

**AGENDA**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**June 25, 2019**  
**6:00 P.M.**

**CALL TO ORDER**

**CONSENT AGENDA**

1. Approval of Minutes for the May 28, 2019 Planning and Zoning Commission meeting.
2. **SP2019-015 (David)**  
Consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.
3. **SP2019-020 (Korey)**  
Consider a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street, and take any action necessary.
4. **P2019-027 (David)**  
Consider a request by Kyle Coleman Harris of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Channell Commercial Corporation for the approval of a replat for Lot 3, Block A, Channell Subdivision Addition being a 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

**APPOINTMENTS**

5. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

**ACTION ITEMS**

6. **SP2019-014 (Korey)**  
Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.
7. **MIS2019-005 (David)**  
Discuss and consider a request by Michael Duval of G & A Consultants on behalf of John Delin of R. W. Ladera, LLC for the approval of an *Alternative Tree Mitigation Settlement Agreement* for a 28.011-acre parcel of land identified as a Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.

## **DISCUSSION ITEMS**

### **8. P2019-026 (Korey)**

Discuss and consider a request by Bill Bricker of Columbia Development Co., LLC for the approval of a preliminary plat for Lots 1-5, Block A, Park Station Addition, being a 16.26-acre tract of land identified as a portion of Lot 1, Block 1, Indalloy Addition (7.409-acres) and Tract 31 of the R. Ballard Survey, Abstract No. 29, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1100 & 1300 E. Washington Street, and take any action necessary.

### **9. SP2019-021 (David)**

Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Alton Frazier of Channell Commercial Corporation for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

### **10. SP2019-022 (Korey)**

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Rockwall Assembly of God for the approval of a site plan for an addition to an existing church on a 6.210-acre tract of land identified as Lot 1, Block A, Lakes Assembly Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 901 Williams Street, and take any action necessary.

### **11. SP2019-023 (David)**

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [*SH-205*], and take any action necessary.

### **12. SP2019-024 (Korey)**

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of a site plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

### **13. SP2019-025 (David)**

Discuss and consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of a site plan for an office building on a 9.7-acre tract of land identified at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.

### **14. Director's Report of post Council meeting outcomes of Planning & Zoning cases (Ryan).**

- ✓ P2019-024: Vacating Plat for Lots 17 & 18, Block B, Lago Vista Addition [*Approved*]
- ✓ Z2019-012: Zoning Change (AG to PD) for North Gate (*1<sup>st</sup> Reading*) [*Approved*]
- ✓ Z2019-013: PD Development Plan in Planned Development District 32 (PD-32) (*1<sup>st</sup> Reading*) [*Approved*]

## **ADJOURNMENT**

### **15. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code § 55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21<sup>st</sup> day of June 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers Conference Room**  
**June 25, 2019**  
**5:00 PM**

**CALL TO ORDER**

**CONSENT AGENDA**

**1. SP2019-020 (Korey)**

Consider a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street, and take any action necessary.

**2. SP2019-015 (David)**

Discuss and consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

**ACTION ITEMS**

**3. SP2019-022 (Korey)**

Discuss and consider a request by Greg Wallis of Mershawn Architects on behalf of Rockwall Assembly of God for the approval of a site plan for an addition to an existing church on a 6.210-acre tract of land identified as Lot 1, Block A, Lakes Assembly Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 901 Williams Street, and take any action necessary.

**4. SP2019-023 (David)**

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract 1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [*SH-205*], and take any action necessary.

**5. SP2019-024 (Korey)**

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of a site plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

**6. SP2019-025 (David)**

Discuss and consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of a site plan for an office building on a 9.7-acre tract of land identified at Tract 15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [*FM-740*] and Turtle Cove Boulevard, and take any action necessary.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21<sup>st</sup> day of June 2019, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**AGENDA**  
**CAPITAL IMPROVEMENT ADVISORY COMMITTEE**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**June 25, 2019**  
**6:30 P.M.**

**CALL TO ORDER**

**APPOINTMENTS**

**1. MIS2019-001 (Ryan)**

Discuss and consider the proposed Land Use Assumptions (LUA) Report and ten (10) year growth rate for the City of Rockwall, and take any action necessary.

**DISCUSSION ITEMS**

- 2.** Additional discussion concerning the Impact Fee Update and Capital Improvements Advisory Committee issues.

**ADJOURNMENT**

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21<sup>st</sup> day of June 2019 at 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

**MINUTES**  
**PLANNING AND ZONING COMMISSION WORK SESSION**  
**City Hall, 385 South Goliad, Rockwall, Texas**  
**Council Chambers**  
**May 28, 2019**  
**6:00 P.M.**

I. CALL TO ORDER

Chairman Lyons called the meeting to order at 6:01 p.m. The Commissioners present at the meeting were, Jerry Welch, Mark Moeller, Tracey Logan, John Womble, Eric Chodun and Annie Fishman. Staff members present were Planning Director, Ryan Miller, Planning Manager, David Gonzales, Senior Planner Corey Brooks, Planning Coordinator, Laura Morales, City Engineer, Amy Williams, Civil Engineers, Jeremy White and Sarah Hager.

II. CONSENT AGENDA

1. Approval of Minutes for the April 30, 2019 Planning and Zoning Commission meeting.

2. P2019-020

Consider a request by Robert Howman of Glenn Engineering on behalf of William Salee of the Rockwall Independent School District (RISD) for the approval of replat for Lot 2, Block A, RISD Elementary School Addition being a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.

3. P2019-021

Consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of Greencrest TPS Hotel, LP for the approval of a final plat of Lots 1-3, Block A, Town Place Marriott Addition being an 8.715-acre tract of land identified as a portion of Lot 1, Block B, Goldencrest Addition and Tract 4 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

4. P2019-022

Consider a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill of MHC Rockwall, LLC and Jason Lentz of Atticus of Atticus Summer Lee Townhomes for the approval of a replat for Lot 5, Block A, Harbor Village Addition, being a 2.12-acre tract of land currently identified as Lot 3, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located on the south side of Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

5. SP2019-019

Discuss and consider a request by Jerry Crouse of PS LPT Properties Investors on behalf of Public Storage for the approval of a site plan for an existing mini-warehouse facility on a 4.264-acre of land identified as Lot 1, Block B, Valk Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4028 N. Goliad Street [SH-205], and take any action necessary.

**Commissioner Welch made a motion to approve the consent agenda. Commissioner Womble seconded the motion which passed by a vote of 7-0.**

III. APPOINTMENTS

6. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

63 Architectural Review representative gave a brief explanation concerning agenda items that were  
64 discussed at the Architectural Review Board meeting.  
65

66  
67 IV. ACTION ITEMS

68  
69 7. SP2017-019

70 Discuss and consider a request by Himmat Chauhan of Best Western Plus for the approval of an extension  
71 of an approved site plan for a hotel on a 1.74-acre parcel of land identified as Lot 1, Block A, Comfort Inn  
72 & Suites, Rockwall Towne Centre Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial  
73 (C) District, situated within IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, addressed as  
74 700 E. IH-30, and take any action necessary.  
75

76 Planning Director, Ryan Miller, provided a brief explanation and background of the request. The  
77 applicant is requesting approval of an amended site plan for an existing mini-warehouse facility.  
78 On December 9, 2013, the City entered into a 212 Development Agreement with the then owner of  
79 the subject property Ronald C. Valk. On March 19, 2018, the City Council annexed the subject  
80 property by Ordinance No. 18-17. At the time of annexation, the subject property became subject  
81 to the requirements of the City's Municipal Code of Ordinances and the Unified Development  
82 Code.  
83

84 Mr. Miller further noted that in March 2019, staff was made aware that some of the exterior lighting  
85 on the storage facility had been changed without the approval of a photometric plan. In response  
86 to this violation, Neighborhood Improvement Services contacted the owner of the property to  
87 inform them about the violation. Based on staff's examination of the site, the new light fixtures  
88 did not meet the requirements of the UDC. Specifically, the light fixtures were not fully shielded  
89 and directed downward causing ambient light to be shed onto the adjacent residential properties.  
90 Upon being contacted by the Neighborhood Improvement Services Department, the property  
91 owner submitted a photometric plan and lighting cutsheets proposing new light fixtures be  
92 installed that meet the requirements of the UDC. The submitted photometric plan shows that the  
93 new maximum light intensity at the property line will not exceed 0.2 FC, the maximum allowable  
94 light intensity stipulated by the UDC. In addition, the submitted plan does meet all of the  
95 requirements of the Unified Development Code. Since the mini-warehouse facility was  
96 constructed prior to being annexed, the City does not have a site plan for this facility and felt it  
97 necessary to bring this to the Planning and Zoning Commission for review and approval.  
98

99 Mr. Miller advised the Commission that the applicant was present and available for questions as  
100 well as staff.  
101

102 Chairman Lyons asked the applicant to come forward and speak.  
103

104 Juan Vasquez  
105 1919 S. Shiloh Road  
106 Garland, TX  
107

108 Mr. Vasquez came forward and provided additional comments in regards to the request.  
109

110 Chairman Lyons asked for questions from the Commission.  
111

112 Commissioner Womble asked if any changes were being requested. Mr. Miller indicated no  
113 changes were being requested it is the same site plan that was brought initially.  
114

115 Commissioner Chodun asked the reason the property was for sale. Mr. Vasquez shared that the  
116 applicant wasn't sure if he would continue with the project due to his market indicators and wanted  
117 to get an idea of what kind of inquiries he would get however after four months on the market he  
118 has not had any inquiries.  
119

120 Commissioner Moeller asked if the two year extension would suffice to allow the applicant to  
121 complete the project. Mr. Vasquez shared that it is the intent of the applicant to get started on the  
122 project and be far along in that two year period.  
123

124 Chairman Lyons brought the item back to the Commission for discussion or action.  
125

126 Commissioner Womble made a motion SP2019-019 with staff recommendations. Commissioner  
127 Moeller seconded the motion which passed by a vote of 5-2 with Commissioners Chodun and  
128 Welch dissenting.  
129

130 8. MIS2019-005

131 Discuss and consider a request by Michael Duval of G & A Consultants on behalf of John Delin of R. W.  
132 Ladera, LLC for the approval of an *Alternative Tree Mitigation Settlement Agreement* for a 28.011-acre  
133 parcel of land identified as a Tract 5 of the M. B. Jones Survey, Abstract No. 122, City of Rockwall,  
134 Rockwall County, Texas, zoned Planned Development District 85 (PD-85), situated within the 205 By-  
135 Pass Overlay (205 BY-OV) and the East SH-66 Overlay (E SH-66 OV) District, located at the northeast  
136 corner of the intersection of SH-66 and John King Boulevard, and take any action necessary.  
137

138 **Chairman Lyons indicated agenda item would be tabled until the next scheduled meeting.**  
139

140 9. MIS2019-006

141 Discuss and consider a request by Glen Goodrich for the approval of an exception to the minimum  
142 masonry requirements stipulated in Section 3.1, *General Residential District Standards*, of Article V,  
143 *District Development Standards*, of the Unified Development Code for an accessory structure on a 0.2296-  
144 acre parcel of land identified as Lot 1, Block I, Northshore, Phase 2B Addition, City of Rockwall, Rockwall  
145 County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 608 Christian Court, and take any  
146 action necessary.  
147

148 **Chairman Lyons indicated the applicant has requested to withdraw the case and no action would**  
149 **need to be taken.**

150 V. DISCUSSION ITEMS  
151

152 10. Z2019-012

153 Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties on  
154 behalf of Jen-Liang Wu of Unison Investment for the approval of a zoning change from an Agricultural  
155 (AG) District to a Planned Development District for Single Family-1 (SF-1) District land uses on a 61.45-  
156 acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall,  
157 Rockwall County, Texas, zoned Agricultural (AG) District, located on the west side of Stodgell Road  
158 [FM-3549] north of the intersection of Stodgell Road [FM-3549] and Cornelius Road, and take any action  
159 necessary.  
160

161 **Senior Planner, Korey Brooks, advised the Commission that the applicant was present and would**  
162 **be discussing the case.**  
163

164 **Chairman Lyons asked the applicant to come forward.**  
165

166 **Ryan Joyce**  
167 **1189 Waters Edge Drive**  
168 **Rockwall, TX**  
169

170 **Mr. Joyce came forward and provided additional remarks in regards to the case. He shared the**  
171 **site plan for a potential development at the southwest corner of Clem Road and Stodgell Road**  
172 **it is a 62.5 acre tract that has 40 lots on it. It will be a lower density development with all lots being**  
173 **minimum of 1 acre up to 1.8 and 1.7 acres with an additional 5.5 acre that will be a single family**  
174 **home. The development will have 75 foot front yard setbacks along with front facing garages. Mr.**  
175 **Joyce went on to share that he believes this development is a great project and is in high need for**  
176 **the north side of Rockwall. He indicated he was available for questions.**  
177

178 **Commissioner Chodun asked if there was an estimated costs for the homes at this time. Mr. Joyce**  
179 **indicated that at this time he did not have the estimated cost for the homes however the lots will**  
180 **be available to retail the lot prices will range from \$100k to \$165k for the lots and all will be custom**  
181 **built.**  
182

183 **There being no further questions Chairman Lyons indicated the case will return to the**  
184 **Commission for action at the next scheduled meeting.**  
185  
186  
187  
188



189  
190  
191  
192  
193  
194  
195  
196  
197  
198  
199  
200  
201  
202  
203  
204  
205  
206  
207  
208  
209  
210  
211  
212  
213  
214  
215  
216  
217  
218  
219  
220  
221  
222  
223  
224  
225  
226  
227  
228  
229  
230  
231  
232  
233  
234  
235  
236  
237  
238  
239  
240  
241  
242  
243  
244  
245  
246  
247  
248  
249  
250

11. Z2019-013

Hold a public hearing to discuss and consider a request by Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of Dan Bobst of J-BR2, LLC for the approval of a PD Development Plan within Planned Development District 32 (PD-32), on a 2.893-acre parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, situated within the *Hillside Sub-District* of Planned Development District 32 (PD-32), located within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of the IH-30 frontage road and Sunset Ridge Drive, and take any action necessary.

Planning Director, Ryan Miller, provided a brief explanation of the request. The applicant is requesting to amend an existing Planned Development Plan that had retail shops down Harbor Hills Drive and have since then changed that out to incorporate a parks space in between that and move several buildings also along Sunset Ridge Drive. The differences between this request and the previous plan is the location of the buildings, building placement issues and also the incorporation of the park area. The applicant is requesting to remove the building elevations and that can be dealt with at the time of site planning where they will be required to go before the Architectural Review Board. For the most part however the development requirements being requested are the same as previous and they would be required to adhere to all the design standards contained in Planned Development District 32. Mr. Miller advised the Commission that the applicant was not present and staff could answer any question.

Chairman Lyons asked for questions from the Commission.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

12. SP2019-013

Discuss and consider a request by Bill Bauman of Bauman Consultants on behalf of John Gatz of Eco-Site for the approval of a site plan for a *Freestanding Commercial Antenna* on a 0.0826-acre portion of a larger 7.64-acre tract of land, known as *Yellow Jacket Park*, identified as Tract 11 of the J. Cadle Survey, Abstract No. 65, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated on the south side of Yellow Jacket Lane, west of the intersection of S. Goliad Street [*SH-205*] and Yellow Jacket Lane, and take any action necessary.

Planning Manager, David Gonzales, provided a brief explanation of the request. A Specific Use Permit was approved for this last year and they are going through site plan currently which will then be followed by Engineering and Building Inspections. Mr. Gonzales indicated Mr. John Gatz was present and available for questions as well as staff.

Chairman Lyons asked the applicant to come forward.

John Gatz  
309 Edenborough Drive  
Anna, TX

Mr. Gatz came forward and provided additional comments pertaining to the request. He shared that they have negotiated a lease with the City of Rockwall to lease a portion where they can install a cell tower at the bottom portion of the park. The plans have all been submitted and they have received initial comments from staff and those will be addressed. He indicated he was available for questions.

Chairman Lyons asked for questions from the Commission

Commissioner Womble asked if the height is what was approved with the Specific Use Permit. Mr. Gonzales indicated it was and everything would need to follow the approved Ordinance.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

13. SP2019-014

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a *retail shopping center* and *house of worship* on

251 a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64,  
252 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic  
253 Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of  
254 Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.  
255

256 **Senior Planner, Korey Brooks, advised the Commission that the applicants were present and**  
257 **would provide details on the request and staff would answer any question.**  
258

259 **Chairman Lyons asked the applicant to come forward.**  
260

261 **Ahmed Helaluzzaman**  
262 **545 Coventry Drive**  
263 **Grapevine, TX**  
264

265 **Mr. Helaluzzman came forward and provided a brief explanation of the request. They are**  
266 **requesting to have space for worship as well as retail space. He indicated he was available for**  
267 **questions.**  
268

269 **Chairman Lyons asked for any questions from the Commission.**  
270

271 **Commissioner Chodun asked if there were any variances being requested. Mr. Brooks indicated**  
272 **there are several variances associated with the vertical and horizontal articulation and the**  
273 **applicant will be providing staff revisions.**  
274

275 **There being no further questions Chairman Lyons indicated the case will return to the**  
276 **Commission for action at the next scheduled meeting.**  
277

278  
279 14. SP2019-016

280 Discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Bob  
281 and Pam Hawley for the approval of a site plan for two (2) metal buildings in conjunction with an existing  
282 commercial business on a 1.55-acre parcel of land identified as Lot 5, Block A, Maverick Ranch Addition,  
283 City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 196 & 216 Ranch  
284 Road, and take any action necessary.  
285

286 **Planning Manager, David Gonzales, provided a brief explanation of the request. The applicant is**  
287 **requesting to add additional buildings behind the existing buildings. The request went before the**  
288 **Architectural Review Board and they did recommend approval however they want the wainscot to**  
289 **be included with the existing buildings to have uniformity. Mr. Gonzales advised that the applicant**  
290 **was not present.**  
291

292 **Chairman Lyons asked for questions from the Commission.**  
293

294 **Commissioner Chodun asked if there were additional variances that the applicant was requesting.**  
295 **Mr. Gonzales indicated there would be for the horizontal articulation and since it is a metal building**  
296 **they do not meet the material requirement.**  
297

298 **There being no further questions Chairman Lyons indicated the case will return to the**  
299 **Commission for action at the next scheduled meeting.**  
300

301  
302 15. SP2019-017

303 Discuss and consider a request by Steven Homeyer of Homeyer Engineering, Inc. on behalf of Vincent  
304 Stagliano for the approval of a site plan for an animal boarding/kennel without outside pens on a 1.2113-  
305 acre tract of land identified as Lot 4, Block A, Ellis Centre Addition, City of Rockwall, Rockwall County,  
306 Texas, zoned Light Industrial (LI) District, located west of the intersection of Alpha Drive and Sigma Court,  
307 and take any action necessary.  
308

309 **Planning Manager, David Gonzales, advised the Commission that the request went before the**  
310 **Architectural Review Board and they forwarded their recommendation. Mr. Gonzales stated that**  
311 **the applicant was present and would provide details on the request.**  
312

313  
314  
315  
316  
317  
318  
319  
320  
321  
322  
323  
324  
325  
326  
327  
328  
329  
330  
331  
332  
333  
334  
335  
336  
337  
338  
339  
340  
341  
342  
343  
344  
345  
346  
347  
348  
349  
350  
351  
352  
353  
354  
355  
356  
357  
358  
359  
360  
361  
362  
363  
364  
365  
366  
367  
368  
369  
370  
371  
372  
373  
374

Chairman Lyons asked the applicant to come forward.

Steven Homeyer  
(No address given)

Mr. Homeyer came forward and provided comments in regards to the request. The request is for a kennel daycare facility as well as night boarding with an outside exercise area. They are proposing an 8foot wooden fence around the exercise area and the intent for the wooden fence is to provide security and to keep the dogs from seeing surrounding activities. Mr. Homeyer indicated he was available to answer any questions the Commission may have.

Mr. Gonzales added that in regards to the fence, it is a screening fence and as far as what the UDC requires is a masonry fence therefore the wooden fence will be an exception they are requesting.

There being no questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

16. SP2019-018

Discuss and consider a request by Annalyse Valk of Platinum Construction on behalf of Shawn Valk of Saro Partners, LLC for the approval of a site plan for a multi-tenant office/warehouse facility on a 2.21-acre tract of land identified as Lot 6, Block A, Bodin Industrial Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1491 T. L. Townsend Drive, and take any action necessary.

Senior Planner, Korey Brooks, advised the Commission that the applicant was present and would provide details of the request and staff would be available to answer any question.

Chairman Lyons asked the applicant to come forward and speak.

Annalyse Valk  
1450 TL Townsend suite 100  
Rockwall, TX

Ms. Valk came forward and provided details pertaining to the request. They proposing to build a multi-tenant office warehouse building. Ms. Valk indicated she was available for questions.

Mr. Brooks added that two years ago the Planning and Zoning Commission approved a site plan for a similar facility with the applicant just north of the subject property. Since this will be located at a highly visible location the Architectural Review Board made a recommendation for this new facility match the old facility.

There being no further questions Chairman Lyons indicated the case will return to the Commission for action at the next scheduled meeting.

17. Director's Report of post Council meeting outcomes of Planning & Zoning cases.

- ✓ Z2019-009: SUP for a Restaurant at 505 N. Goliad Street (*1st Reading*) [*Approved*]
- ✓ Z2019-010: SUP for Guest Quarters/Secondary Living Unit and Barn or Agricultural Accessory Building at 777 & 839 Cornelius Road (*1st Reading*) [*Approved*]
- ✓ Z2019-011: Amended PD Development Standards for Planned Development District 47 (PD-47) (*1st Reading*) [*Approved*]

Planning Director, Ryan Miller, provided a brief update about the outcome of the above referenced case at the City Council meeting.

VI. ADJOURNMENT

375  
376  
377  
378  
379  
380  
381  
382  
383  
384  
385  
386  
387  
388  
389  
390  
391  
392  
393  
394  
395  
396  
397  
398  
399  
400  
401  
402  
403  
404  
405  
406  
407

Chairman Lyons adjourned the meeting at 6:43 p.m.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF  
ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Johnny Lyons, Chairman

Attest:

\_\_\_\_\_  
Laura Morales, Planning Coordinator

18. Capital Improvements Advisory Committee Meeting (CIAC) [6:30 PM]  
Appointment with Eddie Hass of Freese and Nichols, Inc. and Matt Hickey, PE of Birkhoff, Hendricks & Carter LLP to discuss Roadway, Water and Wastewater Impact Fees, the Ten-Year Growth Rate for the City of Rockwall, and the proposed Land Use Assumptions report, and take any action necessary.

19. Planning and Zoning Commission Training Session [7:00 PM]  
The Planning and Zoning Commission will hold a training session with the City Attorney immediately following the adjournment of the May 28, 2019 Capital Improvements Advisory Committee Meeting.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission  
**DATE:** 06/25/2019  
**APPLICANT:** Chris Lam, P.E.; *Lam Consulting Engineering*  
**CASE NUMBER:** SP2019-015; *Site Plan for Restaurant Less than 2,000 SF w/o Drive-Through*

---

### **SUMMARY**

Consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

### **BACKGROUND**

The subject property was a part of the original town incorporation for the City of Rockwall in 1873. On August 5, 2002, the City Council approved *Ordinance No. 02-46* zoning the property *Planned Development District 50 (PD-50)* for Residential Office (RO) District land uses. On June 3, 2019, the City Council approved a Specific Use Permit [*i.e. Ordinance No. 19-22, SUP No. S-208*] allowing the *Restaurant Less Than 2,000 SF without a Drive-Through or Drive-In* land use on the subject property. The existing single-family home is approximately 1,916 SF, and -- according to the City of Rockwall's Historic Resources Survey -- was constructed in 1915 using characteristics of Bungalow style architecture. Bungalow styled homes have a Craftsman influence, and typically have identifying features that include a low-pitched or gabled roof (*which is usually hipped*), wide unenclosed eave overhangs, exposed roof rafters, decorative or false beams under the gables, and full or partial width porches that are supported by tapered square columns.

