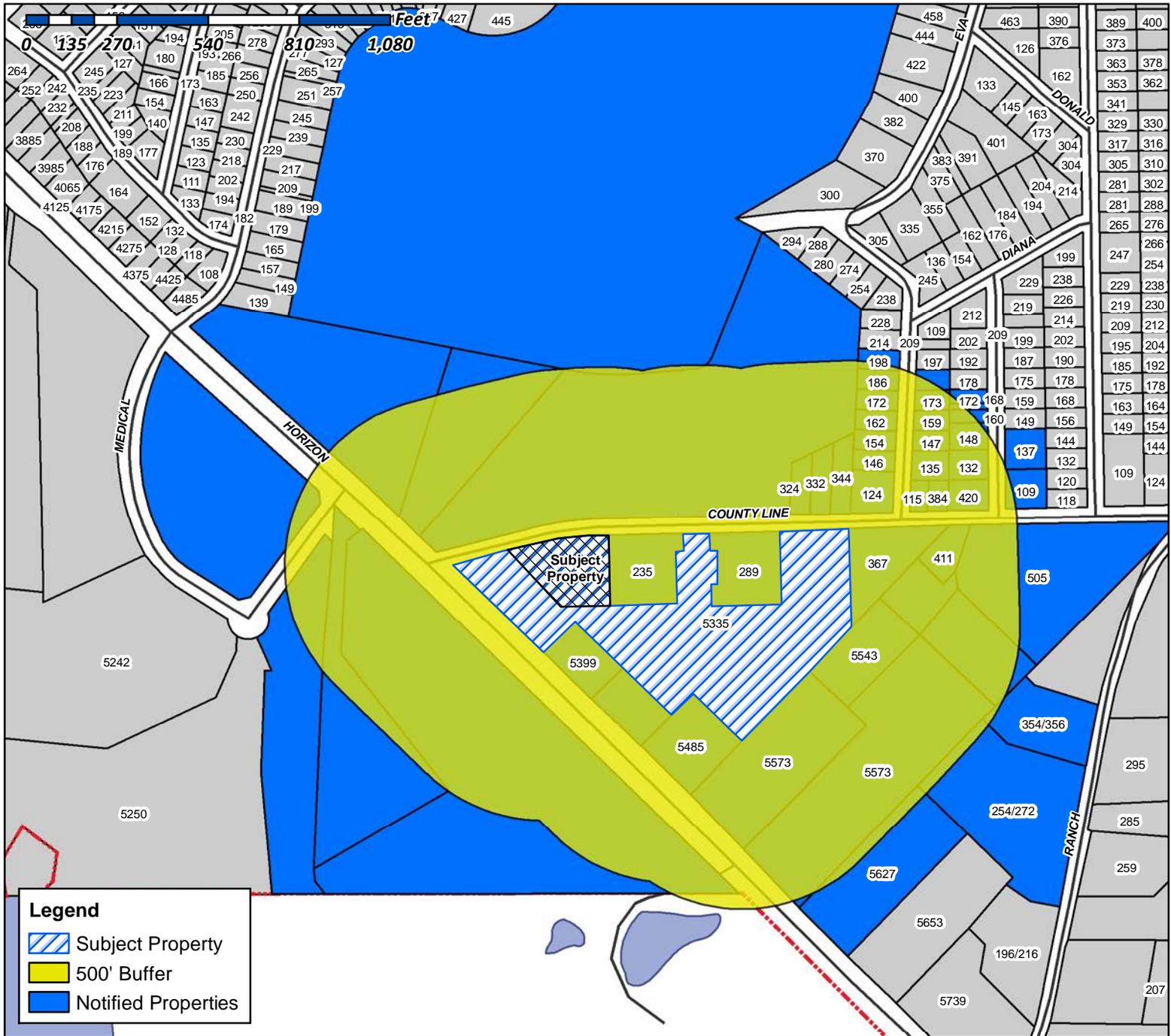
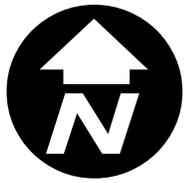




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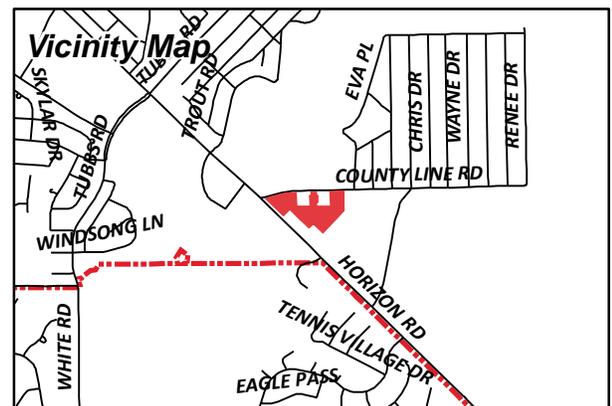
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Zoning: Commercial (C) District
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WOLFORD BILLY E & KATHY
103 EAGLE NEST
MABANK, TX 75156

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
115 EVA PL
ROCKWALL, TX 75032

GRIZZEL ROYCE LEE JR
124 EVA PLACE
ROCKWALL, TX 75032

PAVON MARISOL
132 VALERIE PL
ROCKWALL, TX 75032

MONTELONGO MOISES
135 EVA PLACE
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
137 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
146 EVA
ROCKWALL, TX 75032

CURRENT RESIDENT
147 EVA PL
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
154 EVA PL
ROCKWALL, TX 75032

MORALES RAMIRO JR
159 EVA PLACE
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

DEL RIO ALBERTO & MONICA
162 EVA PL
ROCKWALL, TX 75032

CURRENT RESIDENT
168 VALERIE PL
ROCKWALL, TX 75032

LOZANO ISIDRO
1705 HIGH MEADOW DR
GARLAND, TX 75040

CURRENT RESIDENT
172 EVA PL
ROCKWALL, TX 75032

CURRENT RESIDENT
172 VALERIE PL
ROCKWALL, TX 75032

CURRENT RESIDENT
173 EVA PL
ROCKWALL, TX 75032

5543 FM3097 LLC
1809 BRISTOL LANE
ROCKWALL, TX 75032

SILVA MARIA
186 EVA PL
ROCKWALL, TX 75032

ORTEGA RUBEN
187 EVA PL
ROCKWALL, TX 75032

BARRON BENICIO
195 ROSEMARIE DR
LEBANON, OH 45036

CONTRERAS MANUEL AND MARIA G
198 EVA PL
ROCKWALL, TX 75032

BUFFALO CREEK BUSINESS PARK LTD
2324 EAST I 30
ROYSE CITY, TX 75189

BUFFALO CREEK BUSINESS PARK LTD
2324 W INTERSTATE 30
ROYSE CITY, TX 75189

CURRENT RESIDENT
235 COUNTY LINE RD
ROCKWALL, TX 75032

PATRIOT PAWS SERVICE DOGS
254 RANCH TRL
ROCKWALL, TX 75032

CURRENT RESIDENT
254/272 RANCH TRL
ROCKWALL, TX 75032

KELLY EDDY D & SHARON RENEE REV LIV TR
289 COUNTY LINE RD
ROCKWALL, TX 75032

JIMENEZ TERESA HERNANDEZ &
321 PANOLA CT
ROYSE CITY, TX 75189

CURRENT RESIDENT
324 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
332 COUNTY LINE RD
ROCKWALL, TX 75032

SILVA JUAN C
332 E LINDA LN
ROYSE CITY, TX 75189

CURRENT RESIDENT
344 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
354/356 RANCH TRL
ROCKWALL, TX 75032

RAMIREZ RAUL & TERESA
358 TROUT ST
ROCKWALL, TX 75032

RAMIREZ RAUL
358 TROUT ST
ROCKWALL, TX 75032

CURRENT RESIDENT
367 COUNTY LINE RD
ROCKWALL, TX 75032

RAMIREZ PETRA & JOSE ARTURO
384 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
405 CHATHAM ST
SUNNYVALE, TX 75182

CURRENT RESIDENT
411 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
420 COUNTY LINE RD
ROCKWALL, TX 75032

CURRENT RESIDENT
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
505 COUNTY LINE RD
ROCKWALL, TX 75032

LEJ PARTNERS LTD
5100 ELDORADO PKWY 0
MCKINNEY, TX 75070

MARKSQUARED INVESTMENTS LLC
517 COYOTE RD
SOUTHLAKE, TX 76092

CURRENT RESIDENT
5335 FM3097
ROCKWALL, TX 75032

KELLY REX ALLEN
5399 FM 3097
ROCKWALL, TX 75032

KELLY A R
5485 FM 3097
ROCKWALL, TX 75032

RANGELL JUAN JOSE
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

CURRENT RESIDENT
5543 FM3097
ROCKWALL, TX 75032

MATTHEWS GERALD W & DONNA C
5550 HORIZON RD
ROCKWALL, TX 75032

CURRENT RESIDENT
5573 FM3097
ROCKWALL, TX 75032

ALONZO JOSE O
5627 HORIZON RD
ROCKWALL, TX 75032

JWS LAND LTD
5900 S LAKE FOREST DR 0
MCKINNEY, TX 75070

GAMEZ DAVID
614 E BOYDSTUN ST
ROCKWALL, TX 75087

JERRY KISICK CUSTOM HOMES INC
6505 W PARK BLVD 0
PLANO, TX 75093

FINCHER LINDA
916 BROWNFIELD
MESQUITE, TX 75150

NORTH TEXAS MUNICIPAL WATER DIST
P O BOX 2408
WYLIE, TX 75098

PEOPLES BILLY
P O BOX 35
ROCKWALL, TX 75087

NORTH TEXAS MUNICIPAL WATER DIST
PO BOX 2408
WYLIE, TX 75098



To Whom It May Concern:

He Wines She Dines began as a food review and blog website in 2014. We are a husband and wife team that travels the world looking for the best places to eat, drink and enjoy time together! After garnering thousands of followers, we had so many people asking us about wines to drink, what to buy, and how to order, that we decided we would start a wine club. Pursuing that effort, we quickly realized we needed to be a winery to ship product to our followers. With that in mind, we got our federal winery permit and import license and begin working with wineries in California and France to produce amazing wines to bring to Rockwall. We began operating in the Fall of 2016 at 203 County Line Rd, Rockwall, TX 75032. Until the Fall of 2018, we had never been open to the public. We are predominately an online business that sells to individual members through an e-commerce business model and directly to restaurants. To date, 100% of our production has been done in either Lodi, California or Champagne, France. Additionally, we buy wines from other distributors and wineries to offer a diverse mix of high-quality wines to our members.

In October of 2018, we began hosting a series of periodic "warehouse sales and tastings". During these periodic Saturday events we have been open for limited hours(12-5pm) for patrons to come, try and purchase our wines at lower than retail prices. We have only hosted 3 events this year and they have been very well received.

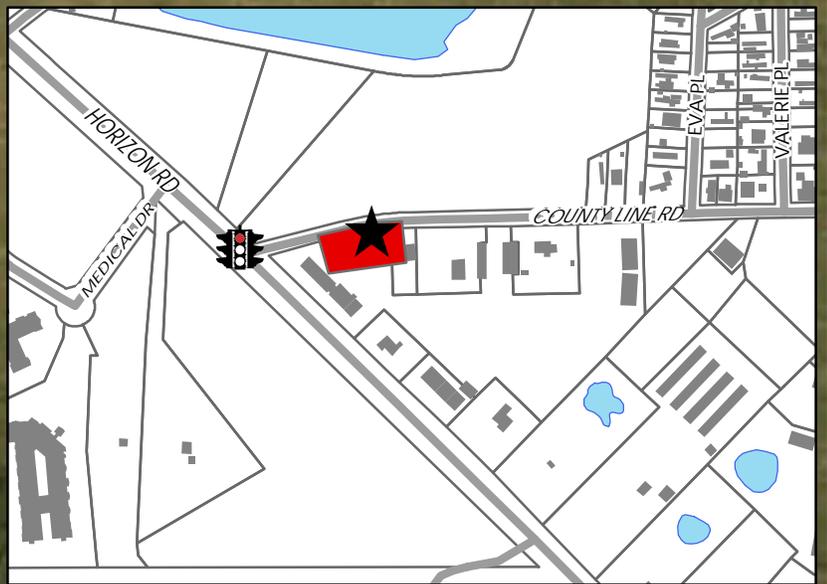
Moving forward we need a SUP for two primary reasons. First, we are preparing to begin limited production runs, barrel storage and some blending operations at our facility. A new SUP is required for this. Second, we want to expand our ability to have tastings and host events at our facility. These events would be limited in scope, but would potentially include live music, food trucks and seating areas for patrons to enjoy our wines. During these events, the guest area would be contained with a temporary barrier. We may use temporary tents or other covers, umbrellas, etc. for sun and rain protection. We plan to keep a conservative schedule but would like for these events to be held on nights, weekends and holidays ranging from Thursdays-Sundays with occasional Mondays or key National holidays. Our maximum operating hours would be between 11am-12am. No equipment, furniture or materials would be stored outside of the facility.

Thank you for your consideration and Cheers!

Tim and Jennifer McCallum
He Wines She Dines

Legend

- Seating Area
- Music
- Food Vendors
- Event Area
- Overall Site



City of Rockwall



Date: 12/19/2018
0 40 Feet
GEOGRAPHIC INFORMATION SYSTEMS

Z2018-058

HE WINE'S SHE DINES, LLC

203 COUNTY LINE RD.

RockWALL TX, 75032

Sqft: 1,250

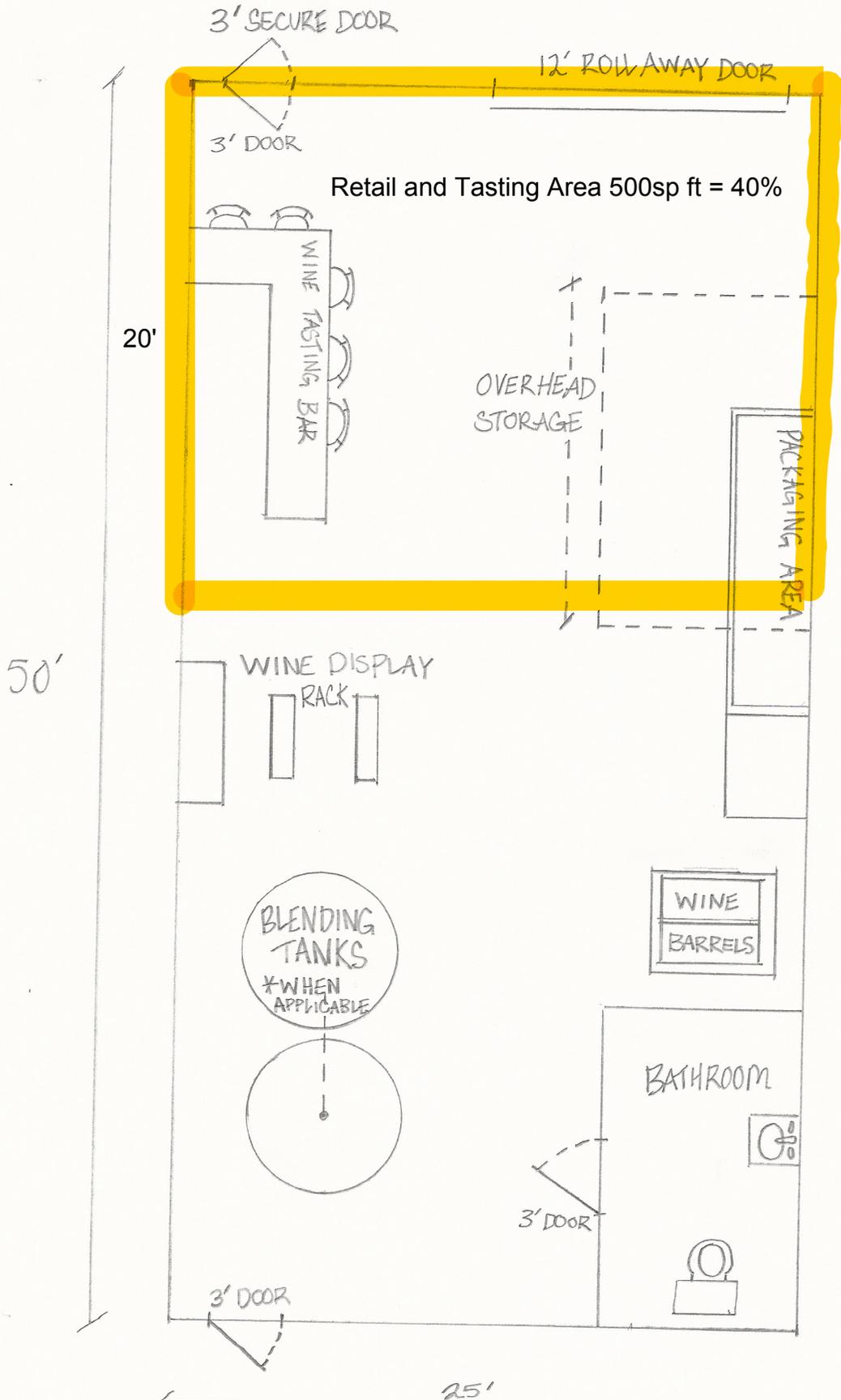


HE WINES SHE DINES, LLC

203 COUNTY LINE RD.

Rockwall TX, 75032

Sqft: 1,250



CITY OF ROCKWALL

ORDINANCE NO. 19-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A CRAFT WINERY AND COMERCIAL AMUSEMENT/RECREATION (OUTDOOR) ON A 7.2-ACRE TRACT OF LAND, ADDRESSED AS 203 COUNTY LINE ROAD AND BEING IDENTIFIED AS TRACTS 20-01 & 20-07 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Tim McCallum of He Wines She Dines, LLC for the approval of a Specific Use Permit (SUP) for a *Craft Winery and Commercial Amusement/Recreation (Outdoor)* for the purpose of establishing a *Craft Winery* in conjunction with an outdoor venue on a 7.2-acre Tract of land, zoned Commercial (C) District, being identified as Tract 20-01 & 20-07 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, addressed as 203 County Line Road, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Craft Winery and Commercial Amusement/Recreation (Outdoor)* as stipulated by Article IV, *Permissible Uses*, of the Unified Development Code [Ordinance No. 04-38] on the *Subject Property*, and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Section 1.1, Land Use Schedule*, of Article IV, *Permissible Uses*, and *Section 4.5, Commercial (C) District*, of Article V, *District Development Standards*, of the Unified

Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Craft Winery* and *Commercial Amusement/Recreation (Outdoor)* use on the *Subject Property* and conformance to these requirements is necessary for continued operations:

A. *Craft Winery:*

- 1) The maximum square footage of the building used for a winery shall not exceed 12,000 SF in total building area, and is depicted in *Exhibit 'C'* of the draft ordinance;
- 2) The areas dedicated to the direct sale of the on-site manufactured product shall not exceed 40% of the total floor area of the building, and is depicted in *Exhibit 'D'* of the draft ordinance; and,
- 3) The hours open to the public for this facility shall be limited to Sunday through Saturday, 11:00 AM to 12:00 AM.

B. *Commercial Amusement/Recreation (Outdoor)*

- 1) The development and operation of a *commercial amusement/recreation (outdoor)* use shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance;
- 2) The *Subject Property* may be used for all permitted accessory uses as well as the use of an *outdoor venue* that may include live music and food truck vendors as depicted in *Exhibit 'B'* of this ordinance. The use of temporary tents or similar uses must be made of fire retardant materials and meet the City's fire codes;
- 3) The hours of operation associated with the *outdoor venue* for this facility shall be limited to Thursday through Monday, 11:00 AM to 12:00 AM;
- 4) There shall be no outside storage of equipment, furniture, or other materials associated with the operation of this business or from any outdoor gatherings on the *Subject Property*; and,
- 5) No parking associated with the uses permitted on the *Subject Property* shall be permitted along County Line Road or Horizon Road [FM-3097].

2.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified

Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A':

Legal Description: Tracts 20-01 & 20-7 of the W.W. Ford Survey, Abstract No. 80

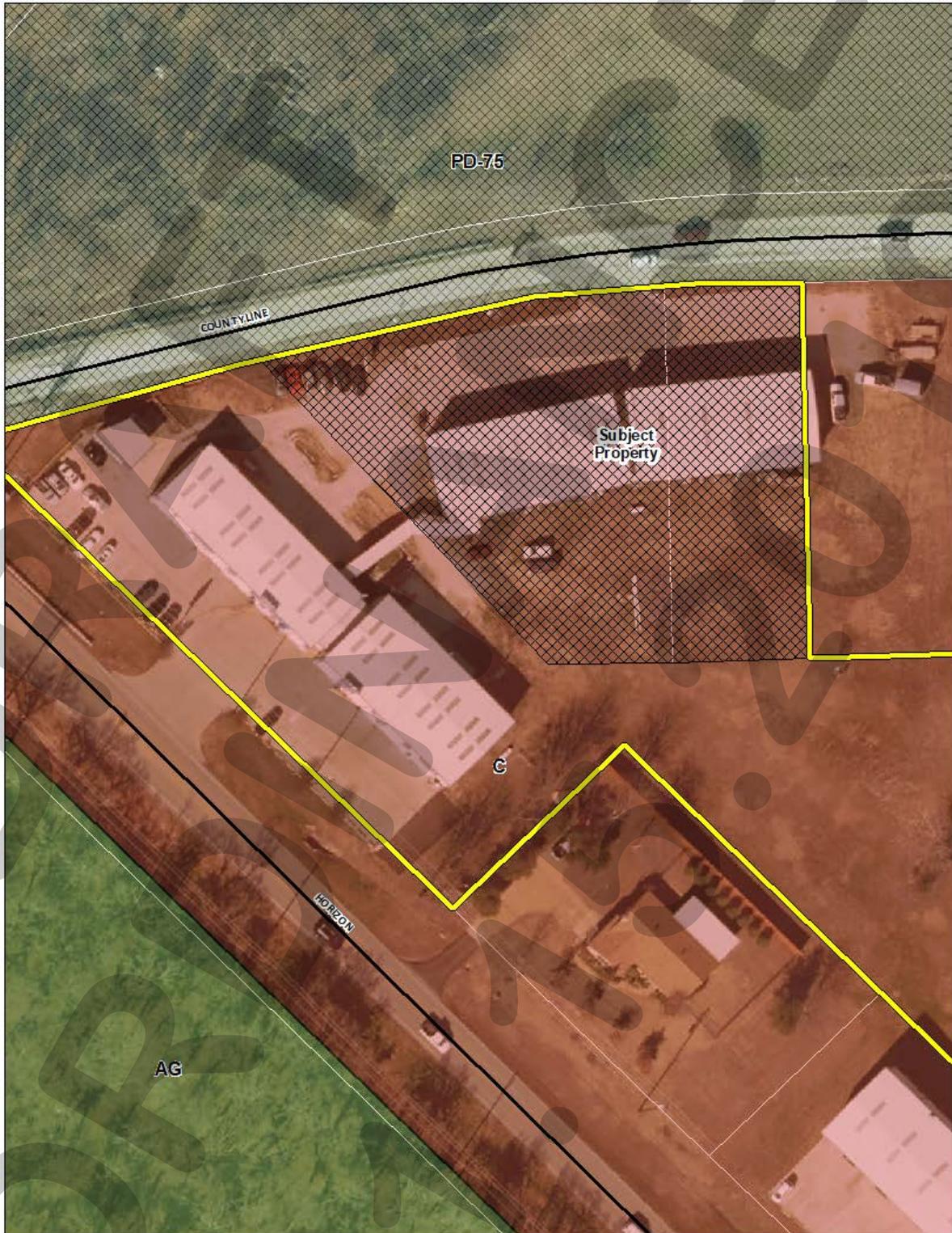


Exhibit 'B':
Concept Plan

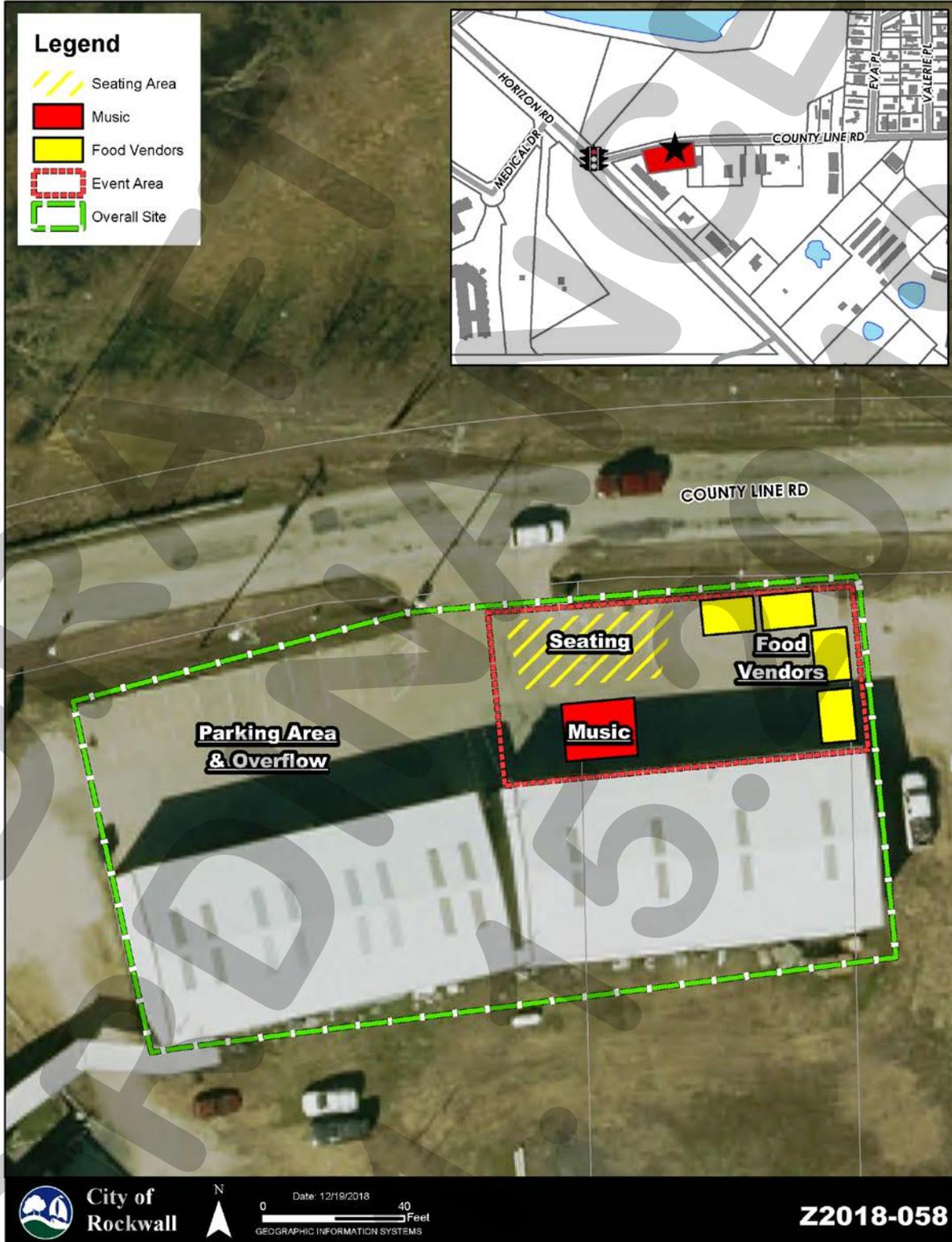
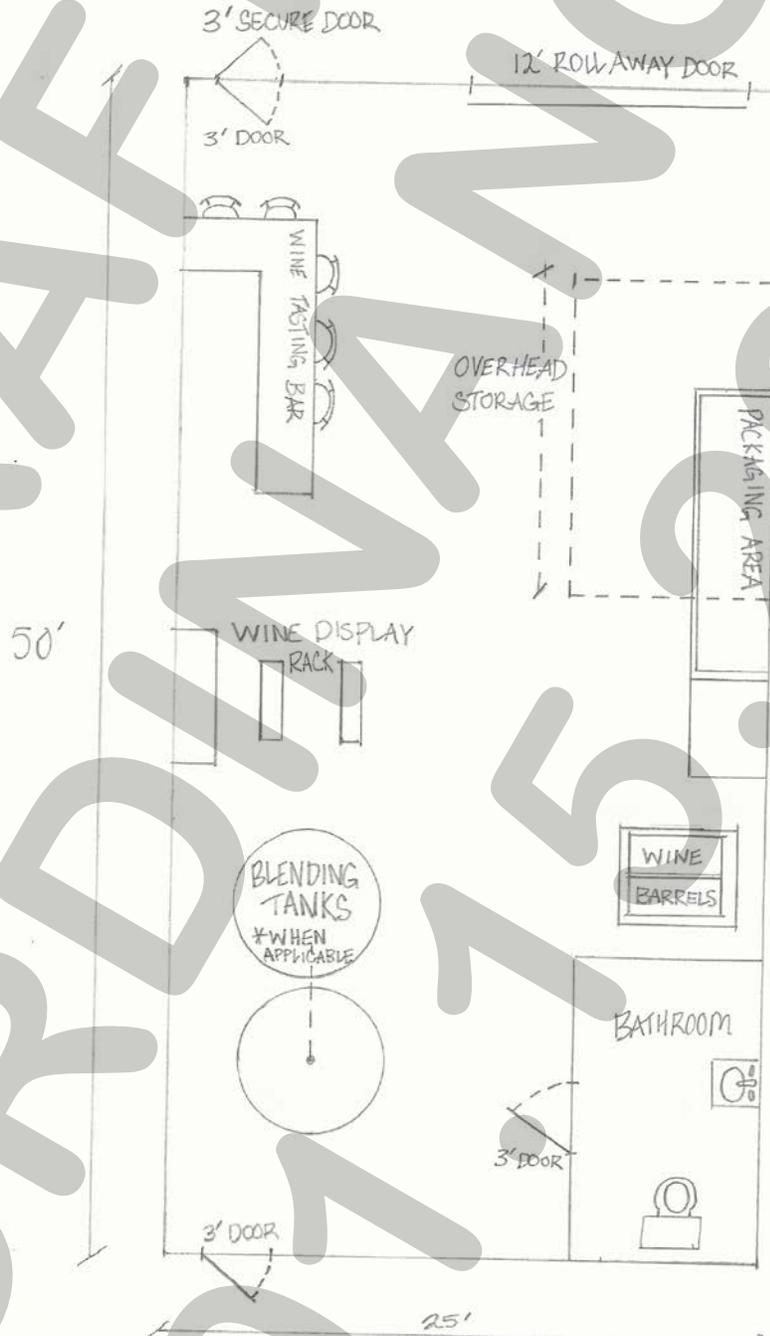


Exhibit 'C':
Floor Plan

COUNTY LINE RD.