### **PURPOSE**

The applicant, Chris Lam, P.E. of Lam Consulting Engineering, is requesting approval of a site plan for the purpose of converting a single-family home into a restaurant, without a drive-through or drive-in that is less than 2,000 SF within Planned Development District 50 (PD-50). More specifically, the applicant is proposing to convert the existing single-family home to a commercial property to accommodate the proposed restaurant land use (*i.e. Bonafide Betties Pie Company*).

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at 505 N. Goliad Street. The land uses adjacent to the subject property are as follows:

**North:** Directly north of the subject property is a local boutique (*i.e. Hallie B's*), situated on a 0.2296-acre parcel of land. This property is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. Beyond this property is a continuation of Planned Development District 50 (PD-50).

South: Directly south of the subject property is a vacant 0.420-acre parcel of land. This property is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. Beyond this property is a continuation of Planned Development District 50 (PD-50).

East: Directly east of the subject property are local businesses and residential properties along N. Goliad Street that are zoned Planned Development District 50 (PD-50) for Residential Office District (RO) land uses. Beyond these properties are single-family residential homes zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property are single-family homes zoned Single-Family 7 (SF-7) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

Currently, the applicant is in the process of converting the residential structure to a commercial structure. Since the land use is changing from a residential land use to a commercial land use, the property is required to construct a parking lot and provide ADA compliant access to the proposed residential-office building. The proposed parking lot will have five (5) parking spaces located behind the main structure and two (2) parallel parking spaces located on the north side of the building. The ADA ramp and sidewalk will be located adjacent to the east façade of the building (*i.e. the front of the building*) that faces Goliad Street.

The submitted site plan generally conforms to the technical requirements contained within the UDC for a property located within Planned Development District 50 (PD-50). A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning Standards</i>	<i>District</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>		<i>X=10,019 SF: In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>		<i>X=~84-Feet: In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>		<i>X=~113-Feet: In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>		<i>X=25-Feet: In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>30-Feet</i>		<i>X=30-Feet: In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>		<i>X=10-Feet: In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>		<i>X=~25-Feet: In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>		<i>X=~19%: In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>		<i>100%: In Conformance Wood Siding</i>
<i>Minimum Number of Parking Spaces</i>	<i>8 Spaces</i>		<i>7 Spaces: In Conformance Per SUP</i>
<i>Minimum Stone Requirement</i>	<i>N/A</i>		<i>N/A Per NGC OV Standards</i>
<i>Minimum Landscaping Percentage</i>	<i>N/A</i>		<i>N/A</i>
<i>Maximum Impervious Coverage</i>	<i>N/A</i>		<i>N/A</i>

**CONFORMANCE WITH THE CITY'S CODES**

According to Subsection 6.04.E, *Parking Area Restrictions*, of Section 6, *North Goliad Corridor Overlay (NGC OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), "...any surface parking shall be provided in well-screened parking lots at the rear or behind the main façade of the building..." Additionally, new buildings or alterations shall be compatible with the adjoining area. In this case, the applicant is locating the parking lot to the rear and north side of the property (*i.e. behind the front façade*), which conforms to the NGC OV district standards. Additionally, since the applicant will install a minimum six (6) foot tall *board-on-board* fence, the request appears to be in conformance with the overlay district's requirements with regard to parking lot screening. Since, the structure is being converted from a residential land use to a commercial land use, modifications to

the site will be required. In this case, the applicant has provided a full scope of work detailing all changes to the site.

## **INFRASTRUCTURE**

Planned Development District 50 (PD-50) requires a cross access easement on all adjoining properties when the use has changed from a residential land use to a non-residential land use. An access plan for PD-50 is also included in the OURHometown Vision 2040 Comprehensive Plan under Appendix 'A', *Small Area Plans*. The subject property will be incorporating a 24-foot wide drive aisle and connecting to the cross access easement on the adjacent property to the north (*i.e.* 507 N. Goliad Street). This will provide ingress/egress for both properties, while meeting the intent of the access plan contained in the Comprehensive Plan.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan adopted with the OurHometown Vision 2040 Comprehensive Plan, the subject property is located in the Downtown District and is designated for Live/Work land uses. The Downtown District is considered to be the cultural heart of the community and embodies the small-town atmosphere that is characteristic of the City of Rockwall. Contained in the Downtown District is the North Goliad Corridor, which is a unique live/work corridor that offers residential units, offices, event venues, and boutiques. The intent of the North Goliad Corridor is not only to protect and preserve the historic architecture and significance within the district, but to also ensure that infill development does not negatively impact the surrounding properties or the district. In this case, the applicant's request appears to be in conformance with the Future Land Use Plan. Specifically, the proposed office building is an existing single-family home and the applicant is not proposing to make any structural changes to the exterior of the building when the home is converted to an office building.

## **ARCHITECTURAL REVIEW BOARD (ARB):**

The Architectural Review Board (ARB) will review the building elevations at the June 25, 2019 meeting, and will provide a recommendation to the Planning and Zoning Commission.

## **HISTORIC PRESERVATION ADVISORY BOARD (HPAB):**

On June 20, 2019, the Historic Preservation Advisory Board (HPAB) reviewed the applicant's request and passed a motion to approve a Certificate of Appropriateness (COA) by a vote of 4-0 with Board Members Daniels, Mischler, and Bowlin absent.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's site plan request, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed;
- (2) Submittal and approval of civil engineering plans and plat are required prior to the approval of a Certificate of Occupancy (CO);
- (3) Adherence to the operational conditions established in the Specific Use Permit (SUP) are required for continued operation; and,
- (4) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2019-015	<b>Owner</b> STAINED, GLASS CREATIONS INC	<b>Applied</b> 5/16/2019	<b>LM</b>
<b>Project Name</b> 505 N. Goliad Street	<b>Applicant</b> LAM CONSULTING ENGINEERING	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b>		<b>Expired</b>	
<b>Status</b> P&Z HEARING		<b>Status</b> 6/18/2019	<b>DG</b>

<b>Site Address</b> 505 N GOLIAD ST	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
--	--	---------------

<b>Subdivision</b> ARTVENTURES STUDIO ADDN	<b>Tract</b>	<b>Block</b> 20B	<b>Lot No</b>	<b>Parcel No</b> 3050-020B-0023-00-OR	<b>General Plan</b>
---	--------------	---------------------	---------------	--	---------------------

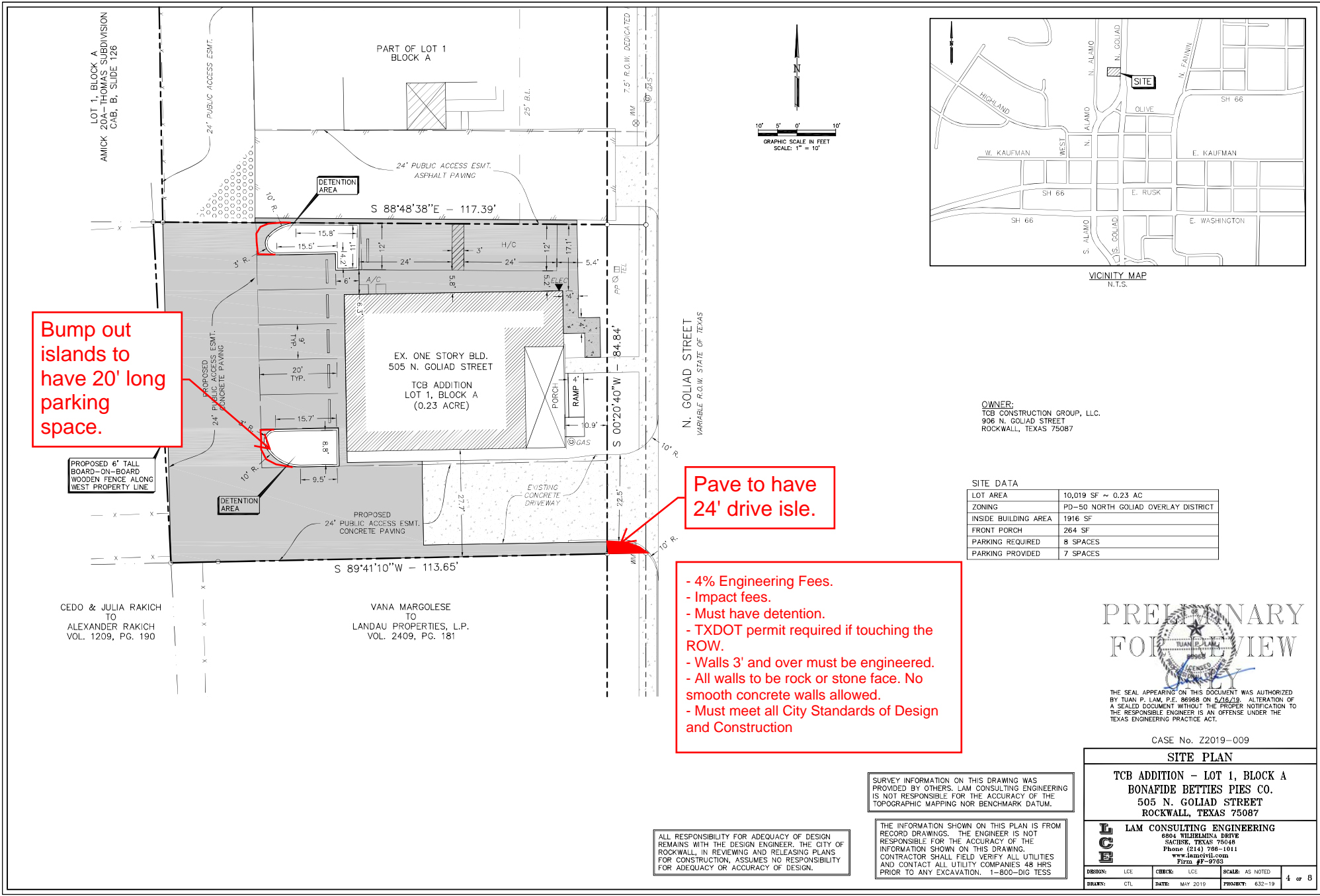
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/16/2019	5/23/2019				
ENGINEERING (5/24/2019 11:26 AM SH) - Bump out islands to have 20' long parking space. - Pave to have 24' drive isle.  The following if for your information for engineering design. - 4% Engineering Fees. - Impact fees. - Must have detention. - TXDOT permit required if touching the ROW. - Walls 3' and over must be engineered. - All walls to be rock or stone face. No smooth concrete walls allowed. - Must meet all City Standards of Design and Construction	Sarah Hager	5/16/2019	5/23/2019	5/24/2019	8	COMMENTS	
FIRE	Ariana Hargrove	5/16/2019	5/23/2019	5/23/2019	7	APPROVED	
GIS	Lance Singleton	5/16/2019	5/23/2019	5/22/2019	6	APPROVED	
PLANNING	David Gonzales	6/18/2019	6/25/2019	6/18/2019		COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>PLANNING AND ZONING 2nd ROUND COMMENTS (06.18.2019):</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>** Planning Department General Comments &amp; Requirements:</p> <ol style="list-style-type: none"> <li>1. Adherence to the SUP Requirements, standards of the Unified Development Code(UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required</li> <li>2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy(CO).</li> <li>3. Submittal and approval of a Certificate of Appropriateness(COA) by the Historic Preservation Advisory Board (HPAB) for the site plan, and any exterior changes requiring approval of a COA.</li> </ol> <p>** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> <li>1. The site plan requires a recommendation forwarded to the Planning and Zoning Commission from the Historic Preservation Advisory Board(HPAB).</li> </ol> <p>Building Elevations:</p> <ol style="list-style-type: none"> <li>1. Changes to the building elevations require a recommendation from the Architectural Review Board(ARB). See scheduled meeting below.</li> </ol> <p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Architectural Review Board: June 25, 2019 (5:00 p.m.) [Consent Agenda]</p> <p>Planning - Consent Agenda: June 25, 2019 (6:00p.m.) [P&amp;Zto take action (i.e. approve, approve with conditions, deny)]</p> <p>** IF REQUIRED -- City Council - Action: Monday, July 1, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **</p>						
PLANNING	David Gonzales	5/16/2019	5/23/2019	6/18/2019	33 COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Consider a request by Chris Lam, PE of Lam Consulting Engineering on behalf of Price Pointer of TCB Construction Group, LLC for the approval of a site plan for a restaurant less than 2,000 SF without a drive-through or drive-in on a 0.23-acre parcel of land identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.</p> <p>PLANNING AND ZONING 1ST ROUND COMMENTS (06.18.2019):</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday July 2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>** Planning Department General Comments &amp; Requirements to address/acknowledge:</p> <ol style="list-style-type: none"> <li>1. Adherence to the SUP Requirements, standards of the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required</li> <li>2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of a Certificate of Occupancy (CO).</li> <li>3. Submittal and approval of a Certificate of Appropriateness (COA) by the Historic Preservation Advisory Board (HPAB) for the site plan, and any exterior changes requiring approval of a COA.</li> <li>4. Label all revised site plan documents with "Case No. SP2019-015" at the lower right corner of each plan.</li> </ol> <p>** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> <li>1. Delineate and label the minimum 25-foot front yard set-back for the Residential Office (RO) District.</li> <li>2. Label the access easements as "24-ft Firelane, Public Access, Drainage and Utility Easements (as appropriate for each).</li> <li>3. The site plan requires a recommendation forwarded to the Planning and Zoning Commission from the Historic Preservation Advisory Board (HPAB).</li> </ol> <p>Building Elevations:</p> <ol style="list-style-type: none"> <li>1. Changes to the building elevations require a recommendation from the Architectural Review Board (ARB). See scheduled meeting below.</li> </ol> <p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Architectural Review Board: June 25, 2019 (5:00 p.m.) [Consent Agenda]</p> <p>Planning - Action: June 25, 2019 (6:00 p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, deny)]</p> <p>** IF REQUIRED -- City Council - Action: Monday, July 1, 2019 (6:00 p.m.) [ONLY FOR VARIANCE AND EXCEPTION REQUESTS NOT APPROVED BY THE PLANNING AND ZONING COMMISSION] **</p>						
Police Department	David Gonzales	5/23/2019	5/30/2019	5/23/2019	COMMENTS	See comments

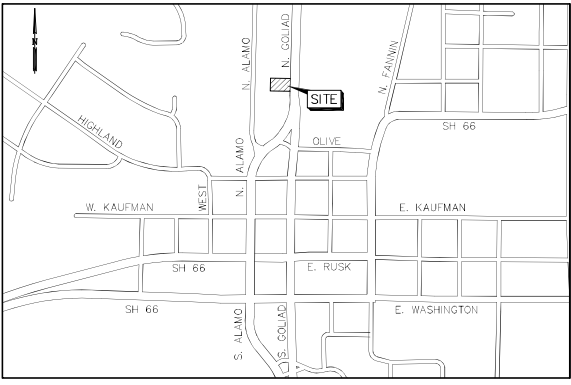
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/23/2019 5:52 PM DG)						
Comments provided by Capt. Ed Fowler - Police						
SP2019-015 - BONAFIDE BETTIES PIES CO						
Considerations:						
<ul style="list-style-type: none"> <li>Lighting placed on or in fencing area around dumpster to eliminate shadow and dark areas and prevent theft from dumpster(ID Theft, etc.)</li> <li>Place high resolution cameras on corners of building and interior.</li> <li>Equip doors with motion sensor alarms, windows with glass break alarms and interior proximity alarms.</li> <li>Consider target hardening with industrial standard or greater locking devices for all doors</li> <li>Lighting placed upon all sides of the exterior the buildings, over doors and at the rear of property (West) to illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred.</li> <li>Ensure trees and bushes are trimmed within acceptable standards(Trees Trimmed up to 7' and Bushes Trimmed Down to 3') and consider ground wash lighting to illuminate the area and provide territorial reinforcement, ownership and enhance natural lines of sight at night around the business.</li> <li>Consider appropriate lighting of parking lot to eliminate hiding places for suspect and prevent accidents</li> </ul>						



Bump out islands to have 20' long parking space.

Pave to have 24' drive isle.

- 4% Engineering Fees.
- Impact fees.
- Must have detention.
- TXDOT permit required if touching the ROW.
- Walls 3' and over must be engineered.
- All walls to be rock or stone face. No smooth concrete walls allowed.
- Must meet all City Standards of Design and Construction



VICINITY MAP  
N.T.S.

OWNER:  
TCB CONSTRUCTION GROUP, LLC.  
906 N. GOLIAD STREET  
ROCKWALL, TEXAS 75087

SITE DATA	
LOT AREA	10,019 SF ~ 0.23 AC
ZONING	PD-50 NORTH GOLIAD OVERLAY DISTRICT
INSIDE BUILDING AREA	1916 SF
FRONT PORCH	264 SF
PARKING REQUIRED	8 SPACES
PARKING PROVIDED	7 SPACES



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 96969 ON 5/18/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE No. Z2019-009

**SITE PLAN**

**TCB ADDITION - LOT 1, BLOCK A  
BONAFIDE BETTIES PIES CO.  
505 N. GOLIAD STREET  
ROCKWALL, TEXAS 75087**

**LAM CONSULTING ENGINEERING**  
6804 WILHELMINA DRIVE  
SACHS, TEXAS 75048  
Phone: (214) 786-1011  
www.lamcevl.com  
Firm #P-9783

DESIGN:	LCE	CHECK:	LCE	SCALE:	AS NOTED	4 of 8
DRAWN:	CTL	DATE:	MAY 2019	PROJECT:	632-19	

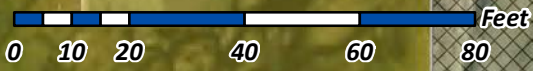
SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

CEDO & JULIA RAKICH  
TO  
ALEXANDER RAKICH  
VOL. 1209, PG. 190

VANA MARGOLESE  
TO  
LANDAU PROPERTIES, L.P.  
VOL. 2409, PG. 181



SP2019-015 - BONAFIDE BETTIES PIES CO.  
SITE PLAN - LOCATION MAP =



SF-7

PD-50

GOLIAD

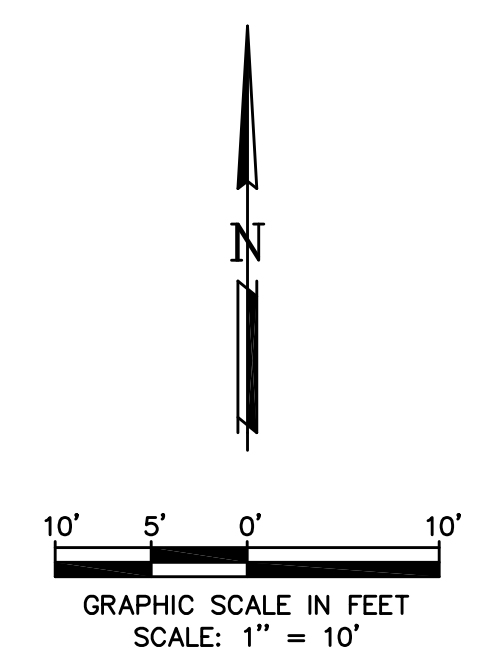
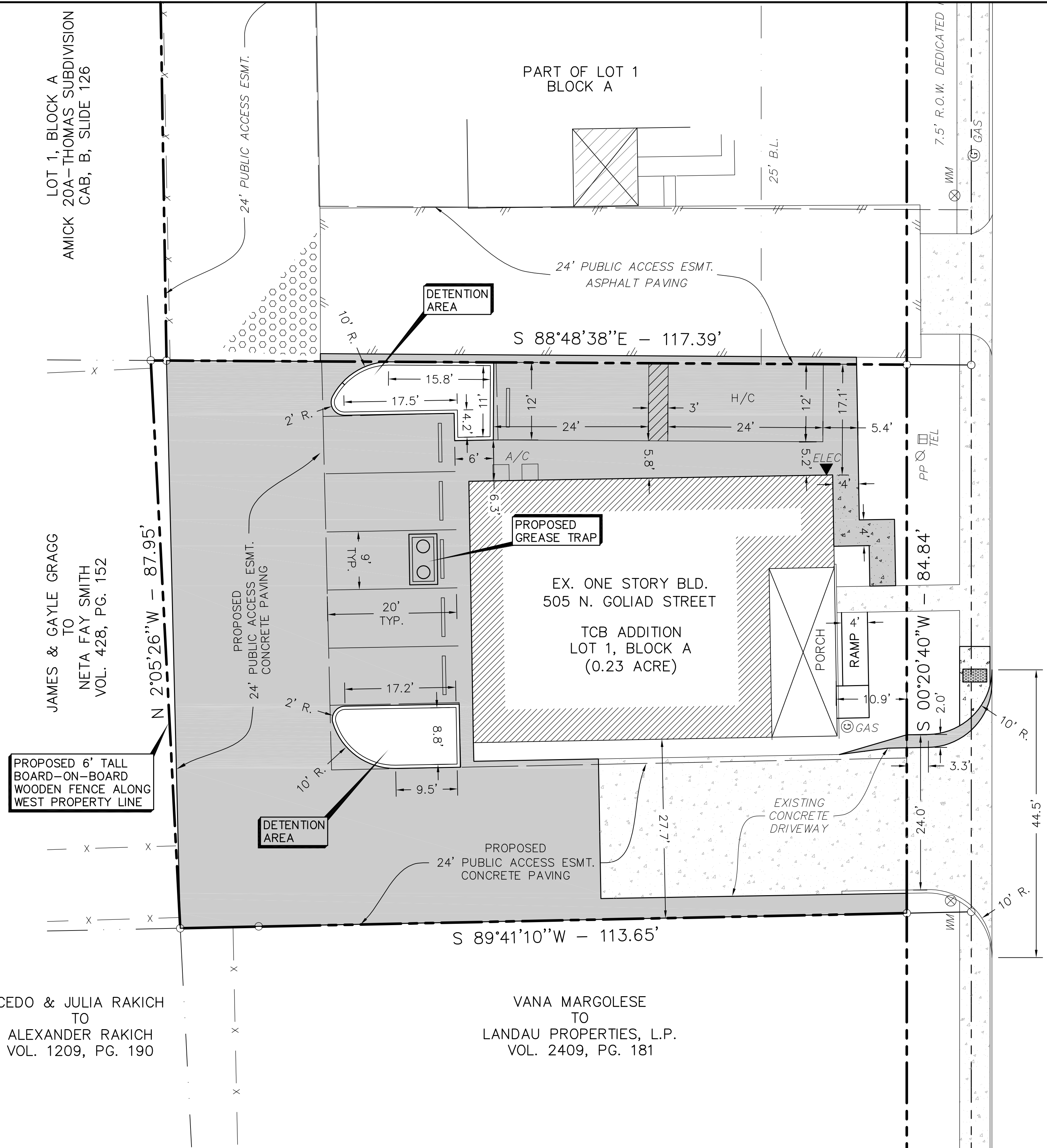


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP  
N.T.S.