HE WINES SHE DINES LLC
203 COUNTY LINE RD.
Rockwall TX, 75032

Sqft: 1,250

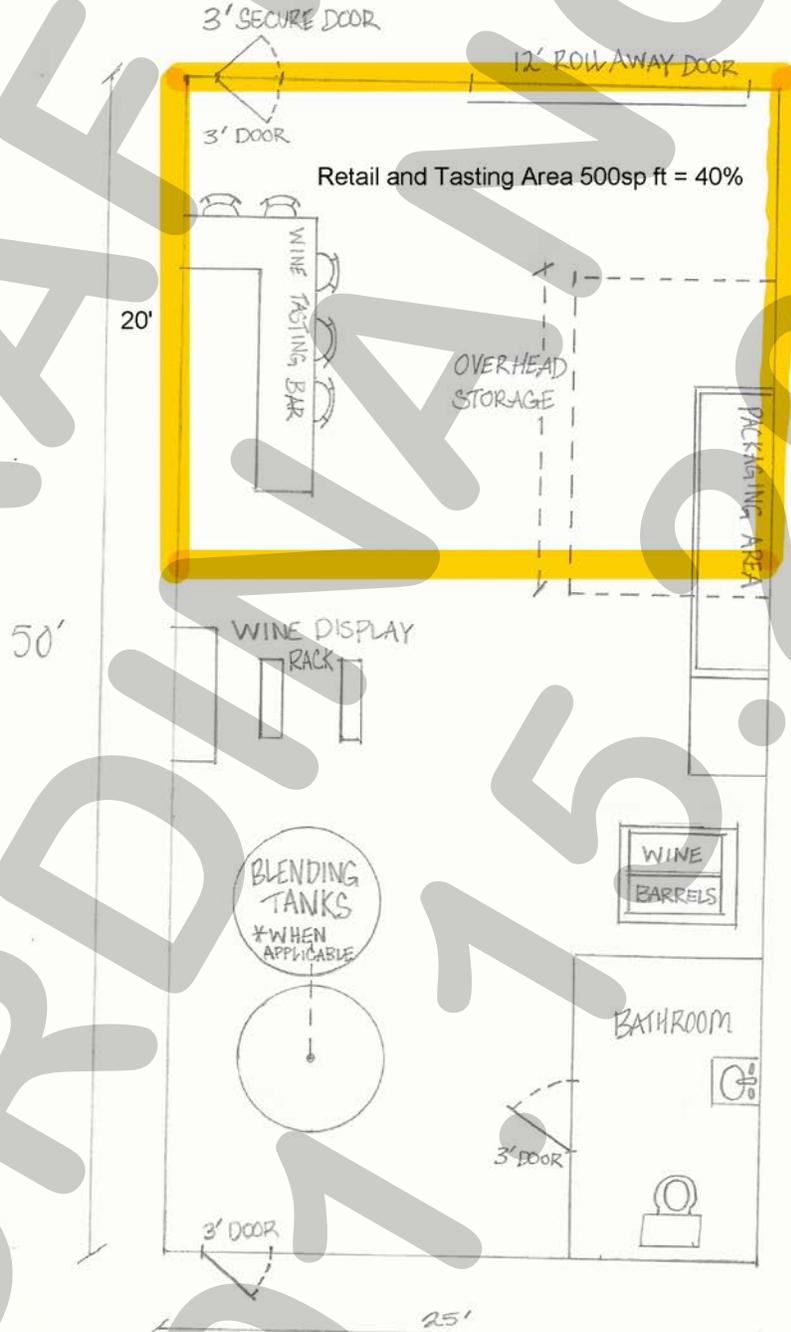


**Exhibit 'D':
Retail and Tasting Area Plan**

COUNTY LINE RD.

HE WINES SHE DINES LLC
203 COUNTY LINE RD.
Rockwall TX, 75082

Sqft: 1,250



**CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION MEMO**

AGENDA DATE: 01/15/2019

APPLICANT: Heather Cullins

AGENDA ITEM: **Z2018-059**; *Zoning Change (SFE-2.0 to SFE-1.5)*

SUMMARY:

Hold a public hearing to discuss and consider a request by Heather Cullins for the approval of a zoning change from a Single-Family Estate 2.0 (SFE-2.0) District to Single Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 1085 Dalton Road, and take any action necessary.

BACKGROUND INFORMATION AND PURPOSE:

The applicant is requesting a change in zoning from a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District for the purpose of subdividing the subject property. The subject property is situated on a 3.03-acre tract of land, zoned Single-Family Estate 2.0 (SFE-2.0) District, and is addressed as 1085 Dalton Road.

The subject property was annexed in 1983 [*Ordinance No. 83-57*] and was part of a larger tract of land. In 2018, the previous property owner requested to rezone the subject property from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District [*Z2017-045*] and platted [*P2017-049*] the tract of land. As part of this case, the previous property owner stated the purpose of platting the property was to create two (2) lots (*i.e. Lots 1 & 2, Hodgdon Addition*) to construct a single-family home on Lot 1. The applicant purchased the subject property (*i.e. Lot 1*) in 2018 for the purpose of constructing a single-family home. According to the applicant, after purchasing the subject property, another property was discovered and the plan to construct a single-family home on the subject property was abandoned. The applicant as also stated there have been inquiries about purchasing the subject property; however, the size of the lot (*i.e. 3.05-acres*) was too large, and potential buyers only wanted half or a portion of the lot. Based on this, the applicant is requesting to re-zone the subject property with the intent of subdividing the tract of land into two (2) ~1½-acre lots. Currently, floodplain traverses the property and should any improvements impact the floodplain, a flood study could be required.

ADJACENT LAND USES AND ACCESS:

The land uses adjacent to the subject property are all follows:

- North:** Directly north of the subject property is Dalton Road, which is identified as a M4U (*Major Collector, four [4] lane, undivided roadway*). Beyond this is a tract of vacant land that is zoned Agriculture (AG) District.
- South:** Directly south of the subject property is a single-family residential subdivision [*i.e. Promenade Harbor*] zoned Single-Family 10 (SF-10) District. Beyond this is Asbourne Drive which is identified as a *Minor Collector*.
- East:** Directly east of the subject property is a single-family residential subdivision [*i.e. The Shores*] zoned Planned Development District 3 (PD-3). Beyond this is a large tract of land that is zoned Agricultural (AG) District.
- West:** Directly west of the subject property is a single-family residential subdivision [*i.e. Promenade Harbor*] zoned Single-Family 10 (SF-10) District. Beyond this is a large tract of land [*i.e. the Takeline*] that is outside of the City Limits.

UNIFIED DEVELOPMENT CODE:

According to the purpose statements stipulated in Subsection 3.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family Estate 1.5 (SFE-1.5) District is the "...proper zoning classification for rural, estate lots that are a minimum of 1½-acres. Since the subject property is 3.03-acres, it conforms to the requirements of the Single-Family Estate 1.5 (SFE-1.5) District development standards. The following is a summary of the minimum development standards for a property within a Single-Family 1.5 (SFE-1.5) District:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>
<i>Minimum Lot Area</i>	<i>65,340 SF</i>
<i>Minimum Lot Width</i>	<i>150-Feet</i>
<i>Minimum Lot Depth</i>	<i>250-Feet</i>
<i>Minimum Front Yard Setback</i>	<i>50-Feet</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>
<i>Minimum Side Yard Setback</i>	<i>25-Feet</i>
<i>Maximum Height</i>	<i>36-Feet</i>
<i>Minimum Masonry Requirement</i>	<i>80%</i>
<i>Minimum Dwelling SF</i>	<i>2,500</i>
<i>Maximum Building Coverage</i>	<i>35%</i>
<i>Minimum Length of Driveway</i>	<i>20-Feet</i>

CONFORMANCE WITH THE COMPREHENSIVE PLAN:

The Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, designates the subject property for Low Density Residential land uses, which is defined as developments with two (2) units per acre or less. The applicant’s request is in conformance with this designation and will not require any changes to the Future Land Use Map.

STAFF ANALYSIS:

When analyzing the applicant’s request (*i.e. to rezone the subject property for the purpose of subdividing the tract of land*) and the size of the subject property (*i.e. three [3]-acres*), the Single-Family Estate 1.5 (SFE-1.5) District appears to be an appropriate zoning district. Although the subject property could be divided into two (2) smaller estate lots (*i.e. two [2] 1½ - acre lots*) if this zoning change is approved, this request would not change the *Low Density Residential (LDR)* land use designation on the property. With that being said, approval of a zoning change is discretionary for the City Council, pending a recommendation by the Planning and Zoning Commission.

NOTIFICATION:

On December 28, 2018, staff mailed 68 notices to property owners and residents within 500-feet of the subject property. Staff also notified the Promenade Harbor and the Shores/Ray Hubbard Homeowner’s Associations (HOA’s) which are the only HOA’s/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Staff also advertised the public hearings in the Rockwall Harold Banner as required by the Unified Development Code (UDC). At the time this case memo was drafted staff had not received any notices concerning this case.

RECOMMENDATIONS:

Should the Planning and Zoning Commission recommend approval of the change in zoning, staff would recommend the following conditions of approval:

- 1) Any construction or building necessary to complete this change in zoning request must conform to the requirements set forth by the UDC, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall Project Plan Review History



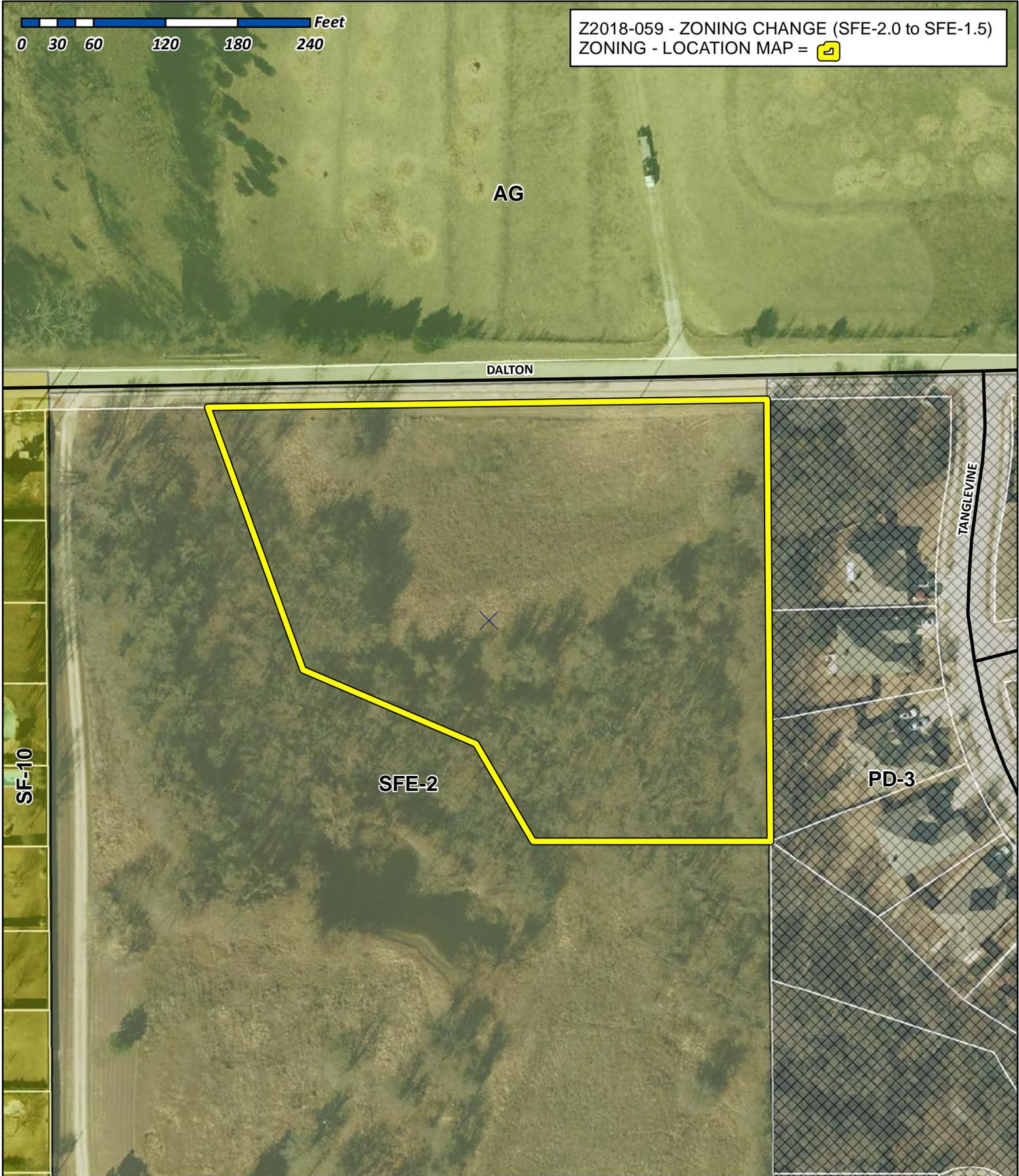
Project Number Z2018-059	Owner HEATHER CULLINS	Applied 12/17/2018 LM
Project Name Zoning Change (SFE 2.0-SFE-1.5)	Applicant HEATHER CULLINS	Approved
Type ZONING		Closed
Subtype REZONE		Expired
Status Staff Review		Status

Site Address	City, State Zip	Zoning
Subdivision	Tract	General Plan
	Block	
	Lot No	
	Parcel No	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	12/18/2018	12/25/2018	12/18/2018		APPROVED	Flood Plain
ENGINEERING (12/27/2018 11:06 AM SH) - Must show approved flood study cross-sections, elevations, and boundaries. - Note 5 should read, "Home owner is responsible for all maintenance, repair, and reconstruction of all drainage and detention easements."	Sarah Hager	12/17/2018	12/24/2018	12/27/2018	10	COMMENTS	
FIRE	Ariana Hargrove	12/17/2018	12/24/2018	12/19/2018	2	APPROVED	
PLANNING Z2018-056 ZONING CHANGE (AG TO C) Please address the following comments (M= Mandatory Comments; I = Informational Comments). I.1 a request by Heather Cullins for the approval of a zoning change from a Single-Family Estate 2.0 (SFE-2.0) District to Single Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 1085 Dalton Road I.2 For questions or comments concerning this case, please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com. M.3 For reference, include the case number (Z2018-059) in the lower right hand corner of all pages on future submittals. M.4 Please review the attached draft ordinance prior to the January 15, 2019 Planning & Zoning Commission meeting. I.5 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested by January 3, 2019. The Planning and Zoning Worksession for this case is January 2, 2019. The Planning and Zoning Meeting for this case is January 15, 2019 2018. I.6 The projected City Council meeting date and subsequent approval for this request is January 21, 2019 and February 4, 2019.	Korey Brooks	12/17/2018	12/24/2018	12/27/2018	10	COMMENTS	Comments



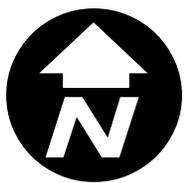
Z2018-059 - ZONING CHANGE (SFE-2.0 to SFE-1.5)
ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

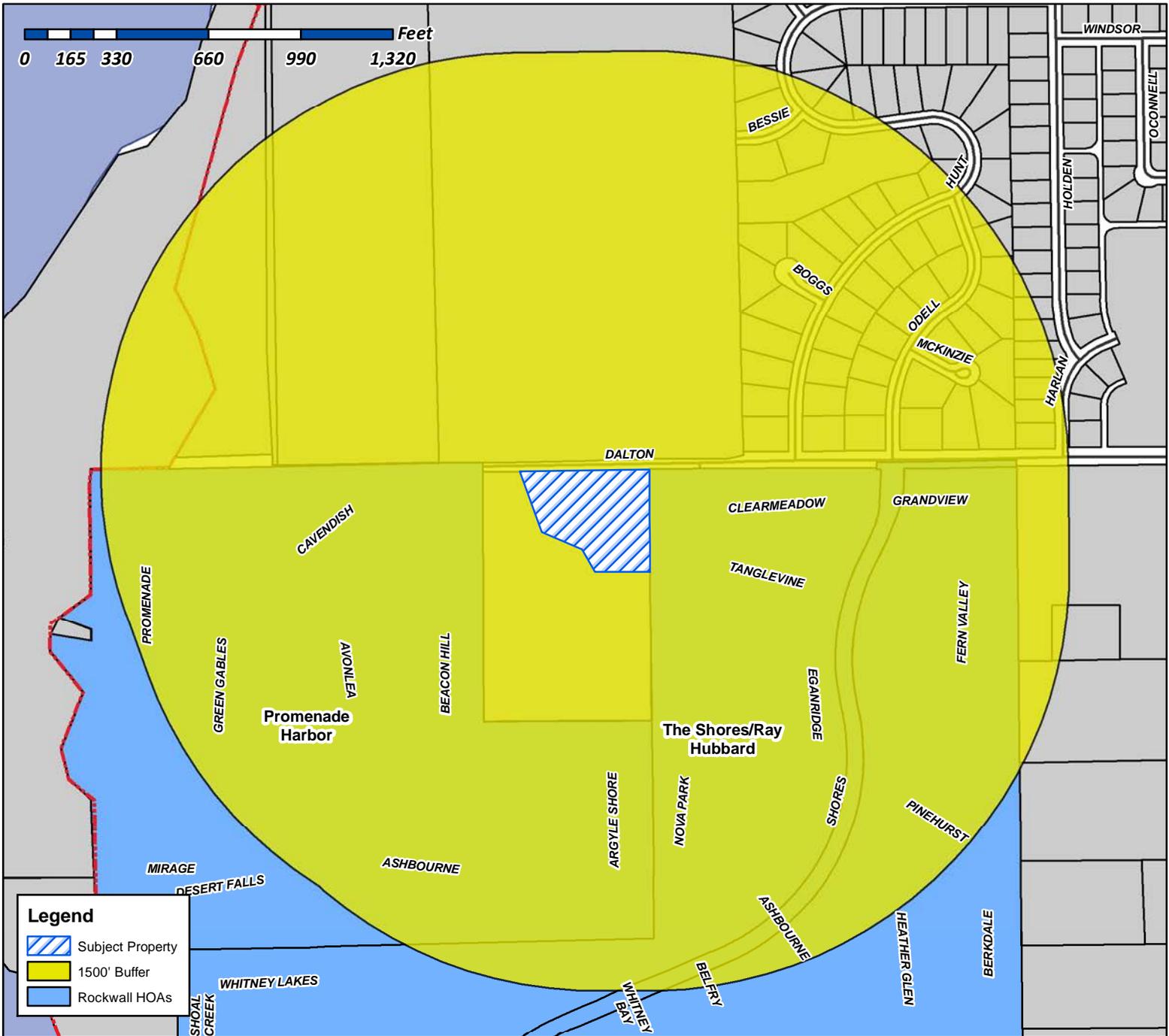




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2018-059
Case Name: Zoning Change (SFE-2.0 to SFE-1.5)
Case Type: Zoning
Zoning: SFE-2 District
Case Address: 1085 Dalton Road



Date Created: 12/17/2018
 For Questions on this Case Call (972) 771-7745

From: [Morales, Laura](#)
To: [REDACTED]
Cc: [Miller, Ryan](#); [Gonzales, David](#); [Brooks, Korey](#)
Subject: Neighborhood Notification Program: Notice of zoning request
Date: Friday, December 28, 2018 2:46:40 PM
Attachments: [PUBLIC NOTICE.pdf](#)
[Z2018-059 HOA Map.pdf](#)

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that was published in the Rockwall Herald Banner **December 28, 2018**. The Planning and Zoning Commission will hold a public hearing on **Tuesday 1/15/2019 at 6:00 p.m.**, and the City Council will hold a public hearing on **Tuesday 1/22/2019 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at

<https://sites.google.com/site/rockwallplanning/development/development-cases>

Z2018-059- Hold a public hearing to discuss and consider a request by Heather Cullins for the approval of a zoning change from a Single-Family Estate 2.0 (SFE-2.0) District to Single Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 2.0 (SFE-2.0) District, addressed as 1085 Dalton Road, and take any action necessary.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <http://www.rockwall.com/planning/hoa.asp>.

Sincerely,

Laura Morales

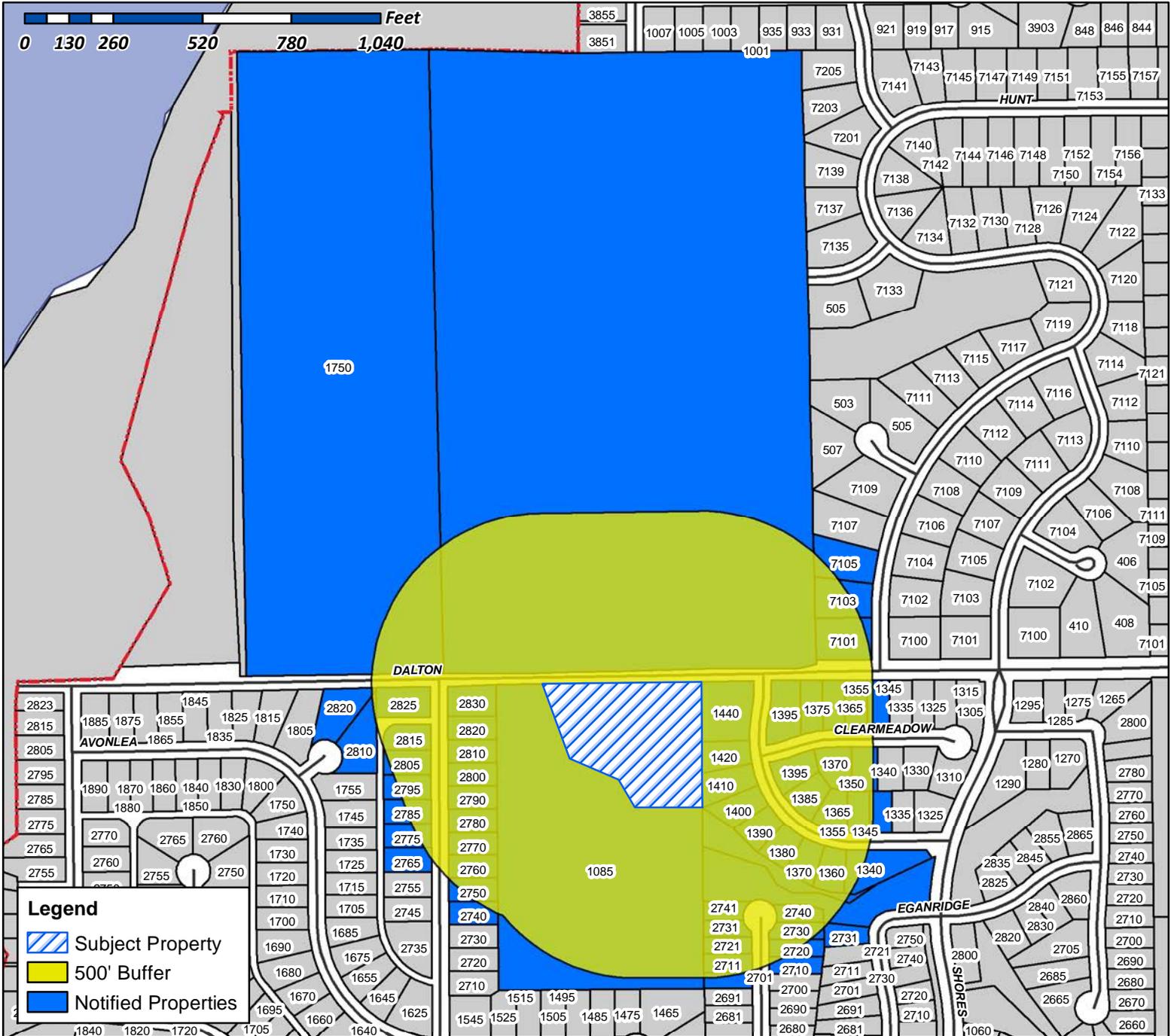
Planning & Zoning Coordinator
City of Rockwall Planning & Zoning Department
972-771-7745 | 972-772-6438
lmorales@rockwall.com | <http://www.rockwall.com/planning/>



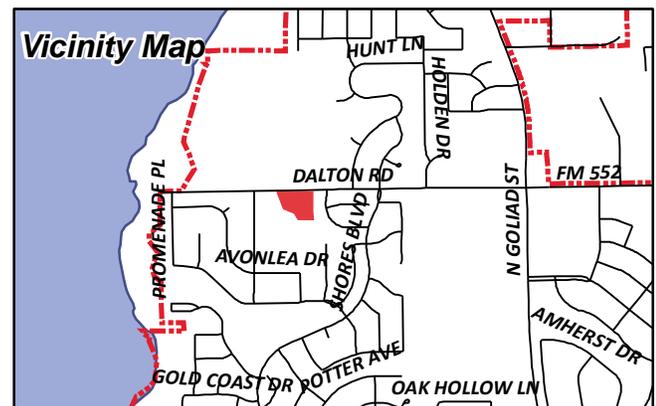
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2018-059
Case Name: Zoning Change (SFE-2.0 to SFE-1.5)
Case Type: Zoning
Zoning: SFE-2 District
Case Address: 1085 Dalton Road



Date Created: 12/17/2018

For Questions on this Case Call (972) 771-7745

CULLINS KENNETH & HEATHER
1020 TIMBERLINE DR
HEATH, TX 75032

CURRENT RESIDENT
1085 DALTON RD
ROCKWALL, TX 75087

WALKER LEONARD A JR & TRESSIA Y
1340 TANGLEVINE LN
ROCKWALL, TX 75087

SWAN OLGA MARIE GARCIA AND
REGINA K SWAN
1345 CLEAR MEADOW COURT
ROCKWALL, TX 75087

JESTER IRVING P & ALICE
1345 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1350 CLEARMEADOW CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1355 TANGLEVINE DR
ROCKWALL, TX 75087

SANDERS BRIAN PETER AND CASSANDRA ALICE
1355 CLEAR MEADOW CT
ROCKWALL, TX 75087

SAMPLES CHRISTINA ELISE
1360 TANGLEVINE LN
ROCKWALL, TX 75087

THOMSON MARTA CAGLE AND WARREN KIT
1365 CLEARMEADOW CT
ROCKWALL, TX 75087

HEARN LESLIE
1365 TANGLEVINE DR
ROCKWALL, TX 75087

VANDERVER WES A & SARA A
1370 CLEAR MEADOW COURT
ROCKWALL, TX 75087

HOLMES WILLIAM JR
1370 TANGLEVINE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1375 CLEARMEADOW CT
ROCKWALL, TX 75087

LANGFORD JAMES GORDON & PEGGY
1380 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1385 TANGLEVINE DR
ROCKWALL, TX 75087

NEECE DAVID W SR & LYNNE MARIE
1390 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1395 TANGLEVINE DR
ROCKWALL, TX 75087

HOWARD STEPHANIE RAMAGE AND
GREGORY MAYO HOWARD
1395 CLEAR MEADOW CT
ROCKWALL, TX 75087

ALLEN DARONDA RENEE
1400 TANGLEVINE LN
ROCKWALL, TX 75087

BRINKLEY JESSE K
1410 TANGLEVINE DR
ROCKWALL, TX 75087

SHOLTIS EUGENE J JR AND SHANNON L
1420 TANGLEVINE LN
ROCKWALL, TX 75087

COFFMAN THOMAS E &
LINDA DARNELL
1431 COASTAL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1440 TANGLEVINE DR
ROCKWALL, TX 75087