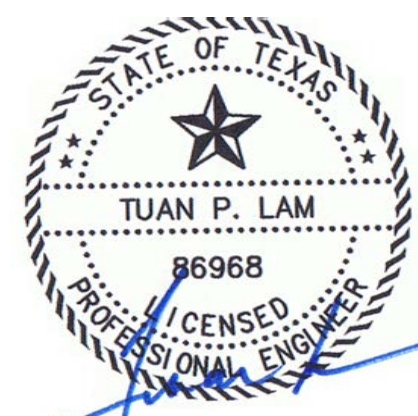
OWNER:  
TCB CONSTRUCTION GROUP, LLC.  
906 N. GOLIAD STREET  
ROCKWALL, TEXAS 75087

SITE DATA

LOT AREA	10,019 SF ~ 0.23 AC
ZONING	PD-50 NORTH GOLIAD OVERLAY DISTRICT
INSIDE BUILDING AREA	1916 SF
FRONT PORCH	264 SF
PARKING REQUIRED	8 SPACES
PARKING PROVIDED	7 SPACES

CEDO & JULIA RAKICH  
TO  
ALEXANDER RAKICH  
VOL. 1209, PG. 190

VANA MARGOLESE  
TO  
LANDAU PROPERTIES, L.P.  
VOL. 2409, PG. 181



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY TUAN P. LAM, P.E. 86968 ON 6/18/19. ALTERATION OF A SEALED DOCUMENT WITHOUT THE PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CASE No. SP2019-015

SITE PLAN

TCB ADDITION - LOT 1, BLOCK A  
BONAFIDE BETTIES PIES CO.  
505 N. GOLIAD STREET  
ROCKWALL, TEXAS 75087

**LAM CONSULTING ENGINEERING**  
6804 WILHELMINA DRIVE  
SACHSE, TEXAS 75048  
Phone (214) 766-1011  
www.lamcivil.com  
Firm #F-9763

DESIGN: LCE	CHECK: LCE	SCALE: AS NOTED	4 of 8
DRAWN: CTL	DATE: MAY 2019	PROJECT: 632-19	

SURVEY INFORMATION ON THIS DRAWING WAS PROVIDED BY OTHERS. LAM CONSULTING ENGINEERING IS NOT RESPONSIBLE FOR THE ACCURACY OF THE TOPOGRAPHIC MAPPING NOR BENCHMARK DATUM.

THE INFORMATION SHOWN ON THIS PLAN IS FROM RECORD DRAWINGS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES AND CONTACT ALL UTILITY COMPANIES 48 HRS PRIOR TO ANY EXCAVATION. 1-800-DIG TESS

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 25, 2019  
**APPLICANT:** Dub Duphrate: *Dub Duphrate & Associates*  
**CASE NUMBER:** SP2019-020; *Site Plan for 4035 N. Goliad Street*

---

### **SUMMARY**

Consider a request by Dub Douphrate & Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street, and take any action necessary.

### **BACKGROUND**

The subject property was annexed in 1983 [*Ordinance No. 83-57*], is zoned Residential Office (RO) District, is situated within the North SH-205 Overlay (M. SH-205 OV) District, and is addressed as 4035 N. Goliad Street. The home on the subject property was most recently used as a single-family home.

### **PURPOSE**

The applicant is requesting approval of a site plan for the purpose of converting a residential structure into a residential-office facility. The proposed residential-office facility is currently a single-family home and based on the applicant, the intent is to convert the structure into a residential office facility for a real estate office. Since the use is being converted from a residential to a non-residential land use, the construction of a parking lot is required. According to the applicant, no other changes will be made to the exterior of the building.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located 4035 N. Goliad Street. The land uses adjacent to the subject property are as follows:

***North:*** Directly north of the subject property is a single-family home that has been converted into a hair salon (*i.e. Big Mama's House*). Beyond this is a large vacant tract of land followed by the city limits of Rockwall. These areas are zoned Residential (R-O) Office and Agricultural (AG) Districts.

***South:*** Directly south of the subject property there is a commercial business (*i.e. ALS Plumbing*) and a single-family residential subdivision (*i.e. Harlan Park Subdivision*). These areas are zoned Residential (R-O) Office and Single-Family 10 (SF-10) Districts.

***East:*** Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a mini-warehouse facility (*i.e. Public Storage*), which delineates the city limits of Rockwall.

West: Directly west of the subject property there is a single-family residential subdivision (*i.e. Castle Ridge Subdivision*), which is zoned Single-Family 10 (SF-10) District. Following Lake Ray Hubbard, which is located in the City of Dallas.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. a residential-office facility*) is allowed by-right in a Residential (R-O) District and will not require any additional approval with regard to land use. The submitted site plan and landscape plan generally conform to the technical requirements contained within the UDC for a property located within a Residential Office (R-O) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6000 SF</i>	<i>X=13,939 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=97 Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=124=Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>X=25-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>30-Feet</i>	<i>X=30-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X=28-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>X=0.08%; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X=90%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>4-Spaces</i>	<i>X=10-Spaces; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>0%</i>	<i>X=0; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>25%</i>	<i>X=42%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>75-80%</i>	<i>X=60%; In Conformance</i>

**TREESCAPE PLAN**

This request does not require a treescape plan since there are no protected trees being removed.

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 4.2, *Residential Office (R-O) District*, of Section 5, *Commercial Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Residential Office (R-O) District is “...a zoning district intended to recognize the existence of older residential areas of the city where larger houses have been or can be converted from single-family uses to low-intensity office uses in order to extend the economic life of these structures...”. The UDC goes on the states that a Residential Office (R-O) District should have principle access to major or secondary thoroughfares and serves as a transition between high intensity, non-residential areas to lower intensity residential areas. In this case, the only exterior improvement will be the construction of the parking lot and will be located behind the existing structure and screened from the residential properties to the west. Given the proposed improvements and the fact that the residential office facility is allowed by-right in a Residential Office (RO) District, the applicant’s request appears to conform to the intent of the Residential Office (R-O) District (*i.e. an older home converted into a low-intensity office use*).

**CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OurHometown Vision 2040 Comprehensive Plan designates the subject property as being situated within the North Lakeshore District. This district is an established district that is significantly developed



with medium density housing and it is not anticipated that the district's development patterns will change drastically. Live/work arrangements in this district are intended to provide a low intensity transition from residential properties to N. Goliad Street [SH-205]. Typical live/work should be constructed to a similar residential scale as the adjacent residential properties. In this case, the applicant is proposing to convert a single-family home into a residential office facility (*i.e. live/work arrangements*). Given the zoning district (*i.e. Residential Office (R-O) District*) and the idea that the proposed residential office facility will serve as a transition from a busy roadway and the lower intensity residential land uses, the applicant's request appears to be in conformance with the district strategies of the North Lakeshore District.

**ARCHITECTURAL REVIEW BOARD (ARB):**

This request does not involve exterior improvements to the exterior of the structure.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The applicant shall plant a thick vegetative screening consisting of three (3) tier vegetation (*i.e. a combination of shrubs, tall grasses, and mature trees*) along the west property line;
- (2) The applicant shall provide an updates site plan and landscape plan reflecting the landscape screening.
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**City of Rockwall**  
**Project Plan Review History**




<b>Project Number</b> SP2019-020	<b>Owner</b> CLARK, BRUCE	<b>Applied</b> 6/6/2019	<b>LM</b>
<b>Project Name</b> 4035 N. Goliad Street	<b>Applicant</b> DUB DOUPHRATE AND ASSOCIATES	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b>		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 4035 N GOLIAD		<b>City, State Zip</b> ROCKWALL, TX 75087	
		<b>Zoning</b>	
<b>Subdivision</b> CASTLE RIDGE PH 1	<b>Tract</b> 22	<b>Block</b>	<b>Lot No</b> 22
		<b>Parcel No</b> 0187-0000-0022-00-0R	<b>General Plan</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/6/2019	6/13/2019				
ENGINEERING	Sarah Hager	6/6/2019	6/13/2019	6/21/2019	15	COMMENTS	<p>(6/21/2019 1:44 PM SH)</p> <ul style="list-style-type: none"> <li>- Drive isle to be minimum 24' wide to face of curb.</li> <li>- New driveway return can't cross property lines without adjacent property owners permission.</li> </ul> <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> <li>- Check with fire dept for fire hydrants needed no water line to property w/ capacity for FH</li> <li>- 4% Engineering</li> <li>- Impact fees for upsizing tap</li> <li>- Must have detention</li> <li>- Detention for any new impervious areas</li> <li>- Drive isle to be 24' min</li> <li>- TxDOT permit for driveway</li> <li>- Walls 3' and over must be engineered</li> <li>- All retaining walls to be rock or stone face</li> <li>- Must meet City Standards for Design and Construction</li> <li>- Need to show existing water &amp; sewer w/size and connections</li> <li>- ROW dedication for SH 205 (60' from center)</li> </ul>
FIRE	Ariana Hargrove	6/6/2019	6/13/2019				
GIS	Lance Singleton	6/6/2019	6/13/2019				

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	Korey Brooks	6/6/2019	6/13/2019	6/20/2019	14 COMMENTS	Comments
SP2019-020 Site Plan for 4035 N Goliad: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
<ol style="list-style-type: none"> <li>1. This is a request by Dub Douphrate &amp; Associates on behalf of Carla Rankin of Carla Rankin Real Estate Holdings for the approval of a site plan for an office building on a 0.29-acre tract of land identified as Tract 22 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 4035 N. Goliad Street.</li> <li>2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</li> <li>3. For reference, include the case number (SP2019-020) in the lower right hand corner of all pages on future submittals.</li> <li>4. Will any exterior lighting be added?</li> <li>5. The parking lot will need to be screened from the adjacent residential properties.</li> <li>6. Please show ADA ramp if one is being added/existing. Also, the accessible path will need to be shown.</li> <li>7. Please show centerline of N. Goliad.</li> <li>8. Please show where the ground mounted equipment will be located and show the proposed screening.</li> <li>9. Please show and label 25-foot setback adjacent to N. Goliad.</li> <li>10. Please show and label the 25-foot landscape buffer adjacent to N. Goliad and note the requirements below. Also, please do not encroach any easements with the LS buffer. <ol style="list-style-type: none"> <li>a. All landscape buffers shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway.</li> <li>b. All canopy trees, accent trees, shrubs and ground cover proposed to be planted in any overlay district shall be in conformance to the tables depicted in Appendix F, Landscaping Guidelines and Requirements, of this Unified Development Code (UDC) and shall be subject to the following sizes: a. Canopy Trees shall be a minimum of four (4) caliper inches at DBH. b. Accent Trees shall be a minimum of four (4) feet in total height. c. Deciduous Shrubs shall be a minimum of two (2) gallons in size.</li> <li>d. Evergreen Shrubs shall be a minimum of two (2) gallons in size.</li> </ol> </li> <li>11. Will cross access be provided for the adjacent RO building?</li> <li>12. Will there be a dumpster on site?</li> <li>13. Will there be any exterior modifications to the building?</li> <li>14. Can you please show the grass/groundcover as some type of stipple hatch and the concrete areas as a shade of grey?</li> <li>15. Please show all easements.</li> <li>16. Can you please show the new drive vs old drive as some type of hatch?</li> <li>17. Please check with engineering, but it appears that your driveway is too narrow. The min width is 20-feet.</li> <li>18. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2019. The Planning and Zoning Meeting is on June 25th, 2019</li> </ol>						

0 12.5 25 50 75 100 Feet

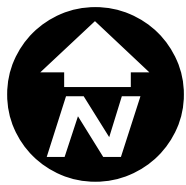
SP2019-020 - SITE PLAN FOR 4035 N. GOLIAD STREET  
SITE PLAN - LOCATION MAP = 



# City of Rockwall

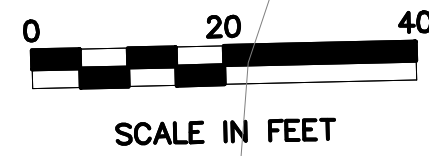
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**CURVE DATA**

CA=01°31'00"  
 R=2915.00'  
 T=38.58  
 ARC=77.16  
 CHORD= S 22°44'15" E 77.16'



**SITE DATA SUMMARY**

**ZONING**

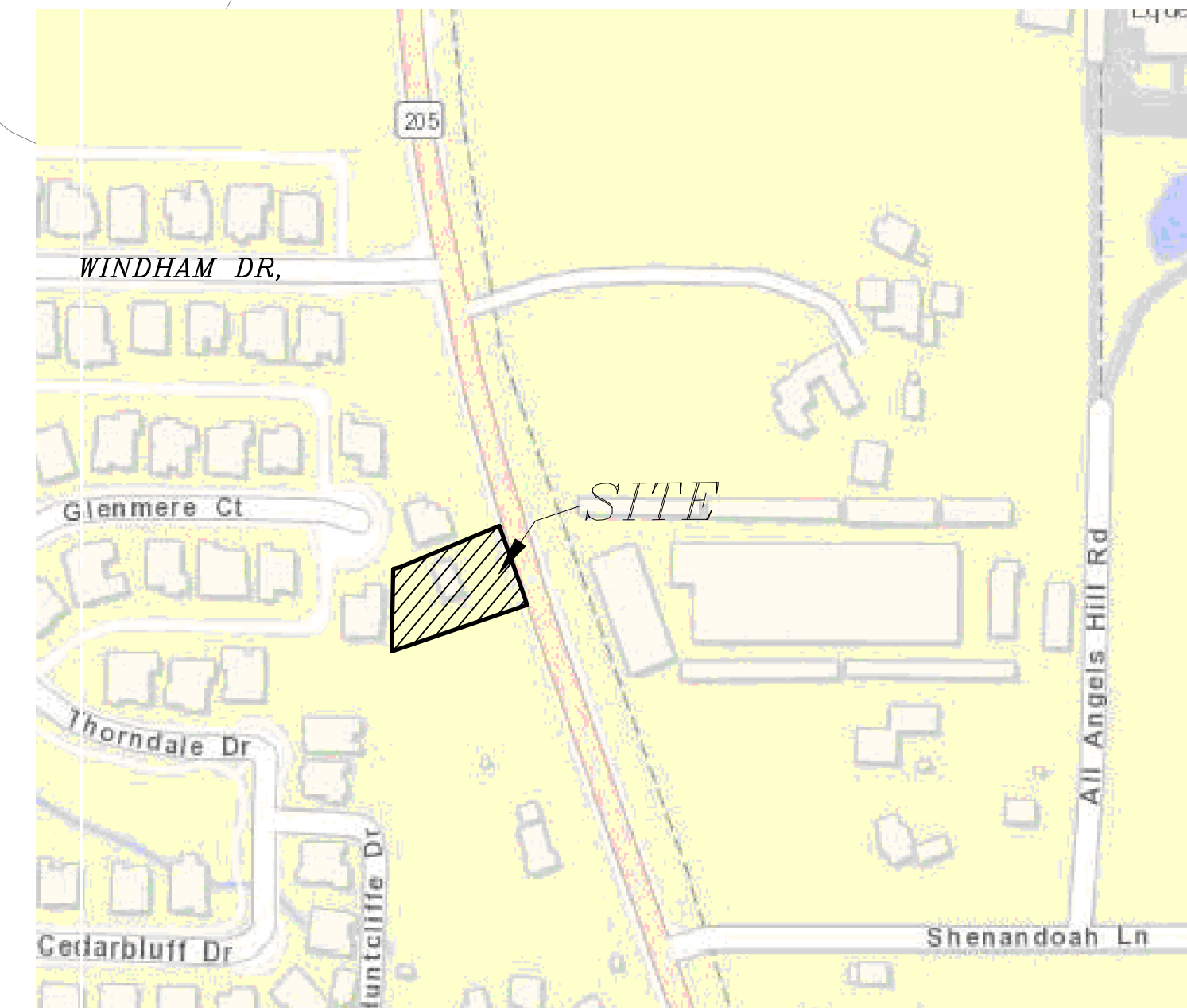
RO (RESIDENTIAL OFFICE DISTRICT)  
 ST. HWY. OVERLAY DISTRICT  
 BUSINESS OFFICE  
 0.32 ACRES  
 1,122.5 SQ. FT.  
 1,122.5 SQ. FT.  
 28 FT.  
 0.08%

PROPOSED USE  
 LOT AREA  
 BUILDING SQUARE FOOTAGE  
 BUILDING FOOTPRINT  
 BUILDING HEIGHT  
 LOT COVERAGE

PARKING REQUIRED  
 HANDICAP PARKING REQ'D  
 PARKING PROVIDED  
 HANDICAP PARKING PROVIDED  
 INTERIOR LANDSCAPING REQ'D

1 SPACE/300 S.F. = 4 SPACES  
 1 SPACE  
 10 SPACES TOTAL  
 1 SPACE  
 15% OF TOTAL SITE  
 (2,100 SQ.FT.)  
 5,879SQ. FT.  
 8,122 SQ. FT.

INTERIOR LANDSCAPING PROVIDED  
 TOTAL SQUARE FOOTAGE  
 OF IMPERVIOUS SURFACE



LOCATION MAP  
 NTS

**TAX ROLL DESCRIPTION:**  
 ABSTRACT 0187 - J. STRICKLAND SURVEY  
 TRACT 12317, ACRES 0.29

0.32 ACRES

**OWNER**

**CARLA RANKIN REAL ESTATE HOLDINGS LLC**  
 4037 North Goliad St, Suite 117  
 ROCKWALL, TEXAS 75087  
 (972) 722-0529

**SURVEYOR**

**A.J. BEDFORD GROUP INC.**  
 301 N. ALAMO ROAD  
 ROCKWALL, TEXAS 75087  
 972-722-0225  
 Firm Registration no. 10118200

**SITE NOTES:**

1. PARKING SPACES ARE 9'X20'
2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH LANDSCAPING
3. EXTERIOR LIGHTING TO BE BUILDING WALL PACKS WITH DOWN CAST ILLUMINATION
4. 4-4" CALIBER SPECIMEN LIVE OAK TREES TO BE PLANTED AS SHOWN



**DOUPHRATE & ASSOCIATES, INC.**  
 ENGINEERING • PROJECT MANAGEMENT • SURVEYING  
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087  
 PHONE: (972)771-9004 FAX: (972)771-9005

**SITE PLAN**  
**4035 N. GOLIAD STREET**  
**CITY ROCKWALL**  
**ROCKWALL COUNTY, TEXAS**

REVISION	WLD.
CHECKED	
DRAWN	G.C.W.
SCALE	1" = 20'H 1" = 4'V
DATE	MAR 28, 2019
PROJECT	14026
	10



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 25, 2019  
**APPLICANT:** Kyle Coleman Harris; *Pacheco Koch Consulting Engineers*  
**CASE NUMBER:** P2019-027; *Lot 3, Block A, Channell Subdivision Addition*

---

### SUMMARY

Consider a request by Kyle Coleman Harris of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Channell Commercial Corporation for the approval of a replat for Lot 3, Block A, Channell Subdivision Addition being a 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.

### PLAT INFORMATION

- The applicant is requesting the approval of a replat for an 18.762-acre parcel of land [i.e. *Lot 2, Block A, Channell Subdivision Addition*] for purpose of abandoning certain portions of the platted firelane & water easements. Additionally, the replat will realign the western drive aisle. The *subject property* is located within the SH-205 By-Pass Overlay (SH-205 BY OV) and is addressed as 1700 John King Boulevard.
- On June 14, 2019, Mark Pross of Pross Design Group, Inc., submitted an amended site plan [i.e. *Case NO. SP2019-021*] in conjunction with this replat for the purpose of establishing outside storage areas on the subject property and to realign the western drive aisle.
- On July 8, 2014, the Planning and Zoning Commission approved a site plan for the construction of the warehouse/manufacturing facility. On July 21, 2014, the City Council approved all associated variances, waivers, and exceptions requested by the applicant in conjunction with the site plan.
- The surveyor has completed the majority of the technical revisions requested by staff, and this plat - *conforming to the requirements for replats as stated in the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the *Municipal Code of Ordinances*.

### CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 3, Block A, Channell Subdivision Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Prior to the filing of this plat, the easements will need to be adjusted in accordance with the approved site plan (i.e. Case No. SP2019-021).
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**City of Rockwall**  
**Project Plan Review History**




<b>Project Number</b> P2019-027	<b>Owner</b> WILLCAR HOLDINGS LLC	<b>Applied</b> 6/14/2019	<b>LM</b>
<b>Project Name</b> Lot 3, Block A, Channell Subdivision	<b>Applicant</b> PACHECO KOCH CONSULTING ENGINEERS	<b>Approved</b>	
<b>Type</b> PLAT		<b>Closed</b>	
<b>Subtype</b> REPLAT		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 1700 JUSTIN RD		<b>City, State Zip</b> ROCKWALL, TX 75087	
 <b>Subdivision</b> ROCKWALL INDUSTRIAL EAST		<b>Tract</b> 2	<b>Block</b> A
	<b>Lot No</b> 2	<b>Parcel No</b> 3369-000A-0002-00-OR	<b>General Plan</b>
			<b>Zoning</b>

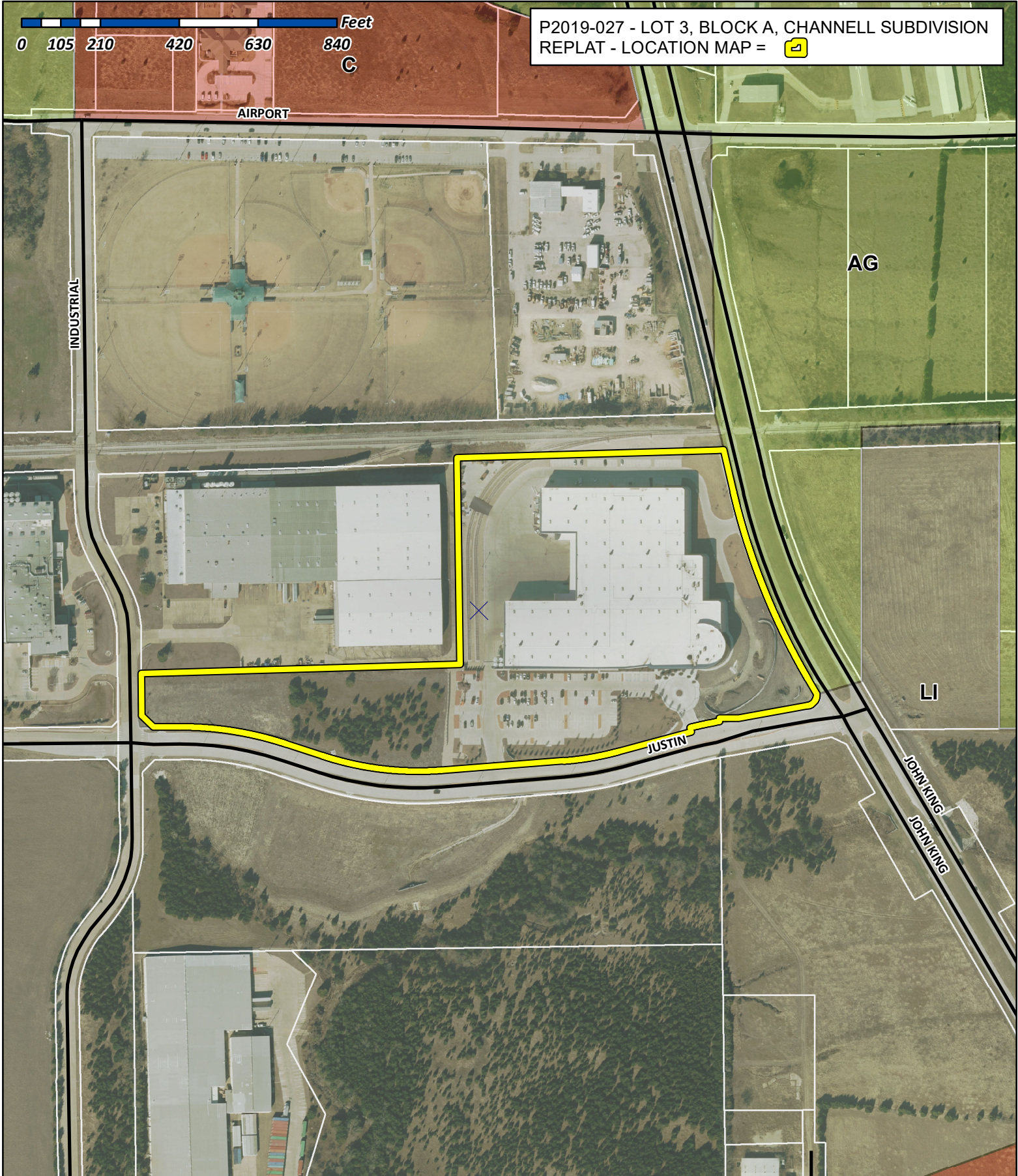
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
ENGINEERING (6/21/2019 11:02 AM SH) - Plat cannot be filed until Site Plan and Engineering are approved. - Only hatch the parts of the easements that are being abandoned. - Re-align the water line in the fire lane. - Add note 7 under the paragraph that starts, "I further acknowledge that the dedications..." 7. The property owner shall be responsible for maintenance, repair, and replacement of all drainage and detention easements.	Sarah Hager	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	
FIRE	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7	APPROVED	
GIS	Lance Singleton	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
PLANNING	David Gonzales	6/14/2019	6/21/2019	6/18/2019	4	COMMENTS	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Consider a request by Kyle Coleman Harris of Pacheco Koch Consulting Engineers on behalf of Alton Frazier of Channell Commercial Corporation for the approval of a replat for Lot 3, Block A, Channell Subdivision Addition being a 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.</p>						
<p>** Planning Department General Comments to be addressed:</p>						
<p>The following staff comments are to be addressed and resubmitted no later than Tuesday July 2, 2019. Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a final review by staff:</p>						
<p>** Planning Department General Comments to be addressed:</p>						
<ol style="list-style-type: none"> <li>1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC) and the staff comments provided by the Planning Engineering, Building Inspections, and Fire Department as indicated in this Project Plan Review document and prior to filing of the plat</li> <li>2. Provide a label indicating "Case No. P2019-027" on the lower right corner on all pages of the revised final plat</li> <li>3. Change the Title Block and Plat from Lot 2R to "Lot 3" as the City uses a sequential numbering system and not "R" for replat.</li> <li>4. Correct Title Block to read as follows:</li> </ol>						
<p>Final Plat  Lot 3, Block A, Channell Subdivision  Being a replat of Lot 2, Block A, Channell Subdivision  1 Lot , Being 18.762-Acres  And Being Out of The Nathan Butler Survey, Abstract No. 20,  The Archibald Hanna Survey, Abstract No. 99  And the David Harr Survey, Abstract No. 102,  An Addition to the City of Rockwall, Rockwall County, Texas</p>						
<ol style="list-style-type: none"> <li>5. Page 3: Notary Certificates: <ol style="list-style-type: none"> <li>a. remove if not needed for mortgage or lien holder interest</li> <li>b. not necessary when plat is stamped by surveyor.</li> </ol> </li> </ol>						
<p>** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing purposes **</p>						
<p>** This plat case will be on the Consent Agenda. It is optional for you and/or your representative(s) to be in attendance for this request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
<p>Meeting Dates Scheduled:</p>						
<p>Planning - Consent Agenda: June 25, 2019 (Tuesday at 6:00 p.m.)</p>						
<p>City Council - Consent Agenda: July 1, 2019 (Monday at 6:00 p.m.)</p>						