CLARK CHARLES L & SANDRA J TRUSTEES
CHARLES L & SANDRA J CLARK FAMILY TRUST
1739 MORLEY STREET
SIMI VALLEY, CA 93065

WILLIS MICHAEL & LISA
1750 DALTON RD
ROCKWALL, TX 75087

ALVES SAMUEL
2080 BERKDALE LN
ROCKWALL, TX 75087

LANGSTON TIFFINI S
215 HARRIS COVE
LONGVIEW, TX 75605

PARKS NADINE R
2701 NOVA PARK CT
ROCKWALL, TX 75087

SMITHERS VICTORIA & DAVID
2710 NOVA PARK CT
ROCKWALL, TX 75087

MICHIE JOHN D & PHYLLIS R
2711 NOVA PARK CT
ROCKWALL, TX 75087

IZAK MARY L
2720 NOVA PARK CT
ROCKWALL, TX 75087

CURRENT RESIDENT
2721 NOVA PARK CT
ROCKWALL, TX 75087

GILMORE PATRICK
2730 NOVA PARK CT
ROCKWALL, TX 75087

NIEBUR ALAN R & COURTNEY
2731 EGANRIDGE LN
ROCKWALL, TX 75087

LOWRANCE ALVA BERNICE LIFE ESTATE AND
PAMELA KAY GUTHRIE AND ROBERT LYNN
LOWRANCE
2731 NOVA PARK CT
ROCKWALL, TX 75087

KEEL DON E & NANCY A
2740 BEACON HILL DR
ROCKWALL, TX 75087

NABI HOSNI A & LYNN
2740 NOVA PARK CT
ROCKWALL, TX 75087

WOODDELL SCOTT W AND DEBBIE L
2741 NOVA PARK CT
ROCKWALL, TX 75087

GRASTY RAYMOND B
2750 BEACON HILL DR
ROCKWALL, TX 75087

SIMMONS JANAH
2760 BEACON HILL DR
ROCKWALL, TX 75087

SCHAFFHAUSER SUSAN K
2765 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2770 BEACON HILL DR
ROCKWALL, TX 75087

THOMPSON DONALD AND MARY
2775 BEACON HILL DR
ROCKWALL, TX 75087

BRITTAIN WAYNE W &
BARBARA J
2780 BEACON HILL DR
ROCKWALL, TX 75087

BERGMANN KATHARINA
2785 BEACON HILL DR
ROCKWALL, TX 75087

PALMIERI SALVATORE & THERESE A
2790 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2795 BEACON HILL DR
ROCKWALL, TX 75087

ONEILL KATHLEEN E
2800 BEACON HILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
2810 BEACON HILL DR
ROCKWALL, TX 75087

MCDANIEL DAVID L & LINDA D
2810 CAVENDISH CT
ROCKWALL, TX 75087

WALKER DONALD H
2815 BEACON HILL DR
ROCKWALL, TX 75087

HOLBROOK SANDRA
2820 BEACON HILL DR
ROCKWALL, TX 75087

EDWARDS SUSAN L
2820 CAVENDISH CT
ROCKWALL, TX 75087

JOHNSON DAVID J
2825 BEACON HILL DR
ROCKWALL, TX 75087

JACOBSON KYLE AND CHLOE A REED
2830 BEACON HILL DR
ROCKWALL, TX 75087

CHIU THOMAS
301 CRESTBROOK
ROCKWALL, TX 75087

AMH 2015-2 BORROWER LLC
30601 AGOURA RD 0
AGOURA HILLS, CA 91301

ALEJOS ERIK J
6500 CHAMPION GRANDVIEW WAY APT 33201
AUSTIN, TX 78750

NABORS MIKE N ETUX JULIE
7101 HUNT LN
ROCKWALL, TX 75087

DOWNS MICHAEL
7103 HUNT LN
ROCKWALL, TX 75087

CURRENT RESIDENT
7105 HUNT LN
ROCKWALL, TX 75087

CSH 2016-2 BORROWER LLC
8665 EAST HARTFORD DR 0
SCOTTSDALE, AZ 85255

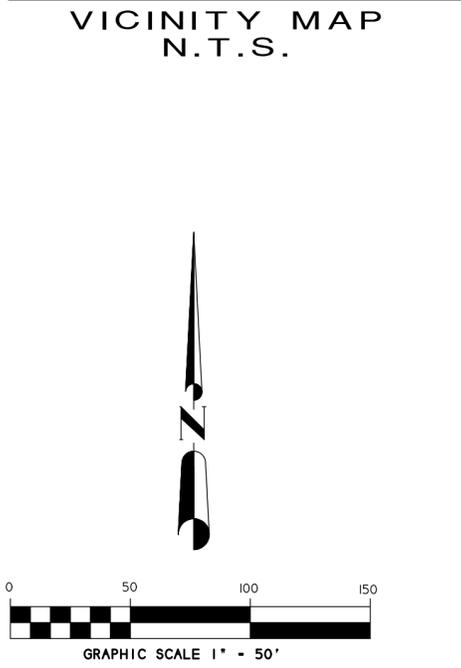
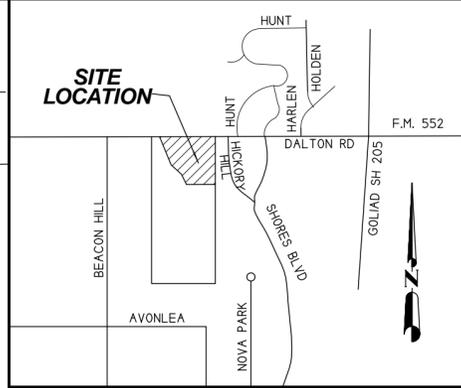
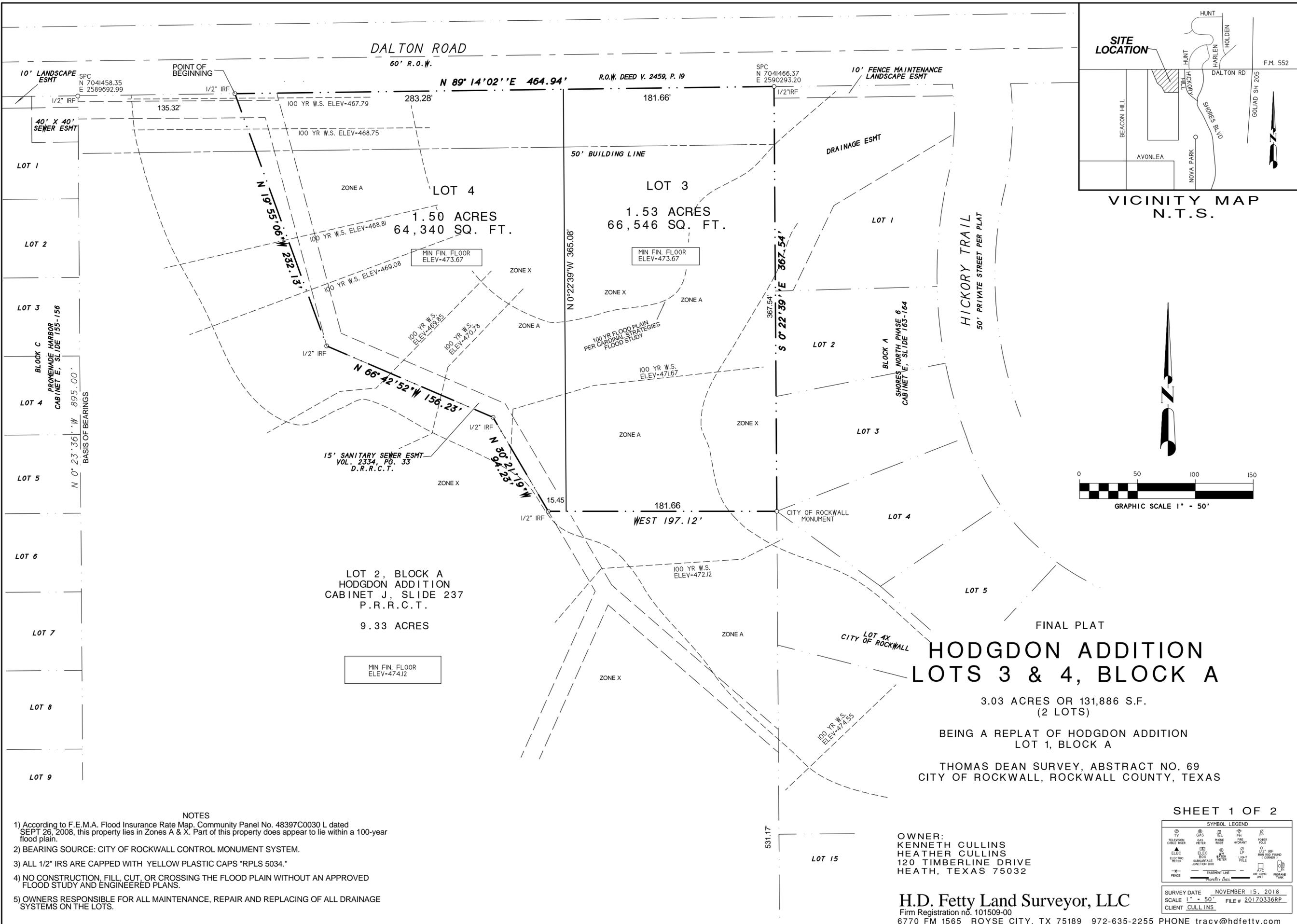
ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT
AGOURA HILLS, CA 91301

HODGDON DAVID L & SUE WYCHE
PO BOX 1106
ROCKWALL, TX 75087

ESB PRIVATE TRUST
FROST BANK TRUSTEE
PO BOX 226657
DALLAS, TX 75222

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

FLORES JAMES & PATRICIA
PO BOX 992
ROCKWALL, TX 75087



LOT 2, BLOCK A
HODGDON ADDITION
CABINET J, SLIDE 237
P.R.R.C.T.
9.33 ACRES

MIN FIN. FLOOR
ELEV-474.12

LOT 3
1.53 ACRES
66,546 SQ. FT.

MIN FIN. FLOOR
ELEV-473.67

LOT 4
1.50 ACRES
64,340 SQ. FT.

MIN FIN. FLOOR
ELEV-473.67

HODGDON ADDITION LOTS 3 & 4, BLOCK A

3.03 ACRES OR 131,886 S.F.
(2 LOTS)

BEING A REPLAT OF HODGDON ADDITION
LOT 1, BLOCK A

THOMAS DEAN SURVEY, ABSTRACT NO. 69
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

- NOTES**
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0030 L dated SEPT 26, 2008, this property lies in Zones A & X. Part of this property does appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
 - 4) NO CONSTRUCTION, FILL, CUT, OR CROSSING THE FLOOD PLAIN WITHOUT AN APPROVED FLOOD STUDY AND ENGINEERED PLANS.
 - 5) OWNERS RESPONSIBLE FOR ALL MAINTENANCE, REPAIR AND REPLACING OF ALL DRAINAGE SYSTEMS ON THE LOTS.

OWNER:
KENNETH CULLINS
HEATHER CULLINS
120 TIMBERLINE DRIVE
HEATH, TEXAS 75032

SHEET 1 OF 2

SYMBOL LEGEND	
	TELEVISION CABLE RISER
	GAS METER
	PHONE RISER
	ELECTRIC METER
	ELECTRIC METER BOX
	ELECTRIC METER SUBSURFACE
	ELECTRIC METER JUNCTION BOX
	ELECTRIC METER LIGHT
	ELECTRIC METER CORNER
	ELECTRIC METER 45 DEGREE
	ELECTRIC METER 90 DEGREE
	ELECTRIC METER 135 DEGREE
	ELECTRIC METER 180 DEGREE
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	ELECTRIC METER 315 DEGREE
	ELECTRIC METER 360 DEGREE
	ELECTRIC METER 45 DEGREE
	ELECTRIC METER 90 DEGREE
	ELECTRIC METER 135 DEGREE

CITY OF ROCKWALL

ORDINANCE NO. 19-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM A SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT TO A SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT ON A 3.03-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-01 OF THE T. DEAN SURVEY, ABSTRACT NO. 69, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' AND FURTHER DESCRIBED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Heather Cullins for a change in zoning from a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District on a 3.03-acre tract of land identified as Tract 1-01 of the T. Dean Survey, Abstract No. 69, City of Rockwall, Rockwall County, Texas, zoned Single-Family 2.0 (SFE-2.0) District and more fully depicted in *Exhibit 'A'* and described in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from a Single-Family 2.0 (SFE-2.0) District to a Single-Family 1.5 (SFE-1.5) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Single-Family 1.5 (SFE-1.5) District as stipulated in Section 1.1, *Use of Land and Buildings*, of Article IV, *Permissible Uses* and Section 3.2, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF FEBRUARY, 2019.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 22, 2019

2nd Reading: February 4, 2019

Exhibit 'A'
Zoning Exhibit

Legal Description: Tract 1-01 of the T. Dean Survey, Abstract No. 169



Exhibit 'B'
Legal Description

DRAFT
ORDINANCE
07.15.2019

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/15/2019

APPLICANT: Jeff Carol of *Carol Architects*

AGENDA ITEM: **SP2018-042**; *Site Plan for Office/Warehouse Building Expansion*

SUMMARY:

Discuss and consider a request by Jeff Carol of Carol Architects, Inc. on behalf of Terry Morgan of Z06 Properties, LLC for the approval of a site plan for an office/warehouse building on a 5.690-acre tract of land identified as Lot 3, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the northeast corner of the intersection of Discovery Boulevard and Innovation Drive, and take any action necessary.

PURPOSE AND BACKGROUND INFORMATION:

On February 19, 2001, the City Council approved a site plan [*i.e. Case No. PZ2001-014*] for a proposed 52,370 SF warehouse/manufacturing facility on the subject property. On December 21, 2018, the applicant submitted an application requesting the approval of an amended site plan for the purpose of expanding the facility by incorporating an additional ~35,980 SF to the east side of the building. The purpose of the expansion is to add additional office/warehouse space. This will increase the overall square footage of the building to 88,350 SF. The warehouse/manufacturing facility is located within the REDC Technology Park, and is situated on a 5.690-acre parcel of land that is identified as Lot 3, Block D, Rockwall Technology Park Addition. The site is more specifically located at the northeast corner of the intersection of Discovery Boulevard and Innovation Drive, and is zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), a manufacturing/office facility is permitted *by-right* in a Light Industrial (LI) District. The subject property has two (2) existing points of ingress and egress, one (1) along Innovation Drive and one (1) along Discovery Boulevard. Based on the site plan, the development will connect to the existing drives by extending a 24-foot drive aisle (*which is also a Fire Lane, Public Access and Utility Easement*) along the eastern side of the subject property. The proposed development will incorporate an additional 95 parking spaces with the expansion, and will bring the total parking count up to 193 parking spaces. This meets the requirements for parking stipulated by of Table 3, *Parking Requirement Schedule*, of Article VI, *Parking and Loading*, of the UDC.

With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Light Industrial (LI) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>12,500 SF</i>	<i>5.690-Acres; In Conformance</i>
<i>Minimum Lot frontage</i>	<i>100-Feet</i>	<i>x>435-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>125-Feet</i>	<i>x>490-Feet; In Conformance</i>

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>x>100-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>0-Feet + ½ H</i>	<i>N/A; Double Frontage</i>
<i>Minimum Side Yard Setback</i>	<i>0-Feet + ½ H</i>	<i>x>55-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>120-Ft</i>	<i>x=20-ft; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>~35.6%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x>90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>193</i>	<i>193 Provided; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20% Each Facade</i>	<i>x=0%; Variance Required</i>
<i>Minimum Landscaping Percentage</i>	<i>10%</i>	<i>x=15%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>x<90%; In Conformance</i>

LANDSCAPE/TREESCAPE PLAN:

The applicant has submitted a letter indicating all trees being removed from the site are primarily Cedar trees that are less than 11-caliper inches DBH (*i.e. diameter breast height*), and are considered non-protected trees; however one (1) Oak tree measuring four (4) caliper inches will be removed. The applicant will satisfy the mitigation balance by providing eight (8) 3½-inch caliper trees (*i.e. 28-inches*) to the site.

EXCEPTION REQUESTS:

Based on the applicant's submittal staff has identified the following exceptions to the requirements of the Unified Development Code (UDC):

1) *Building Materials.*

- a) *Stone.* According to Section 5.01.A.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, a minimum of 20% stone is required on all building façades. In this case, the applicant is not proposing the use of stone.
- b) *Tilt Wall.* According to Section 5.01.A.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, the use of concrete tilt-up walls may be permitted on a case-by-case basis by the Planning and Zoning Commission. The proposed building is 100% tilt-wall construction.

Section 5.01.A.2, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, allows the Planning and Zoning Commission, upon a recommendation from the Architectural Review Board (ARB), to approve exceptions to the material requirements pending the applicant provide building elevations, a material sample board, and justification for the exception(s) being requested. In this case, the applicant has provided staff with a building rendering and building elevations, and has stated that the purpose of the request is to match the existing buildings materials.

2) *Articulation.*

- a) *Primary Building Façades.* According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of four (4) time the walls height without a architectural/entryway element. In this case, the proposed building does not incorporate any vertical projections and only has minimal horizontal projections on primary façades.

- b) *Secondary Building Façades*. According to Section 5.01.C.1, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, secondary facades require projections associated with entryways and architectural elements. Specifically, the secondary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In this case, the proposed building does not incorporate any vertical projections and very minimal horizontal projections on secondary façades.

Section 5.01.C.3, *General Industrial District Standards*, of Article V, *District Development Standards*, of the UDC, allows the Planning and Zoning Commission, upon a recommendation from the Architectural Review Board (ARB), to approve exceptions to the articulation requirements. In making this determination the Planning and Zoning Commission should determine if the proposed request is [1] in conformance with the spirit and intent of the building articulation requirements, and [2] if granting the exception will substantially weaken the City's ability to enforce the general purpose of the building articulation requirements in the future. In this case, since the existing structure was approved under superseded articulation requirements, the approval of the exception will not weaken the City's ability to enforce the general purpose of the current articulation requirements. In addition, the applicant has stated that the purpose of the request is to match the existing building's form, which makes up the majority of the visible frontage along Discovery Boulevard and Innovation Drive.

These exceptions are discretionary decisions for the Planning and Zoning Commission and only require approval by a simple majority vote. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

ARCHITECTURAL REVIEW BOARD:

On January 2, 2019, the Architectural Review Board (ARB) failed to establish a quorum, with Board Members Roberts, Mitchell, Tovar, Miller, Johnson, and Niell. Since the ARB failed to hold a meeting, the ARB will provide recommendations at the January 15, 2019 Planning and Zoning Commission meeting.

RECOMMENDATIONS:

Should the Planning and Zoning Commission choose to approve the applicant's request, then staff would offer the following conditions of approval:

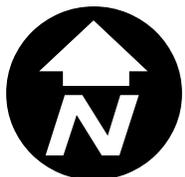
- 1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this site plan request must conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

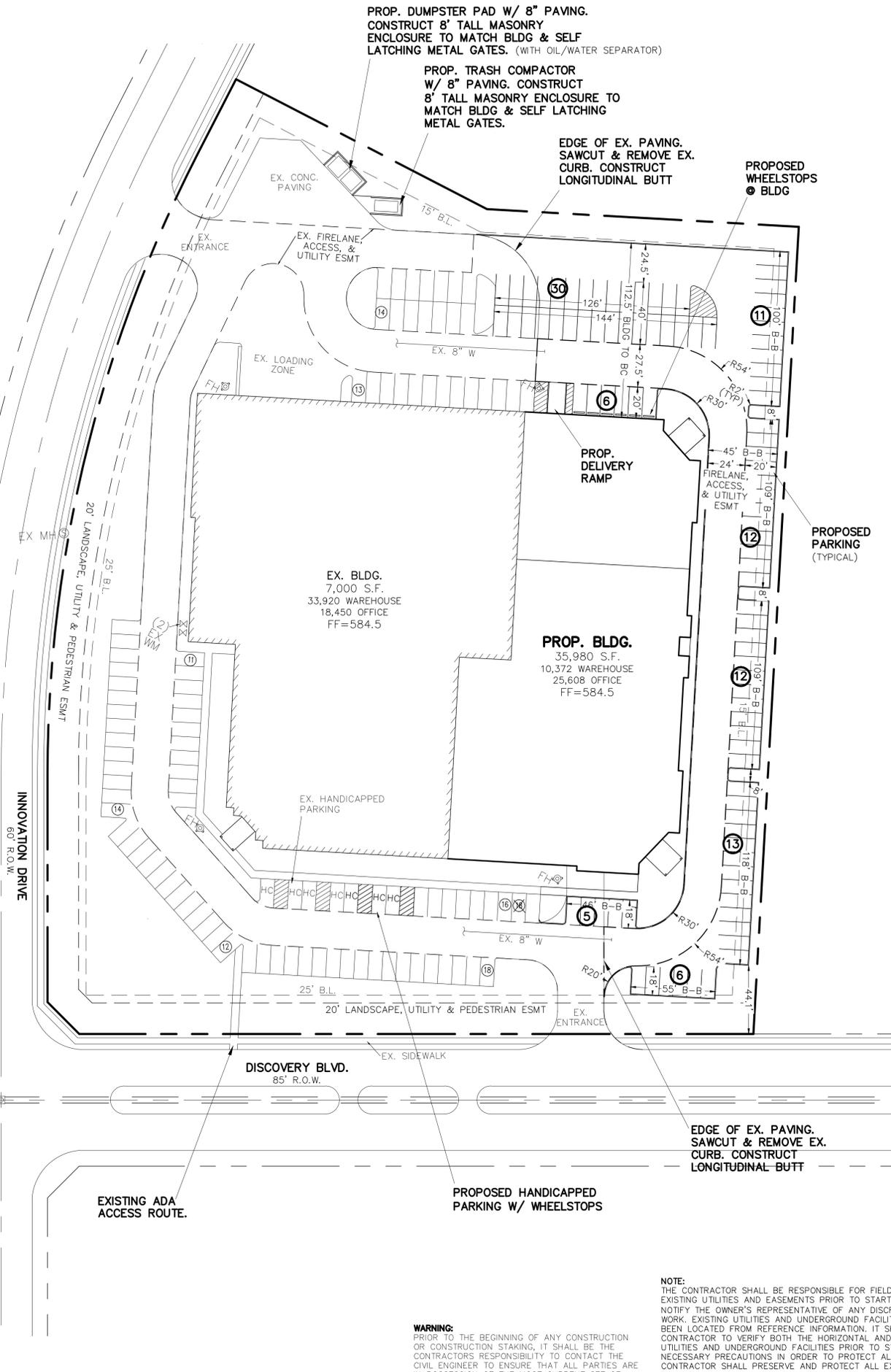


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





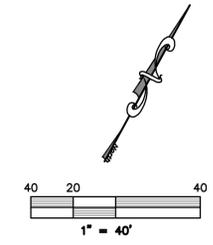
PROP. DUMPSTER PAD W/ 8" PAVING.
CONSTRUCT 8" TALL MASONRY
ENCLOSURE TO MATCH BLDG & SELF
LATCHING METAL GATES. (WITH OIL/WATER SEPARATOR)

PROP. TRASH COMPACTOR
W/ 8" PAVING. CONSTRUCT
8" TALL MASONRY ENCLOSURE TO
MATCH BLDG & SELF LATCHING
METAL GATES.

EDGE OF EX. PAVING.
SAWCUT & REMOVE EX.
CURB. CONSTRUCT
LONGITUDINAL BUTT

PROPOSED
WHEELSTOPS
@ BLDG

- NOTES:**
- 1) ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 4th EDITION.
 - 2) ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS
 - 3) SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
 - 4) ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 5) NO SAND UNDER SIDEWALKS.



SITE DATA:

LOT AREA:
5.69 Acres, 247,899 sq. ft.

LOT COVERAGE:
35.64%

FLOOR TO AREA RATIO:
2.8:1

BUILDING AREA:
EX: 52,370 sq.ft.
PROP: 35,980 sq.ft.
TOTAL = 88,350 sq.ft.

CONSTRUCTION TYPE:
XX

BUILDING HEIGHT:
20'

BUILDING SETBACKS:
Front = 25'
Rear = 15'
Side = 15'

PROPOSED USE:
Office/Warehouse

IMPERVIOUS AREA
(including buildings):
xx sq.ft.

ZONING:
LI

PARKING:
Required:
Office 1 space/300
Ex (18450/300) = 62
Prop (25,608/300) = 86
Warehouse 1 space/1000
Ex (33,920/1000) = 34
Prop (10,372/1000) = 11
Handicap = 7
Total required = 193

Provided:
Standard:
Existing 98
Proposed 95
Handicapped = 7
Total Provided = 193

LANDSCAPE AREA:
Required: 37,185 sq.ft. (15%)
Provided: xx sq.ft.

FIRE SPRINKLER:
YES

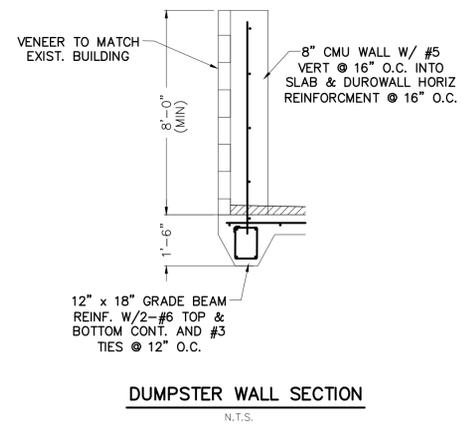
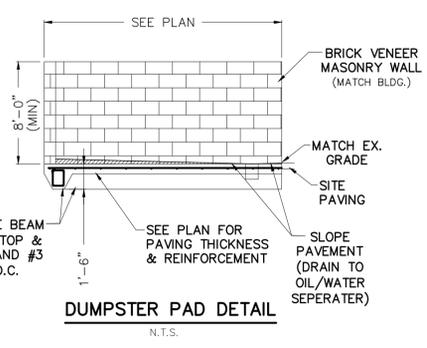
* THERE ARE EX BUILDINGS ON THIS SITE.

- PAVING NOTES:**
- 1) FIRELANE & APPROACHES TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
 - 2) ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 3) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +6% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 4) SIDEWALK TO BE 4" THICK CONCRETE, 3000 psi, 5.5 SACK MIX IN R.O.W.
 - 5) NO SAND UNDER PAVING.

EX. FIRE SPRINKLER TO BE TIED IN TO NEW BUILDING

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

- GENERAL NOTES**
1. Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
 2. Fire lanes shall be designed and constructed per city standards.
 3. Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
 4. Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance
 5. All signage contingent upon Building Inspection Department.
 6. Approval of the site plan is not final until all engineering plans are approved.
 7. Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance
 8. Please contact the Building Inspection Department to determine the type of construction and occupancy group.
 9. All electrical transmission, distribution and service lines must be underground.