0 105 210 420 630 840 Feet  
C

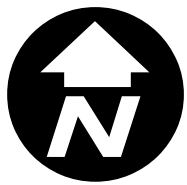
P2019-027 - LOT 3, BLOCK A, CHANNELL SUBDIVISION  
REPLAT - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

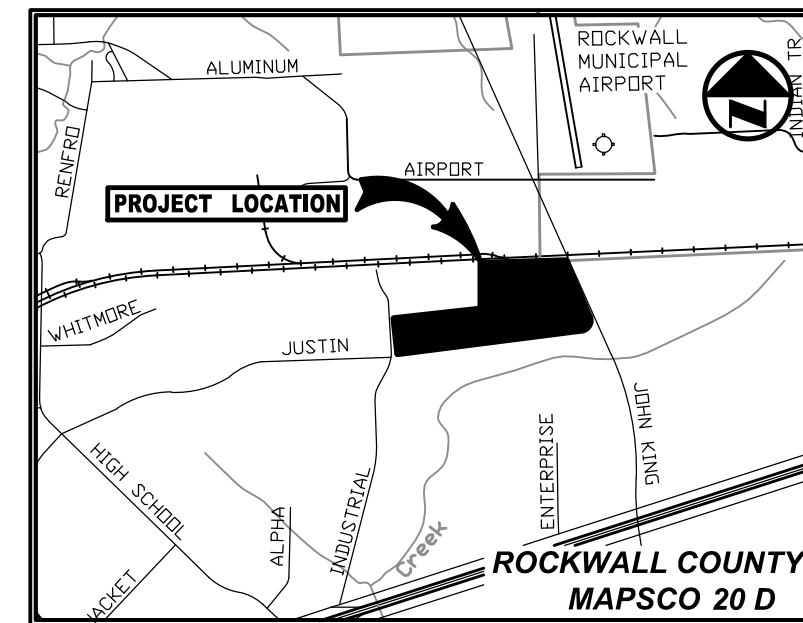
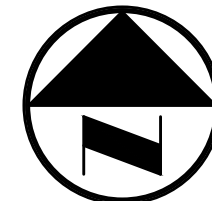


**U.P./DALLAS GARLAND N.E. RAILROAD**

(A 100-FOOT RIGHT-OF-WAY)

N 88°10'00" E 693.99'

N 88°16'13" E 16.20'



**VICINITY MAP**  
(NOT TO SCALE)

**LEGEND**

- IRF 1/2-INCH IRON ROD
- W/"WIER ASSOC INC" CAP FOUND
- CSC 1/2-INCH IRON ROD
- W/"CSC 4252" CAP FOUND
- PK-IRS 5/8-INCH IRON ROD
- W/"PACHECO KOCH" CAP SET
- (C.M.) CONTROLLING MONUMENT
- PROPERTY LINE
- - - EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - SETBACK LINE
- - - ABSTRACT LINE
- - - CENTERLINE
- /// EASEMENT ABANDONED BY THIS PLAT

SEE SHEET 1 FOR LINE AND CURVE TABLES

SHEET 1 OF 3

**REPLAT**  
**LOT 2R, BLOCK A,**  
**CHANNELL SUBDIVISION**

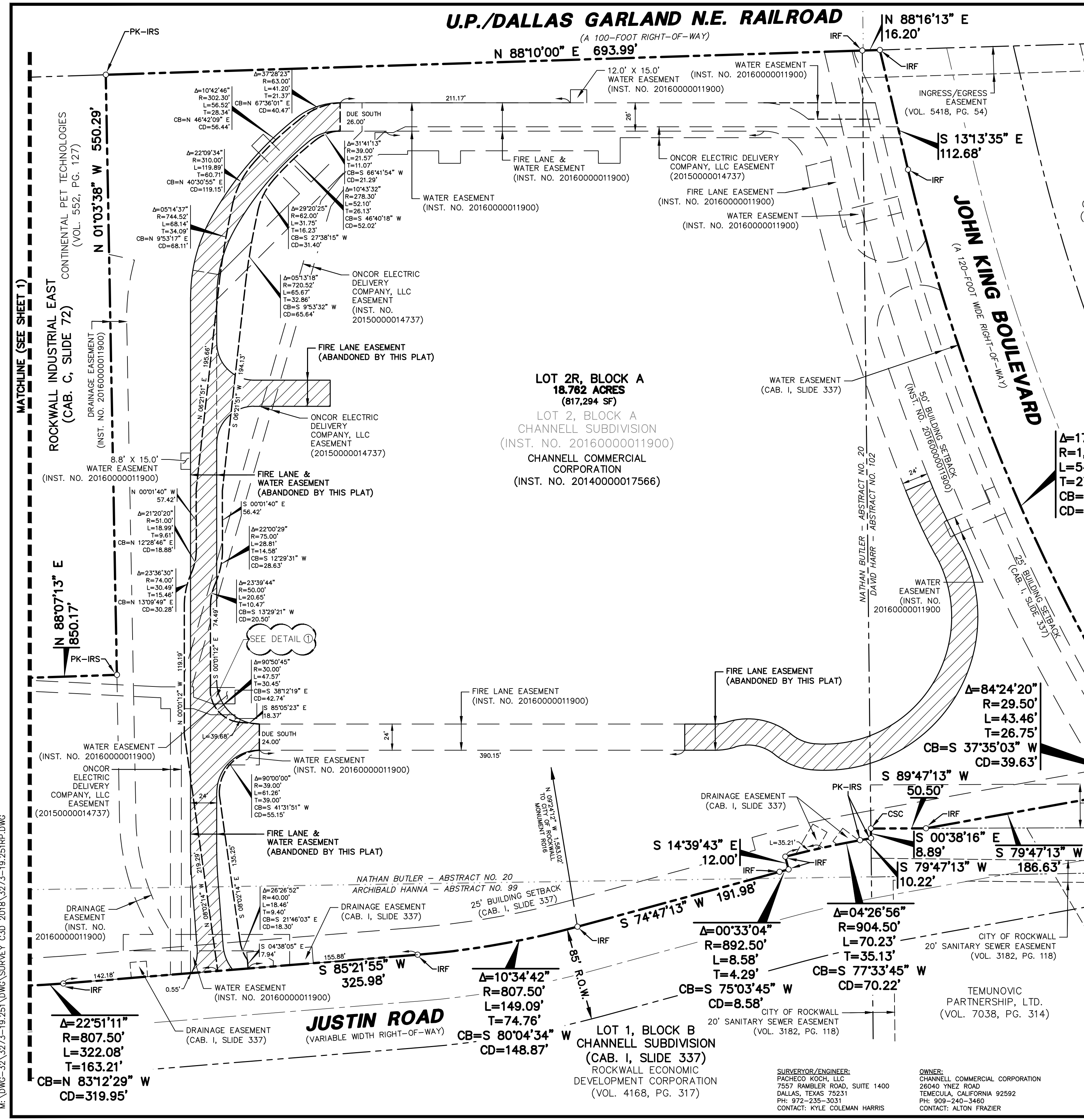
BEING A REPLAT OF LOT 2, BLOCK A,  
CHANNELL SUBDIVISION  
1 LOT, BEING 18.762 ACRES  
AND BEING OUT OF

THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,  
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99  
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CASE NUMBER:

<b>Pacheco Koch</b>		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031	
		TX REG. ENGINEERING FIRM F-14439	
		TX REG. SURVEYING FIRM LS-10193805	
<b>DRAWN BY</b>	<b>CHECKED BY</b>	<b>SCALE</b>	<b>DATE</b>
JAN	KCH	1"=60'	JUNE 2019
<b>JOB NUMBER</b>	3273-19.251		

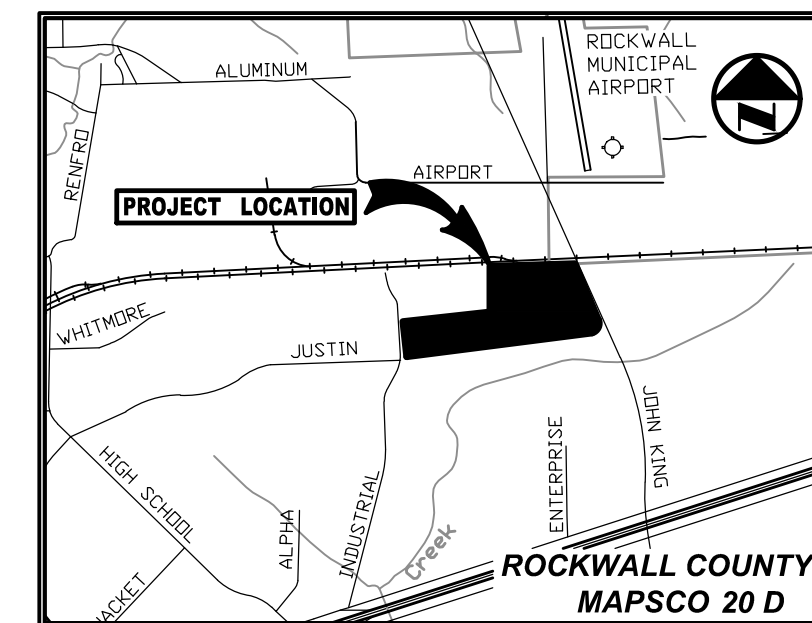
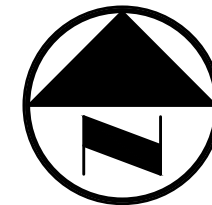
**SUPERVISOR/ENGINEER:**  
PACHECO KOCH, LLC  
7557 RAMBLER ROAD, SUITE 1400  
DALLAS, TEXAS 75231  
PH: 972-235-3031  
CONTACT: KYLE COLEMAN HARRIS

**OWNER:**  
CHANNELL COMMERCIAL CORPORATION  
26040 YNEZ ROAD  
TEMECULA, CALIFORNIA 92592  
PH: 909-240-3460  
CONTACT: ALTON FRAZIER



JNICHOLSON 06/13/2019 - 5:24PM  
M:\DWG-32\3273-19.251\DWG\SURVEY C3D 2018\3273-19.251RP.DWG

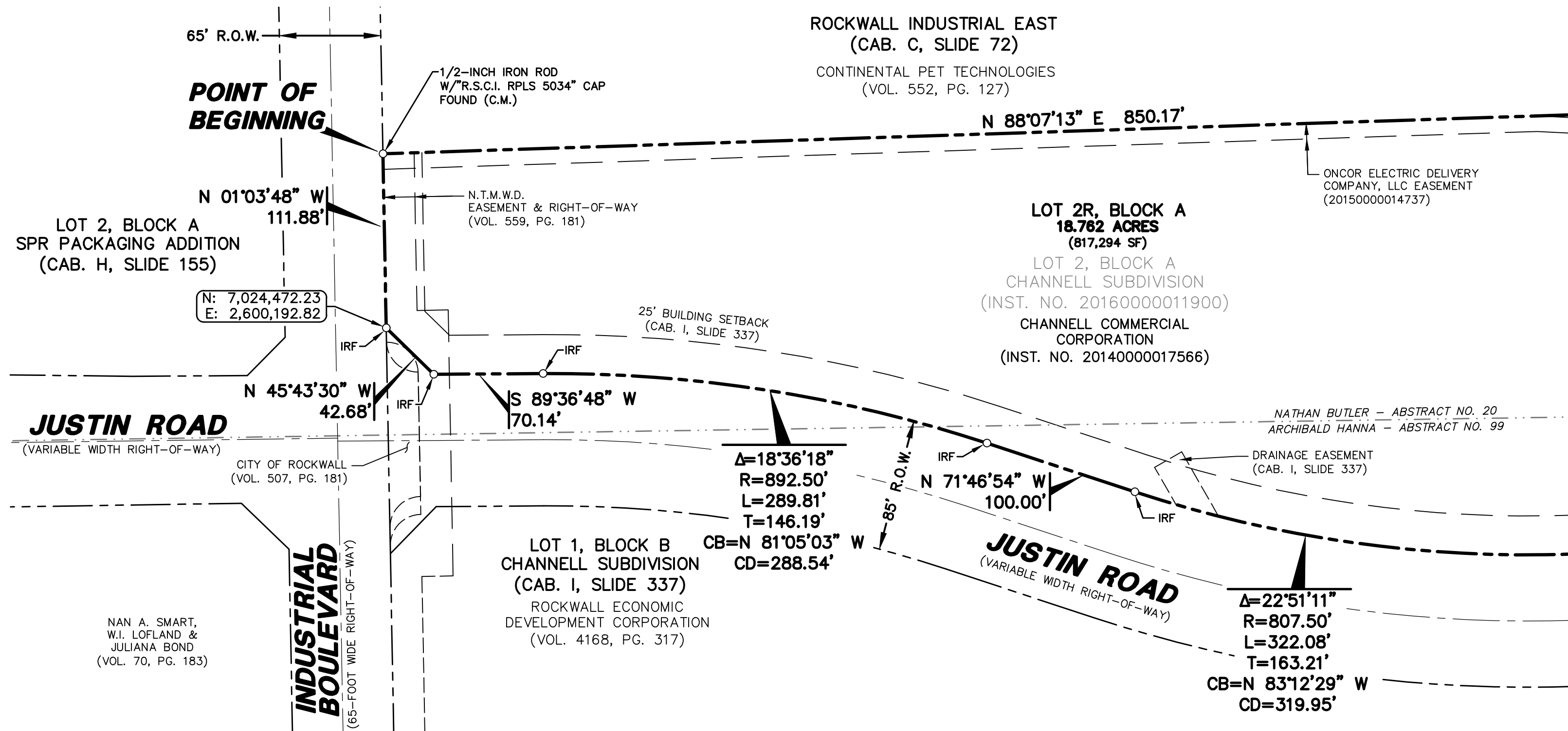
REPLAT - LOT 2R, BLOCK A, CHANNELL SUBDIVISION



VICINITY MAP  
(NOT TO SCALE)

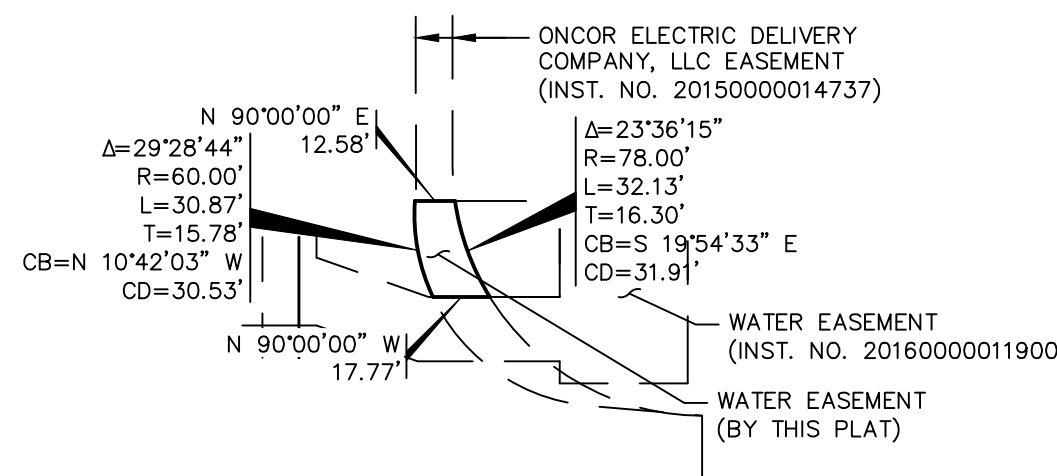
LEGEND

- IRF 1/2-INCH IRON ROD  
W/"WIER ASSOC INC" CAP FOUND
- CSC 1/2-INCH IRON ROD  
W/"CSC 4252" CAP FOUND
- PK-IRS 5/8-INCH IRON ROD  
W/"PACHECO KOCH" CAP SET
- (C.M.) CONTROLLING MONUMENT
- PROPERTY LINE
- - - EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - SETBACK LINE
- - - ABSTRACT LINE
- - - CENTERLINE
- /// EASEMENT ABANDONED  
BY THIS PLAT



MATCHLINE (SEE SHEET 2)

**1** DETAIL  
NOT TO SCALE



NOTES

- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
- Bearing system for this survey is based on the State Plane Coordinate System, Texas North Central Zone (4202), North American Datum of 1983 (2011) and correlated to the City of Rockwall Monument R016. The coordinates shown hereon are State Plane (Grid) Coordinates, no scale and no projection.

SHEET 2 OF 3

REPLAT  
**LOT 2R, BLOCK A,  
CHANNELL SUBDIVISION**

BEING A REPLAT OF LOT 2, BLOCK A,  
CHANNELL SUBDIVISION  
1 LOT, BEING 18.762 ACRES  
AND BEING OUT OF  
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,  
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99  
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CASE NUMBER:

<b>Pacheco Koch</b>		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 972.235.3031	
		TX REG. ENGINEERING FIRM F-14439	
		TX REG. SURVEYING FIRM LS-10193805	
DRAWN BY JAN	CHECKED BY KCH	SCALE 1"=60'	DATE JUNE 2019
		JOB NUMBER 3273-19.251	

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Channell Commercial Corporation, is the owner of an 18.762 acre tract of land in the City of Rockwall, Rockwall County, Texas; said tract of land being described as follows:

LEGAL DESCRIPTION

DESCRIPTION, of an 18.762 acre tract of land situated in the Nathan Butler Survey, Abstract No. 20, the Archibald Hanna Survey, Abstract No. 99, and the David Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas; said tract being all of Lot 2, Block A, Channell Subdivision, an addition to the City of Rockwall, Texas according to the plat recorded in Instrument No. 2016000011900 of the Official Public Records of Rockwall County, Texas; said tract also being all of that certain tract of land described in Special Warranty Deed to Channell Commercial Corporation recorded in Instrument No. 2014000017566 of the Official Public Records of Rockwall County, Texas; said 18.762 acre tract being more particularly described as follows:

BEGINNING, at a 1/2-inch iron rod with "R.S.C.I. RPLS 5034" cap found for corner in the east right-of-way line of Industrial Boulevard (a 65-foot wide right-of-way); said point being the westernmost northwest corner of said Lot 2 and the southwest corner of Rockwall Industrial East, an addition to the City of Rockwall, Texas according to the plat recorded in Cabinet C, Slide 72 of said Plat Records;

THENCE, North 88 degrees, 07 minutes, 13 seconds East, departing the said east line of Industrial Boulevard and along the south line of said Rockwall Industrial East, a distance of 850.17 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner; said point being the southeast corner of said Rockwall Industrial East;

THENCE, North 01 degrees, 03 minutes, 38 seconds West, along the east line of said Rockwall Industrial East, a distance of 550.29 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner in the south right-of-way line of the UP/DALLAS GARLAND N.E. RAILROAD (a 100-foot wide right-of-way); said point being the northeast corner of said Rockwall Industrial East;

THENCE, along the said south line of the UP/DALLAS GARLAND N.E. RAILROAD, the following two (2) calls:

North 88 degrees, 10 minutes, 00 seconds East, a distance of 693.99 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at an angle point;

North 88 degrees, 16 minutes, 13 seconds East, a distance of 16.20 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner in the west right-of-way line of John King Boulevard (a 120-foot wide right-of-way);

THENCE, departing the said south line of the UP/DALLAS GARLAND N.E. RAILROAD and along the said west line of John King Boulevard, the following three (3) calls:

South 13 degrees, 13 minutes, 35 seconds East, a distance of 112.68 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the beginning of a non-tangent curve to the left;

In a southeasterly direction, along said curve to the left, having a central angle of 17 degrees, 06 minutes, 33 seconds, a radius of 1,810.00 feet, a chord bearing and distance of South 21 degrees, 54 minutes, 26 seconds East, 538.48 feet, an arc distance of 540.49 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the end of said curve;

South 30 degrees, 27 minutes, 42 seconds East, a distance of 46.15 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner; said point being at the northeast end of a circular right-of-way corner clip at the intersection of the said west line of John King Boulevard and the north right-of-way line of Justin Road (a variable width right-of-way) and the beginning of a non-tangent curve to the right;

THENCE, in a southwesterly direction, departing the said west line of John King Boulevard and along said corner clip and said curve to the right, having a central angle of 84 degrees, 24 minutes, 20 seconds, a radius of 29.50 feet, a chord bearing and distance of South 37 degrees, 35 minutes, 03 seconds West, 39.63 feet, an arc distance of 43.46 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner in the said north line of Justin Road; said point being at the southwest end of said corner clip;

THENCE, departing the said corner clip and along the said north line of Justin Road, the following fourteen (14) calls:

South 79 degrees, 47 minutes, 13 seconds West, a distance of 186.63 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at an angle point;

South 89 degrees, 47 minutes, 13 seconds West, a distance of 50.50 feet to a 1/2-inch iron rod with "CSC 4252" cap found for corner;

South 00 degrees, 38 minutes, 16 seconds East, a distance of 8.89 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner;

South 79 degrees, 47 minutes, 13 seconds West, a distance of 10.22 feet to a 5/8-inch iron rod with "PACHECO KOCH" cap set for corner at the beginning of a tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 04 degrees, 26 minutes, 56 seconds, a radius of 904.50 feet, a chord bearing and distance of South 77 degrees, 33 minutes, 45 seconds West, 70.22 feet, an arc distance of 70.23 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner;

South 14 degrees, 39 minutes, 43 seconds East, a distance of 12.00 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner; said point being the beginning of a non-tangent curve to the left;

In a southwesterly direction, along said curve to the left, having a central angle of 00 degrees, 33 minutes, 04 seconds, a radius of 892.50 feet, a chord bearing and distance of South 75 degrees, 03 minutes, 45 seconds West, 8.58 feet, an arc distance of 8.58 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the end of said curve;

South 74 degrees, 47 minutes, 13 seconds West, a distance of 191.98 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 10 degrees, 34 minutes, 42 seconds, a radius of 807.50 feet, a chord bearing and distance of South 80 degrees, 04 minutes, 34 seconds West, 148.87 feet, an arc distance of 149.09 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the end of said curve;

South 85 degrees, 21 minutes, 55 seconds West, a distance of 325.98 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the beginning of a tangent curve to the right;

In a westerly direction, along said curve to the right, having a central angle of 22 degrees, 51 minutes, 11 seconds, a radius of 807.50 feet, a chord bearing and distance of North 83 degrees, 12 minutes, 29 seconds West, 319.95 feet, an arc distance of 322.08 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the end of said curve;

North 71 degrees, 46 minutes, 54 seconds West, a distance of 100.00 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the beginning of a tangent curve to the left;

In a westerly direction, along said curve to the left, having a central angle of 18 degrees, 36 minutes, 18 seconds, a radius of 892.50 feet, a chord bearing and distance of North 81 degrees, 05 minutes, 03 seconds West, 288.54 feet, an arc distance of 289.81 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found at the end of said curve;

South 89 degrees, 36 minutes, 48 seconds West, a distance of 70.14 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner; said point being at the southeast end of a right-of-way corner clip at the intersection of said north line of Justin Road with the said east line of Industrial Boulevard;

THENCE, North 45 degrees, 43 minutes, 30 seconds West, departing the said north line of Justin Road and along the said corner clip, a distance of 42.68 feet to a 1/2-inch iron rod with "WER & ASSOC INC" cap found for corner in the said east line of Industrial Boulevard; said point being at the northwest end of said corner clip;

THENCE, North 01 degrees, 03 minutes, 48 seconds West, departing the said corner clip and along the said east line of Industrial Boulevard, a distance of 111.88 feet to the POINT OF BEGINNING;

CONTAINING, 817,294 square feet or 18.762 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I, the undersigned owner of the land shown on this plat, and designated herein as the LOT 2R, BLOCK A, CHANNELL SUBDIVISION to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the LOT 2R, BLOCK A, CHANNELL SUBDIVISION have been notified and signed this plat.