LEGEND

- = PROPERTY LINE
- EX. W- = EX. WATER LINE
- EX. SS- = EX. SANITARY SEWER LINE
- (S) = EX. SS MANHOLE
- ∞ WV = EX. WATER VALVE
- PP = EX. POWER POLE
- ☐ = EX. TELEPHONE BOX
- ⊙ = EX. STORM MANHOLE
- FH = EX. FIRE HYDRANT
- = PROPOSED FIRE HYDRANT
- EXIST. or EX. = EXISTING
- ESMNT. = EASEMENT
- LS = LANDSCAPE
- BC = BACK OF CURB
- B-B = BACK OF CURB TO BACK OF CURB
- RCP = REINFORCED CONCRETE PIPE
- [Pattern] = PROPOSED FIRELANE
- [Pattern] = PROPOSED SIDEWALK

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



CASE #

SITE PLAN

OFFICE WAREHOUSE PROJECT

2500 DISCOVERY BLVD
ROCKWALL TECHNOLOGY PARK ADDITION
Lot 2C, Blk D, 5.69 ACRES
City of Rockwall, Rockwall County, Texas 75087

owner
Z06 PROPERTIES, LLC

CONTACT
prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

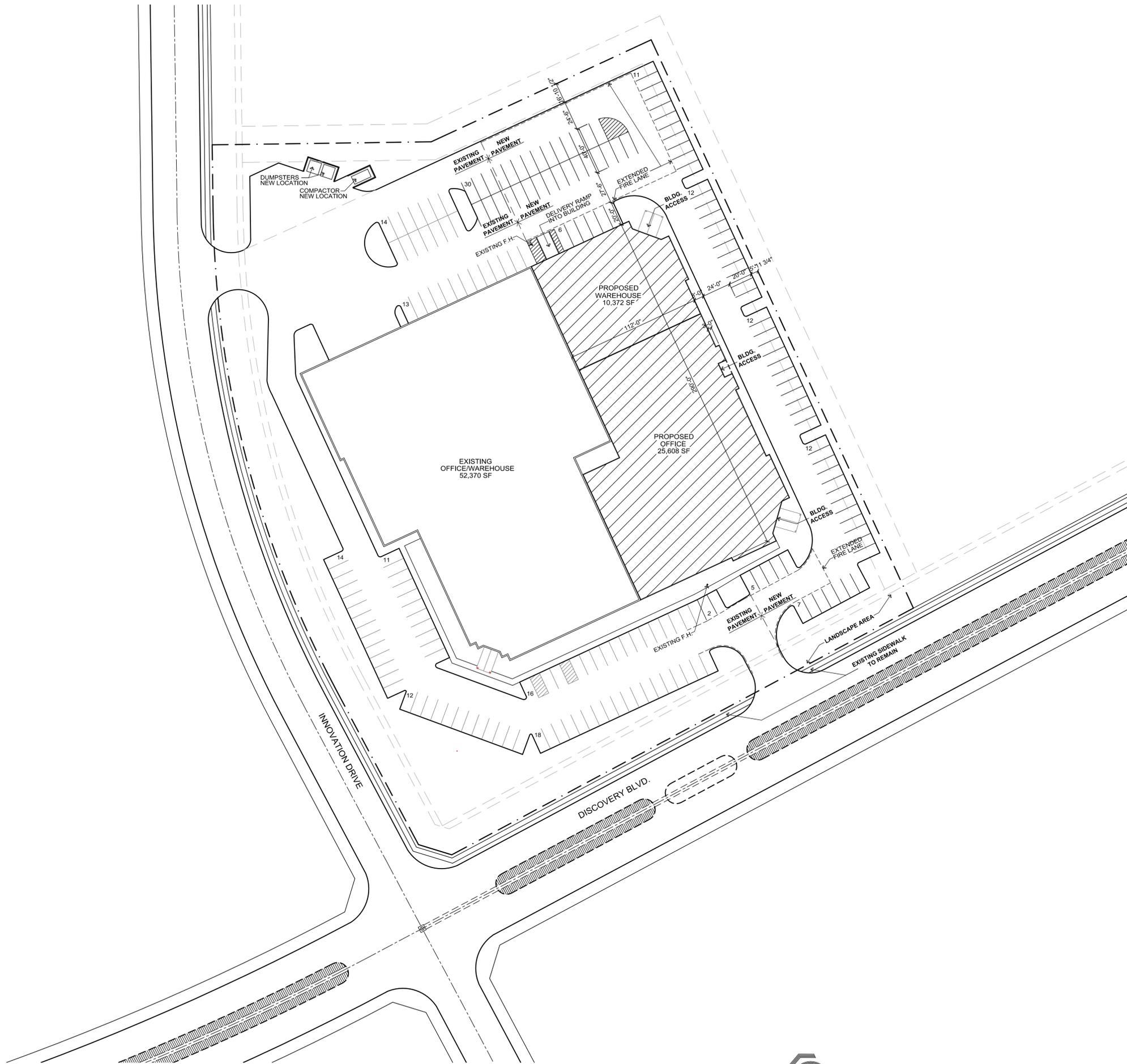
© 2018 Monk Consulting Engineers, Inc., All Rights Reserved

PROJECT NO.: 2018-15 REG. NO.: F-2567

date: 12/13/18 scale: 1"=40' sheet: C101

WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA TABLE	
SITE AREA	5.691 ACRES (247,900 SF)
ZONING	HEAVY INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
PROPOSED BUILDING AREA-	
OFFICE AREA:	25,608 SF
WAREHOUSE AREA:	10,372 SF
TOTAL AREA:	35,980 SF
EXISTING BUILDING AREA-	
OFFICE AREA:	18,450 SF
WAREHOUSE AREA:	33,920 SF
TOTAL AREA:	52,370 SF
LOT COVERAGE	36%
FLOOR TO AREA RATIO	0.36 : 1
BUILDING HEIGHT	60 ft. MAX

PARKING TABLE	
PROPOSED PARKING-	
OFFICE PARKING:	1:300 = 86
WAREHOUSE PARKING:	1:1000 = 11
TOTAL PARKING:	97 SPACES
EXISTING PARKING-	
OFFICE PARKING:	1:300 = 62
WAREHOUSE PARKING:	1:1000 = 34
TOTAL PARKING:	96 SPACES
PARKING REQUIRED	193 SPACES (7 ADA)
PARKING PROVIDED	195 SPACES (7 ADA)

DATE:	12-14-2018
ISSUE:	OWNER REVIEW
REVISION:	11-5-2018

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OFFICE/WAREHOUSE PROJECT
for
ZO6 PROPERTIES LLC.
2500 DISCOVERY BLVD.
ROCKWALL, TX 75032

ZO6 PROPERTIES LLC.
2500 DISCOVERY BLVD.
ROCKWALL, TX

CARROLL architects
750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

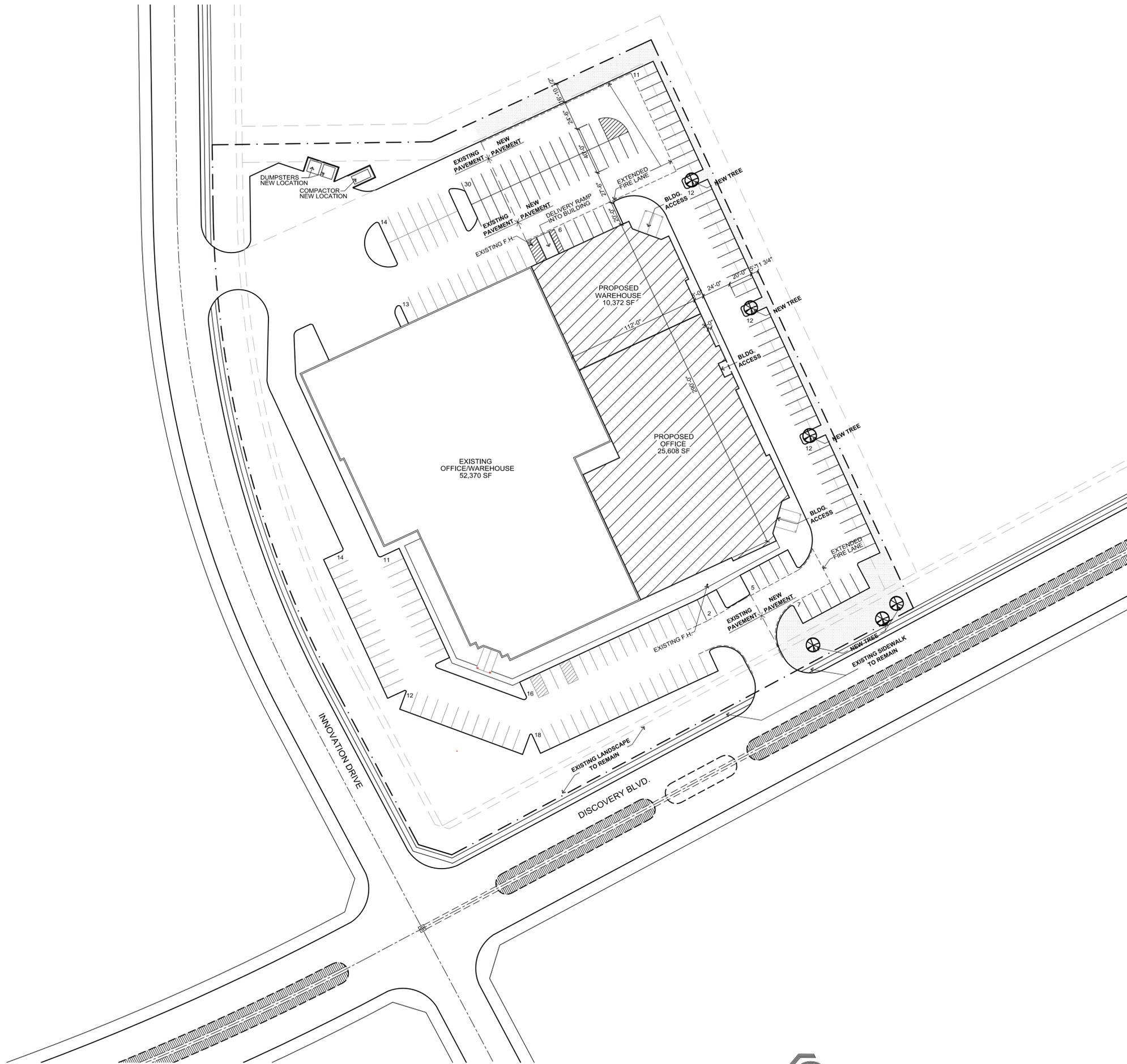
ZO6 Properties LLC.
<small>LEGAL DESCRIPTION AND/OR ADDRESS:</small> LOT 2c, BLOCK D Rockwall Technology Park Rockwall, Texas Volume X, Page XX map of Records of Rockwall County Texas 5.691 Acres
OWNER ZO6 Properties LLC. 2500 Discovery Blvd. Rockwall, TX 75032
APPLICANT Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com
CASE NUMBER 2018XXX

ARCHITECTURAL SITE PLAN

DATE:	DEC 2018	SHEET NO.:	A100
PROJECT NO.:	2018034		
DRAWN BY:			
CHECKED BY:			







SITE DATA TABLE	
SITE AREA	5.691 ACRES (247,900 SF)
ZONING	HEAVY INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
PROPOSED BUILDING AREA-	
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WAREHOUSE PARKING:	1:1000 = 34
TOTAL PARKING:	96 SPACES
PARKING REQUIRED	193 SPACES (7 ADA)
PARKING PROVIDED	195 SPACES (7 ADA)

LANDSCAPE TABULATION

Gross Area	(5.691 acres)	= 247,899 S.F.
Required Landscape Area - 15% of 247,899 S.F.		= 37,185 S.F.
Provided Landscape Area - 15% of 247,899 S.F.		= 37,185 S.F.
Provided Parking Area Landscape		= 1/12 Spaces Along Side Yard

DESCRIPTION OF NEW LANDSCAPE AREA MATERIAL	QTY
Frontage 115 LF (NIC DRIVES) = 3 trees - Live Oak, 3" caliper	3 Each
Parking Area = 3 trees - Live Oak, 3" caliper	3 Each
Grass to match existing species onsite	10,558 S.F.

NOTES:
 - IRRIGATION SHALL BE PROVIDED TO ALL LANDSCAPED AREAS
 - TREESCAPE PLAN - NO EXISTING TREES

ZO6 Properties LLC.	
LEGAL DESCRIPTION AND/OR ADDRESS: LOT 2c, BLOCK D Rockwall Technology Park Rockwall, Texas Volume X, Page XX map of Records of Rockwall County Texas 5.691 Acres	
OWNER	
Z06 Properties LLC. 2500 Discovery Blvd. Rockwall, TX 75032	
APPLICANT	
Carroll Architects, INC 750 E. Interstate 30 #110 Rockwall, TX 75087 Ph: 972-732-6085 Email: jc@carrollarch.com	
CASE NUMBER	
2018XXX	

ISSUE: OWNER REVIEW 12-14-2018

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OFFICE/WAREHOUSE PROJECT
 for
ZO6 PROPERTIES LLC.
2500 DISCOVERY BLVD.
ROCKWALL, TX 75032

ZO6 PROPERTIES LLC.
 2500 DISCOVERY BLVD.
 ROCKWALL, TX

CARROLL architects
 750 E. Interstate 30
 Suite 110
 Rockwall, TX 75087
 t: 972-732-6085
 f: 972-732-8058

LANDSCAPING PLAN

DATE: DEC 2018 SHEET NO:
 PROJECT NO: 2018034
 DRAWN BY:
 CHECKED BY:



1 LANDSCAPING PLAN
 SCALE: 1:40

L1



750 Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

January 7, 2019

City of Rockwall, Texas
Planning Department
385 S. Goliad.
Rockwall, Texas 75087

Re: Z06 Site Plan Submission
Case # 2018042

Planning,

We are submitting comments to the tree survey shown on the Landscape plan. The existing trees being removed in phase 2 of this proposed development are mature Cedar trees totaling 108 caliper Inches. There is one existing Live Oak tree located in an existing parking Island which will be removed. This one Oak tree has a caliper of 4".

Total tree caliper being removed = 112" and 108" are not counted towards mitigation, leaving 4"
Total tree caliper to be provided = 28" (8 trees at 3-1/2" each).
leaving a net gain of 24" caliper.

Sincerely,

Jeff Carroll
Architect.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE: 01/15/2019

APPLICANT: Kevin Hickman; *PegasusAblon*

AGENDA ITEM: **SP2018-043**; *Harbor Village*

SUMMARY:

Discuss and consider a request by Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a site plan for a 375-unit condominium building on a 6.2-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 (IH-30) Overlay District, located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail, and take any action necessary.

PURPOSE AND BACKGROUND:

On June 17, 2013, the City Council approved *Ordinance No. 13-16*, which allocated 399 urban residential units (*i.e. condominiums*) to a concept plan that showed two (2) condominium buildings being constructed on the subject property (*i.e. one [1] adjacent to Lakefront Trail consisting of 349-units and one [1] adjacent to the Harbor Fountain consisting of 50-units*). This approval was later amended on December 18, 2017, when the City Council approved *Ordinance No. 17-64*. The new amendment allocated an additional 51-units to the previously entitled 399-units, bringing the total number of entitled units to 450 urban residential units. This PD Development Plan establishes provisions for the construction of two (2) condominium buildings (*i.e. construction schedule*). In conformance to this PD Development Plan, the applicant has submitted a site plan requesting approval for a 375-unit condominium development that will be adjacent to Lakefront Trail. This will be the first of two (2) buildings and, based on the conditions of *Ordinance No. 17-64*, will be required to obtain a building permit by June 1, 2019. Should the site plan be approved, the development will still be required to have civil engineering plans and a final plat approved prior to the issuance of a building permit. Should a building permit *not* be issued by June 1, 2019, staff will provide a report to the Planning and Zoning Commission and City Council indicating the progress of the development, and after review the Planning and Zoning Commission and City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional 26 urban residential units.

DENSITY AND DIMENSIONAL REQUIREMENTS:

The proposed five (5) story condominium building will be located within the *Harbor Residential Subdistrict* and will be comprised of a total of 335,224 SF. Off-street parking for future residents will be provided via a parking garage that is integrated into the design of the building, and is accessible from Lakefront Trail and the IH-30 Frontage Road. The on-site parking garage will provide a total of 548 parking spaces. The development will also include 34 public parking spaces along Lakefront Trail, bringing the total number of parking spaces to 584. This exceeds the required 563 parking spaces [*i.e. 375-units x 1.5 per unit = 563 spaces*] by 21 parking spaces. Additionally, the applicant is showing a two (2) level public parking garage consisting of 180 parking spaces. The public parking garage will be located along Lakefront Trail, southeast

of and adjacent to the 50-foot pedestrian walkway. The applicant has indicated that this parking garage will be constructed prior to the condominium building.

The proposed pedestrian walkway, located in between the public parking garage and the condominium building, will incorporate all of the streetscape elements required by PD-32 [Ordinance No. 17-22], and provide an upgraded pavestone paver (*i.e. antique terra-cotta; herringbone pattern*), decorative trees with up-lighting, assorted plantings, pedestrian benches, and pedestrian scaled lighting features. In addition, the plan shows that units facing onto the walkway will have stoops allowing direct access to the pedestrian path. The pedestrian walkway is intended to provide access to the Harbor Fountain and the potential future public park site from the 180 space public parking garage being constructed with this project.

According to Planned Development District 32 (PD-32) [Ordinance No. 17-22], the subject property is located within the *Harbor Residential Subdistrict*, which allows *Urban Residential (Condominium Units Only)* as a *by-right* land use. Based on the submitted site plan package -- *site plan, landscape/streetscape plan, treescape plan, photometric plan, and building elevations* -- the proposed case is in conformance with the requirements stipulated by *Ordinance No. 17-22, Resolution No. 10-40*, and the UDC with the exception of the waiver being requested in the *Waiver Request* section of this case memo. A summary of the applicable requirements for this case are as follows:

<i>Ordinance Provisions</i>	<i>Interior Subdistrict Standards</i>	<i>Conformance to the Standards</i>
<i>Setback Distance from ROW (Lakefront Trail)</i>	<i>0-Feet</i>	<i>30-ft; In Conformance</i>
<i>Building Form</i>	<i>45% Building Façade Fronting Lakefront Trail & IH-30 Frontage Road</i>	<i>x>45%; In Conformance</i>
<i>Ground Floor Land Uses</i>	<i>Retail, Restaurant, Residential</i>	<i>Residential; In Conformance</i>
<i>Upper Floor Land Uses</i>	<i>Residential & Office</i>	<i>Residential; In Conformance</i>
<i>Maximum Building Height</i>	<i>5-Stories or 75-Feet</i>	<i>x=5-Stories/75-ft Height; In Conformance</i>
<i>First Floor Minimum Commercial Height</i>	<i>15-Feet</i>	<i>x<15-ft (variable heights); Waiver Requested</i>
<i>Encroachments to Street</i>	<i>5-Feet</i>	<i>0-Feet; In Conformance</i>
<i>Surface Parking Setbacks from ROW</i>	<i>10-Feet</i>	<i>NA; structured parking provided</i>
<i>Maximum Surface Parking</i>	<i>10% Surface Parking</i>	<i>x<10%; Lakefront Trail In Conformance</i>
<i>Minimum Number of Pedestrian Ways</i>	<i>1 Per Block Face</i>	<i>1; In Conformance</i>
<i>Minimum Masonry Percentage</i>	<i>90%</i>	<i>x>90%; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20% Each Façade</i>	<i>x≥20%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>With Streetscape Plan Elements</i>	<i>Streetscape Elements Incorporated with Landscape Plan; In Conformance</i>
<i>Maximum Lot Coverage</i>	<i>80%</i>	<i>x<80%; In Conformance</i>

TREESCAPE PLAN:

The *Treescape Plan* submitted by the applicant indicates a total of 724 caliper inches will be removed from the *subject property* as a result of this development. As a note, *primary protected trees* are any tree that has a diameter of four (4) inch caliper DBH or greater, with the exception of Bois d'Arc, Willow, Cottonwood, Locust, and Chinaberry (*which are considered to be non-protected trees*). Hackberry and Cedar trees that have a DBH of 11 caliper inches through 25 caliper inches are considered to be *secondary protected trees* and are mitigated at a rate of ½ inch per one (1) inch DBH. Hackberry and Cedar trees less than 11 caliper inches are considered to be *non-protected trees*. This site has a majority of Hackberry trees less than 11-inches DBH that are not protected. Additionally, the applicant is removing five (5) trees that are greater than 25 caliper inches (*i.e. [1] 32-inch Sycamore; Tree No. 32, [2] 30-inch Elm; Tree No.*

34, [3] 26-inch Pecan; Tree No. 36, [4] 32-inch Elm;– Tree No. 41, and [5] 32-inch Elm; Tree No. 44). These trees are considered to be *feature trees* and are mitigated for twice the number of inches being removed. The total mitigation balance due for this project is 437-inches. Based on the *Landscape Plan*, the applicant intends to offset the mitigation balance by providing 527-inches to the site. This will satisfy the mitigation required for the development.

WAIVER REQUEST:

According to *Ordinance No. 17-22*, “(i)n order to provide flexibility and create high quality projects, an applicant for development within the PD District [PD-32] may request a waiver of the following District or Subdistrict standards: (1) Building Placement Requirements, (2) Landscape Standards, (3) Parking Requirements, (4) Parking Garage Design Standards, and (5) Increased Building Height in any Subdistrict.” Based on the applicant’s submittal, staff has identified the following waiver to the requirements of *Ordinance No. 17-22*:

1) *Building Form and Placement Requirements.*

- i. *1st Floor Height.* According to the *Harbor Residential Subdistrict* all buildings should incorporate a first floor that is built to a commercial height with a minimum height of 15-feet. The proposed building incorporates a variable height of 9'-1 1/8” to 14'-1 1/8” and is less than the required first floor height. The applicant is requesting a waiver to this requirement.

With regard to granting waivers, *Ordinance No. 17-22* states that “... (w)avers may only be approved by the City Council following a recommendation by the Planning and Zoning Commission ... [and] In order to approve a waiver, the City Council must find that the waiver:

- 1) Meets the general intent of the PD District or Subdistrict in which the property is located; and,
- 2) Will result in an improved project which will be an attractive contribution to the PD District or Subdistrict; and,
- 3) Will not prevent the implementation of the intent of this PD District.”

In this case, the proposed project does appear to meet the general intent of the *Harbor Residential Subdistrict*. It should be noted that the first floor height requirement has been waived for all other condominium projects in the Harbor District; however, granting any waivers to the requirements of *Ordinance No. 17-22* is a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission, and should be taken on a case-by-case basis. *The waiver for this case requires a simple majority vote for approval.*

TRAFFIC IMPACT ANALYSIS:

A Traffic Impact Analysis (TIA) is required for all development projects in the Harbor District (*i.e. Planned Development District 32 [PD-32]*). On December 5, 2018, Kimley-Horn and Associates, Inc. submitted a TIA on behalf of the applicant. On January 4, 2019, Binkley & Barfield, Inc. -- *the City’s traffic consultant* -- provided comments back to the applicant. A revised TIA addressing the City’s comments is required for the approval of this case, and this has been added to the conditions of approval contained in this case memo.

ARCHITECTURAL REVIEW BOARD (ARB):

On January 2, 2019, the Architectural Review Board (ARB) did *not* establish a quorum. The following Board Members were absent: Roberts, Mitchell, Tovar, Miller, Johnson, and Niell. The ARB is scheduled to meet on January 15, 2019 and will provide a recommendation to the Planning and Zoning Commission at their meeting on that date.

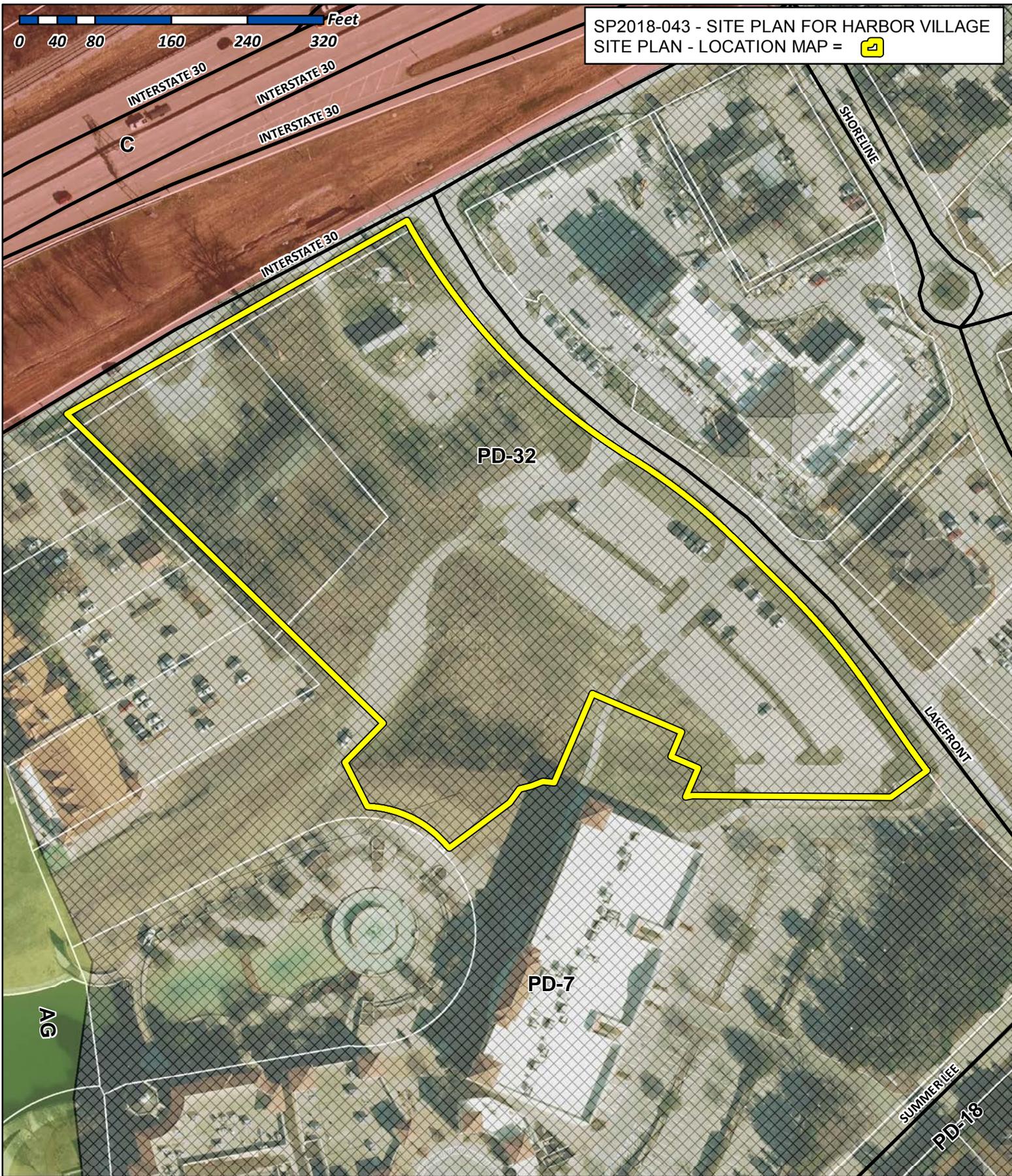
RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request, the following conditions of approval should be adopted with this case:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) The development shall conform to the recommendations made by the Parks and Recreation Board at the January 3, 2019 Parks and Recreation Board meeting.
- 3) The applicant shall be responsible for revising the Traffic Impact Analysis (TIA) in accordance with staff's comments. If necessary, the applicant will be responsible for implementing any improvements recommended by the final/accepted TIA.
- 4) Any construction resulting from the approval of this *site plan request* shall conform to the requirements set forth by the UDC, the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 40 80 160 240 320 Feet

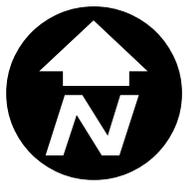
SP2018-043 - SITE PLAN FOR HARBOR VILLAGE
SITE PLAN - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
G2	12°35'10"	620.00'	136.19'	135.92'	S51°48'46"E

LINE TABLE		
LINE #	BEARING	DISTANCE
L9	S79°07'41"W	7.21'
L10	N23°10'29"E	32.93'
L11	N66°36'24"W	31.00'
L12	N23°10'29"E	27.95'
L13	N82°38'15"W	11.76'
L14	S68°52'14"W	13.20'
L15	S75°08'27"W	12.97'
L16	S36°32'06"W	17.64'

- REFER TO LANDSCAPE PLANS FOR PAVER DETAILS
- LAKEFRONT TRAIL CITY PAVING
- SIDEWALK PAVEMENT (TYP.)
4"-3,000 PSI CONCRETE
5.5 SACK MINIMUM
W/ #3 BARS AT 24" C-C
BOTH WAYS
- HEAVY DUTY PAVEMENT
7"-3,600 PSI CONCRETE
6.5 SACK MINIMUM
W/ #3 BARS AT 18" O.C.E.W.

SITE DATA TABLE	
HARBOR VILLAGE - ROCKWALL	
HARBOR - ROCKWALL ADDITION	6.200 ACRES
LOT 9A, BLOCK A	270,065 SQ-FT
BUILDING AREA	127,000 SQ-FT
USE	DWELLING UNITS
COVERAGE	47.03%
TOTAL NUMBER OF UNITS	375 UNITS
REQUIRED PARKING RATIO	1.5 PER UNIT
PARKING REQUIRED	563 SPACES
OFF-STREET PARKING PROVIDED	563 SPACES
ON-STREET PARKING PROVIDED	34 SPACES
TOTAL PARKING PROVIDED	597 SPACES
OFF-STREET PROVIDED PARKING RATIO	1.5 PER UNIT
HANDICAP REQUIRED	12 SPACES
HANDICAP PROVIDED	12 SPACES
OVERFLOW PARKING PROVIDED	180 SPACES
* PARKING PROVIDED TOTAL INCLUDES ACCESSIBILITY PARKING	

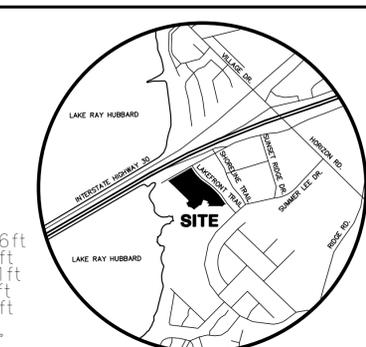
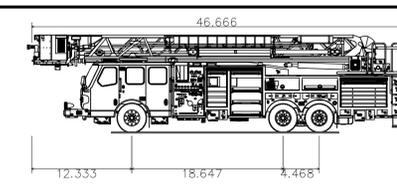
HARBOR VILLAGE DWELLING UNITS - BUILDING TABULATION LEGEND									
TYPE	AREA (SF)	NO.	% UNITS	TOTAL AREA (SF)	1 st Floor	2 nd Floor	3 rd Floor	4 th Floor	5 th Floor
L1	807	16	4.27%	12,912	8	8	0	0	0
E1	590	40	10.67%	23,600	8	8	8	8	8
A1	670	70	18.67%	46,900	11	14	15	15	15
A2	742	84	22.40%	62,328	16	17	17	17	17
A3	849	16	4.27%	13,584	2	2	4	4	4
B1	1,086	56	14.93%	60,816	8	9	13	13	13
B2	1,206	42	11.20%	50,652	7	8	9	9	9
B3(a)	1,291	14	3.73%	18,074	3	3	3	2	2
B3(d)	1,315	10	2.67%	13,150	2	2	2	2	2
B4(a)	1,243	5	1.33%	6,215	1	1	1	1	1
B4(c)	1,169	5	1.33%	5,845	1	1	1	1	1
B6	1,244	17	4.53%	21,148	3	3	4	4	3
TOTAL	375	100.00%	335,224	61,893 SF	66,937 SF	69,643 SF	69,643 SF	67,108 SF	67,108 SF

INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

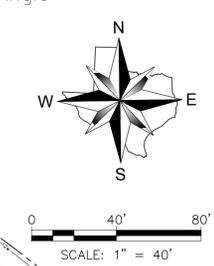
LOT 9A, BLOCK A
6.200 AC.
(270,065 S.F.)

LOT 9B, BLOCK A
1.158 AC.
(50,453 S.F.)



E-ONE HP100 Platform
Overall Length
Overall Width
Overall Body Height
Min Body Ground Clearance
Track Width
Lock-to-lock time
Max Wheel Angle

46.666ft
8.333ft
10.651ft
1.269ft
6.000ft
45.00'



*****NOTICES TO CONTRACTOR*****

EXISTING UNDERGROUND/BURIED PUBLIC, PRIVATE, AND FRANCHISE UTILITIES/FACILITIES AFFECT THIS SITE, AND ARE DEPICTED ON THE PLANS PER THE BEST AVAILABLE INFORMATION AT THE TIME THE PLANS WERE PRODUCED. WINKELMANN & ASSOC., INC. SHALL NOT BE RESPONSIBLE FOR KNOWING THE EXACT LOCATION OF ALL FACILITIES OR DEPICTING EXACT LOCATIONS OF SAID FACILITIES ON THE PLANS BEYOND WHAT IS STATED ABOVE.

CONTRACTOR(S) SHALL CALL "811" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK ON THE SITE, AND SHALL NOT BEGIN ANY EXCAVATION OR DEMOLITION ACTIVITIES UNTIL AFTER SAID FACILITIES HAVE BEEN MARKED AND/OR FLAGGED PER "811" OR THE FACILITY OWNERS.

CONTRACTOR(S) SHALL BE WHOLLY RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO SAID FACILITIES DUE TO WORK BEING DONE WITHOUT FOLLOWING THE PROCEDURES ABOVE.



$\Delta=009^{\circ}44'28''$
 $R=680.00'$
 $L=115.61'$
 $Ch L=115.47'$
 $Ch B=S40^{\circ}10'38''E$

$\Delta=002^{\circ}30'00''$
 $R=680.00'$
 $L=29.80'$
 $Ch L=29.80'$
 $Ch B=S36^{\circ}00'00''E$

- LEGEND**
- PP Power Pole
 - IRF Iron Rod Found
 - GUY Wire
 - IRF Iron Rod Set
 - MH Manhole
 - CIRS Iron Rod Set w/ cap "WAI"
 - WV Water Valve
 - CIRF Iron Rod Found w/ cap
 - TP Telephone Pedestal
 - XCS "X" Cut in Concrete Set
 - WM Water Meter
 - XCF "X" Cut in Concrete Found
 - FH Fire Hydrant
 - PKF PK Nail Found
 - LP Light Pole
 - PKF PK Nail Found
 - IV Irrigation Valve
 - SS Storm Sewer
 - CO Clean Out
 - TF Transformer pad
 - AC Air Conditioner
 - GM Gas Meter
 - CB Cable Box
 - GMK Gas Marker
 - SB Signal Box
 - TSN Traffic Sign
 - SP Signal Pole
 - UGC Underground Cable Marker
 - SN Sign
 - EM Electric Meter
 - CM Control Monument

DEVELOPER
PEGASUS ABLON
KEVIN HICKMAN
8222 DOUGLAS AVENUE,
SUITE 390
DALLAS, TX 75225
214-389-6901

OWNER
ROCKWALL RENTAL PROPERTIES, LP
1608 WEST MOORE,
DRAWER B
TERREL, TX 75160
972-210-0331

CASE NO. SP2018-043

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS • SURVEYORS
1100 GILBERT BLVD., SUITE 305
DALLAS, TEXAS 75242
TEL: (972) 490-7099
FAX: (972) 490-7099
E-MAIL: info@winkelmann.com
www.winkelmann.com
Professional Registration No. 89
Surveyors Registration No. 107866-00
Professional Seal: State of Texas, Professional Engineer, License No. 107866-00, Exp. 12/31/2019

STATE OF TEXAS
Professional Engineer Seal: License No. 107866-00, Exp. 12/31/2019

SITE PLAN
HARBOR VILLAGE
ROCKWALL, TEXAS

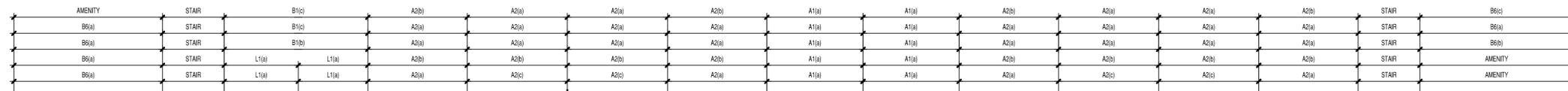
NO.	DATE	REVISION	APPROVED
1.	01/04/2019	SITE PLAN RESUBMITTAL	MC
2.	12/14/2018	SITE PLAN SUBMITTAL	MD

LAST SAVED BY: MAJULIAND January 3, 2019



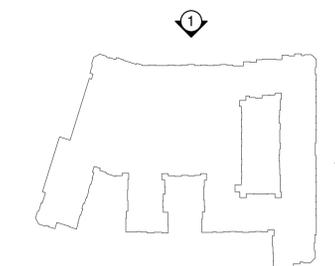
1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	6,248 S.F.	40%
BRICK	3,690 S.F.	24%
STONE	3,472 S.F.	22%
SPLIT FACE CMU	2,211 S.F.	14%
TOTAL	15,621 S.F.	100%



2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	5,665 S.F.	40%
BRICK	3,838 S.F.	27%
STONE	2,836 S.F.	20%
SPLIT FACE CMU	1,824 S.F.	13%
TOTAL	14,163 S.F.	100%



3 BUILDING KEY

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE
 DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
 SITE PLAN APPROVAL
 01-04-19

BGO ARCHITECTS
 4202 Beltway Drive
 Addison, TX 75001
 214.520.8878
 bgoarchitects.com

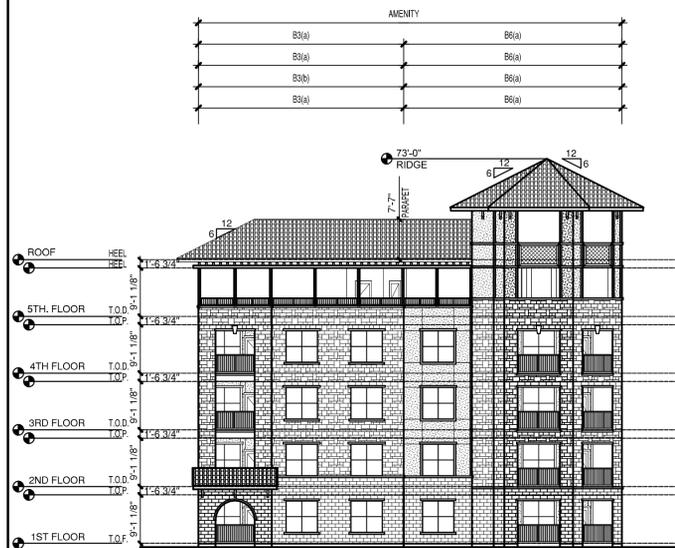
DATE
 12-14-18

PROJECT
 17126

SHEET NUMBER

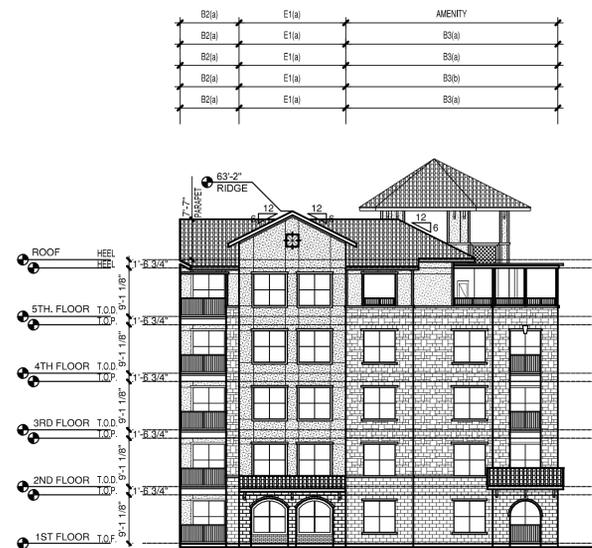
A4-10
 BUILDING
 ELEVATION

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1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	794 S.F.	29%
BRICK	0 S.F.	0%
STONE	1,410 S.F.	51%
SPLIT FACE CMU	576 S.F.	20%
TOTAL	2,780 S.F.	100%



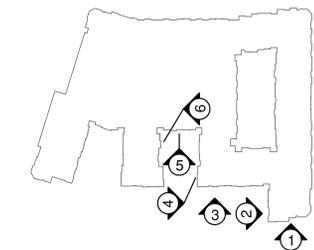
2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	996 S.F.	43%
BRICK	0 S.F.	0%
STONE	933 S.F.	40%
SPLIT FACE CMU	417 S.F.	17%
TOTAL	2,346 S.F.	100%



3 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,014 S.F.	40%
BRICK	930 S.F.	19%
STONE	1,408 S.F.	28%
SPLIT FACE CMU	676 S.F.	13%
TOTAL	5,028 S.F.	100%



7 BUILDING KEY



4 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,831 S.F.	46%
BRICK	365 S.F.	10%
STONE	992 S.F.	25%
SPLIT FACE CMU	766 S.F.	19%
TOTAL	3,954 S.F.	100%



5 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,425 S.F.	52%
BRICK	492 S.F.	18%
STONE	434 S.F.	16%
SPLIT FACE CMU	373 S.F.	14%
TOTAL	2,724 S.F.	100%



6 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,134 S.F.	27%
BRICK	1,024 S.F.	24%
STONE	1,515 S.F.	35%
SPLIT FACE CMU	596 S.F.	14%
TOTAL	4,269 S.F.	100%

TOTAL SOUTH-WEST ELEVATION (A4-11 # 1,3,5) (A4-12 # 1,3,5)	
TOTAL BLDG. FACADE:	19,391 SF.
TOTAL STONE AMOUNT:	6,721 SF.
TOTAL STONE %:	35%

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE

12-14-18

PROJECT

17126

SHEET NUMBER

A4-11

BUILDING
ELEVATION

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1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	778 S.F.	22%
BRICK	0 S.F.	0%
STONE	1,712 S.F.	50%
SPLIT FACE CMU	1,004 S.F.	28%
TOTAL	3,494 S.F.	100%



2 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,215 S.F.	52%
BRICK	394 S.F.	9%
STONE	850 S.F.	20%
SPLIT FACE CMU	819 S.F.	19%
TOTAL	4,278 S.F.	100%



3 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,283 S.F.	68%
BRICK	0 S.F.	0%
STONE	161 S.F.	9%
SPLIT FACE CMU	443 S.F.	23%
TOTAL	1,887 S.F.	100%



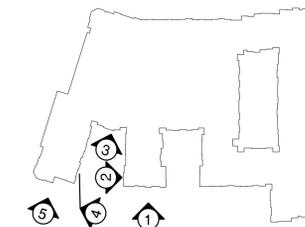
4 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,155 S.F.	43%
BRICK	492 S.F.	10%
STONE	1,012 S.F.	20%
SPLIT FACE CMU	1,359 S.F.	27%
TOTAL	5,018 S.F.	100%



5 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	1,089 S.F.	31%
BRICK	0 S.F.	0%
STONE	1,596 S.F.	46%
SPLIT FACE CMU	793 S.F.	23%
TOTAL	3,478 S.F.	100%



6 BUILDING KEY

TOTAL SOUTH-WEST ELEVATION (A4-11 # 1,3,5) (A4-12 # 1,3,5)	
TOTAL BLDG. FACADE:	19,391 SF.
TOTAL STONE AMOUNT:	6,721 SF.
TOTAL STONE %:	35%

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE

12-14-18

PROJECT

17126

SHEET NUMBER

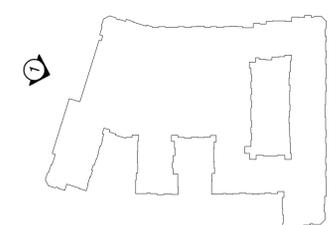
A4-12

BUILDING
ELEVATION



1 BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	6,792 S.F.	47%
BRICK	1,481 S.F.	10%
STONE	2,914 S.F.	20%
SPLIT FACE CMU	3,380 S.F.	23%
TOTAL	14,567 S.F.	100%



2 BUILDING KEY

CASE NO. SP2018-043

REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABILON

ISSUED FOR:
SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

PROJECT
17126

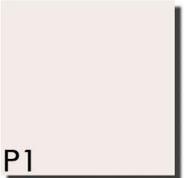
SHEET NUMBER

A4-13

BUILDING
ELEVATION

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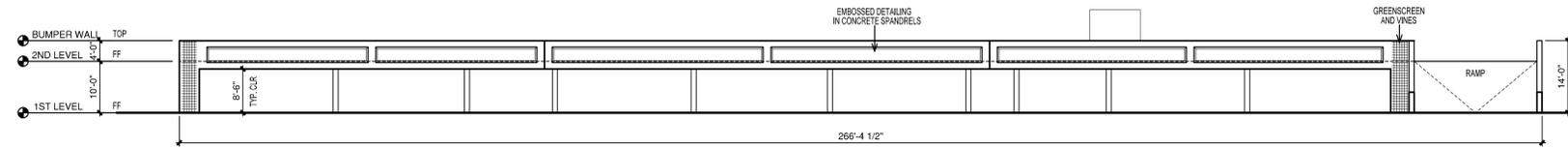


											
BL	B1	S1	P1	P2	P3	P4	P5	P6	W1	R1	D1
BLOCK FEATHERLINE TEXAS CREAM	BRICK ACME WINTERSTONE KING SIZE	STONE NEVLSTONE AUSTIN STONE KALAHARI	STUCCO BODY, WINDOW TRIM, DOOR TRIM SHERWIN WILLIAMS IBIS WHITE SW 7000	STUCCO BODY, WINDOW TRIM, BANDING SHERWIN WILLIAMS PATIENCE SW 7555	FASCIA, EAVES, SOFFIT, GUTTER, BRACKETS, TRIM SHERWIN WILLIAMS MEADOWLARK SW 7522	ORNAMENTS, TILE SHERWIN WILLIAMS LEISURE BLUE SW6515	FABRIC AWNINGS SHERWIN WILLIAMS SALUTE SW 7582	RAILINGS, METAL FEATURE SHERWIN WILLIAMS GARRET GRAY SW 6075	WINDOWS PLY-GEN OR EQUAL WHITE	BARREL CONCRETE ROOF TILE EAGLE ROOFING PRODUCTS CAPISTRANO PROFILE LCC 8806 TUSCON BLEND	DOWNSPOUT SENIX OR EQUAL RAFFIA BEIGE

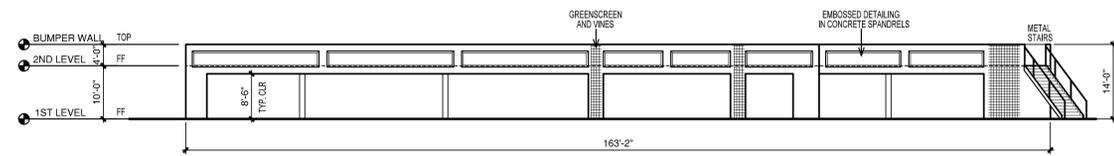
HARBOR VILLAGE DWELLING UNITS MATERIAL BOARD

ROCKWALL, TEXAS

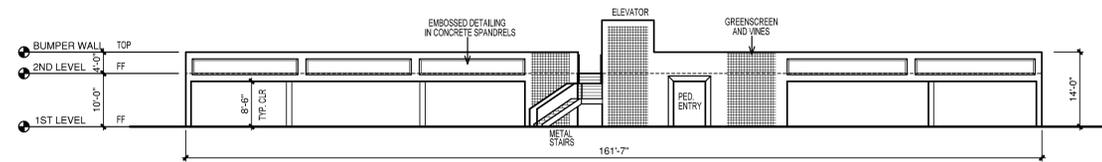




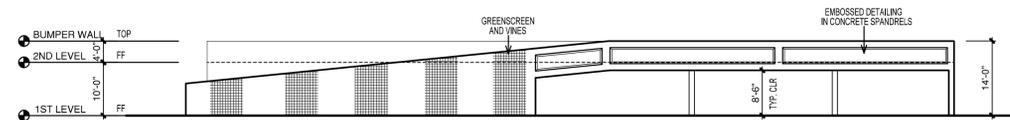
1 TWO-LEVEL PARKING STRUCTURE - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



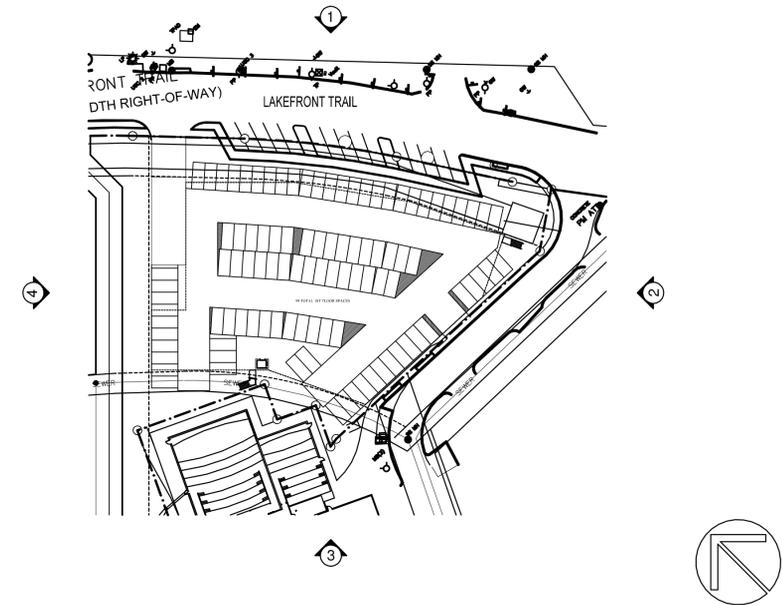
2 TWO-LEVEL PARKING STRUCTURE - EAST ELEVATION
SCALE: 1/16" = 1'-0"



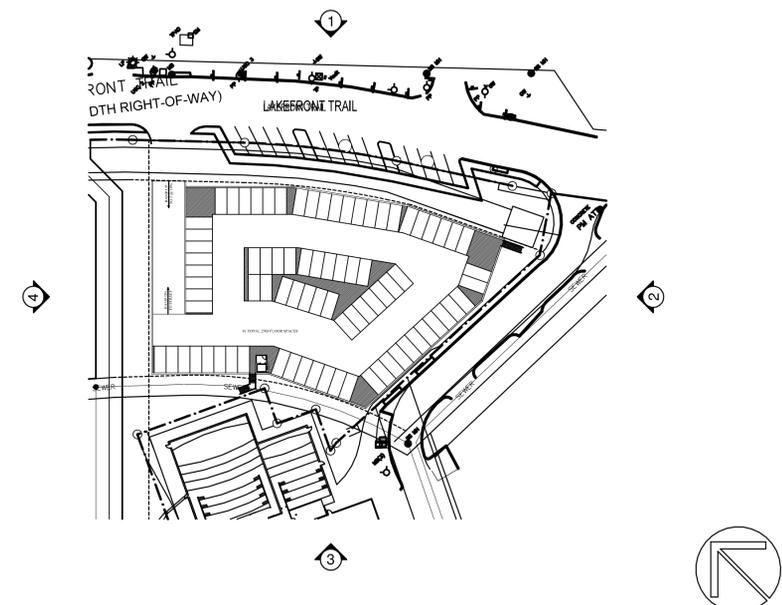
3 TWO-LEVEL PARKING STRUCTURE - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



4 TWO-LEVEL PARKING STRUCTURE - WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 TWO-LEVEL PARKING STRUCTURE - 1ST LEVEL & SITE



6 TWO-LEVEL PARKING STRUCTURE - 2ND LEVEL & SITE

REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABILON

ISSUED FOR: SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

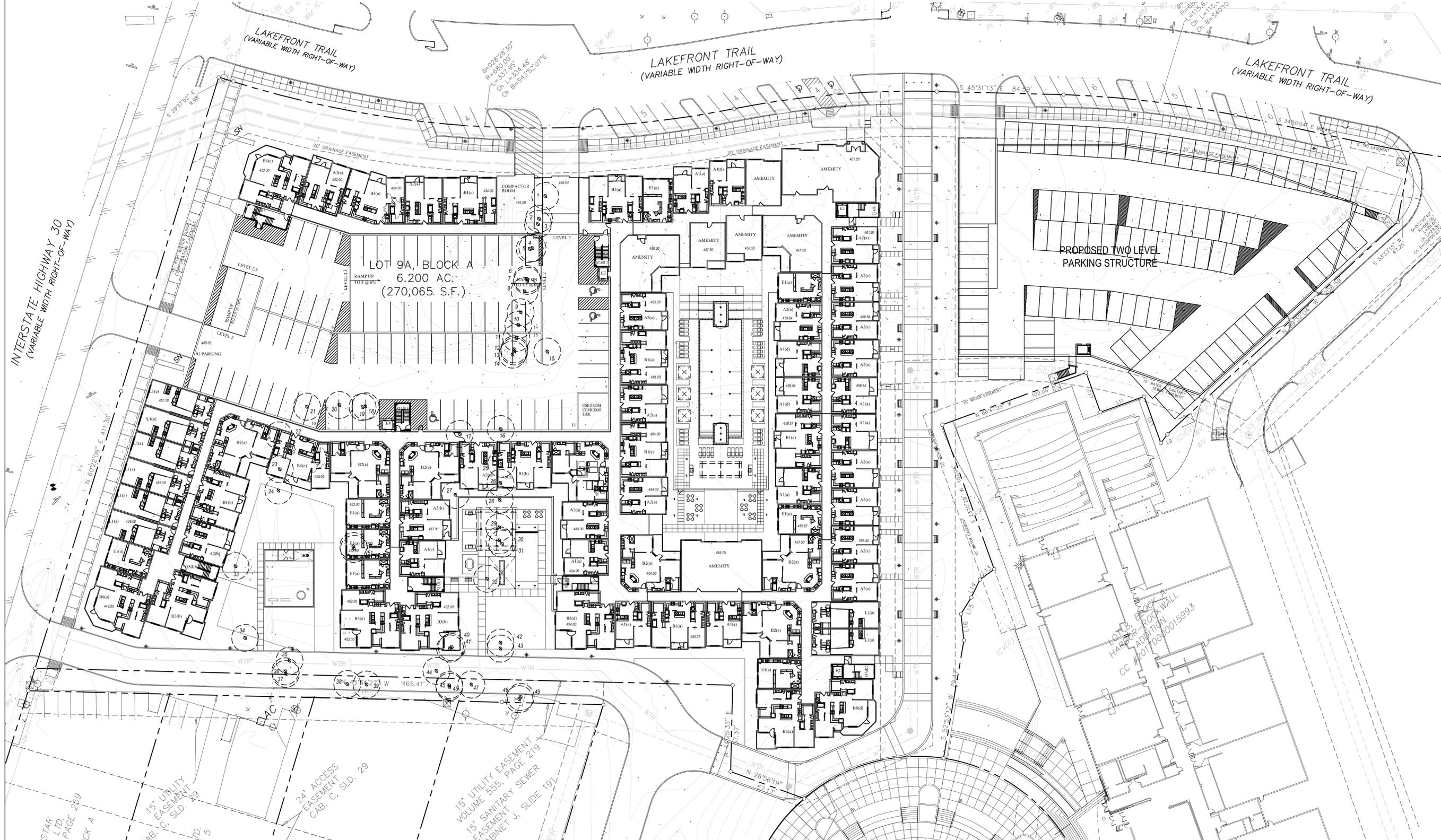
PROJECT
17126

SHEET NUMBER

A4-20

PARKING GARAGE ELEVATIONS

CASE NO. SP2018-043



INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LOT 9A, BLOCK A
6.200 AC.
(270,065 S.F.)

PROPOSED TWO LEVEL
PARKING STRUCTURE

THSTAR
TY, LTD.
4, PAGE 269
LOOK A

15' UTILITY
EASEMENT
CAB. C, SLD. 49

24' ACCESS
EASEMENT
CAB. C, SLD. 29

15' UTILITY EASEMENT
VOLUME 555, PAGE 219

15' SANITARY SEWER
EASEMENT
CABINET J, SLIDE 191

LOT 8, BLOCK A
HARBOR VILLAGE
ADDITION
CC #2017000015993

EXISTING TREE CHART

TREE NO.	TREE TYPE	INCHES	REMOVE/REMAIN	MITIGATION	TREE NO.	TREE TYPE	INCHES	REMOVE/REMAIN	MITIGATION	TREE NO.	TREE TYPE	INCHES	REMOVE/REMAIN	MITIGATION
1	HACKBERRY	13	REMOVE	0	21	HACKBERRY	16	REMOVE	0	40	HACKBERRY	16	REMOVE	0
2	HACKBERRY	10	REMOVE	0	22	HONEY LOCUST	12	REMOVE	0	41	ELM	32	REMOVE	32
3	HACKBERRY	9	REMOVE	0	23	HACKBERRY	7	REMOVE	0	42	ELM	11	REMOVE	11
4	HACKBERRY	9	REMOVE	0	24	HACKBERRY	8	REMOVE	0	43	ELM	12	REMOVE	12
5	HACKBERRY	13	REMOVE	0	25	HACKBERRY	8	REMOVE	0	44	ELM	32	REMOVE	32
6	HACKBERRY	8	REMOVE	0	26	HACKBERRY	14	REMOVE	0	45	HACKBERRY	13	REMOVE	0
7	HACKBERRY	9	REMOVE	0	27	CHINABERRY	30	REMOVE	0	46	HACKBERRY	6	REMOVE	0
8	HACKBERRY	9	REMOVE	0	28	HACKBERRY	14	REMOVE	0	47	HACKBERRY	17	REMOVE	0
9	HACKBERRY	7	REMOVE	0	29	HACKBERRY	15	REMOVE	0	48	HACKBERRY	16	REMOVE	0
10	HACKBERRY	12	REMOVE	0	30	HACKBERRY	15	REMOVE	0	49	HACKBERRY	10	REMOVE	0
11	HACKBERRY	12	REMOVE	0	31	MIMOSA	13	REMOVE	0	50	HACKBERRY	13	REMOVE	0
12	HACKBERRY	6	REMOVE	0	32	SYCAMORE	32	REMOVE	32	51	MIMOSA	13	REMOVE	0
13	HACKBERRY	7	REMOVE	0	33	HACKBERRY	10	REMOVE	0					
14	HACKBERRY	8	REMOVE	0	34	ELM	30	REMOVE	30					
15	HACKBERRY	16	REMOVE	0	35	PECAN	20	REMOVE	20					
16	HACKBERRY	18	REMOVE	0	36	PECAN	26	REMOVE	26					
17	HACKBERRY	8	REMOVE	0	37	PECAN	11	REMOVE	11					
18	HACKBERRY	10	REMOVE	0	38	HACKBERRY	21	REMOVE	11					
19	HACKBERRY	14	REMOVE	0	39	HACKBERRY	23	REMOVE	0					
20	HACKBERRY	10	REMOVE	0										

EXISTING TREE LEGEND



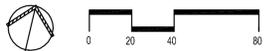
OWNER:
ROCKWALL RENTAL PROPERTIES, LP
1608 West More
Drawer B
Terrel, Texas 75160
(972) 210-0331

ENGINEER/SURVEYOR:
WINKELMANN & ASSOCIATES INC. 6750
HILLCREST PLAZA DR. # 325 DALLAS, TEXAS
75230
(972) 490-7090

DEVELOPER:
PEGASUS ABLON
8222 DOUGLAS AVENUE, SUITE 380 DALLAS, TX 75225
(214) 389-6901



01 TREESCAPE PLAN
SCALE: 1" = 40'-0"



TOTAL MITIGATION 206"
TOTAL INCHES PROVIDED FOR MITIGATION: 224"
Refer to Plant List Sheet L1.03

REVISIONS
JAN. 4, 2019

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel: 214.871.0063
Fax: 214.871.0064
Email: smr@smr-la.com

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

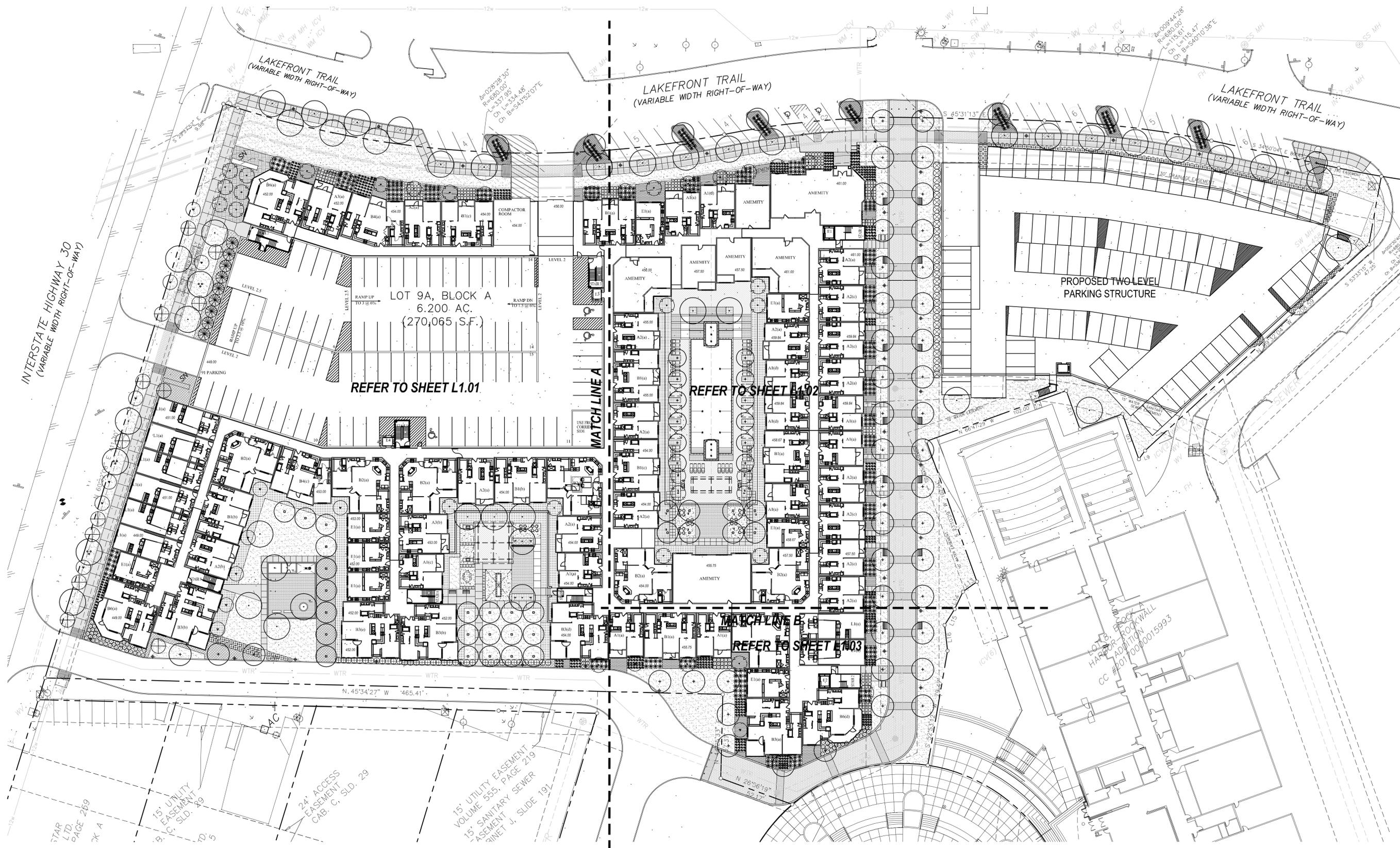
PROJECT
17126

SHEET NUMBER
L0.00

SHEET NAME
= SANSEIRFF

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CASE NO. SP2018-043



INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LAKEFRONT TRAIL
(VARIABLE WIDTH RIGHT-OF-WAY)

LOT 9A, BLOCK A
6,200 AC.
(270,065 S.F.)
REFER TO SHEET L1.01

PROPOSED TWO LEVEL
PARKING STRUCTURE

MATCHLINE A

REFER TO SHEET L1.02

MATCHLINE B
REFER TO SHEET L1.03

NO.	DELTA	RADIUS	LENGTH	CH. L	CH. B
C2	12°35'10"	620.00'	136.19'	135.92'	S51°48'46"E

LINE #	BEARING	DISTANCE
L9	S79°07'41"W	7.21'
L10	N23°10'29"E	32.93'
L11	N66°36'24"W	31.00'
L12	N23°10'29"E	27.95'
L13	N82°38'15"W	11.76'
L14	S68°52'14"W	13.20'
L15	S75°08'27"W	12.97'
L16	S36°32'06"W	17.64'

LANDSCAPE TABULATIONS: PD-32

SITE REQUIREMENTS (site area 270,065 s.f.)
Requirements: 15% site area to be landscaped

Required: 40,059 s.f. (15%)
Provided: 55,414 s.f. (20.5%)

STREET REQUIREMENTS:
Requirements: (2) canopy trees and (4) accent trees per 100 L.F. of IH 30 Frontage

IH 30 FRONTAGE ROAD (411,30 L.F. / IH 30 OVERLAY)
Required: (8) canopy trees, 4" cal. (32) accent trees, 8" ht. / 10' ht.
Provided: (8) canopy trees, 4" cal. (32) accent trees, 8" ht. / 10' ht.