I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

William H. Channell, President

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William H. Channell, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires:

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission

Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2016.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2019.

Mayor, City of Rockwall

City Secretary

City Engineer

Signature of Party with Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ Day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Kyle Coleman Harris, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.
RELEASED 6/13/19.

Kyle Coleman Harris
Registered Professional Land Surveyor
No. 6266
kharris@pkce.com

Date

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Kyle Coleman Harris, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this \_\_\_\_ Day of \_\_\_\_\_, 2019.

Notary Public in and for the State of Texas

My Commission Expires:

SHEET 3 OF 3

REPLAT
LOT 2R, BLOCK A,
CHANNELL SUBDIVISION

BEING A REPLAT OF LOT 2, BLOCK A, CHANNELL SUBDIVISION
1 LOT, BEING 18.762 ACRES
AND BEING OUT OF
THE NATHAN BUTLER SURVEY, ABSTRACT NO. 20,
THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99
AND THE DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CASE NUMBER:

Table with 5 columns: DRAWN BY (JAN), CHECKED BY (KCH), SCALE (1"=60'), DATE (JUNE 2019), JOB NUMBER (3273-19.251). Includes Pacheco Koch logo and address information.



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** June 25, 2019  
**APPLICANT:** Ahmed Helaluzzaman  
**CASE NUMBER:** SP2019-014; *Site Plan for Retail Shopping Center and House of Worship*

---

### **SUMMARY**

Discuss and consider a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 & 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740], and take any action necessary.

### **BACKGROUND**

The subject property was annexed in 1960 [*Ordinance No. 60-04*], is situated within the Scenic Overlay (SOV) District, and is zoned Commercial (C) District.

### **PURPOSE**

The applicant is requesting approval of a site plan for a retail shopping center and house of worship on a tract of land that is currently vacant.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a railroad (*i.e. Union Pacific Railroad*) followed by a single-family residential subdivision (*i.e. Turtle Cove Subdivision*), that is zoned Planned Development District 2 (PD-2) for single-family residential land uses. Beyond this is a single-family residential subdivision (*i.e. Lakeridge Subdivision*), that is zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are two office buildings followed by Turtle Cove Boulevard, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a vacant tract of land where an office building is being proposed. These areas are zoned Commercial (C) District.

East: Directly east of the subject property is a house of worship (*i.e. Great Faith Church*) followed by a vacant tract of land. Beyond this is Ridge Road [FM-740], which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this, there is a condo office park (*i.e. Lakewood Office Park Condos*) and several other office uses that are zoned Commercial (C) District.

West: West of the subject property is a railroad (*i.e. Union Pacific Railroad*) followed by a single-family residential subdivision (*i.e. Turtle Cove Subdivision*). These areas are zoned Commercial (C) District.

District and Planned Development District 2 (PD-2) for single-family detached land uses. Beyond this is Lake Ray Hubbard, which is in the City of Dallas.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Use*, of the Unified Development Code (UDC), a house of worship and retail shopping center are both permitted by-right on properties zoned Commercial (C) District and no additional approvals are necessary with regard to land use. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Commercial (C) District and situated within the N. SH-205 Overlay (N. SH-205 OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>119,184 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X=144-Feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=459-Feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X= 15-Feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=10-Feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X=10=Feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X=23-Feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=56 %; In Conformance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>X=90-95%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>48 Spaces</i>	<i>52 Spaces; In Conformance</i>
<i>Minimum Stone Requirement</i>	<i>20%</i>	<i>X=20-27%; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>15%</i>	<i>X=45%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=55%; In Conformance</i>

**TREESCAPE PLAN**

According to the treescape plan submitted by the applicant, there are 48 caliper-inches of primary protected trees and 113 caliper-inches of secondary protected trees being removed (i.e. a total of 161-caliper-inches in order to develop the site. Of the total number of trees, 125 caliper-inches require mitigation, which will be satisfied by landscaping being planted on site.

**CONFORMANCE WITH THE CITY’S CODES**

According to *Subsection 4.05 Commercial (C) District*, of Section 4, *Commercial (C) Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), the Commercial (C) District is “the proper zoning classification for most types of commercial development...” and generally consists of large shopping centers at major intersection, and commercial shopping centers along arterial roadways. Areas should not be zoned Commercial (C) District unless they are located close to an arterial or a major collector. The Unified Development Code (UDC) goes on to state that “...(s)ince the Commercial (C) District is general in nature, the development standards are less stringent and do not require as high of standards of development as the Residential Office (RO), Neighborhood Services, (NS), and the General Retail (GR) Districts. When adjacent to neighborhoods the area should have adequate buffering between the Commercial (C) District and the residential development. In this case, the proposed uses (i.e. a house of worship and a retail shopping center) are allowed by-right in a Commercial (C) District and is also located in close proximity to Ridge Road [FM-740], which is a major collector. Given the proposed use, zoning district, and its proximity to a major collector, the applicant’s request appears to conform to the development standards as stipulated in the Unified Development Code (UDC) with regard to development standards within the Commercial (C) District. The Scenic Overlay (SOV) District requires 90% primary materials and 20% natural stone. Additionally,

all structures that have a footprint of 6,000 SF or less require a pitched roof. The Scenic Overlay (SOV) District also requires four (4) sided architecture and that all rooftop mechanical equipment to be screened by an architectural feature that is integral to the building's design (e.g. a parapet wall). The building elevations submitted by the applicant appear to conform to the requirements stipulated in the Unified Development Code (UDC) with regard to exterior building materials. The proposed building will be 4,535 SF and will utilize a flat roof system. Since this does not conform to the requirements of the Unified Development Code (UDC) an exception is required. Staff should note, the Planning and Zoning Commission has approved similar requests. Additionally, although the building elevations seem to generally conform to the four (4) sided architecture requirements, the proposed building elevations show a portion of the rooftop mechanical equipment. The applicant has provided a line-of sight-study showing that the mechanical equipment will not be visible from the property line. The Unified Development Code (UDC) requires any commercial use or parking lot that has a side or rear contiguous to a residential district to be screened with a masonry fence. As an alternative, berms in conjunction with a minimum six (6) foot wrought iron fence and a combination of trees and shrubs can be utilized to meet this requirement, should the Planning and Zoning Commission determine that the proposed alternative will provide sufficient screening. In this case, the subject property is adjacent to a residential subdivision (i.e. *Turtle Cove Subdivision*) and the applicant is proposing to utilize six (6) foot tall wrought iron fence in conjunction with a combination of trees and landscaping to provide screening from the adjacent neighborhood.

### **VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT**

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of the Unified Development Code (UDC):

#### (1) Architectural Standards

- (a) Roof Design Standards. According to Section 6, *Overlay Districts*, of Article V, *District Development Standards*, of the Unified Development Code (UDC), all structures having a footprint of less than 6,000 SF shall be constructed of a pitched roof. The proposed house of worship/retail shopping center will utilize a flat roof system and since this does not conform to the requirements of the Unified Development Code (UDC), a variance is required.

This variance is a discretionary decision for the Planning and Zoning Commission and requires approval by a ¾ majority. In the event that the variance is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

The OurHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the South Lakeshore District. The South Lakeshore District is an established district that is significantly developed with medium-density, suburban housing and many of the subdivisions are not anticipated to change. Since the South Lakeshore District is nearing its buildout capacity, it is anticipated that infill development will consist of residential development that should be compatible with the surrounding neighborhoods. Commercial development is anticipated to consist of neighborhood/convenience centers that are compatible in scale with the adjacent residential properties. In this case, the proposed house of worship/retail shopping center appears to be a similar design and scale of shopping centers within the district.

### **ARCHITECTURAL REVIEW BOARD (ARB):**

On June 11, 2019, the Architectural Review Board (ARB) reviewed the proposed building elevations and passed a motion to recommend approval by a vote of 6-0 with Board Member Neill absent.



**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The developer shall plant a thick vegetative screening consisting of a combination of bushes, grasses, and/or mature trees adjacent to the northwest property line;
- (2) The applicant shall provide an updated landscape plan showing the proposed wrought-iron fence and a thick vegetative screen consisting of a combination of mature trees and shrubs.
- (3) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## City of Rockwall Project Plan Review History



<b>Project Number</b>	SP2019-014	<b>Owner</b>	PEACE & MERCY, CENTERS FOR			<b>Applied</b>	5/14/2019	LM
<b>Project Name</b>	Retail shopping/House of Worship	<b>Applicant</b>	AHMED HELALUZZAMAN			<b>Approved</b>		
<b>Type</b>	SITE PLAN					<b>Closed</b>		
<b>Subtype</b>						<b>Expired</b>		
<b>Status</b>	Staff Review					<b>Status</b>		
<b>Site Address</b>		<b>City, State Zip</b>						
600 TURTLE COVE DR		ROCKWALL, TX 75087						
<b>Subdivision</b>		<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>		
HUDSPETH		22		22	0064-0000-0022-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/14/2019	5/21/2019	5/21/2019	7	APPROVED	
ENGINEERING	Sarah Hager	5/14/2019	5/21/2019	5/24/2019	10	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/24/2019 1:31 PM SH)						
<ul style="list-style-type: none"> <li>- Must show the location of the NTMWD force main.</li> <li>- Water line to be centered in a 20' easement.</li> <li>- No structures in easements.</li> <li>- One way back drive is not allowed. If you wish to have this access, it will need to be 24' minimum.</li> <li>- Dumpster to drain to an oil/water separator and then to the storm lines.</li> <li>- Parking to be 20' x 9'.</li> <li>- 10' spacing for fire line to all other lines.</li> <li>- Hydrant to have 5' of clearance behind the curb.</li> <li>- What are these two extra wide parking spaces? or landscaping?</li> <li>- Detention needs to be in an easement and no structures are allowed in easements.</li> </ul>						
The following are for your information for engineering design.						
<ul style="list-style-type: none"> <li>- 4% Engineering Inspection Fees</li> <li>- Impact Fees</li> <li>- Drainage release into railroad right-of-way will require railroad approval</li> <li>- Detention is required</li> <li>- No utilities allowed in detention easement</li> <li>- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems</li> <li>- Minimum utility easement width is 20'</li> <li>- Label distances between driveways (measured from edge to edge)</li> <li>- All parking to be 20'x9'</li> <li>- All drive aisles to be a minimum of 24' wide</li> <li>- No structures in easements</li> <li>- Max slope is 4:1</li> <li>- Must loop an 8" water line to take fire protection, water service, and irrigation off of.</li> <li>- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.</li> <li>- Assembly use may require fire sprinkler. Check with fire department.</li> <li>- Must meet all engineering standards</li> </ul>						
(5/24/2019 1:38 PM SH)						
- Walls 3' and over must be engineered. All retaining walls must be rock or stone face. No smooth concrete walls.						
ENGINEERING	Sarah Hager	6/14/2019	6/21/2019	6/14/2019	COMMENTS	Submittal #2

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(6/14/2019 9:10 AM SH)</p> <ul style="list-style-type: none"> <li>- Must show and label the location of the NTMWD Force Main Line.</li> <li>- Must label the 15'x24' tunrrounds.</li> <li>- Label the fire lane as "24' Fire Lane, Utility, and Public Access Easement"</li> <li>- Label the 40' Water line easement as "40' Utility Easement"</li> </ul> <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> <li>- 4% Engineering Inspection Fees</li> <li>- Impact Fees</li> <li>- Drainage release into railroad right-of-way will require railroad approval</li> <li>- Detention is required</li> <li>- No utilities allowed in detention easement</li> <li>- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems</li> <li>- Minimum utility easement width is 20'</li> <li>- Label distances between driveways (measured from edge to edge)</li> <li>- All parking to be 20'x9'</li> <li>- All drive aisles to be a minimum of 24' wide</li> <li>- No structures in easements</li> <li>- Max slope is 4:1</li> <li>- Must loop an 8" water line to take fire protection, water service, and irrigation off of.</li> <li>- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.</li> <li>- Assembly use may require fire sprinkler. Check with fire department.</li> <li>- Must meet all engineering standards</li> </ul>						
ENGINEERING	Sarah Hager	6/21/2019	6/28/2019	6/21/2019	COMMENTS	Submittal #3

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(6/21/2019 2:33 PM SH) <ul style="list-style-type: none"> <li>- Chain link fence not allowed.</li> <li>- Parking island with fire hydrant must be 10' wide. Hdrant must be set back 5' from curb.</li> <li>- 18' deep parking spaces must have 2' clear overhang.</li> <li>- 40' water easement must also be sewer.</li> <li>- Parking turnaround is 15'x24' minimum.</li> <li>- Water lines to be centered in 20' easements.</li> <li>- need to show minimum 10' easement for sewer line at the front of the property.</li> <li>- Must show NTMWD Force main and easement location.</li> <li>- No trees within 10' of NTMWD force main.</li> </ul> <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> <li>- 4% Engineering Inspection Fees</li> <li>- Impact Fees</li> <li>- Drainage release into railroad right-of-way will require railroad approval</li> <li>- Detention is required</li> <li>- No utilities allowed in detention easement</li> <li>- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems</li> <li>- Minimum utility easement width is 20'</li> <li>- Label distances between driveways (measured from edge to edge)</li> <li>- All parking to be 20'x9'</li> <li>- All drive aisles to be a minimum of 24' wide</li> <li>- No structures in easements</li> <li>- Max slope is 4:1</li> <li>- Must loop an 8" water line to take fire protection, water service, and irrigation off of.</li> <li>- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.</li> <li>- Assembly use may require fire sprinkler. Check with fire department.</li> <li>- Must meet all engineering standards</li> </ul>							
FIRE (5/23/2019 1:26 PM AA) An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.	Ariana Hargrove	5/14/2019	5/21/2019	5/23/2019	9	APPROVED	see comment
GIS (5/22/2019 9:52 AM LS) Shell address will be 600 TURTLE CREEK BLVD, ROCKWALL, TX 75087 *Any suite numbers should follow a 101 103 105... seperation scheme (from South to North) to allow for future unexpected demising walls. Each suite will be confirmed at its permitting.	Lance Singleton	5/14/2019	5/21/2019	5/22/2019	8	APPROVED	See comments
PLANNING	Korey Brooks	5/14/2019	5/21/2019	5/23/2019	9	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-014 Site Plan for Retail Shopping Center and House of Worship: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
<ol style="list-style-type: none"> <li>1. This is a request by Ahmed Helaluzzaman on behalf of Abdul Latif Khan of Center for Peace and Mercy, Inc. for the approval of a site plan for a retail shopping center and house of worship on a 2.681-acre tract of land identified as Tract 10-1 &amp; 22 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located on the north side of Turtle Cove Boulevard north of the intersection of Turtle Cove Boulevard and Ridge Road [FM-740].</li> <li>2. For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.</li> <li>3. For reference, include the case number (SP2019-014) in the lower right hand corner of all pages on future submittals.</li> <li>4. Sheet No. A001—This sheet is not reviewed—For reference only. Please incorporate Legend and Contact Information on remaining drawings (if not provided).</li> <li>5. Please provide Site Data Table (named Project Data Table on the sheet) on all sheets. Please add parking data and the breakdown of worship/retail SF from Code Table. Also provide pervious vs. imperious SF and percentage. Please add lot coverage SF and %. Please add zoning district and overlay district. Please add % of required landscaping and % of provided.</li> <li>6. Sheet No. A101—This sheet doesn't seem to be necessary. The site plan on sheet C1 is the type of site plan that is needed. Please transfer site data table to remaining sheets.</li> <li>7. Sheet C-1—Please note that in overlay district the dumpster screening is 8-feet, materials matching the main structure, with self-latching opaque gate.</li> <li>8. Sheet C-1—There is a large amount of information on this sheet. Please greyscale topo and utilities.</li> <li>9. Sheet C-1—Since there is large amount of lines on this page, could the firelane change from a hatch pattern to a solid grey? Show any remaining pavement, including sidewalks as a different shade of grey.</li> <li>10. Sheet C-1—There is a reference to a “water easement by this plat” on the building footprint. Please remove along with any other plat references (e.g. the references to state plane coordinates). The plat will be taken care of at a later time.</li> <li>11. Sheet C-1—Please use varying line weights and types to provide clearer differentiation. Also provide those changes in the legend. There are several items that use the same linetype.</li> <li>12. Sheet C-1—Please show all proposed easements and extend of detention.</li> <li>13. Sheet C-1—Please greyscale information on adjacent sites (i.e. any information that is not on your lots).</li> <li>14. Sheet C-1—Please remove water meter schedule.</li> <li>15. Sheet C-1—Please note that parking is 9x20.</li> <li>16. Sheet C-1—Please revise access easements to “Public Access” instead of “Mutual”</li> <li>17. Sheet C-1—Please remove symbols for IRF/similar</li> <li>18. Sheet C-1—Please show division of worship area vs retail.</li> <li>19. Sheet C-1—The parking close to the RR and Turtle Cove is dead end and will probably need a turnaround to allow vehicles to back out of the space.</li> <li>20. Sheet C-1—No parking space shall be more than 80-feet from a canopy tree.</li> <li>21. Sheet C-1—The site plan shows three or four thick grey lines that are not labeled. Some are adjacent to the property line and one is adjacent to Turtle Cove. What are these lines? Also there are several lines in the ROW that are not labeled. Please try to label all lines.</li> <li>22. Sheet C-1—Will the two lots be combined?</li> <li>23. Sheet C-1—What are the two pie shaped “parking spaces” near the play area? They cannot be parking spaces; however, I cannot determine what is being shown.</li> <li>24. Sheet C-1—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.</li> <li>25. Sheet C-1—Please provide dimensions of all walls.</li> <li>26. Sheet C-1—Please provide dimensions from building to all property lines.</li> <li>27. Sheet C-1—Please note that the building does not meet horizontal articulation requirements as drawn and will need a variance. Please review Commercial articulation requirements.</li> </ol>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
28.	Sheet LP.01					—please dimension a typical parking space—also as noted, parking must be 9x20.
29.	Sheet LP.01					—The parking and building can be greyscaled so that the landscape plan focuses on the landscaping.
30.	Sheet LP.01					—Please note that the landscape buffer is 20-feet and the building setback is 15-feet.
31.	Sheet LP.01					—Please provide the actual footprint of the building (i.e. show any projections or recesses).
32.	Sheet LP.01					—Please provide adjacent property information as shown on C-1.
33.	Sheet LP.01					—Please darken and label property line for subject property.
34.	Sheet LP.01					—There several dashlines toward the SE of the property that are not labeled. Please label all lines, provide a variety of lineweights/types. A legend can be provided in lieu of labeling each line. As drawn, the utilities and property lines, ROW, etc. have the same line weight and type.
35.	Sheet LP.01					—There are several dark circles with a line projecting and several open circles. Please label or provide a legend.
36.	Sheet LP.01					—As on Sheet C-1, please show firelane as a shade of grey and any remaining concrete as a lighter shade of grey. Please use the stippling pattern currently being used on the firelane to show where grass will be.
37.	Sheet LP.01					—Please add site data table as mentioned above. Some of the needed information is already being provided on the sheet; however, please replace with the same data table so that all sheets have the same data table/same information.
38.	Sheet LP.01					—Please darken visibility triangles
39.	Sheet LP.01					—What are the two hatched areas at the end of the parking toward the rear of the building?
40.	Sheet LP.01					—For consistency purposes, please change title from Planting Plan to “Landscape/Treescape Plan”
41.	Sheet LP.01					—Please note that the min caliper inch for trees is 4-inches.
42.	Sheet LP.01					—Please note that headlight screening may be required along the property line adjacent to the RR.
43.	Sheet ESP					—Please removed the details of the light pole. Just show the pole from the ground up and provide height.
44.	Sheet ESP					—The Electrical Notes may not be necessary on the photometric plan; those notes seem to be needed later when the building permit is being requested. Please note that this is a “Photometric Plan” instead of an Electrical Site Plan.
45.	Sheet ESP					—Please label adjacent properties as shown on Sheet C-1.
46.	Sheet ESP					—Please remove building footprints from adjacent properties.
47.	Sheet ESP					—Please label “Future Development” phase.
48.	Sheet ESP					—Please provide a combination of lineweights and types to differentiate between the subject property and the adjacent properties. Please label property line of subject property.
49.	Sheet ESP					—please show the site (i.e. parking building, etc) as the same shade but please greyscale. In addition, please provide a larger, darker font for FC grid.
50.	Sheet ESP					—Please note, the light intensity at the property line shall be no greater that 0.2 FC. Please check photometric plan and ensure compliance.
51.	Sheet ESP					—Please note that all fixtures shall be fully shielded and pointed downward.
52.	Sheet ESP					—Please provide graphic and numeric scale, north arrow and vicinity map.
53.	Sheet ESP					—Please see above for the correct LS buffer and setback.
54.	Sheet ESP					—Please note that no light pole shall exceed 20-feet
55.	Sheet ESP					—Please provide cut sheets for fixtures.
56.	Sheet A501					—Please remove all signage.
57.	Sheet A501					—Please add cardinal direction to all elevation.
58.	Sheet A501					—Please provide height of “tower element” closest to the building material percentage on elevation 2 and the element directly below on elevation 1.
59.	Sheet A501					—Please provide site data table.60. Sheet A501—Are the tower elements flush with the façade or do they project?
61.	Sheet A501					—Please note, as shown, the building elevations will require a variance to 4-sided architecture, and vertical and horizontal articulation.
62.	Sheet A501					—Please note that all buildings shall be architecturally finished on all 4 sides with the same elements and materials.
63.	Sheet A501					—Please note that elevation 1 exceeds the max of 10% EIFS—this will require a variance.
64.	Sheet A501					—Please label the material above the window as provide type of material for awnings.
65.	Sheet A501					—Please provide elevation of dumpster enclosure.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
66. Sheet A501—Please dash-in all rooftop equipment and provide information on how it will be screened.						
67. Please label at least one set of light fixtures on each of the elevations.						
68. Sheet A501—What material is the small squares on the building elevations?						
69. Sheet A501—is the stone a natural stone?						
70. Sheet A502—Please note that the two elevations are labeled the same as the elevations on A501.						
71. Sheet A502—Please see comments from A501						
72. Sheet A502—Please note that as drawn, the rear elevation will need several variances: vertical and horizontal articulation, 4 sided architecture, 20% stone requirement.						
73. Sheet A502—There are three vertical lines drawn between the doors. What are these lines?						
74. Sheet A502—Please label the element directly on top of the brick.						
75. Sheet A502—Please note, the back of the parapets is visible. The back of the parapets will need to be finished and revised so that it is not a flat parapet (i.e. it will need to look like a “box” rather than a “panel”						
76. Sheet A502—Please provide a perspective drawing.						
77. Sheet A201—Please note that this sheet is for reference and was not reviewed or approved. That will be taken care of at time of Building Permit submission.						
78. The Architectural Review Board (ARB) meeting for this case will be held on May 28, 2019 at 5:00 p.m.						
79. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2019. The Planning and Zoning Worksession for this case will be May 28, 2019, at 6:00 p.m. The Planning and Zoning Meeting will be June 11, 2019						
PLANNING	Korey Brooks	6/14/2019	6/21/2019	6/20/2019	6 COMMENTS	Comments to Revisions.