Requirements: (1) canopy tree, Live Oak per 30 L.F. in 4' x 8' leave-out of frontage; PD 32

LAKE FRONT TRAIL (707.73 L.F.)
Required: (24) canopy trees
Provided: (24) canopy trees

PARKING LOT: N/A TWO STORY PARKING GARAGE

ALL TREES TO BE LOCATED 5' FROM WATER, SEWER AND STORM SEWER LINES

ALL TREES AND SHRUBS TO BE SETBACK 4' FROM ALL HEAD-IN PARKING

IRRIGATION WILL BE PROVIDED AND MEET UDC REQUIREMENTS

OVERFLOW PARKING LOT: 180 SPACES:

Required: (1) tree, 3" cal. 65 gallon per (8) spaces

REQUIRED: (23) trees, 3" cal. 65 gallon

PROVIDED: (25) trees, 3" cal. 65 gallon INDICATED ON-SITE WITH *

OWNER:
ROCKWALL RENTAL PROPERTIES, LP
1608 West Morse
Drewer 9
Terrel, Texas 75160
(972) 210-0331

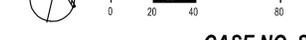
DEVELOPER:
PEGASUS ABLON
8222 DOUGLAS AVENUE,
SUITE 300 DALLAS, TX 75225
(214) 389-6901

ENGINEER/SURVEYOR:
WINKELMANN & ASSOCIATES INC. 6750
HILLCREST PLAZA DR., # 325 DALLAS, TEXAS
75230
(972) 490-7090



01 OVERALL LANDSCAPE SITE PLAN

SCALE: 1" = 40'-0"



CASE NO. SP2018-043

NO.	DATE	DESCRIPTION
1	JAN. 4, 2019	

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel: 214.871.0263
Fax: 214.871.0264
Email: smr@smr-la.com

BGO ARCHITECTS
4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

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SHEET NAME
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LIGHTING NOTES

- Lights shall be:
 - Pedestrian Scale Light:
BEGA 9701 MH 100W MH
BEGA 1108 HR 11-8" tapered round pole with integral banner arms
 - Tree splights in ROW to be:
BK Lighting - B-K HP2-PAR2020-TR-59-SAP-11
- Contractor is responsible for supplying all material and labor to provide finished lighting as per plan.
- Contractor is responsible for providing all equipment necessary for the complete installation of the lighting system including, but not limited to: fixtures, lamps, switches, controls, wiring, conduits, etc.
- Contractor shall obtain all necessary permits and adhere to all Local, State and Federal Codes and Standards, and Development Guidelines (if any).
- Contractor is responsible for reviewing the Manufacturer's Specifications and installing lights and wires per such specifications.
- Contractor is responsible for wiring lights to timer and electric eye for operation, or as shown on the electrical drawings.

BENCHES

- Benches shall be:
LANDSCAPE FORMS
SCARBOROUGH SERIES BACKLESS 22 X 18 X 72
ALUMINUM, SURFACE MOUNT, MOSS GREY
TOTAL OF (22)
- Contractor shall provide turn-key installation of all benches including, but not limited to, shipment, handling, placement, etc.

BIKE RACK NOTES

- BIKE RACKS shall be:
FORMS + SURFACES:
TRICY Powdercoat: Moss Grey
embedded mount
Total of (6); two per rack

PET WASTE STATION NOTES

- Pet Waste Stations shall be:
ZERO WASTE USA
The Sentry Pet Waste Station (#LJ006) ZW Green
www.zerowasteusa.com / 1.800.789.2563
TOTAL OF (2) IN DOG PARK AREA
- Contractor shall provide turn-key installation including, but not limited to, shipment, handling, placement, etc.

BOLLARD NOTES

- BOLLARDS shall be:
HESS AMERICA:
PARIS 1100 - B' Removable
Powdercoat: Moss Grey / 43.3" ht. x 3.9" dia.
Total of (10)

GRAPHIC PLANT LEGEND

- ⊕ BALD CYPRESS
- ⊙ RED OAK
- CEDAR ELM
- LIVE OAK
- ⊕ OCTOBER GLORY RED MAPLE
- ⊕ VITEX
- ⊙ REDBUD
- ⊙ CREPE MYRTLE
- ⊙ CHERRY LAUREL
- ⊕ NELLIE R. STEVENS HOLLY
- ⊙ HEAVY METAL SWITCHGRASS
- ⊙ GULF MUHLY
- ⊙ RED YUCCA
- ⊙ HAMELN GRASS
- ⊙ SALVIA
- ⊙ MEXICAN FEATHER GRASS
- ⊙ BERKELEY SEDGE
- ⊙ WINTERCREEPER
- ⊙ LAWN, SOLID SOD
- ⊙ PLANTING BEDS
Shrubs and Groundcover

GRAPHIC SITE LEGEND

- ▨ PAVESTONE PAVER TYPE 'A'
"Holland 98 Parkway Provincial"
"Antique Terra-cotta": 8 cm
Herringbone Pattern on concrete sub-base
- ▨ PAVESTONE PAVER TYPE 'A'
"Holland 98 Parkway Provincial"
"Antique Terra-cotta": 8 cm
Running Bond Pattern on concrete sub-base
- ▨ PAVESTONE PAVER TYPE POOL COURTYARD
ON CONCRETE SUB-BASE
- ▨ CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: "COACHELLA SAND"
- ▨ CONCRETE WALK: Light Sandblast / Sawcut Joints
INTEGRAL COLOR: "CHARCOAL"
- ▨ PEDESTRIAN BENCHES
REFER TO NOTES
- ⊕ PEDESTRIAN SCALE LIGHTS
REFER TO NOTES
- * INDICATES OVERFLOW PARKING
LOT TREE

REFER TO SHEET L1.03 FOR PLANT LIST

REVISIONS

JAN. 4, 2019

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel: 214.871.0583
Fax: 214.871.0584
Email: smr@smr-la.com

BGO ARCHITECTS
4202 Beltway Drive
Addison, TX 75001
214.520.8878
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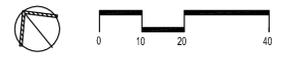
PROJECT
17126

SHEET NUMBER

L1.01
SHEET # = SANSERRIFF

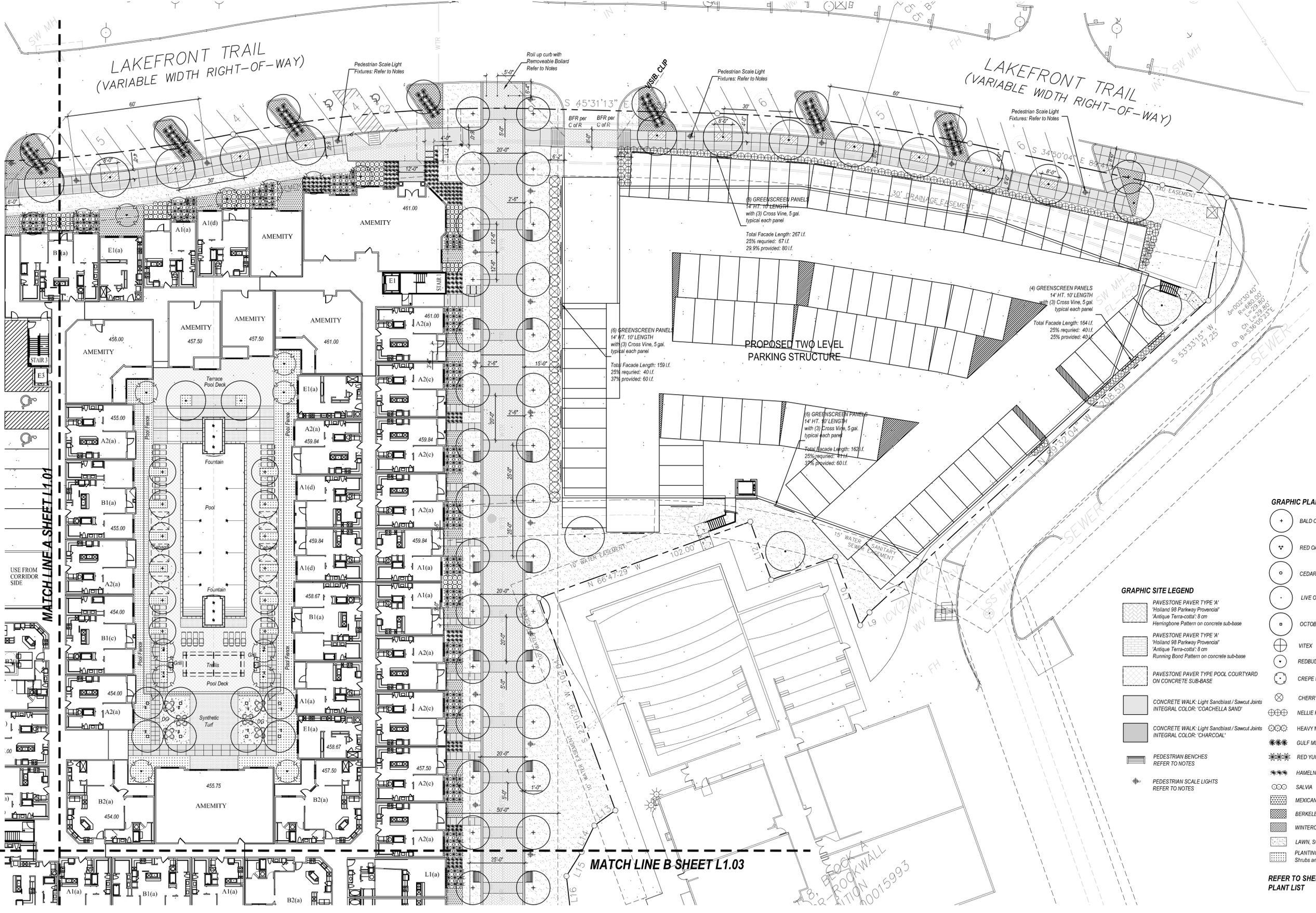
SHEET NAME
= SANSERRIFF

01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



CASE NO. SP2018-043

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REVISIONS

1	JAN. 4, 2019
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HARBOR VILLAGE
 DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



smr
 landscape architects, inc.
 1708 N. Griffin Street
 Dallas, Texas 75202
 Tel: 214.871.0583
 Fax: 214.871.0584
 Email: smr@smr-la.com

BGO ARCHITECTS
 4202 Beltway Drive
 Addison, TX 75001
 214.520.8878
 bgoarchitects.com

DATE
 12-14-18

PROJECT
 17126

SHEET NUMBER
L1.02
 SHEET # = SANSERIFF
 = SANSERIFF

GRAPHIC PLANT LEGEND

- ⊕ BALD CYPRESS
- ⊙ RED OAK
- ⊙ CEDAR ELM
- ⊙ LIVE OAK
- ⊙ OCTOBER GLORY RED MAPLE
- ⊕ VITEX
- ⊙ REDBUD
- ⊙ CREPE MYRTLE
- ⊙ CHERRY LAUREL
- ⊕ NELLIE R. STEVENS HOLLY
- ⊙ HEAVY METAL SWITCHGRASS
- ⊙ GULF MUHLY
- ⊙ RED YUCCA
- ⊙ HAMELN GRASS
- ⊙ SALVIA
- ⊙ MEXICAN FEATHER GRASS
- ⊙ BERKELEY SEDGE
- ⊙ WINTERCREPPER
- ⊙ LAWN, SOLID SOD
- ⊙ PLANTING BEDS
 Shrubs and Groundcover

GRAPHIC SITE LEGEND

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 'Holland 98 Parkway Provincial'
 'Antique Terra-cotta', 8 cm
 Herringbone Pattern on concrete sub-base
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 'Holland 98 Parkway Provincial'
 'Antique Terra-cotta', 8 cm
 Running Bond Pattern on concrete sub-base
- ▨ PAVESTONE PAVER TYPE POOL COURTYARD
 ON CONCRETE SUB-BASE
- ▨ CONCRETE WALK: Light Sandblast / Sawcut Joints
 INTEGRAL COLOR: 'COACHELLA SAND'
- ▨ CONCRETE WALK: Light Sandblast / Sawcut Joints
 INTEGRAL COLOR: 'CHARCOAL'
- ▨ PEDESTRIAN BENCHES
 REFER TO NOTES
- ⊙ PEDESTRIAN SCALE LIGHTS
 REFER TO NOTES

REFER TO SHEET L1.03 FOR
 PLANT LIST



01 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



CASE NO. SP2018-043

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CONCRETE NOTES

- All concrete shall be in accordance with the A.C.I. standard "Building Code Requirements for Reinforced Concrete" (A.C.I. 318) latest revision.
- All reinforcing steel shall be new domestic deformed billet steel conforming to ASTM A615, Grade 60 (60,000 PSI yield point).
- Reinforcing bar supports and spacers shall be provided in accordance with the Manual of Standard Practice by the Concrete Reinforcing Steel Institute.
- Concrete shall have a minimum compressive strength at 28 days of 3000 PSI.
- Grade beam concrete protection of reinforcement shall be 2" minimum top and sides, 3" minimum bottom.
- Maximum nominal coarse aggregate sizes for concrete in the slabs-on-grade shall be 3/4".
- Concrete slumps shall be 4" maximum, 2" minimum.
- Mortar for walls shall be Type M ASTM C-270, consisting of one (1) part hydrated Type S Lime, and not more than 3/4 parts well graded masonry sand with all proportions by volume.

PAVESTONE NOTES

- Contractor shall adhere to the Manufacturer's Installation Guidelines, Specifications, and any other requirements outlined by the Manufacturer for all paver installation.
- It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- Type 'A' Pavers to be: Type and Color to be selected by Landscape Architect.
- Type 'B' Pavers to be: Type and Color to be selected by Landscape Architect.
- 'PAVESTONE' Pavers available from: Pavedstone Company
Mr. Joey Guedea (800) 245-7283.
- Pattern as indicated on drawings.
- Contractor shall submit a 'PAVESTONE' Standard Color Sample Board to the Landscape Architect / Owner for color selection prior to placing order.
- The final color selection shall be made by the Landscape Architect on-site.
- The Contractor shall construct a sample panel 10'-0" by 10'-0" on-site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.
- The Landscape Architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and the Manufacturer's Specifications.
- The Contractor shall make any modifications required by the Landscape Architect at no expense to the Owner.

INTEGRAL COLORED CONCRETE NOTES

- Color shall be integral concrete.
'Chromix Admixtures' or equal as supplied by:
L.M. Scofield Company
1-800-222-4100
- Contractor shall provide sample standard colors board and installation specifications from L.M. Scofield for review by the Architect and Owner prior to installation.
- Contractor shall adhere to Manufacturer's Installation Guidelines, Specifications, and other requirements for all Color-Conditioned Concrete installation.
- It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- The architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and Manufacturer's Specifications.
- The Contractor shall construct a sample panel 3'-0" x 3'-0" on site, at no expense to the Owner, for approval by the Architect / Owner prior to commencing work.

DECOMPOSED GRANITE NOTES

- Provide Decomposed Granite with 'Stabilizer' Binder additive surfacing as indicated on drawings.
- Submit representative samples of items specified for approval by Landscape Architect, Architect and Owner.
- Decomposed Granite base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and various stages of decomposed earth base.
- Filter Fabric: Fabric shall be 'Mirascap', non-woven needle punched fabric made from polypropylene, non-biodegradable, inert to soil chemicals, acids and alkalies over a pH range of 3 - 12, as manufactured by MIRAFI Inc., or approved equal.
- 'Stabilizer' Binder additive to be provided by:
Stabilizer Solutions
1 (800) 336-2468; www.stabilizersolutions.com
Blend to be 12 - 16 lbs. of Stabilizer per ton of Decomposed Granite, thoroughly mixed throughout.
- Provide grade stakes at 10 foot centers to insure grade points indicated on drawings are met. Insure scope of subgrade and finish surface meets cross sections indicated in details.
- Prepare subgrade by excavating existing material soils to a maximum depth of 4".
- After excavation, rototill or scarify top 1 inch of subgrade and compact to 95% standard proctor using double drum, single drum or automatic hand tampers.
- Install filter fabric in bottom of excavation to limits of path.
- Place four (4) inches of Decomposed Granite with 'Stabilizer' Binder over a dry sub-base. Do not install on wet sub-base. Provide compaction of material to maximum limits with automatic hand tampers in one inch lifts, unless noted otherwise on details. Compact to achieve a light material matrix.
- Provide twenty (20) 50 lbs. bags of pre-mixed Decomposed Granite for future use in repair and maintenance.
- The Contractor shall construct a sample panel 5'-0" x 5'-0" on site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, clearing and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

IRRIGATION REPAIR SPECIFICATIONS: IF NEEDED FOR ANY OFF-SITE REPAIRS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

LAWN REPAIR NOTES: IF NEEDED FOR ANY OFF-SITE REPAIRS

- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

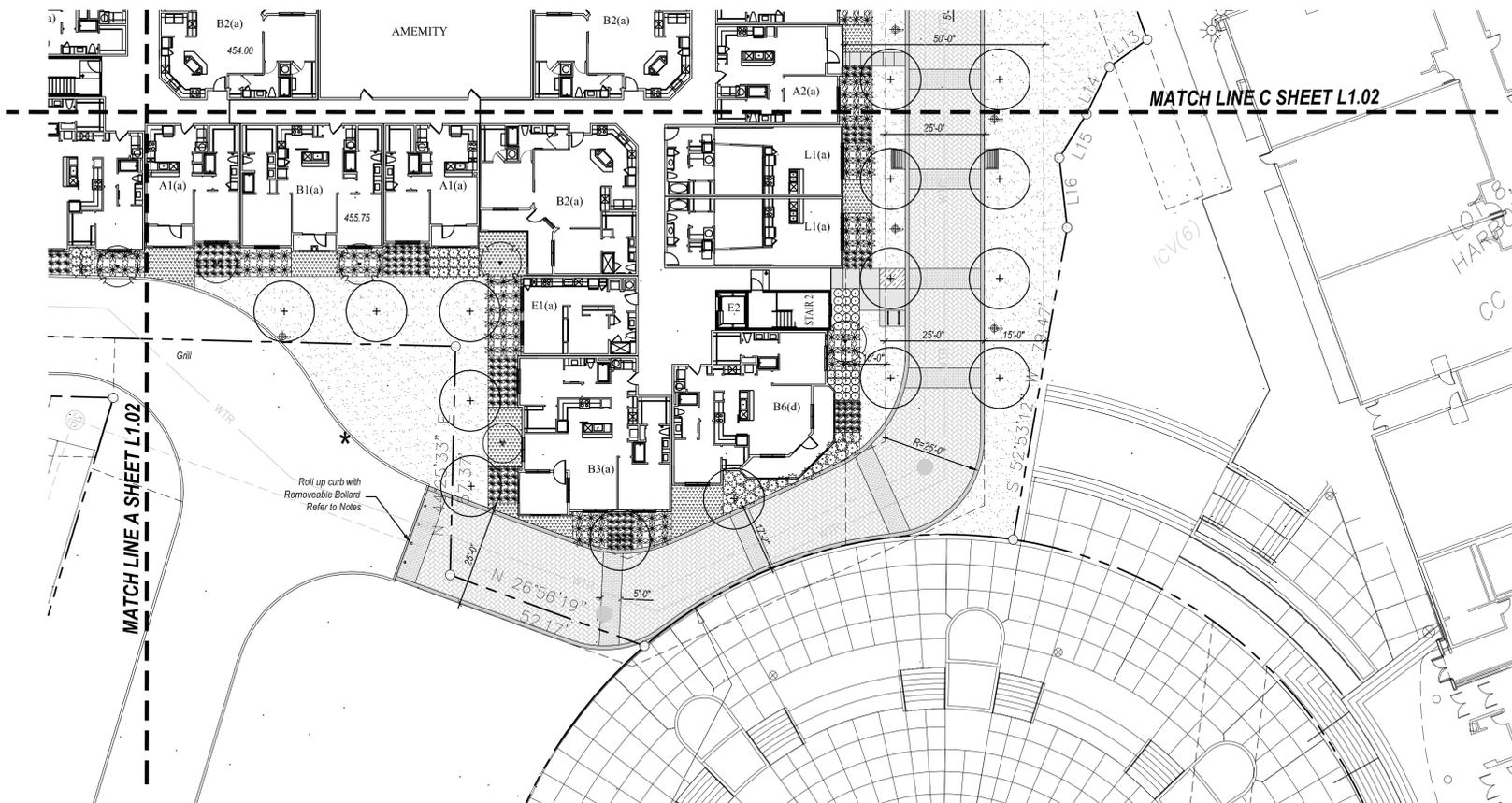
PLANT LIST

TREES	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	65	Bald Cypress	Taxodium distichum	4" cal.	container grown, 15' hl., 5' spread min.
	36	Crape Myrtle 'Dallas Red'	Lagerstroemia indica 'Dallas Red'	2" cal.	container grown, 3-5 cane, no cross caning
	42	Live Oak	Quercus virginiana	4" cal.	container grown, 15' hl., 5' spread min.
	9	Magnolia 'DD Blanchard'	Magnolia sp. 'DD Blanchard'	12" hl.	container grown, full to base
	29	October Glory Red Maple	Acer sp. 'October Glory'	3" cal.	container grown, 13' hl., 4' spread min.
	3	Red Oak 'Shumard'	Quercus shumardii	4" cal.	B&B, 14" hl., 4'-5' spread min.
	15	Redbud	Cercis canadensis	2" cal.	B&B, single trunk, 10' hl. min.
	12	Vitex	Vitex agnes-castes	8" hl.	B&B or container, tree form, 3-5 cane

SHRUBS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	67	Cherry Laurel	Prunus caroliniana	5" ht.	container, full plant, 4" o.c.
	157	Nellie R. Stevens holly	Ilex sp. 'Nellie R. Stevens'	36" ht.	container, full plant, 36" o.c.
	360	Softleaf Yucca	Yucca recurvifolia	5 gal.	container, full plant, 36" o.c.
	88	Switchgrass	Panicum sp. 'Heavy Metal'	3 gal.	container, full top of container, 36" o.c.
	126	Gulf Muhly	Muhlenbergia capillaris	3 gal.	container, full top of container, 30" o.c.
	493	Hamel Grass	Pennisetum alopecuroides	3 gal.	container, full top of container, 24" o.c.
	265	Salvia 'Furman's Red'	Salvia greggii 'Furman's Red'	5 gal.	container, full plant, 24" o.c.
	1053	Mexican Feathergrass	Nassella tenuisemma	3 gal.	container, full top of container, 18" o.c.

GROUNDCOVERS	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	2,249	Berkeley Sedge	Carex divisa	4" pots	container, full top of container, 12" o.c.
	3,124	Wintercreeper	Euzoymus fortunei coloratus	4" pots	container, (3) 12" runners min, 12" o.c.
		Common Bermudagrass	Cynodon dactylon	roll sod	solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



GRAPHIC PLANT LEGEND

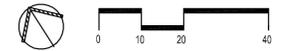
- BALD CYPRESS
- RED OAK
- CEDAR ELM
- LIVE OAK
- OCTOBER GLORY RED MAPLE
- VITEX
- REDBUD
- CREPE MYRTLE
- CHERRY LAUREL
- NELLIE R. STEVENS HOLLY
- HEAVY METAL SWITCHGRASS
- GULF MUHLY
- RED YUCCA
- HAMELN GRASS
- SALVIA
- MEXICAN FEATHER GRASS
- BERKELEY SEDGE
- WINTERCREEPER
- LAWN, SOLID SOD
- PLANTING BEDS Shrubs and Groundcover

GRAPHIC SITE LEGEND

- PAVESTONE PAVER TYPE 'A' 'Holland 98 Parkway Provencaia' 'Antique Terra-cotta' 8 cm Herringbone Pattern on concrete sub-base
- PAVESTONE PAVER TYPE 'B' 'Holland 98 Parkway Provencaia' 'Antique Terra-cotta' 8 cm Running Band Pattern on concrete sub-base
- PAVESTONE PAVER TYPE POOL COURTYARD ON CONCRETE SUB-BASE
- CONCRETE WALK: Light Sandblast / Sawcut Joints INTEGRAL COLOR: 'COACHELLA SAND'
- CONCRETE WALK: Light Sandblast / Sawcut Joints INTEGRAL COLOR: 'CHARCOAL'
- PEDESTRIAN BENCHES REFER TO NOTES
- PEDESTRIAN SCALE LIGHTS REFER TO NOTES



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



CASE NO. SP2018-043

REVISIONS

NO.	DATE	DESCRIPTION
1	JAN. 4, 2019	

HARBOR VILLAGE
DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON



smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel: 214.871.0363
Fax: 214.871.0365
Email: smr@smr-ia.com

BGO ARCHITECTS

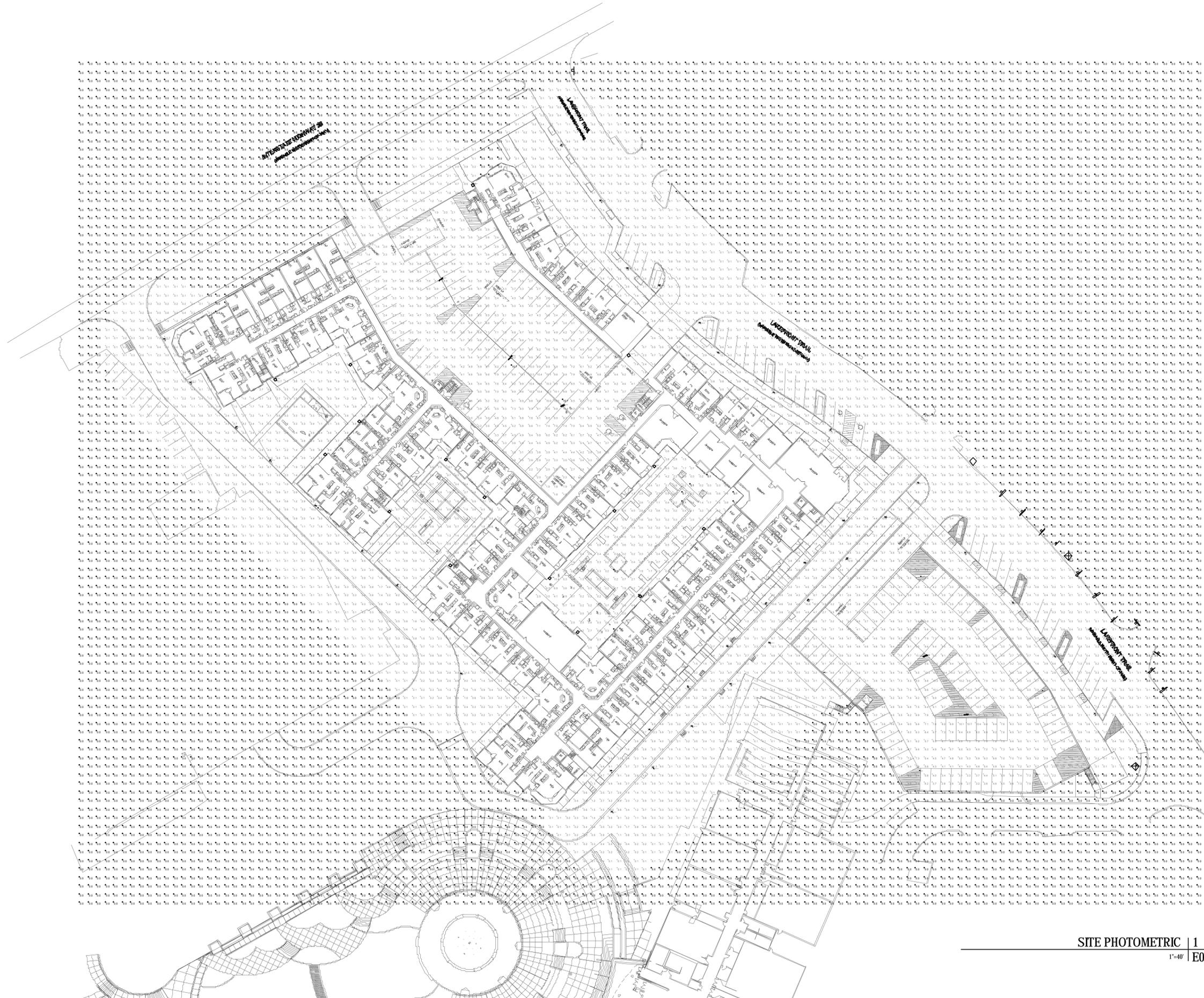
4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

PROJECT
17126

SHEET NUMBER
L1.03
SHEET # = SANSERIFF
= SANSERIFF

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SITE PHOTOMETRIC | 1
1"=40' | E0-03

CASE NO. SP2018-043

HEADQUARTERS:
8 N. BROADWAY ST.
LEBANON, OH 45032

PE SERVICES
F-10841
EXP: 11/30/19

PE Services
ENGINEERING FOR YOUR SUCCESS

1-866-997-0600
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CONTRACTOR NOTE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD AND TENANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.

BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE, LOCAL AND FEDERAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION AND CODE/REQUIREMENTS REVIEW BEEN MADE, WILL NOT BE ALLOWED.

PRELIMINARY
NOT FOR CONSTRUCTION

This document is partially complete. The information contained is not necessarily coordinated or correct. This drawing is for review purposes only.

REVISIONS

NO.	DATE	DESCRIPTION

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
01-04-19

BGO ARCHITECTS

4202 Beltway Drive
Addison, TX 75001
214.520.8878
bgoarchitects.com

DATE
12-14-18

PROJECT
17126

SHEET NUMBER
E0-03

SITE
PHOTOMETRIC

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**PRELIMINARY
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REVISIONS

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR
PEGASUS ABLON

ISSUED FOR:
SITE PLAN APPROVAL
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BGO ARCHITECTS
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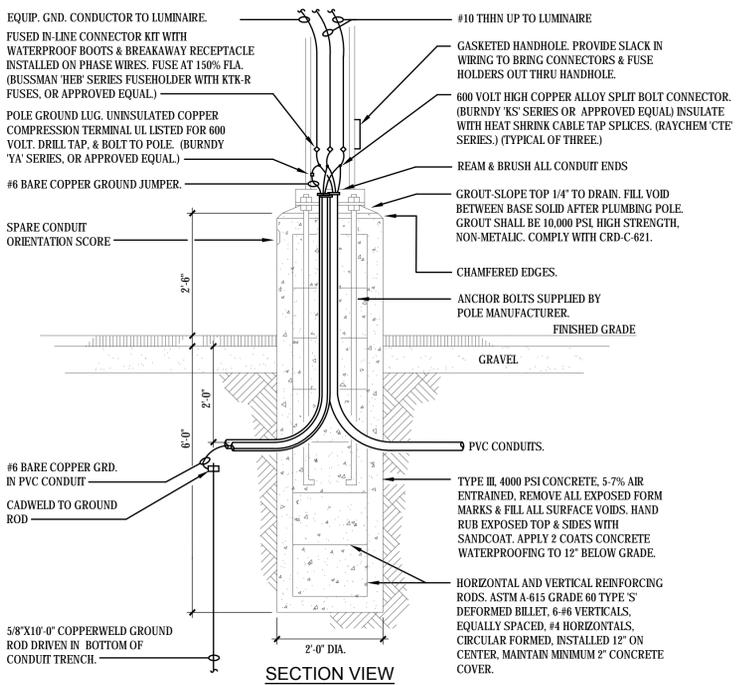
DATE
12-14-18

PROJECT
17126

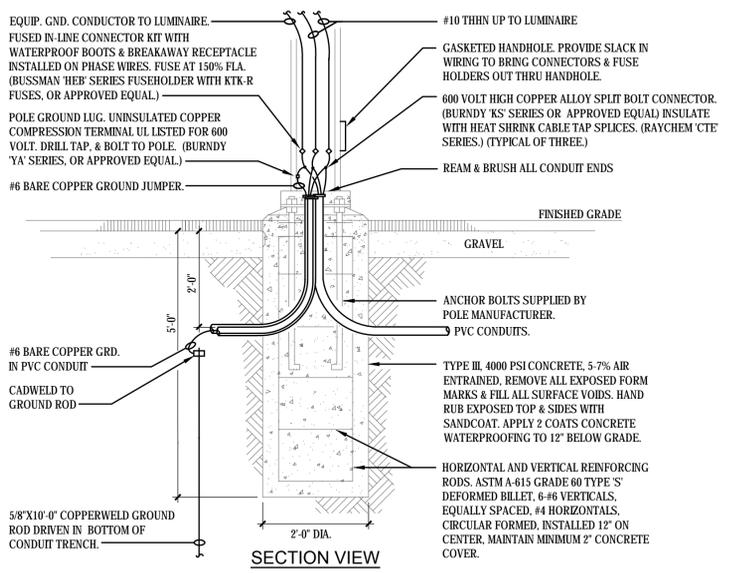
SHEET NUMBER
E5-01

DETAILS AND
SCHEDULE

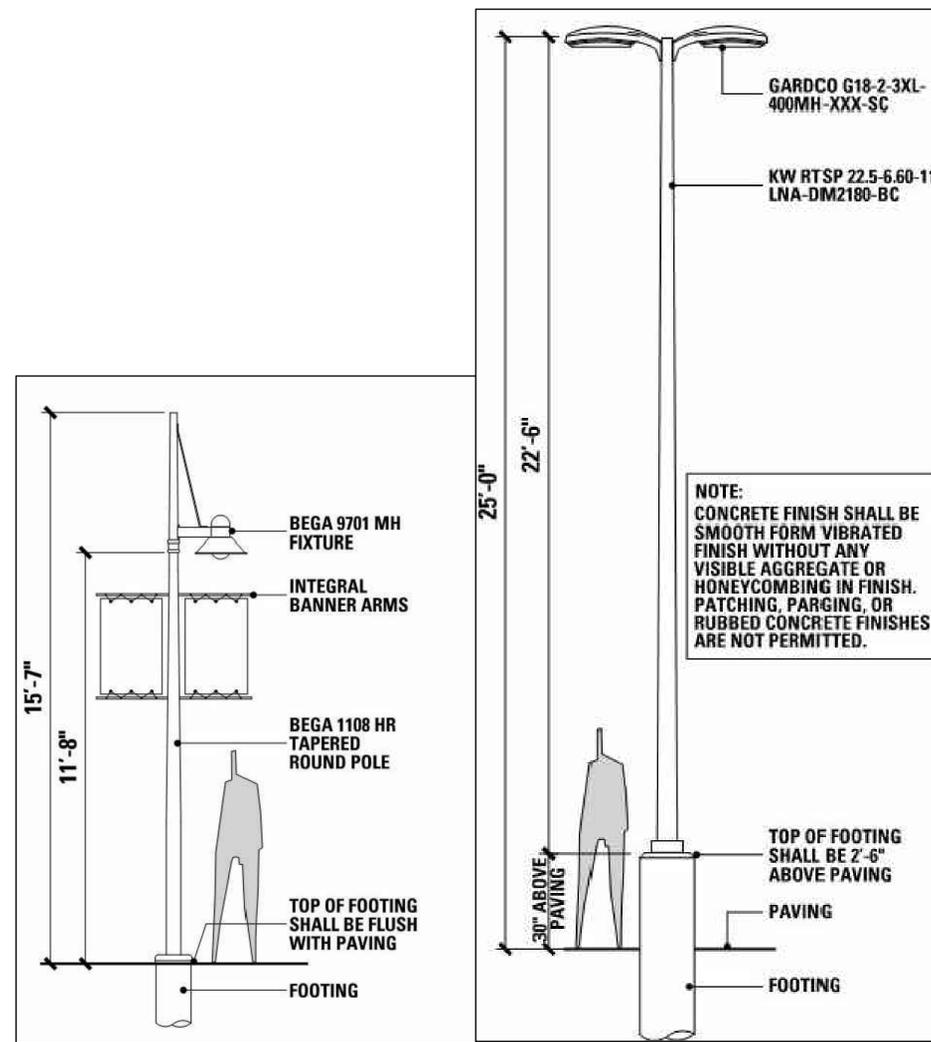
SITE FIXTURES							
DLP	BEGA	9701 MH, BEGA 1108 HR POLE	TBD	LED	100	POLE	AREA LIGHT, 11'-8" POLE
G1	PHILIPS	GL18-1-3-310LA-961A-HS, KW RTSP 22.5-6.60 POLE	TBD	LED	310	POLE	AREA LIGHT, 22'-6" POLE
G2	PHILIPS	GL18-2-5-310LA-961A, KW RTSP 22.5-6.60 POLE	TBD	LED	310	POLE	AREA LIGHT, 22'-6" POLE
W1	LITHONIA	DSKW2 LED-20C-700-40K-T3M-MVOLT	TBD	LED	47	WALL	WALL PACK, MOUNT 8' HIGH



POLE BASE DETAIL - PARKING LOT | 3
NTS | E5-01



POLE BASE DETAIL - SIDEWALK | 2
NTS | E5-01



PEDESTRIAN AND PARKING LIGHT FIXTURES | 1
NTS | E5-01

HEADQUARTERS:
811 N. BROADWAY ST.
LEBANON, OH 45032

PE SERVICES
F-10841
EXP: 11/30/19

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BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE, LOCAL AND FEDERAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION AND CODE/REQUIREMENTS REVIEW BEEN MADE, WILL NOT BE ALLOWED.

CASE NO. SP2018-043

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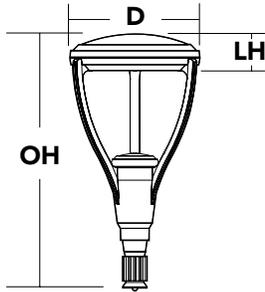


MRP LED LED Area Luminaire



Specifications

EPA:	1.125 ft ² (0.105 m ²)
Luminaire Height:	6-3/8" (16.2 cm)
Overall Height:	32" (81.3 cm)
Diameter:	18" (45.7 cm)
Weight (max):	37.5 lbs (17 kg)



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a **shaded background**. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a **shaded background**¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: MRP LED 42C 700 40K SR5 MVOLT DDBXD

MRP LED	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
MRP LED	42C 42 LEDs (one engine)	350 350mA 530 530mA 700 700mA 1000 1000mA (1A)	30K 3000K 40K 4000K 50K 5000K	SR2 Type II SR3 Type III SR4 Type IV SR5 Type V	MVOLT ¹ 277 ² 120 ² 347 ² 208 ² 480 ² 240 ²	Shipped included (blank) Fits 4"OD round pole Shipped separately ³ MRPT20 2-3/8" tenon slipfitter MRPT25 2-7/8" tenon slipfitter Shipped separately ³ MRPT30 3-1/2" tenon slipfitter MRPT35 4" tenon slipfitter MRPF3 3"OD round pole adapter MRPF5 5"OD round pole adapter ⁴
Control options			Other options		Finish (required)	
Shipped installed PER NEMA twist-lock receptacle only (control ordered separate) PER5 Five-wire receptacle only (control ordered separate) ⁵ PER7 Seven-wire receptacle only (control ordered separate) ⁵ BL30 Bi-level switched dimming, 30% ^{6,7} BL50 Bi-level switched dimming, 50% ^{6,7}			PNMTDD3 Part night, dim till dawn ⁷ PNMT5D3 Part night, dim 5 hrs ⁷ PNMT6D3 Part night, dim 6 hrs ⁷ PNMT7D3 Part night, dim 7 hrs ⁷		SF Single fuse (120, 277, 347V) ² DF Double fuse (208, 240, 480V) ² DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white	



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ⁸
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ⁸
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ⁸
DSHORT SBK U	Shorting cap ⁸
MRPT20 DDBXD U	2-3/8" tenon slipfitter (specify finish)
MRPT25 DDBXD U	2-7/8" tenon slipfitter (specify finish)
MRPT30 DDBXD U	3-1/2" tenon slipfitter (specify finish)
MRPT35 DDBXD U	4" tenon slipfitter (specify finish)
MRPF3 DDBXD U	3" OD round pole adapter (specify finish)
MRPF5 DDBXD U	5" OD round pole adapter (specify finish) ³

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Also available as a separate accessory; see Accessories information at left.
- Maximum pole wall thickness is 0.156".
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls.
- Requires an additional switched line.
- Dimming driver standard. Not available with 347V, 480V, SF, DF, PER5 or PER7.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
42C (42 LEDs)	530	75W	SR2	5,456	1	2	1	73	6,605	1	2	1	88	6,671	1	2	1	89
			SR3	5,436	1	1	1	72	6,581	1	1	2	88	6,647	1	1	2	89
			SR4	5,399	1	1	1	72	6,537	1	1	2	87	6,602	1	1	2	88
			SR5	5,748	3	1	3	77	6,959	3	1	3	83	7,029	3	1	3	94
	700	100W	SR2	6,630	1	2	1	66	8,026	2	2	2	80	8,106	2	2	2	81
			SR3	6,605	1	1	2	66	7,997	1	2	2	80	8,077	1	2	2	81
			SR4	6,561	1	1	2	66	7,943	1	2	2	79	8,022	1	2	2	80
			SR5	6,985	3	1	3	70	8,456	3	2	3	85	8,541	3	2	3	85
	1000	151W	SR2	8,165	2	2	2	54	9,885	2	2	2	65	9,983	2	2	2	66
			SR3	8,135	1	2	2	54	9,848	2	2	2	65	9,947	2	2	2	66
			SR4	8,080	2	2	2	54	9,782	2	2	2	65	9,880	2	2	2	65
			SR5	8,602	3	2	3	57	10,414	4	2	4	70	10,518	4	2	4	70

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
		Wire 4/Wire5	Wire 6/Wire7	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

✓ Recommended

⊘ Will not work

⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.06
10°C	50°F	1.04
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.96

Projected LED Lumen Maintenance

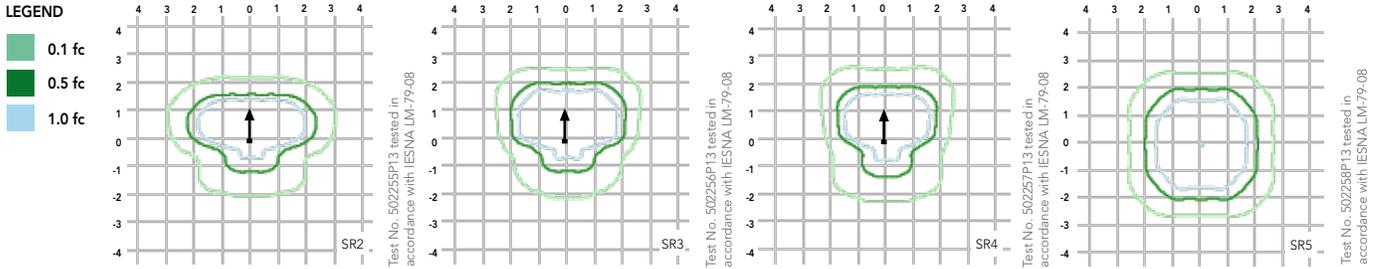
Data references the extrapolated performance projections for the **MRP LED 42C 700** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.96	0.92	0.85



Isofootcandle plots are considered to be representative of available optical distributions.



FEATURES & SPECIFICATIONS

INTENDED USE

Streets, walkways, parking lots and surrounding areas.

CONSTRUCTION

Single-piece die-cast aluminum housing with nominal wall thickness of .012". Die-cast top access doorframe has impact-resistant, tempered glass lens (3/16" thick). Doorframe is fully gasketed with one-piece tubular silicone.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum and white. Available in textured and non-textured finishes.

OPTICS

Precision acrylic refractive optics for optimum light distribution through the flat glass lens. Light engines are available in standard 3000K (70 CRI) or optional 4000K (70 CRI) or 5000K (70 CRI) configurations.

ELECTRICAL

Light engine consists of 42 high-efficacy LEDs mounted to a metal-core circuit board and aluminum heat sink, ensuring optimal thermal management and long life. Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low for operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Standard post-top mounting configuration fits into a 4" OD open pole top (round pole only). Multiple options and accessories are available for other mounting needs.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP65 rated. Rated for -40°C minimum ambient. **U.S. Patent No. D556,357.**

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



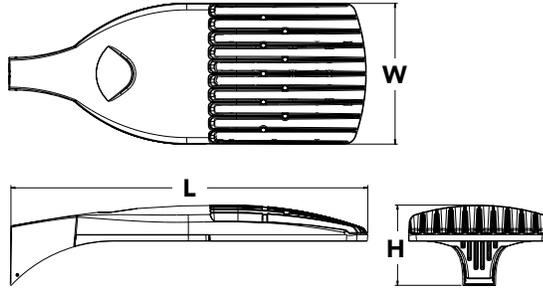
D-Series Size 1 LED Area Luminaire

d#series



Specifications

EPA:	1.01 ft ² (0.09 m ²)
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



A+ Capable options indicated by this color background.

Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint[™] Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted ²	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium TSVS Type V very short T5S Type V short T5M Type V medium T5W Type V wide BLC Backlight control ^{2,3} LCCO Left corner cutoff ^{2,3} RCCO Right corner cutoff ^{2,3}	MVOLT ^{4,5} 120 ⁶ 208 ^{5,6} 240 ^{5,6} 277 ⁶ 347 ^{5,6,7} 480 ^{5,6,7}	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁸ RPUMBA Round pole universal mounting adaptor ⁸ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁹

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ¹⁰ PER NEMA twist-lock receptacle only (controls ordered separate) ¹¹ PER5 Five-wire receptacle only (controls ordered separate) ^{11,12} PER7 Seven-wire receptacle only (controls ordered separate) ^{11,12} DMG 0-10V dimming extend out back of housing for external control (leads exit fixture) DS Dual switching ^{13,14} PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{5,15,16} PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{5,15,16} PIRHN Network, Bi-Level motion/ambient sensor ¹⁷ PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{5,15,16}	PIRH1FC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{5,15,16} BL30 Bi-level switched dimming, 30% ^{5,14,18} BL50 Bi-level switched dimming, 50% ^{5,14,18} PNMTDD3 Part night, dim till dawn ^{5,19} PNMT5D3 Part night, dim 5 hrs ^{5,19} PNMT6D3 Part night, dim 6 hrs ^{5,19} PNMT7D3 Part night, dim 7 hrs ^{5,19} FAO Field adjustable output ²⁰	Shipped installed HS House-side shield ²¹ SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ¹ R90 Right rotated optics ¹ Shipped separately BS Bird spikes ²² EGS External glare shield ²²
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



Ordering Information

Accessories

Ordered and shipped separately.

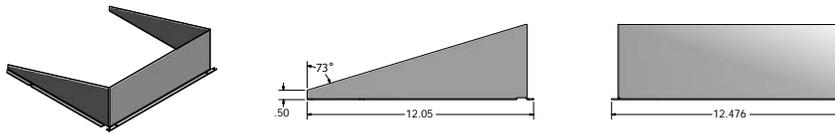
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²³
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²³
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²³
DSHORT SBK U	Shorting cap ²³
DSX1HS 30C U	House-side shield for 30 LED unit ²¹
DSX1HS 40C U	House-side shield for 40 LED unit ²¹
DSX1HS 60C U	House-side shield for 60 LED unit ²¹
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) ²⁴
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ⁴

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

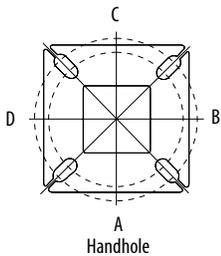
- P10, P11, P12 or P13 and rotated optics (L90, R90) only available together.
- AMBPC is not available with BLC, LCCO, RCCO or P4, P7, P8, P9 or P13.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Any PIRx with BL30, BL50 or PNMT, is not available with 208V, 240V, 347V, 480V or MVOLT. It is only available in 120V or 277V specified.
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available in P1 or P10. Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI C136.31.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Must be ordered with PIRHN.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting cap included.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming. Shorting cap included.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3, P4 or P5.
- Requires (2) separately switched circuits.
- Reference Motion Sensor table on page 3.
- Reference PER table on page 3 to see functionality.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Not available with 347V, 480V, PNMT, DS. For PER5 or PER7, see PER Table on page 3. Requires isolated neutral.
- Not available with 347V, 480V, DS, BL30, BL50. For PER5 or PER7, see PER Table on page 3. Separate Dusk to Dawn required.
- Not available with other dimming controls options
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- For retrofit use only.

External Glare Shield



Drilling

HANDHOLE ORIENTATION



Tenon Mounting Slipfitter**

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Pole drilling nomenclature: # of heads at degree from handhole (default side A)

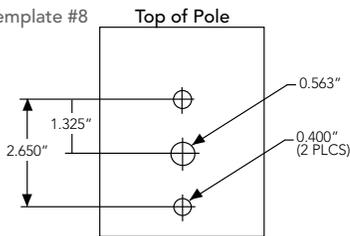
DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS
1 @ 90°	2 @ 280°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
Side B	Side B & D	Side B & C	Round pole only	Side B, C, & D	Sides A, B, C, D

Note: Review luminaire spec sheet for specific nomenclature

Pole top or tenon O.D.	4.5" @ 90°	4" @ 90°	3.5" @ 90°	3" @ 90°	4.5" @ 120°	4" @ 120°	3.5" @ 120°	3" @ 120°
DSX SPA	Y	Y	Y	N	-	-	-	-
DSX RPA	Y	Y	N	N	Y	Y	Y	Y
DSX SPUMBA	Y	N	N	N	-	-	-	-
DSX RPUMBA	N	N	N	N	Y	Y	Y	N

*3 fixtures @120 require round pole top/tenon.

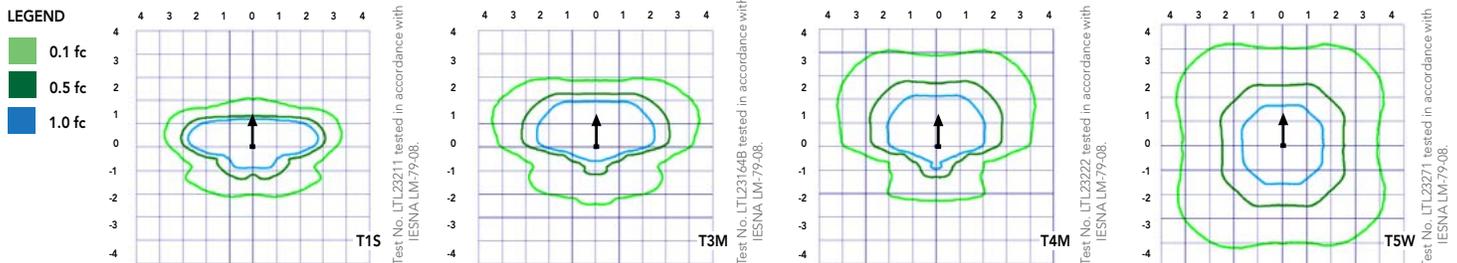
Template #8



Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 1 homepage](#).

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	100000
Lumen Maintenance Factor	1.00	0.96	0.92	0.85

Electrical Load

	Performance Package	LED Count	Drive Current	Wattage	Current (A)					
					120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	30	530	54	0.45	0.26	0.23	0.19	0.10	0.12
	P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
	P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
	P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
	P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
	P6	40	1250	163	1.36	0.78	0.68	0.59	0.47	0.34
	P7	40	1400	183	1.53	0.88	0.76	0.66	0.53	0.38
	P8	60	1050	207	1.74	0.98	0.87	0.76	0.64	0.49
	P9	60	1250	241	2.01	1.16	1.01	0.89	0.70	0.51
Rotated Optics (Requires L90 or R90)	P10	60	530	106	0.90	0.52	0.47	0.43	0.33	0.27
	P11	60	700	137	1.15	0.67	0.60	0.53	0.42	0.32
	P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
	P13	60	1250	231	1.93	1.12	0.97	0.86	0.67	0.49

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use with Inline Dusk to Dawn or timer.