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks	
<ol style="list-style-type: none"> <li>1. Please ensure that nothing encroaches the landscape buffer</li> <li>2. Please note, the parking for retail is 1:250</li> <li>3. Please show and label the rear setback.</li> <li>4. Please note that proposed metal fence does not meet the screening requirements and will require a special exception. Typically wrought iron with landscaping is utilized. <ol style="list-style-type: none"> <li>a. Sec. 5.6. - Screening from residential uses.</li> <li>b. A. Any commercial or industrial use or parking lot that has a side or rear contiguous to any residential district, or any multi-family use with more than five dwelling units or parking lot that has a side or rear contiguous to any single-family, townhouse, or duplex district, shall be screened with a masonry fence (tilt wall or concrete block are prohibited; however, precast walls may be approved by the planning and zoning commission), six feet in height. As an alternative, berms in conjunction with a minimum of a six-foot wrought fence and a combination of trees and shrubs can be utilized to meet the screening requirements if the planning and zoning commission determines that the proposed alternative will provide sufficient screening. The screen shall be located no closer to the street than the property line. Any ordinances concerning sight obstructions of intersections shall be applicable to the screen where it is intersected by a street or driveway. B. Prior to construction of any required screens, complete plans showing type of material, depth of beam, and structural support shall be analyzed by the building permit office to determine whether or not: 1. The screen will withstand the pressures of time and nature; 2. The screen adequately accomplishes the purpose for which it was intended; 3. Plans shall be sealed by a registered engineer or they shall conform to the city's standard design for screening walls. C. Such screen shall be constructed prior to the issuance of a certificate of occupancy for any building or portion thereof. D. The areas adjacent to the required screening wall, or areas adjacent to a public street or right-of-way, shall be maintained by the property owner in a clean and orderly condition, free of debris and trash in accordance with the applicable codes of the city.</li> </ol> </li> <li>5. Please note that it is difficult to see the grid on the photometric plan.</li> <li>6. Treescape Plan—Your treescape plan shows 4 trees being saved; however, the tree listing only shows 1 tree.</li> <li>7. Please note the requirements for the landscape buffer <ol style="list-style-type: none"> <li>a. All landscape buffers shall incorporate ground cover, a built-up berm and/or shrubbery or a combination thereof along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, two (2) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage along the Primary Roadway</li> <li>b. All canopy trees, accent trees, shrubs and ground cover proposed to be planted in any overlay district shall be in conformance to the tables depicted in Appendix F, Landscaping Guidelines and Requirements, of this Unified Development Code (UDC) and shall be subject to the following sizes: a. Canopy Trees shall be a minimum of four (4) caliper inches at DBH. b. Accent Trees shall be a minimum of four (4) feet in total height. c. Deciduous Shrubs shall be a minimum of two (2) gallons in size. d. Evergreen Shrubs shall be a minimum of two (2) gallons in size.</li> </ol> </li> <li>8. Please note, this will need to be sod instead of hydromulch.</li> <li>9. A variance to the pitched roof requirement is being requested.</li> </ol>	Police Department	Police Department	6/14/2019	6/21/2019			
	Police Department	Police Department	5/24/2019	5/31/2019	5/24/2019	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-014 - SITE PLAN FOR RETAIL/HOUSE OF WORSHIP						
Considerations:						
<ul style="list-style-type: none"> <li>• Lighting placed upon all sides of the exterior the buildings, entry ways and especially controlled access gate entrances. This should illuminate and eliminate shadows, dark areas and hiding spots. Lighting set by City Code, LEDs are preferred.</li> <li>• Place high resolution cameras on corners of building, controlled access gate entrances, door entrances into buildings and common areas inside the business.</li> <li>• If case is kept on sights, consider a safe room that contains a money safe with an hardened outward opening door with deadbolt and key control. Consider an internal distress alarm for the sale and limited access by management.</li> <li>• UL appropriate safe (Money vs. Fire)</li> <li>• Consider bollards with appropriate a at soft access points</li> <li>• Consider mirror(s) corners and enclosed areas to reveal anyone that might be present (suspect)</li> </ul>						
I'm available to speak with or make recommendations on this projects. Please do hesitate to contact me for any assistance.						

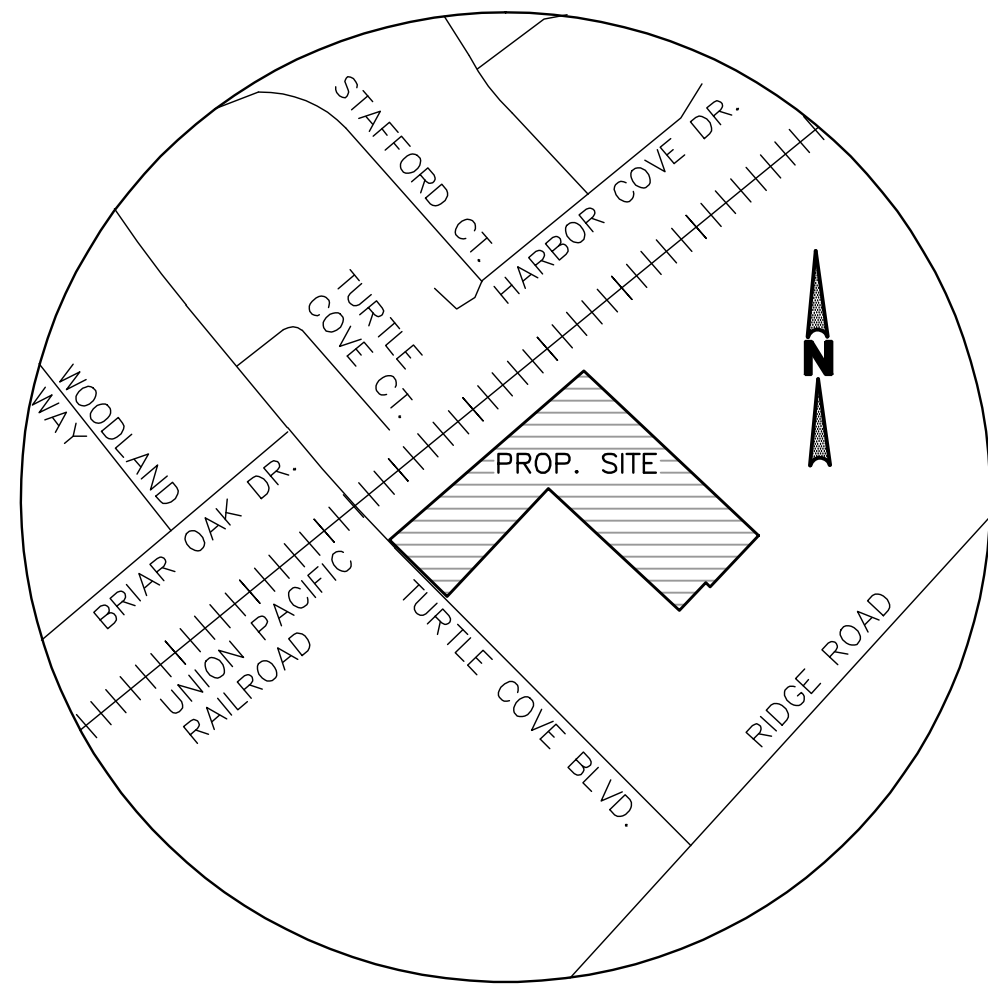
**LEGEND**

TC	EXISTING TOP OF CURB	GW	EXISTING GUY WIRE
TSW	EXISTING TOP OF SIDEWALK	W	EXISTING WATER LINE
GT	EXISTING GUTTER	SS	EXISTING SANITARY SEWER LINE
TLP	EXISTING TELEPHONE PEDESTAL	STM	EXISTING STORM SEWER LINE
BL	EXISTING BOLLARD	X	EXISTING CHAINLINK FENCE
INLET	EXISTING CURB INLET	G	EXISTING GAS LINE
PP	EXISTING POWER POLE	OHE	EXISTING OVERHEAD POWER LINE
WV	EXISTING WATER VALVE	675	EXISTING CONTOUR
LP	EXISTING LIGHT POST	P	PARKING COUNTS
GM	EXISTING GAS METER	VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
FH	EXISTING FIRE HYDRANT	FH	PROPOSED FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE		
	PROPOSED STREET LIGHT		

**DUMPSTER NOTES:**

- DUMPSTER TO BE SCREENED BY EIGHT FEET, MATERIALS MATCHING THE MAIN STRUCTURE, WITH SELF-LATCHING OPAQUE GATE.
- DUMPSTER TO DRAIN TO AN OIL/WATER SEPARATOR AND THEN TO THE STORM SYSTEM.

PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEM



**VICINITY MAP  
N.T.S**

LINE	BEARING	DISTANCE
L1	S 43°15'39" W	125.17'
L2	N 46°48'20" W	10.90'
L3	S 43°28'08" W	68.31'

Not allowed to be metal or chain link

min 10'

Fire Lane, Utility, and Public Access Easement

min 2'

Label 20' easement 10' Either side

NTMWD Force main and easement location?

Need to show min 10' sewer easement from sewer line into property

**SITE DATA TABLE**

DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C)
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LAND USE (FROM ZONING ORDINANCE)	RETAIL
LOT AREA TOTAL	2.74 AC. (119,184 SF)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	55.33%
FLOOR AREA RATIO	0.0813:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268/60 = 38
PARKING REQUIRED (WORSHIP)	150/4 = 38
PARKING REQUIRED (RETAIL)	2,268/200 = 12
TOTAL PARKING REQUIRED	38+12=50 SPACES
PARKING PROVIDED	51 SPACES INCLUDING 3 ADA
PERVIOUS AREA	24,908 SF.
IMPERVIOUS AREA	30,849 SF
LANDSCAPE AREA REQUIRED	8,364 SF (15%)
LANDSCAPE AREA PROVIDED	24,908 SF

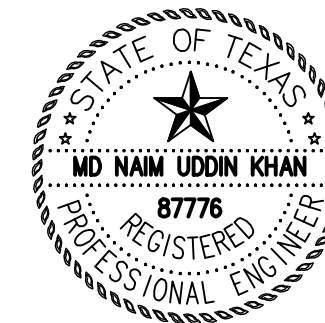
**OWNER**  
Centers for Peace & Mercy, Inc.  
Contact: Abdul Latif Khan (President)  
4152 Green Field Drive  
Richardson, TX 75082  
PH. 318-617-3491

**SURVEYOR**  
CBG SURVEYING, LLC  
Contact: Bryan Conally  
12025 Shiloh Road, Suite 230  
Dallas, Texas 75228  
PH: 214 349 9485

**CIVIL ENGINEER**  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E. CFM  
2105 Canyon Creek Dr.  
Garland, Texas 75042  
PH: 214 533 7181  
E-MAIL: naim1207@yahoo.com

**ARCHITECT**  
amazing concept  
Contact: Ahmed Helaluzzaman  
12300 Ford Road, Suite 267  
Dallas, Texas 75234  
PH. 817 808 0811  
E-MAIL: akm.hellaluzzaman@gmail.com

**LANDSCAPE ARCHITECT**  
ARODS LANDSCAPE  
Contact: Mohammad Salam  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH. 214-403-2034



*Md. Naim Uddin Khan*  
Md. Naim Uddin Khan 06-12-19  
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

**SITE PLAN  
SP 2019-014**

**Scale: 1"=30'**

CENTERS FOR PEACE & MERCY, INC.  
LOT 1, BLOK A  
E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
119,184 SF/2.74 ACRES

Date : 6/12/2019

Design : ND

Draft : ND

Checked : ND

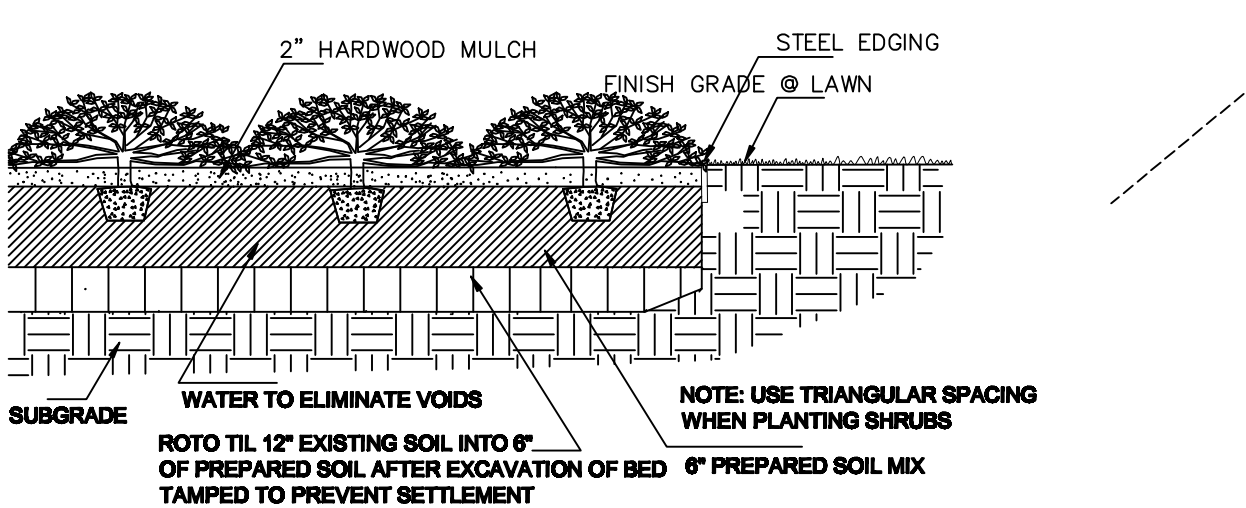
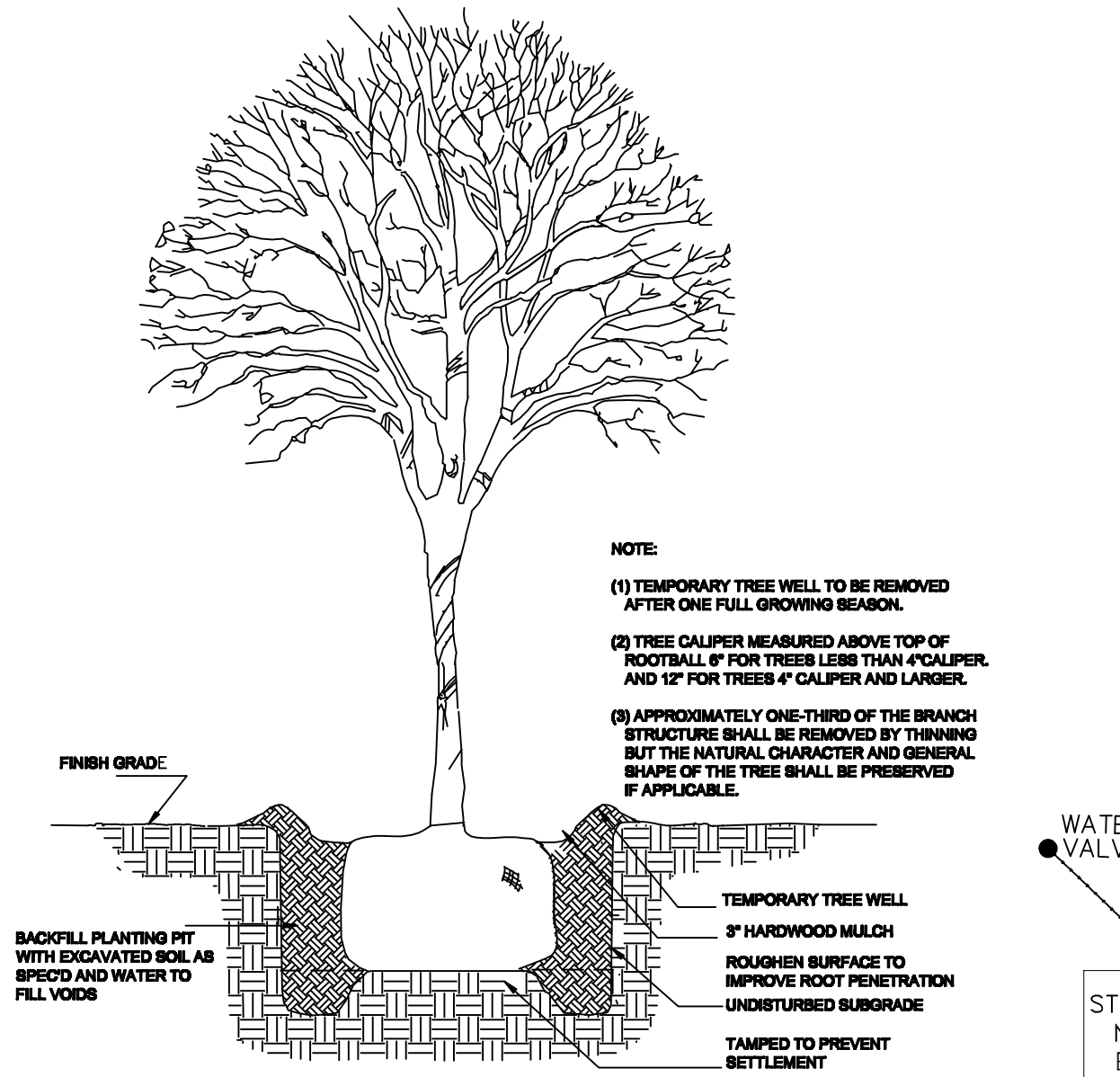
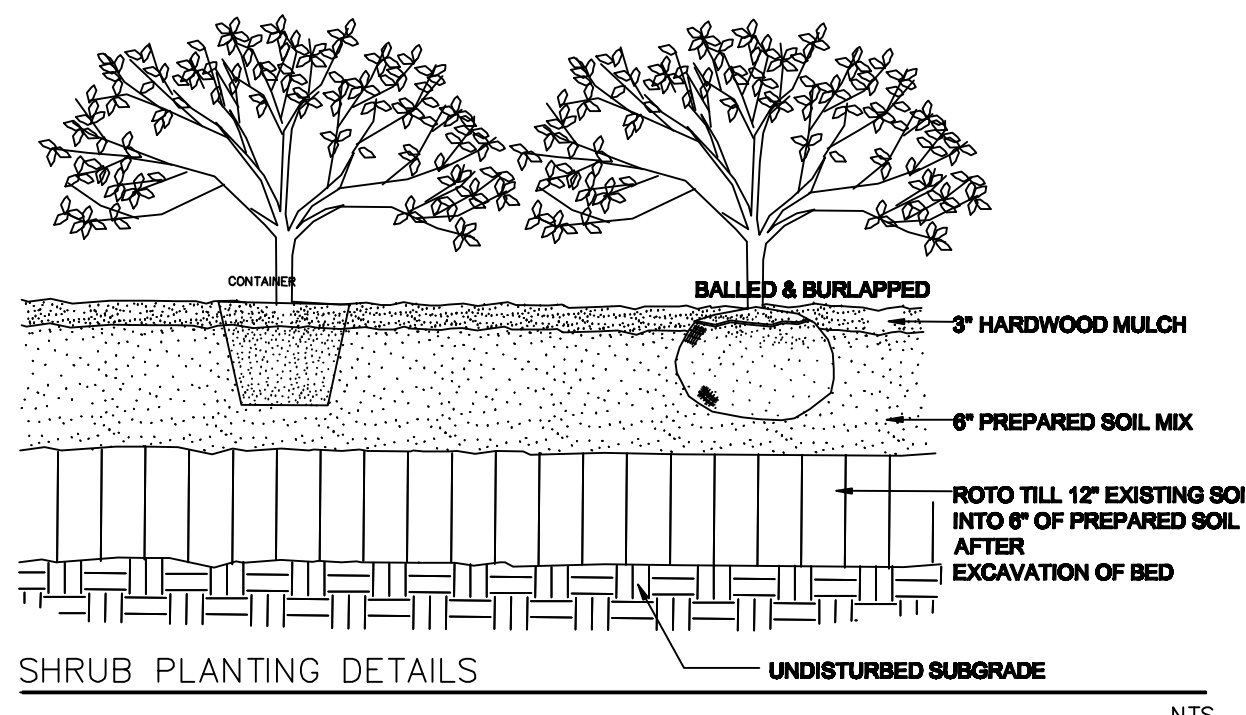
PROJECT NO :  
ROCK2019-725

**ND & Associates, LLC**  
2105 Canyon Creek Drive  
Garland, Texas 75042  
Contact: Naim Khan, P.E., CFM  
PH: (214) 533 7181  
EMAIL: naim1207@yahoo.com  
FIRM # F - 13340

**SITE PLAN**

**C-1**

- 4% Engineering Inspection Fees
- Impact Fees
- Drainage release into railroad right-of-way will require railroad approval
- Detention is required
- No utilities allowed in detention easement
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems
- Minimum utility easement width is 20'
- Label distances between driveways (measured from edge to edge)
- All parking to be 20'x9'
- All drive aisles to be a minimum of 24' wide
- No structures in easements
- Max slope is 4:1
- Must loop an 8" water line to take fire protection, water service, and irrigation off of.
- Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.
- Assembly use may require fire sprinkler. Check with fire department.
- Must meet all engineering standards



**PLANTING NOTES**

- USE 2x4 STEEL EDGING (PAINTED GREEN).
- USE 4" WOOD CHIPS OR EQUIVALENT PLANTING MIX FOR BED PREPARATION. ROTOTILL BED MIX TO THE DEPTH OF 12" MINIMUM.
- ALL THE LAWN AREAS TO BE HYDROMULCHED PERMANENTLY. GRASS SEEDS TO BE PLANTED IN THE LAWN AREAS AS NEEDED.
- TOP DRESS ALL THE PLANTING BED AREAS WITH 2" DEEP HARD WOOD MULCH AFTER PLANTING OPERATIONS.
- THE SITE WILL BE IRRIGATED WITH BELOW GRADE AUTOMATIC IRRIGATION SYSTEM WITH PRESSURE SENSOR. THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR PARTICULAR TYPE OF PLANT MATERIAL USED.

**landscape area**

SITE AREA, PHASE 1: 55,757 SF. (1,278 AC.)  
 LANDSCAPE AREA REQUIRED: 15% (8,364 SF.)  
 PROVIDED: 44.8% (24,906 SF.)  
 BLDG. AREA: 4,336 SF.  
 IMPERVIOUS AREA: 30,849 SF.  
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 50.  
 SPACES PROVIDED: 51.

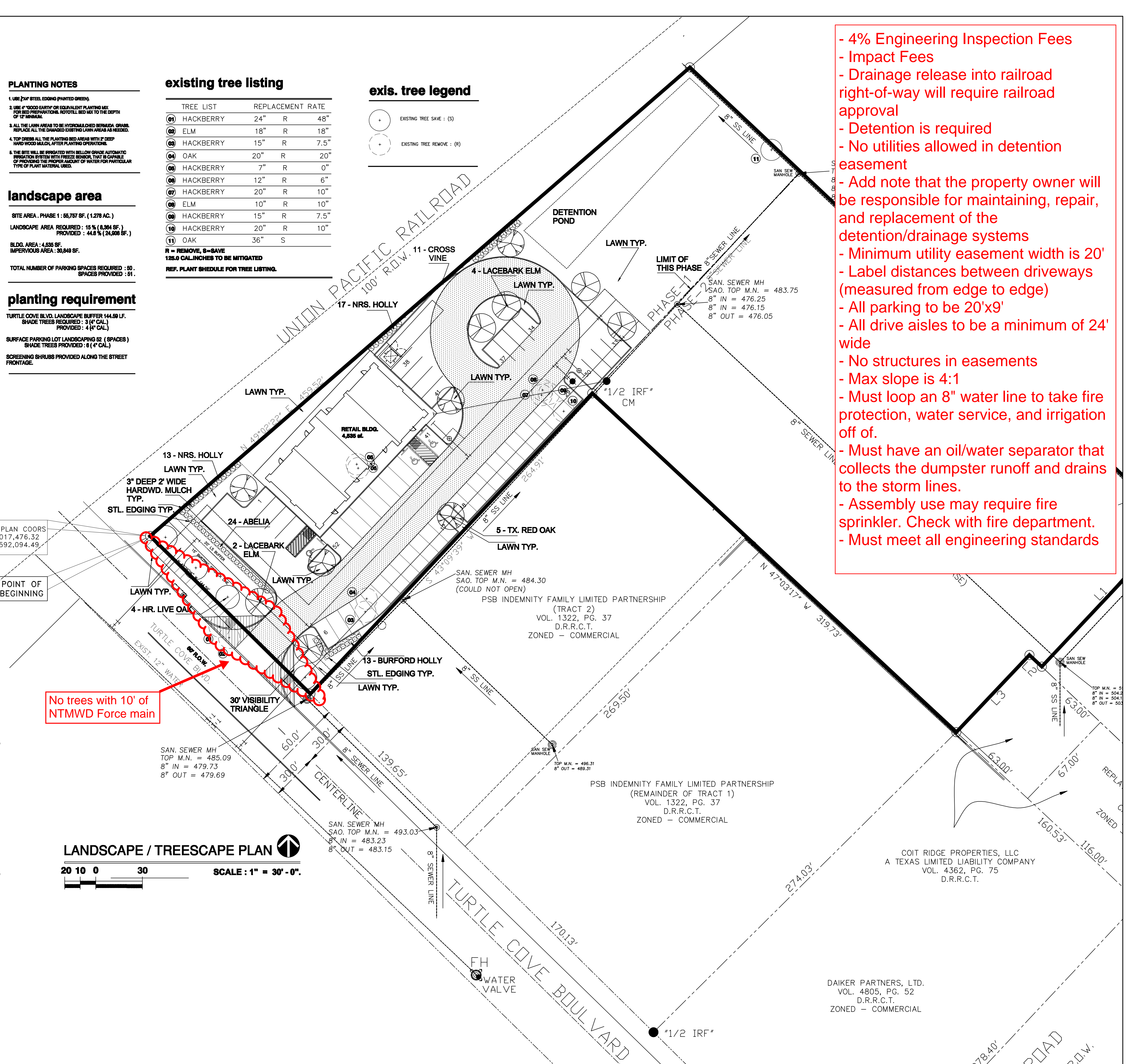
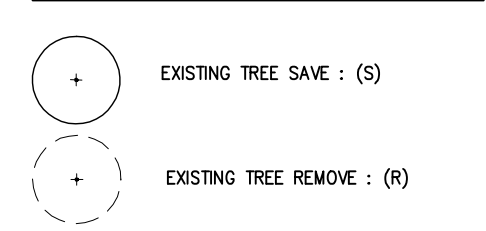
**planting requirement**

TURTLE COVE BLVD. LANDSCAPE BUFFER 144.59 LF.  
 SHADE TREES REQUIRED: 3 (4" CAL.)  
 PROVIDED: 4 (4" CAL.)  
 SURFACE PARKING LOT LANDSCAPING 82 (SPACES)  
 SHADE TREES PROVIDED: 8 (4" CAL.)  
 SCREENING SHRUBS PROVIDED ALONG THE STREET FRONTAGE.

**existing tree listing**

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24" R 48"	
02 ELM 18" R 18"	
03 HACKBERRY 15" R 7.5"	
04 OAK 20" R 20"	
05 HACKBERRY 7" R 0"	
06 HACKBERRY 12" R 6"	
07 HACKBERRY 20" R 10"	
08 ELM 10" R 10"	
09 HACKBERRY 15" R 7.5"	
10 HACKBERRY 20" R 10"	
11 OAK 36" S	

**exis. tree legend**



- 4% Engineering Inspection Fees  
 - Impact Fees  
 - Drainage release into railroad right-of-way will require railroad approval  
 - Detention is required  
 - No utilities allowed in detention easement  
 - Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems  
 - Minimum utility easement width is 20'  
 - Label distances between driveways (measured from edge to edge)  
 - All parking to be 20'x9'  
 - All drive aisles to be a minimum of 24' wide  
 - No structures in easements  
 - Max slope is 4:1  
 - Must loop an 8" water line to take fire protection, water service, and irrigation off of.  
 - Must have an oil/water separator that collects the dumpster runoff and drains to the storm lines.  
 - Assembly use may require fire sprinkler. Check with fire department.  
 - Must meet all engineering standards

**plant schedule**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
5	Texas Red Oak	Quercus shumardii "Texana"	4" Caliper 10-12' ht., 6-7" sp., straight trunk, full, matching	
6	Lacebark Elm	Ulmus parvifolia	4" Caliper 10-12' ht., 5-6" sp., full, matching	
4	Live Oak	Quercus virginiana	4" Caliper 10-12' ht., 5-6" sp., full, matching	
<b>SHRUBS &amp; VINES</b>				
30	NRS. Holly	Ilex x. Nellie R. Stevens	7 gal. full pot, well rooted, 4' O.C.	
24	Abelia	Abelia grandiflora	5 gal. 30"-34" ht., 18-24" sp., full pot, well rooted; 36" O.C.	
13	Dwf. Burford Holly	Ilex cornuta burfordi "Nana"	5 gal. 24"-28" ht., 18-24" sp., full pot, well rooted. 36" O.C.	
11	Cross Vine	Bignonia capriolata	3 gal. full pot, well rooted, staked to fence.	
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon	Hydromulched	



CONSULTANT:  
**aroids**  
 0001 Indian Hills Drive, Garland, Texas 75044  
 Telephone: 214.400.2556  
 Fax: 214.400.2556  
 Email: aroid@aroids.com

STATE OF TEXAS  
 MICHAEL A. SALVENDY  
 816  
 ARCHITECT  
 08.14.2019

OWNER:  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

PROJECT:  
 CPM MASJID ( PHASE ONE )  
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:  
 CITY COMMENTS 08.14.2019

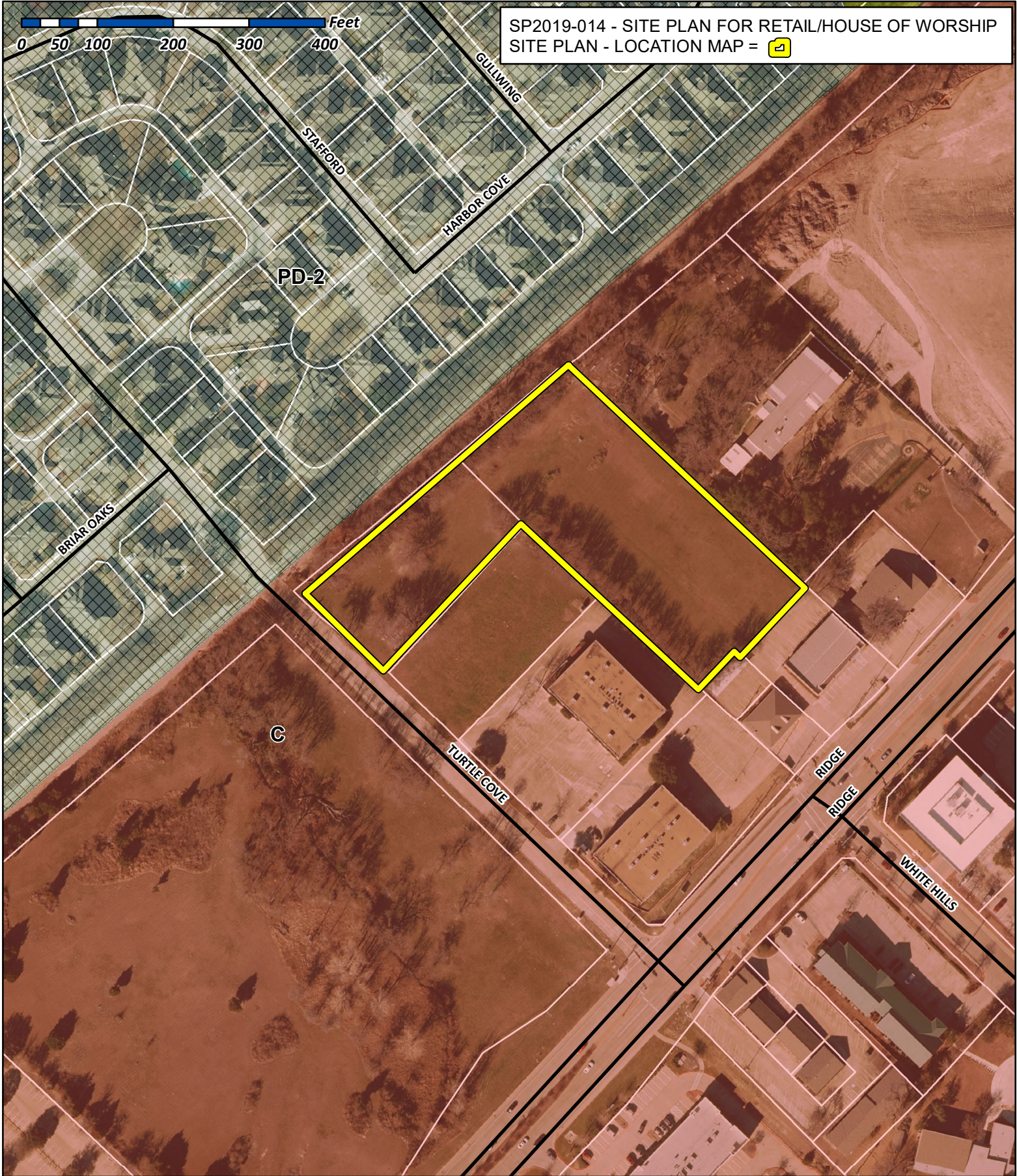
amazing concept  
 residential & commercial projects  
 545 Country Drive, Grapevine, Tx 76051  
 Tel. (817) 808 0811  
 E-mail: adm.helaluzzaman@gmail.com

SHEET TITLE:  
**LANDSCAPE PLAN**

DATE: 02.15.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN

PROJECT #  
**H-2019-02**

SHEET NO:  
**LP.01**



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

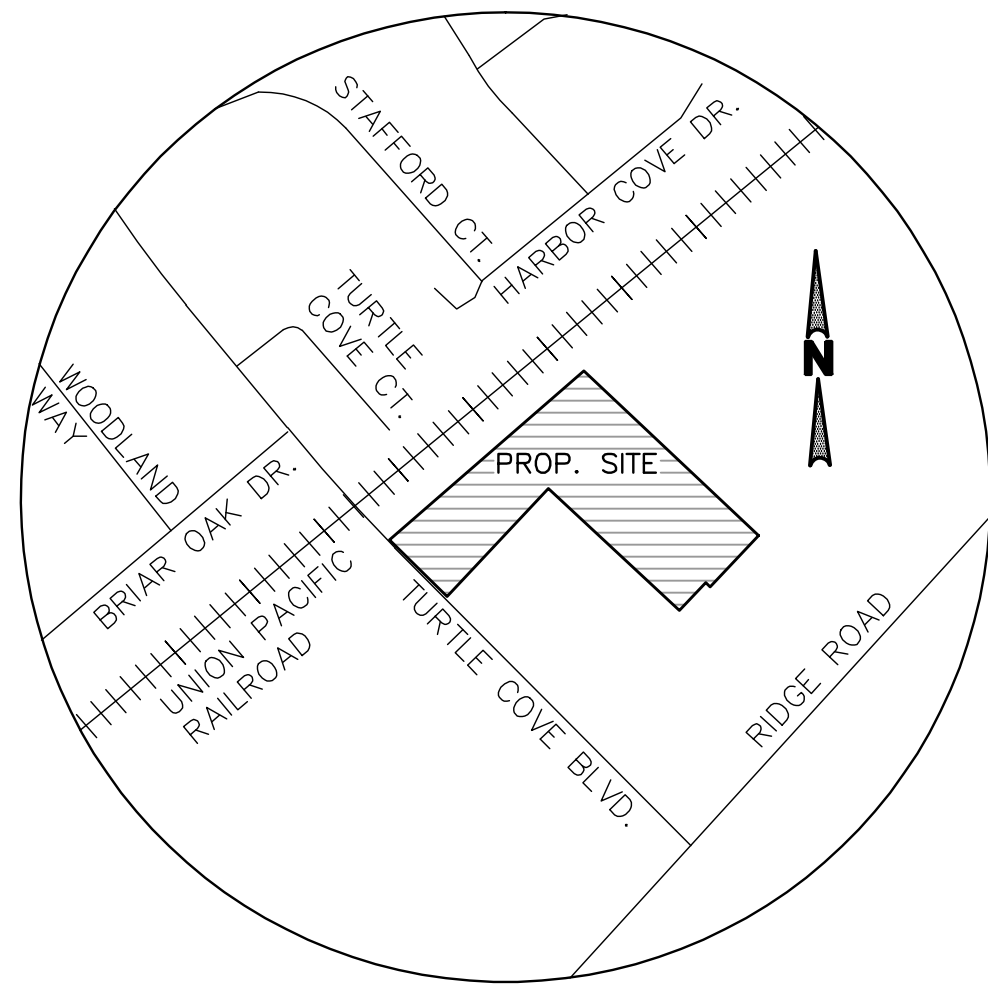


**LEGEND**

TC	EXISTING TOP OF CURB	GW	EXISTING GUY WIRE
TSW	EXISTING TOP OF SIDEWALK	W	EXISTING WATER LINE
GT	EXISTING GUTTER	SS	EXISTING SANITARY SEWER LINE
TELP	EXISTING TELEPHONE PEDESTAL	STM	EXISTING STORM WATER LINE
BL	EXISTING BOLLARD	X	EXISTING CHAINLINK FENCE
INLET	EXISTING CURB INLET	G	EXISTING GAS LINE
PP	EXISTING POWER POLE	OHE	EXISTING OVERHEAD POWER LINE
WV	EXISTING WATER VALVE	675	EXISTING CONTOUR
LP	EXISTING LIGHT POST	Ⓟ	PARKING COUNTS
GM	EXISTING GAS METER	VAM	VISIBILITY ACCESS MAINTENANCE EASEMENT
FH	EXISTING FIRE HYDRANT	● FH	PROPOSED FIRE HYDRANT
Ⓢ	EXISTING SANITARY SEWER MANHOLE		
Ⓢ	PROPOSED STREET LIGHT		

- DUMPSTER NOTES:**
- DUMPSTER TO BE SCREENED BY EIGHT FEET, MATERIALS MATCHING THE MAIN STRUCTURE, WITH SELF-LATCHING OPAQUE GATE.
  - DUMPSTER TO DRAIN TO AN OIL/WATER SEPARATOR AND THEN TO THE STORM SYSTEM.

PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTAINING, REPAIR, AND REPLACEMENT OF THE DETENTION/DRAINAGE SYSTEM

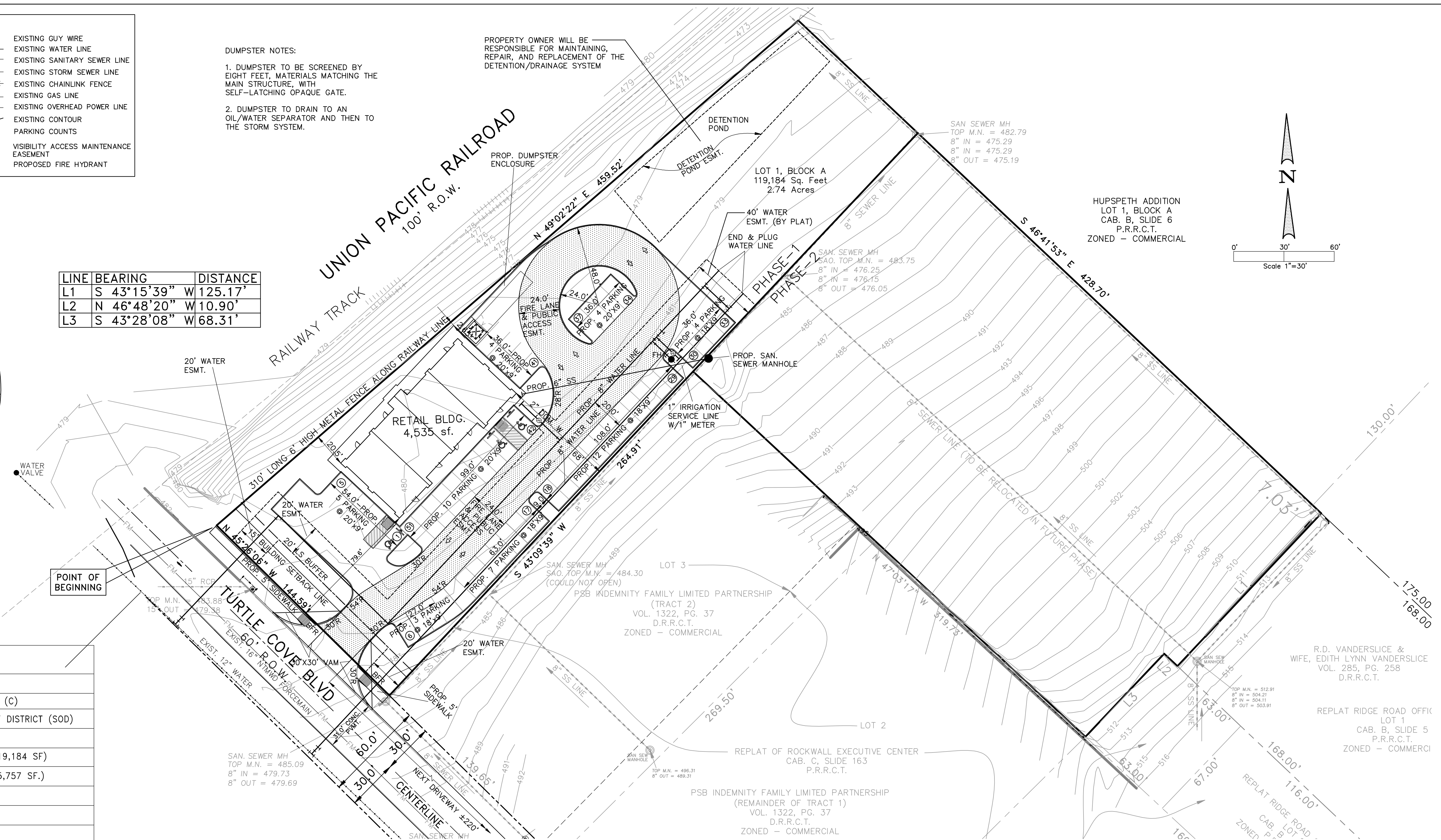


LINE BEARING	DISTANCE
L1 S 43°15'39" W	125.17'
L2 N 46°48'20" W	10.90'
L3 S 43°28'08" W	68.31'

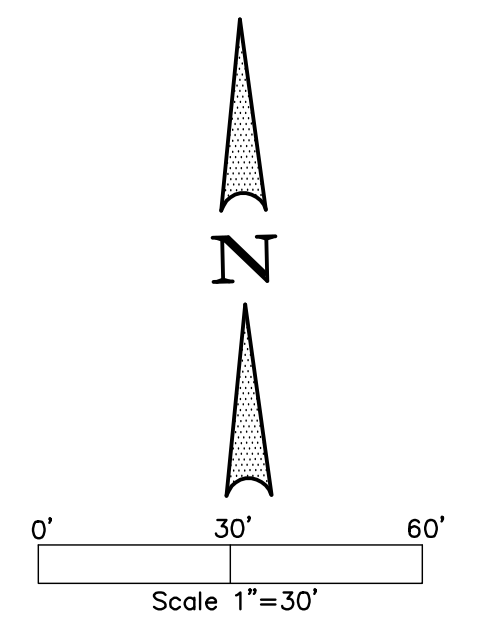
**VICINITY MAP N.T.S**

**SITE DATA TABLE**

DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C)
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LAND USE (FROM ZONING ORDINANCE)	RETAIL
LOT AREA TOTAL	2.74 AC. (119,184 SF)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	55.33%
FLOOR AREA RATIO	0.0813:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268/60 = 38
PARKING REQUIRED (WORSHIP)	150/4 = 38
PARKING REQUIRED (RETAIL)	2,268/200 = 12
TOTAL PARKING REQUIRED	38+12=50 SPACES
PARKING PROVIDED	51 SPACES INCLUDING 3 ADA
PERVIOUS AREA	24,908 SF.
IMPERVIOUS AREA	30,849 SF
LANDSCAPE AREA REQUIRED	8,364 SF (15%)
LANDSCAPE AREA PROVIDED	24,908 SF



HUPSPETH ADDITION  
LOT 1, BLOCK A  
CAB. B, SLIDE 6  
P.R.R.C.T.  
ZONED - COMMERCIAL



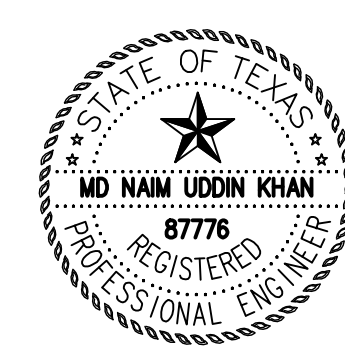
**OWNER**  
Centers for Peace & Mercy, Inc.  
Contact: Abdul Latif Khan (President)  
4152 Green Field Drive  
Richardson, TX 75082  
PH. 318-617-3491

**SURVEYOR**  
CBG SURVEYING, LLC  
Contact: Bryan Conally  
12025 Shiloh Road, Suite 230  
Dallas, Texas 75228  
PH: 214 349 9485

**CIVIL ENGINEER**  
ND & ASSOCIATES, LLC  
Contact: Naim Khan, P.E. CFM  
2105 Canyon Creek Dr.  
Garland, Texas 75042  
PH: 214 533 7181  
E-MAIL: naim1207@yahoo.com