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
		Wire 4/Wire5	Wire 4/Wire5	Wire 4/Wire5	Wire 6/Wire7	
Photocontrol Only (On/Off)	✓	▲	Wired to dimming leads on driver	▲	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	✗	✓	Wired to dimming leads on driver	▲	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion (ROAM on/off only)	✗	▲	Wires Capped inside fixture	▲	Wires Capped inside fixture	Wires Capped inside fixture
Future-proof*	✗	▲	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Future-proof* with Motion	✗	▲	Wires Capped inside fixture	✓	Wires Capped inside fixture	Wires Capped inside fixture

✓ Recommended

✗ Will not work

▲ Alternate

*Future-proof means: Ability to change controls in the future.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																												
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
30	530	P1	54W	T1S	6,457	2	0	2	120	6,956	2	0	2	129	7,044	2	0	2	130	3,640	1	0	1	70				
				T2S	6,450	2	0	2	119	6,949	2	0	2	129	7,037	2	0	2	130	3,813	1	0	1	73				
				T2M	6,483	1	0	1	120	6,984	2	0	2	129	7,073	2	0	2	131	3,689	1	0	1	71				
				T3S	6,279	2	0	2	116	6,764	2	0	2	125	6,850	2	0	2	127	3,770	1	0	1	73				
				T3M	6,468	1	0	2	120	6,967	1	0	2	129	7,056	1	0	2	131	3,752	1	0	1	72				
				T4M	6,327	1	0	2	117	6,816	1	0	2	126	6,902	1	0	2	128	3,758	1	0	1	72				
				TFTM	6,464	1	0	2	120	6,963	1	0	2	129	7,051	1	0	2	131	3,701	1	0	1	71				
				TSVS	6,722	2	0	0	124	7,242	3	0	0	134	7,334	3	0	0	136	3,928	2	0	0	76				
				T5S	6,728	2	0	1	125	7,248	2	0	1	134	7,340	2	0	1	136	3,881	2	0	0	75				
				T5M	6,711	3	0	1	124	7,229	3	0	1	134	7,321	3	0	2	136	3,930	2	0	1	76				
				T5W	6,667	3	0	2	123	7,182	3	0	2	133	7,273	3	0	2	135	3,820	3	0	1	73				
				BLC	5,299	1	0	1	98	5,709	1	0	2	106	5,781	1	0	2	107									
				LCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80									
				RCCO	3,943	1	0	2	73	4,248	1	0	2	79	4,302	1	0	2	80									
				30	700	P2	70W	T1S	8,249	2	0	2	118	8,886	2	0	2	127	8,999	2	0	2	129	4,561	1	0	1	67
								T2S	8,240	2	0	2	118	8,877	2	0	2	127	8,989	2	0	2	128	4,777	1	0	1	70
								T2M	8,283	2	0	2	118	8,923	2	0	2	127	9,036	2	0	2	129	4,622	1	0	2	68
T3S	8,021	2	0					2	115	8,641	2	0	2	123	8,751	2	0	2	125	4,724	1	0	1	69				
T3M	8,263	2	0					2	118	8,901	2	0	2	127	9,014	2	0	2	129	4,701	1	0	2	69				
T4M	8,083	2	0					2	115	8,708	2	0	2	124	8,818	2	0	2	126	4,709	1	0	2	69				
TFTM	8,257	2	0					2	118	8,896	2	0	2	127	9,008	2	0	2	129	4,638	1	0	2	68				
TSVS	8,588	3	0					0	123	9,252	3	0	0	132	9,369	3	0	0	134	4,922	2	0	0	72				
T5S	8,595	3	0					1	123	9,259	3	0	1	132	9,376	3	0	1	134	4,863	2	0	0	72				
T5M	8,573	3	0					2	122	9,236	3	0	2	132	9,353	3	0	2	134	4,924	3	0	1	72				
T5W	8,517	3	0					2	122	9,175	4	0	2	131	9,291	4	0	2	133	4,787	3	0	1	70				
BLC	6,770	1	0					2	97	7,293	1	0	2	104	7,386	1	0	2	106									
LCCO	5,038	1	0					2	72	5,427	1	0	2	78	5,496	1	0	2	79									
RCCO	5,038	1	0					2	72	5,427	1	0	2	78	5,496	1	0	2	79									
30	1050	P3	102W					T1S	11,661	2	0	2	114	12,562	3	0	3	123	12,721	3	0	3	125					
								T2S	11,648	2	0	2	114	12,548	3	0	3	123	12,707	3	0	3	125					
								T2M	11,708	2	0	2	115	12,613	2	0	2	124	12,773	2	0	2	125					
				T3S	11,339	2	0	2	111	12,215	3	0	3	120	12,370	3	0	3	121									
				T3M	11,680	2	0	2	115	12,582	2	0	2	123	12,742	2	0	2	125									
				T4M	11,426	2	0	3	112	12,309	2	0	3	121	12,465	2	0	3	122									
				TFTM	11,673	2	0	2	114	12,575	2	0	3	123	12,734	2	0	3	125									
				TSVS	12,140	3	0	1	119	13,078	3	0	1	128	13,244	3	0	1	130									
				T5S	12,150	3	0	1	119	13,089	3	0	1	128	13,254	3	0	1	130									
				T5M	12,119	4	0	2	119	13,056	4	0	2	128	13,221	4	0	2	130									
				T5W	12,040	4	0	3	118	12,970	4	0	3	127	13,134	4	0	3	129									
				BLC	9,570	1	0	2	94	10,310	1	0	2	101	10,440	1	0	2	102									
				LCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76									
				RCCO	7,121	1	0	3	70	7,671	1	0	3	75	7,768	1	0	3	76									
				30	1250	P4	125W	T1S	13,435	3	0	3	107	14,473	3	0	3	116	14,657	3	0	3	117					
								T2S	13,421	3	0	3	107	14,458	3	0	3	116	14,641	3	0	3	117					
								T2M	13,490	2	0	2	108	14,532	3	0	3	116	14,716	3	0	3	118					
T3S	13,064	3	0					3	105	14,074	3	0	3	113	14,252	3	0	3	114									
T3M	13,457	2	0					2	108	14,497	2	0	2	116	14,681	2	0	2	117									
T4M	13,165	2	0					3	105	14,182	2	0	3	113	14,362	2	0	3	115									
TFTM	13,449	2	0					3	108	14,488	2	0	3	116	14,672	2	0	3	117									
TSVS	13,987	4	0					1	112	15,068	4	0	1	121	15,259	4	0	1	122									
T5S	13,999	3	0					1	112	15,080	3	0	1	121	15,271	3	0	1	122									
T5M	13,963	4	0					2	112	15,042	4	0	2	120	15,233	4	0	2	122									
T5W	13,872	4	0					3	111	14,944	4	0	3	120	15,133	4	0	3	121									
BLC	11,027	1	0					2	88	11,879	1	0	2	95	12,029	1	0	2	96									
LCCO	8,205	1	0					3	66	8,839	1	0	3	71	8,951	1	0	3	72									
RCCO	8,205	1	0					3	66	8,839	1	0	3	71	8,951	1	0	3	72									
30	1400	P5	138W					T1S	14,679	3	0	3	106	15,814	3	0	3	115	16,014	3	0	3	116					
								T2S	14,664	3	0	3	106	15,797	3	0	3	114	15,997	3	0	3	116					
								T2M	14,739	3	0	3	107	15,878	3	0	3	115	16,079	3	0	3	117					
				T3S	14,274	3	0	3	103	15,377	3	0	3	111	15,572	3	0	3	113									
				T3M	14,704	2	0	3	107	15,840	3	0	3	115	16,040	3	0	3	116									
				T4M	14,384	2	0	3	104	15,496	3	0	3	112	15,692	3	0	3	114									
				TFTM	14,695	2	0	3	106	15,830	3	0	3	115	16,030	3	0	3	116									
				TSVS	15,283	4	0	1	111	16,464	4	0	1	119	16,672	4	0	1	121									
				T5S	15,295	3	0	1	111	16,477	4	0	1	119	16,686	4	0	1	121									
				T5M	15,257	4	0	2	111	16,435	4	0	2	119	16,644	4	0	2	121									
				T5W	15,157	4	0	3	110	16,328	4	0	3	118	16,534	4	0	3	120									
				BLC	12,048	1	0	2	87	12,979	1	0	2	94	13,143	1	0	2	95									
				LCCO	8,965	1	0	3	65	9,657	1	0	3															

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																											
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)							
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lu-mens	B	U	G	LPW			
40	1250	P6	163W	T1S	17,654	3	0	3	108	19,018	3	0	3	117	19,259	3	0	3	118								
				T2S	17,635	3	0	3	108	18,998	3	0	3	117	19,238	3	0	3	118								
				T2M	17,726	3	0	3	109	19,096	3	0	3	117	19,337	3	0	3	119								
				T3S	17,167	3	0	3	105	18,493	3	0	3	113	18,727	3	0	3	115								
				T3M	17,683	3	0	3	108	19,049	3	0	3	117	19,290	3	0	3	118								
				T4M	17,299	3	0	3	106	18,635	3	0	4	114	18,871	3	0	4	116								
				TFTM	17,672	3	0	3	108	19,038	3	0	4	117	19,279	3	0	4	118								
				TSVS	18,379	4	0	1	113	19,800	4	0	1	121	20,050	4	0	1	123								
				T5S	18,394	4	0	2	113	19,816	4	0	2	122	20,066	4	0	2	123								
				T5M	18,348	4	0	2	113	19,766	4	0	2	121	20,016	4	0	2	123								
				T5W	18,228	5	0	3	112	19,636	5	0	3	120	19,885	5	0	3	122								
				BLC	14,489	2	0	2	89	15,609	2	0	3	96	15,806	2	0	3	97								
				LCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72								
				RCCO	10,781	1	0	3	66	11,614	1	0	3	71	11,761	2	0	3	72								
				40	1400	P7	183W	T1S	19,227	3	0	3	105	20,712	3	0	3	113	20,975	3	0	3	115				
T2S	19,206	3	0					3	105	20,690	3	0	3	113	20,952	3	0	3	114								
T2M	19,305	3	0					3	105	20,797	3	0	3	114	21,060	3	0	3	115								
T3S	18,696	3	0					3	102	20,141	3	0	3	110	20,396	3	0	4	111								
T3M	19,258	3	0					3	105	20,746	3	0	3	113	21,009	3	0	3	115								
T4M	18,840	3	0					4	103	20,296	3	0	4	111	20,553	3	0	4	112								
TFTM	19,246	3	0					4	105	20,734	3	0	4	113	20,996	3	0	4	115								
TSVS	20,017	4	0					1	109	21,564	4	0	1	118	21,837	4	0	1	119								
T5S	20,033	4	0					2	109	21,581	4	0	2	118	21,854	4	0	2	119								
T5M	19,983	4	0					2	109	21,527	5	0	3	118	21,799	5	0	3	119								
T5W	19,852	5	0					3	108	21,386	5	0	3	117	21,656	5	0	3	118								
BLC	15,780	2	0					3	86	16,999	2	0	3	93	17,214	2	0	3	94								
LCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70								
RCCO	11,742	2	0					3	64	12,649	2	0	3	69	12,809	2	0	3	70								
60	1050	P8	207W					T1S	22,490	3	0	3	109	24,228	3	0	3	117	24,535	3	0	3	119				
				T2S	22,466	3	0	4	109	24,202	3	0	4	117	24,509	3	0	4	118								
				T2M	22,582	3	0	3	109	24,327	3	0	3	118	24,635	3	0	3	119								
				T3S	21,870	3	0	4	106	23,560	3	0	4	114	23,858	3	0	4	115								
				T3M	22,527	3	0	4	109	24,268	3	0	4	117	24,575	3	0	4	119								
				T4M	22,038	3	0	4	106	23,741	3	0	4	115	24,041	3	0	4	116								
				TFTM	22,513	3	0	4	109	24,253	3	0	4	117	24,560	3	0	4	119								
				TSVS	23,415	5	0	1	113	25,224	5	0	1	122	25,543	5	0	1	123								
				T5S	23,434	4	0	2	113	25,244	4	0	2	122	25,564	4	0	2	123								
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123								
				T5W	23,221	5	0	4	112	25,016	5	0	4	121	25,332	5	0	4	122								
				BLC	18,458	2	0	3	89	19,885	2	0	3	96	20,136	2	0	3	97								
				LCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72								
				RCCO	13,735	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72								
				60	1250	P9	241W	T1S	25,575	3	0	3	106	27,551	3	0	3	114	27,900	3	0	3	116				
T2S	25,548	3	0					4	106	27,522	3	0	4	114	27,871	3	0	4	116								
T2M	25,680	3	0					3	107	27,664	3	0	3	115	28,014	3	0	3	116								
T3S	24,870	3	0					4	103	26,791	3	0	4	111	27,130	3	0	4	113								
T3M	25,617	3	0					4	106	27,597	3	0	4	115	27,946	3	0	4	116								
T4M	25,061	3	0					4	104	26,997	3	0	4	112	27,339	3	0	4	113								
TFTM	25,602	3	0					4	106	27,580	3	0	4	114	27,929	3	0	4	116								
TSVS	26,626	5	0					1	110	28,684	5	0	1	119	29,047	5	0	1	121								
T5S	26,648	4	0					2	111	28,707	5	0	2	119	29,070	5	0	2	121								
T5M	26,581	5	0					3	110	28,635	5	0	3	119	28,997	5	0	3	120								
T5W	26,406	5	0					4	110	28,447	5	0	4	118	28,807	5	0	4	120								
BLC	20,990	2	0					3	87	22,612	2	0	3	94	22,898	2	0	3	95								
LCCO	15,619	2	0					4	65	16,825	2	0	4	70	17,038	2	0	4	71								
									15,619	2	0	4	65	16,825	2	0	4	70	17,038	2	0	4	71				

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																								
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)					AMBPC (Amber Phosphor Converted)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
60	530	P10	106W	T1S	13,042	3	0	3	123	14,050	3	0	3	133	14,228	3	0	3	134	7,167	2	0	2	72
				T2S	12,967	4	0	4	122	13,969	4	0	4	132	14,146	4	0	4	133	7,507	2	0	2	76
				T2M	13,201	3	0	3	125	14,221	3	0	3	134	14,401	3	0	3	136	7,263	2	0	2	73
				T3S	12,766	4	0	4	120	13,752	4	0	4	130	13,926	4	0	4	131	7,424	2	0	2	75
				T3M	13,193	4	0	4	124	14,213	4	0	4	134	14,393	4	0	4	136	7,387	2	0	2	75
				T4M	12,944	4	0	4	122	13,945	4	0	4	132	14,121	4	0	4	133	7,400	2	0	2	75
				TFTM	13,279	4	0	4	125	14,305	4	0	4	135	14,486	4	0	4	137	7,288	1	0	2	74
				TSVS	13,372	3	0	1	126	14,405	4	0	1	136	14,588	4	0	1	138	7,734	3	0	1	78
				TSS	13,260	3	0	1	125	14,284	3	0	1	135	14,465	3	0	1	136	7,641	3	0	0	77
				T5M	13,256	4	0	2	125	14,281	4	0	2	135	14,462	4	0	2	136	7,737	3	0	2	78
				TSW	13,137	4	0	3	124	14,153	4	0	3	134	14,332	4	0	3	135	7,522	3	0	2	76
				BLC	10,906	3	0	3	103	11,749	3	0	3	111	11,898	3	0	3	112					
				LCCO	7,789	1	0	3	73	8,391	1	0	3	79	8,497	1	0	3	80					
				RCCO	7,779	4	0	4	73	8,380	4	0	4	79	8,486	4	0	4	80					
60	700	P11	137W	T1S	16,556	3	0	3	121	17,835	3	0	3	130	18,061	4	0	4	132	8,952	2	0	2	68
				T2S	16,461	4	0	4	120	17,733	4	0	4	129	17,957	4	0	4	131	9,377	2	0	2	72
				T2M	16,758	4	0	4	122	18,053	4	0	4	132	18,281	4	0	4	133	9,072	2	0	2	69
				T3S	16,205	4	0	4	118	17,457	4	0	4	127	17,678	4	0	4	129	9,273	2	0	2	71
				T3M	16,748	4	0	4	122	18,042	4	0	4	132	18,271	4	0	4	133	9,227	2	0	2	70
				T4M	16,432	4	0	4	120	17,702	4	0	4	129	17,926	4	0	4	131	9,243	2	0	2	71
				TFTM	16,857	4	0	4	123	18,159	4	0	4	133	18,389	4	0	4	134	9,103	2	0	2	69
				TSVS	16,975	4	0	1	124	18,287	4	0	1	133	18,518	4	0	1	135	9,661	3	0	1	74
				TSS	16,832	4	0	1	123	18,133	4	0	2	132	18,362	4	0	2	134	9,544	3	0	1	73
				T5M	16,828	4	0	2	123	18,128	4	0	2	132	18,358	4	0	2	134	9,665	3	0	2	74
				TSW	16,677	4	0	3	122	17,966	5	0	3	131	18,193	5	0	3	133	9,395	4	0	2	72
				BLC	13,845	3	0	3	101	14,915	3	0	3	109	15,103	3	0	3	110					
				LCCO	9,888	1	0	3	72	10,652	2	0	3	78	10,787	2	0	3	79					
				RCCO	9,875	4	0	4	72	10,638	4	0	4	78	10,773	4	0	4	79					
60	1050	P12	207W	T1S	22,996	4	0	4	111	24,773	4	0	4	120	25,087	4	0	4	121					
				T2S	22,864	4	0	4	110	24,631	5	0	5	119	24,943	5	0	5	120					
				T2M	23,277	4	0	4	112	25,075	4	0	4	121	25,393	4	0	4	123					
				T3S	22,509	4	0	4	109	24,248	5	0	5	117	24,555	5	0	5	119					
				T3M	23,263	4	0	4	112	25,061	4	0	4	121	25,378	4	0	4	123					
				T4M	22,824	5	0	5	110	24,588	5	0	5	119	24,899	5	0	5	120					
				TFTM	23,414	5	0	5	113	25,223	5	0	5	122	25,543	5	0	5	123					
				TSVS	23,579	5	0	1	114	25,401	5	0	1	123	25,722	5	0	1	124					
				TSS	23,380	4	0	2	113	25,187	4	0	2	122	25,506	4	0	2	123					
				T5M	23,374	5	0	3	113	25,181	5	0	3	122	25,499	5	0	3	123					
				TSW	23,165	5	0	4	112	24,955	5	0	4	121	25,271	5	0	4	122					
				BLC	19,231	4	0	4	93	20,717	4	0	4	100	20,979	4	0	4	101					
				LCCO	13,734	2	0	3	66	14,796	2	0	4	71	14,983	2	0	4	72					
				RCCO	13,716	4	0	4	66	14,776	4	0	4	71	14,963	4	0	4	72					
60	1250	P13	231W	T1S	25,400	4	0	4	110	27,363	4	0	4	118	27,709	4	0	4	120					
				T2S	25,254	5	0	5	109	27,205	5	0	5	118	27,550	5	0	5	119					
				T2M	25,710	4	0	4	111	27,696	4	0	4	120	28,047	4	0	4	121					
				T3S	24,862	5	0	5	108	26,783	5	0	5	116	27,122	5	0	5	117					
				T3M	25,695	5	0	5	111	27,680	5	0	5	120	28,031	5	0	5	121					
				T4M	25,210	5	0	5	109	27,158	5	0	5	118	27,502	5	0	5	119					
				TFTM	25,861	5	0	5	112	27,860	5	0	5	121	28,212	5	0	5	122					
				TSVS	26,043	5	0	1	113	28,056	5	0	1	121	28,411	5	0	1	123					
				TSS	25,824	4	0	2	112	27,819	5	0	2	120	28,172	5	0	2	122					
				T5M	25,818	5	0	3	112	27,813	5	0	3	120	28,165	5	0	3	122					
				TSW	25,586	5	0	4	111	27,563	5	0	4	119	27,912	5	0	4	121					
				BLC	21,241	4	0	4	92	22,882	4	0	4	99	23,172	4	0	4	100					
				LCCO	15,170	2	0	4	66	16,342	2	0	4	71	16,549	2	0	4	72					
									15,150	5	0	5	66	16,321	5	0	5	71	16,527	5	0	5	72	

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 1 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and streetscapes.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.01 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in standard 3000 K, 4000 K and 5000 K (70 CRI) configurations. The D-Series Size 1 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hours at 25°C). Class 1

electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 1 to withstand up to a 3.0 G vibration load rating per ANSI C136.31. The D-Series Size 1 utilizes the AERIS™ series pole drilling pattern (template #8). Optional terminal block and NEMA photocontrol receptacle are also available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D672,492 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



D-Series Size 2 LED Wall Luminaire



d^{series}

Specifications Luminaire

Width: 18-1/2" (47.0 cm) **Weight:** 21 lbs (9.5 kg)

Depth: 10" (25.4 cm)

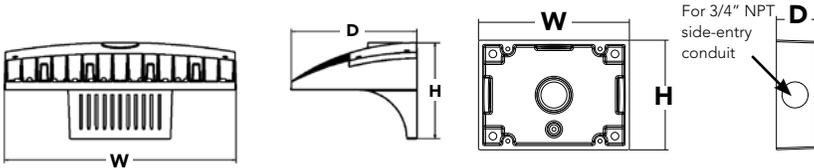
Height: 7-5/8" (19.4 cm)

Back Box (BBW)

Width: 5-1/2" (14.0 cm) **BBW Weight:** 1 lbs (0.5 kg)

Depth: 1-1/2" (3.8 cm)

Height: 4" (10.2 cm)



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint[™] Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSXW2 LED 30C 700 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW2 LED							
DSXW2 LED	20C 20 LEDs (two engines) 30C 30 LEDs (three engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA ¹ (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted ²	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT ³ 120 ⁴ 208 ⁴ 240 ⁴ 277 ⁴ 347 ^{4,5} 480 ^{4,5}	Shipped included (blank) Surface mounting bracket Shipped separately⁶ BBW Surface-mounted back box (for conduit entry)	Shipped installed PE Photoelectric cell, button type ⁷ PER NEMA twist-lock receptacle only (control ordered separately) ⁸ PER5 Five-wire receptacle only (control ordered separately) ^{8,9} PER7 Seven-wire receptacle only (control ordered separately) ^{8,9} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) PIR 180° motion/ambient light sensor, <15' mtg ht ^{10,11} PIRH 180° motion/ambient light sensor, 15-30' mtg ht ^{10,11} PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{11,12} PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{11,12}

Other Options

Finish (required)

Shipped installed	Shipped separately¹³	DDBXD Dark bronze	DSSXD Sandstone	DWHGXD Textured white
SF Single fuse (120, 277, 347V) ³	BSW Bird-deterrent spikes	DBLXD Black	DSSTXD Textured sandstone	
DF Double fuse (208, 240, 480V) ³	WG Wire guard	DNAXD Natural aluminum	DBLBXD Textured black	
HS House-side shield ⁴	VG Vandal guard	DWHXD White	DNATXD Textured natural aluminum	
SPD Separate surge protection ¹³				



Ordering Information

Accessories

Ordered and shipped separately.

DLL127F 1.5 JU	Photozell - SSL twist-lock (120-277V) ¹⁴
DLL347F 1.5 CUL JU	Photozell - SSL twist-lock (347V) ¹⁴
DLL480F 1.5 CUL JU	Photozell - SSL twist-lock (480V) ¹⁴
DSHORT SBK U	Shorting cap (Included when ordering PER, PERS or PER7) ¹⁴
DSXWHS U	House-side shield (one per light engine)
DSXWBSW U	Bird-deterrent spikes
DSXW2WG U	Wire guard accessory
DSXW2VG U	Vandal guard accessory
DSXW2BBW DB8XD U	Back box accessory (specify finish)

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

- 1000mA is not available with AMBPC.
- AMBPC is not available with 1000mA.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Available with 30 LED/700mA options only (DSXW2 LED 30C 700). DMG option not available.
- Also available as a separate accessory; see Accessories information.
- Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
- Photozell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- Reference Motion Sensor table on page 3.
- Reference PER Table on page 3 for functionality.
- PIR and PIR1FC3V specify the [SensorSwitch SBGR-10-ODP](#) control; PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Motion Sensor Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Separate on/off required.
- See the electrical section on page 2 for more details.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item. See PER Table.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	System Watts	Dist. Type	30K					40K					50K				
				Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20C (20 LEDs)	350 mA	25W	T2S	2,783	1	0	1	111	2,989	1	0	1	120	3,008	1	0	1	120
			T2M	2,709	1	0	1	108	2,908	1	0	1	116	2,926	1	0	1	117
			T3S	2,748	1	0	1	110	2,951	1	0	1	118	2,969	1	0	1	119
			T3M	2,793	1	0	1	112	2,999	1	0	1	120	3,018	1	0	1	121
			T4M	2,756	1	0	1	110	2,959	1	0	1	118	2,977	1	0	1	119
			TFTM	2,753	1	0	1	110	2,956	1	0	1	118	2,975	1	0	1	119
	530 mA	36W	T2S	4,030	1	0	1	112	4,327	1	0	1	120	4,354	1	0	1	121
			T2M	3,920	1	0	1	109	4,210	1	0	1	117	4,236	1	0	1	118
			T3S	3,978	1	0	1	111	4,272	1	0	1	119	4,299	1	0	1	119
			T3M	4,044	1	0	2	112	4,343	1	0	2	121	4,370	1	0	2	121
			T4M	3,990	1	0	1	111	4,284	1	0	1	119	4,310	1	0	1	120
			TFTM	3,987	1	0	1	111	4,281	1	0	1	119	4,308	1	0	1	120
	700 mA	47W	T2S	5,130	1	0	1	109	5,509	1	0	1	117	5,544	1	0	1	118
			T2M	4,991	1	0	2	106	5,360	1	0	2	114	5,393	1	0	2	115
			T3S	5,066	1	0	1	108	5,440	1	0	1	116	5,474	1	0	1	116
			T3M	5,148	1	0	2	110	5,529	1	0	2	118	5,563	1	0	2	118
			T4M	5,080	1	0	2	108	5,455	1	0	2	116	5,488	1	0	2	117
			TFTM	5,075	1	0	2	108	5,450	1	0	2	116	5,484	1	0	2	117
	1000 mA	73W	T2S	7,147	2	0	2	98	7,675	2	0	2	105					
			T2M	6,954	2	0	2	95	7,467	2	0	2	102					
			T3S	7,057	1	0	2	97	7,579	1	0	2	104					
			T3M	7,172	2	0	3	98	7,702	2	0	3	106					
			T4M	7,076	1	0	2	97	7,599	1	0	2	104					
			TFTM	7,071	1	0	2	97	7,594	1	0	2	104					
30C (30 LEDs)	350 mA	36W	T2S	4,160	1	0	1	116	4,467	1	0	1	124	4,494	1	0	1	125
			T2M	4,048	1	0	1	112	4,346	1	0	2	121	4,373	1	0	2	121
			T3S	4,108	1	0	1	114	4,411	1	0	1	123	4,438	1	0	1	123
			T3M	4,174	1	0	2	116	4,483	1	0	2	125	4,510	1	0	2	125
			T4M	4,119	1	0	1	114	4,423	1	0	2	123	4,450	1	0	2	124
			TFTM	4,115	1	0	1	114	4,419	1	0	1	123	4,446	1	0	1	124
	530 mA	54W	T2S	6,001	1	0	1	111	6,444	1	0	1	119	6,484	1	0	1	120
			T2M	5,838	1	0	2	108	6,270	2	0	2	116	6,308	2	0	2	117
			T3S	5,926	1	0	2	110	6,364	1	0	2	118	6,403	1	0	2	119
			T3M	6,023	1	0	2	112	6,467	1	0	2	120	6,507	1	0	2	121
			T4M	5,942	1	0	2	110	6,380	1	0	2	118	6,420	1	0	2	119
			TFTM	5,937	1	0	2	110	6,376	1	0	2	118	6,415	1	0	2	119
	700 mA	71W	T2S	7,403	2	0	2	104	8,170	2	0	2	115	8,221	2	0	2	116
			T2M	7,609	2	0	2	107	7,949	2	0	2	112	7,998	2	0	2	113
			T3S	7,513	1	0	2	106	8,068	1	0	2	114	8,118	1	0	2	114
			T3M	7,635	2	0	3	108	8,199	2	0	3	115	8,250	2	0	3	116
			T4M	7,534	1	0	2	106	8,089	1	0	2	114	8,140	1	0	2	115
			TFTM	7,527	1	0	2	106	8,082	2	0	2	114	8,134	2	0	2	115
	1000 mA	109W	T2S	10,468	2	0	2	96	11,241	2	0	2	103					
			T2M	10,184	2	0	3	93	10,936	2	0	3	100					
			T3S	10,335	2	0	2	95	11,099	2	0	2	102					
			T3M	10,505	2	0	3	96	11,280	2	0	3	103					
			T4M	10,365	2	0	2	95	11,129	2	0	2	102					
			TFTM	10,356	2	0	2	95	11,121	2	0	3	102					

Note:

Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	1.00
40°C	0.98

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)					
			120V	208V	240V	277V	347V	480V
20C	350	25 W	0.23	0.13	0.12	0.10	-	-
	530	36 W	0.33	0.19	0.17	0.14	-	-
	700	47 W	0.44	0.25	0.22	0.19	-	-
	1000	74 W	0.68	0.39	0.34	0.29	-	-
30C	350	36 W	0.33	0.19	0.17	0.14	-	-
	530	54 W	0.50	0.29	0.25	0.22	-	-
	700	71 W	0.66	0.38	0.33	0.28	0.23	0.16
	1000	109 W	1.01	0.58	0.50	0.44	-	-

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **DSXW2 LED 30C 1000** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
*PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use with Inline Dusk to Dawn or timer

PER Table

Control	PER (3 wire)	PER5 (5 wire)		PER7 (7 wire)		
			Wire 4/Wire5		Wire 4/Wire5	Wire 6/Wire7
Photocontrol Only (On/Off)	✓	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM	⊘	✓	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
ROAM with Motion	⊘	⚠	Wired to dimming leads on driver	⚠	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof*	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture
Futureproof* with Motion	⊘	⚠	Wired to dimming leads on driver	✓	Wired to dimming leads on driver	Wires Capped inside fixture

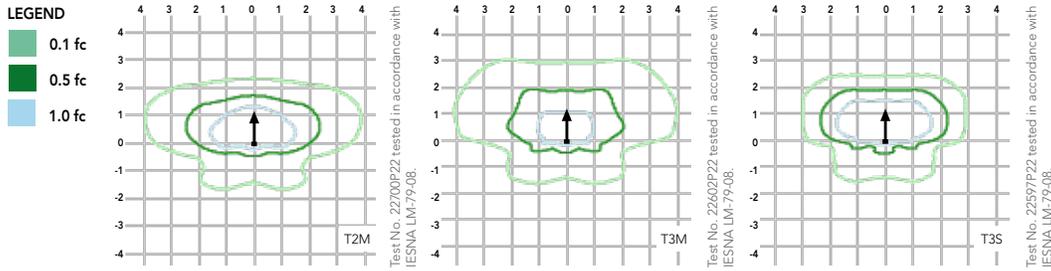
✓ Recommended

⊘ Will not work

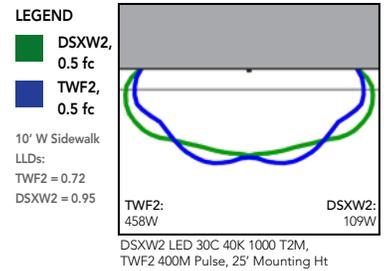
⚠ Alternate

*Futureproof means: Ability to change controls in the future.

Isofootcandle plots for the DSXW2 LED 30C 1000 40K. Distances are in units of mounting height (25').



Distribution overlay comparison to 400W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The energy savings, long life and easy-to-install design of the D-Series Wall Size 2 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION

Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (L87/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor >90%, THD <20%, and a minimum 2.5KV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION

Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

LISTINGS

CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five-year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.