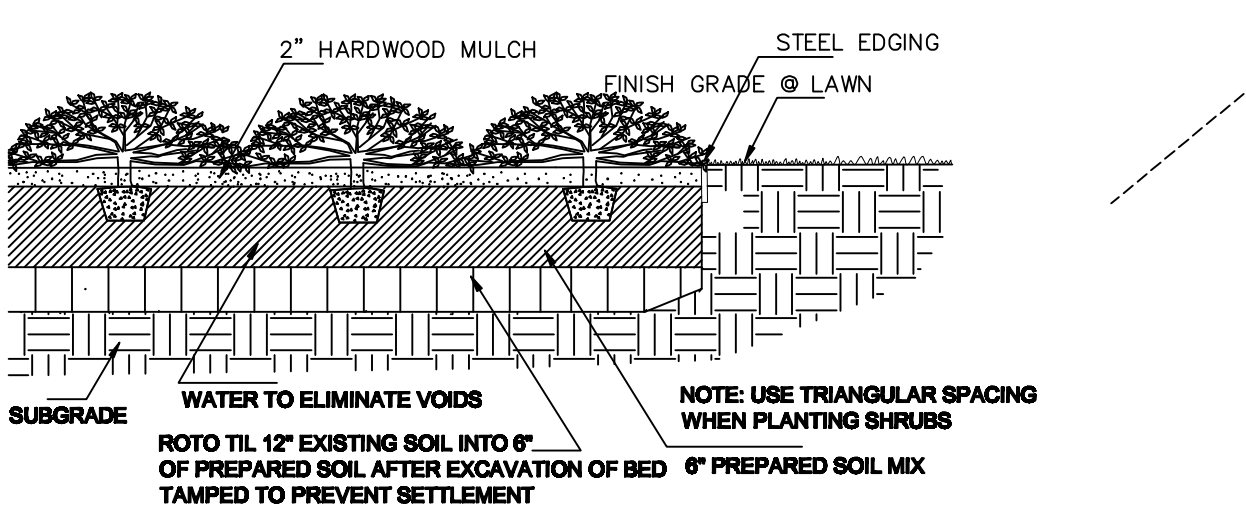
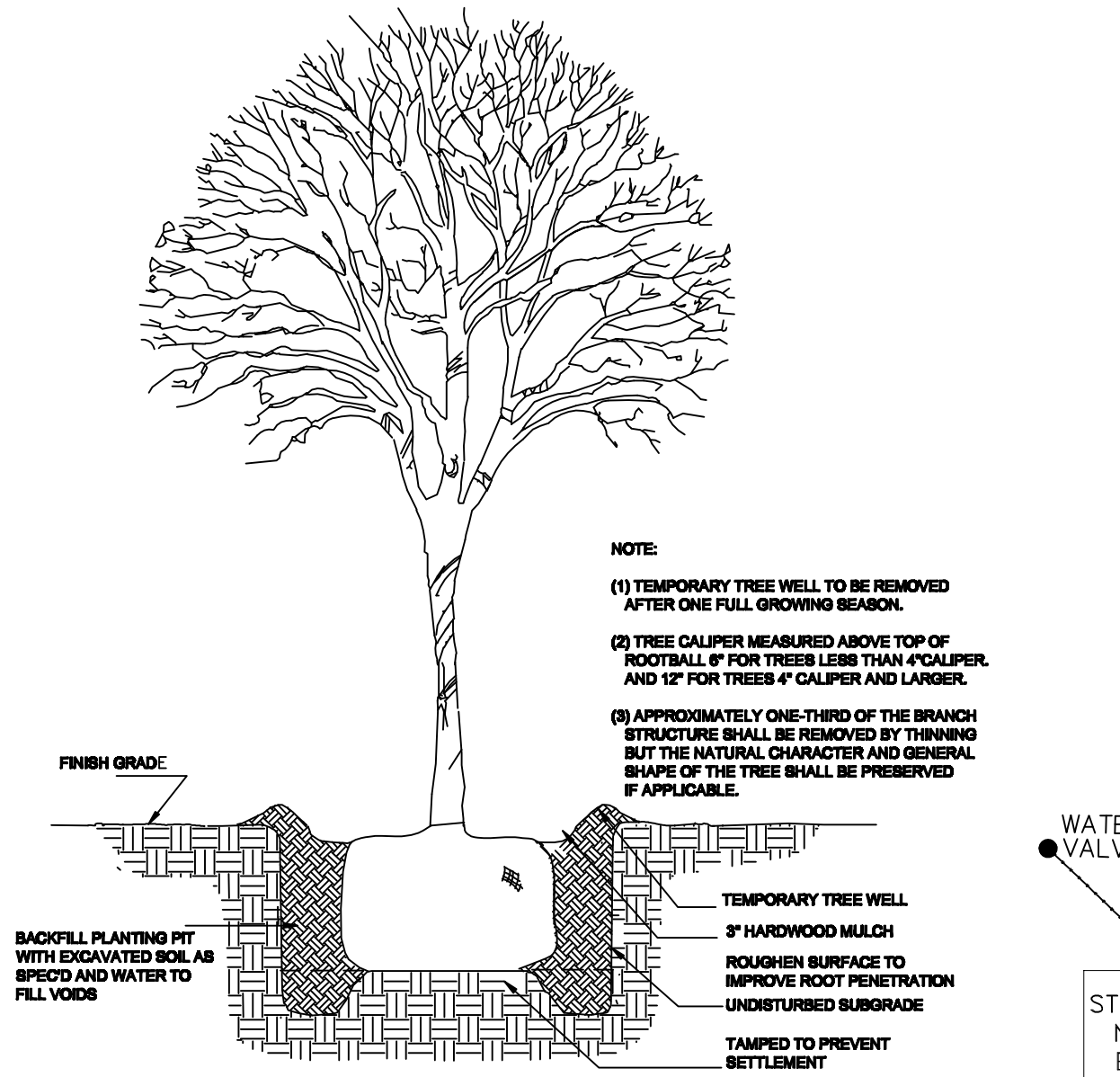
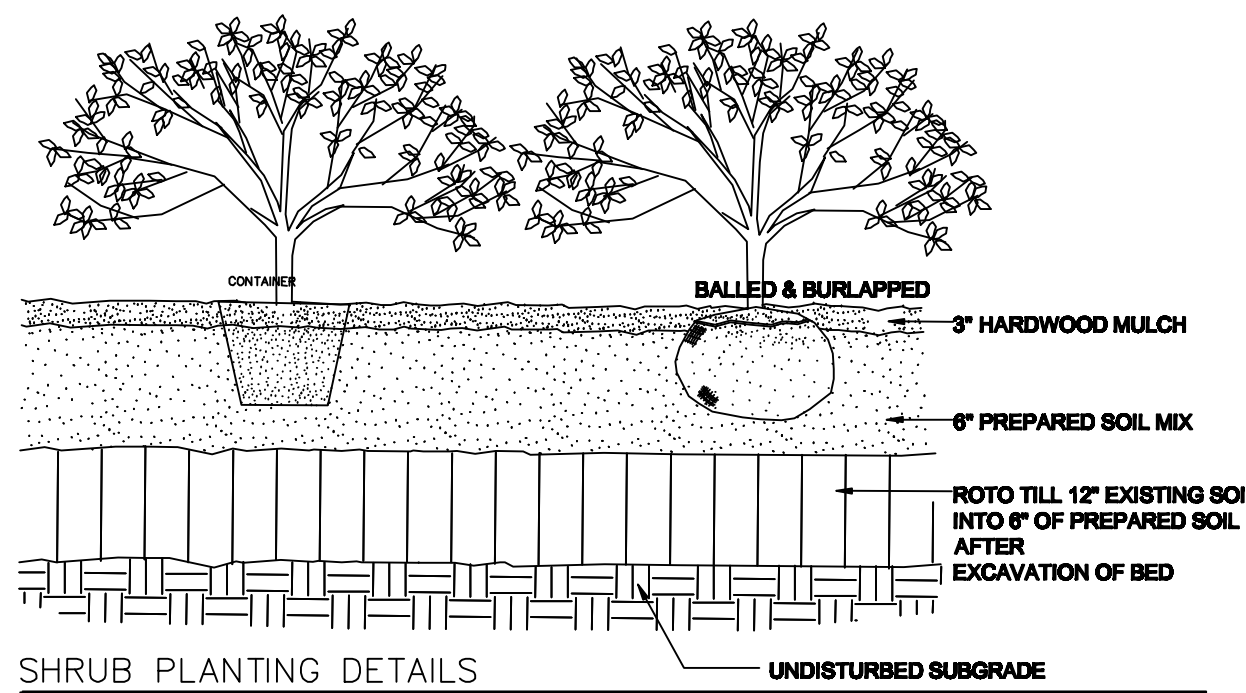
**ARCHITECT**  
amazing concept  
Contact: Ahmed Helaluzzaman  
12300 Ford Road, Suite 267  
Dallas, Texas 75234  
PH. 817 808 0811  
E-MAIL: akm.hellaluzzaman@gmail.com

**LANDSCAPE ARCHITECT**  
ARODS LANDSCAPE  
Contact: Mohammad Salam  
5901 Indian Hills Drive  
GARLAND, TX 75044  
PH. 214-403-2034



*Md. Naim Uddin Khan*  
Md. Naim Uddin Khan 06-12-19  
ENGINEER NO. 87776. THESE PLANS WERE PREPARED UNDER THE RESPONSIVE SUPERVISION OF MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MD. NAIM UDDIN KHAN P.E. #87776

<b>SITE PLAN SP 2019-014</b>	<b>Scale: 1"=30'</b>
CENTERS FOR PEACE & MERCY, INC. LOT 1, BLOK A E.P. GAINES CHISUM SURVEY ABSTRACT NO. 64 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS 119,184 SF/2.74 ACRES	Date : 6/12/2019
	Design : ND
	Draft : ND
	Checked : ND
	PROJECT NO : ROCK2019-725
<b>ND &amp; Associates, LLC</b> 2105 Canyon Creek Drive Garland, Texas 75042 Contact: Naim Khan, P.E., CFM PH: (214) 533 7181 EMAIL: naim1207@yahoo.com FIRM # F - 13340	<b>SITE PLAN</b> <b>C-1</b>



**PLANTING NOTES**

1. USE 2x4\"/>

**landscape area**

SITE AREA, PHASE 1: 55,757 SF. (1,278 AC.)  
 LANDSCAPE AREA REQUIRED: 15% (8,364 SF.)  
 PROVIDED: 44.8% (24,908 SF.)  
 BLDG. AREA: 4,336 SF.  
 IMPERVIOUS AREA: 30,849 SF.  
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 50.  
 SPACES PROVIDED: 51.

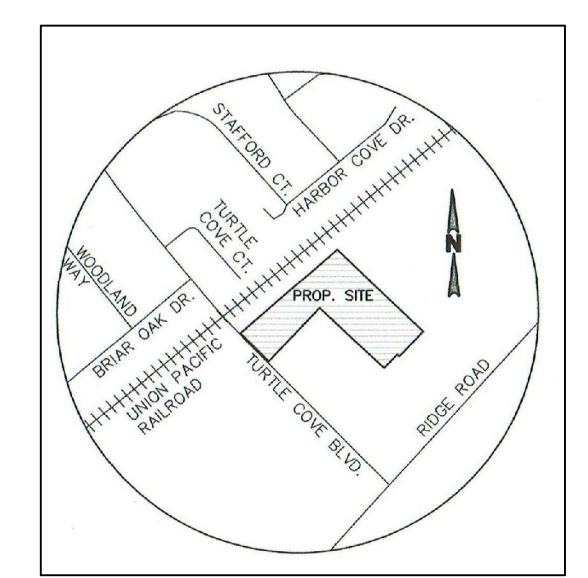
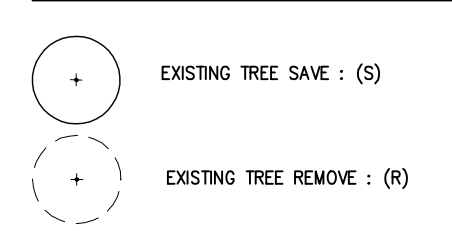
**planting requirement**

TURTLE COVE BLVD. LANDSCAPE BUFFER 144.59 LF.  
 SHADE TREES REQUIRED: 3 (4\"/>

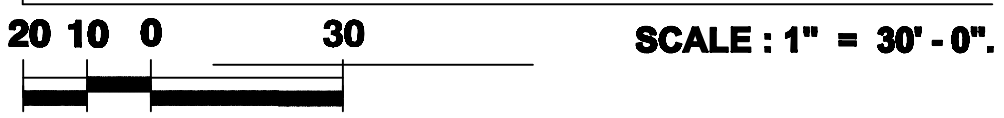
**existing tree listing**

TREE LIST	REPLACEMENT RATE
01 HACKBERRY 24\"/>	
02 ELM 18\"/>	
03 HACKBERRY 15\"/>	
04 OAK 20\"/>	
05 HACKBERRY 7\"/>	
06 HACKBERRY 12\"/>	
07 HACKBERRY 20\"/>	
08 ELM 10\"/>	
09 HACKBERRY 15\"/>	
10 HACKBERRY 20\"/>	
11 OAK 36\"/>	

**exis. tree legend**

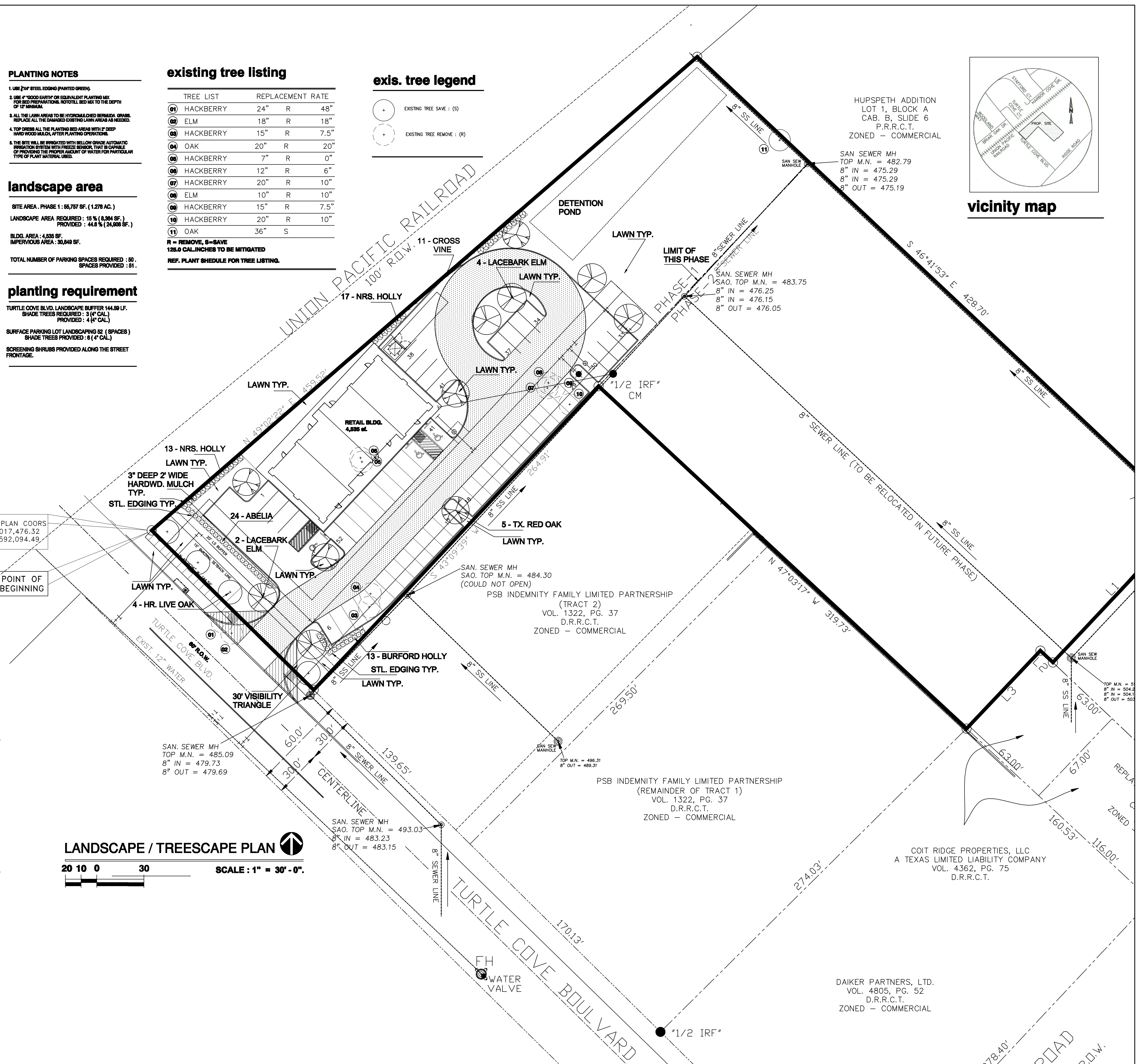


**LANDSCAPE / TREESCAPE PLAN**



**plant schedule**

QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
<b>TREES</b>				
5	Texas Red Oak	Quercus shumardii "Texana"	4\"/>	
6	Lacebark Elm	Ulmus parvifolia	4\"/>	
4	Live Oak	Quercus virginiana	4\"/>	
<b>SHRUBS &amp; VINES</b>				
30	NRS. Holly	Ilex x. Nellie R. Stevens	7 gal.	full pot, well rooted, 4\"/>
24	Abelia	Abelia grandiflora	5 gal.	30\"/>
13	Dwf. Burford Holly	Ilex cornuta burfordi "Nana"	5 gal.	24\"/>
11	Cross Vine	Bignonia capriolata	3 gal.	full pot, well rooted, staked to fence.
<b>GROUNDCOVERS, &amp; LAWN</b>				
	Bermudagrass	Cynodon dactylon		Hydromulched



CONSULTANT:  
**aroids**  
 0091 Indian Hills Drive, Garland, Texas, 75044  
 Telephone: 214.400.2266  
 Fax: 214.400.2266  
 Email: aroids@aroids.com

STATE OF TEXAS  
 MICHAEL A. SALAZAR  
 814  
 ARCHITECT  
 08.14.2019

OWNER:  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

PROJECT:  
 CPM MASJID ( PHASE ONE )  
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:  
 CITY COMMENTS 08.14.2019

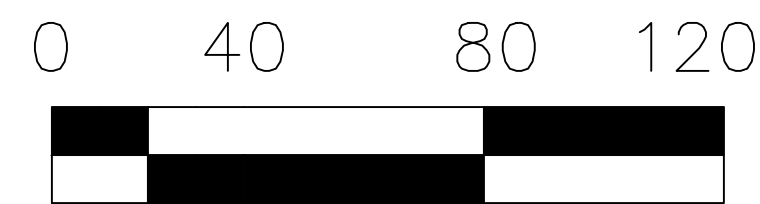
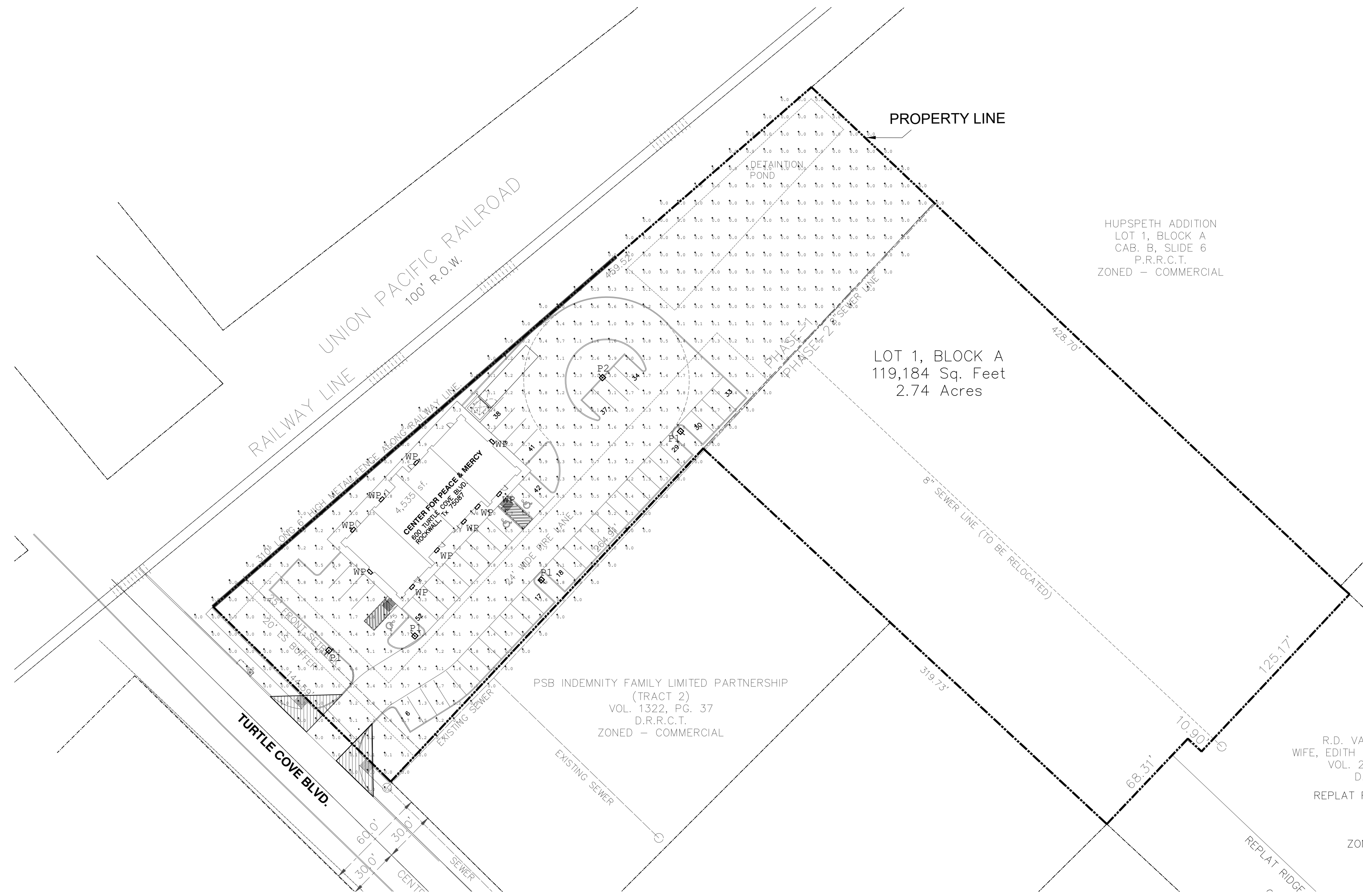
amazing concept  
 residential & commercial projects  
 545 Country Drive, Grapevine, Tx 76051  
 Tel. (817) 808 0811  
 E-mail: atm.helaluzzaman@gmail.com

SHEET TITLE:  
**LANDSCAPE PLAN**

DATE: 02.15.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN

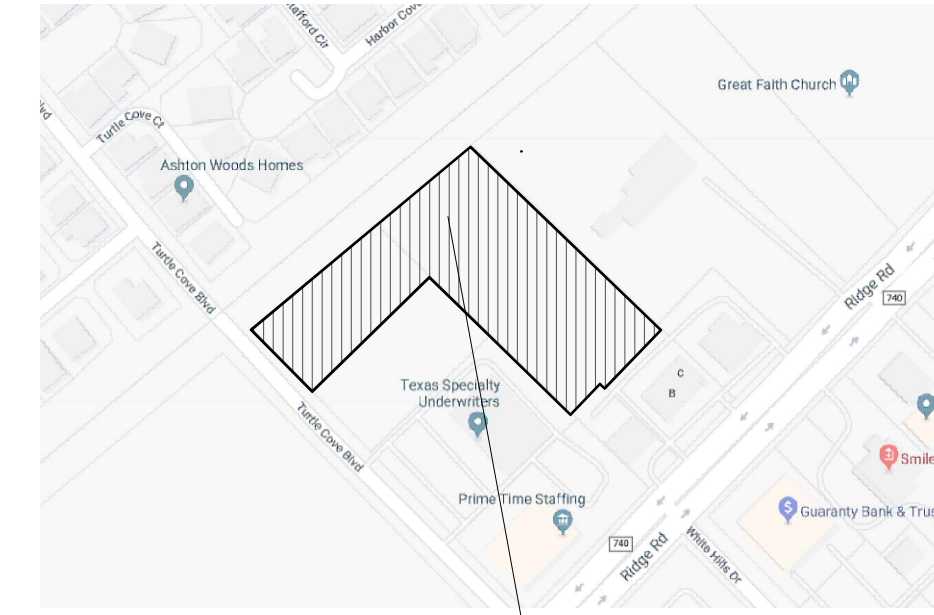
PROJECT #  
**H-2019-02**

SHEET NO:  
**LP.01**



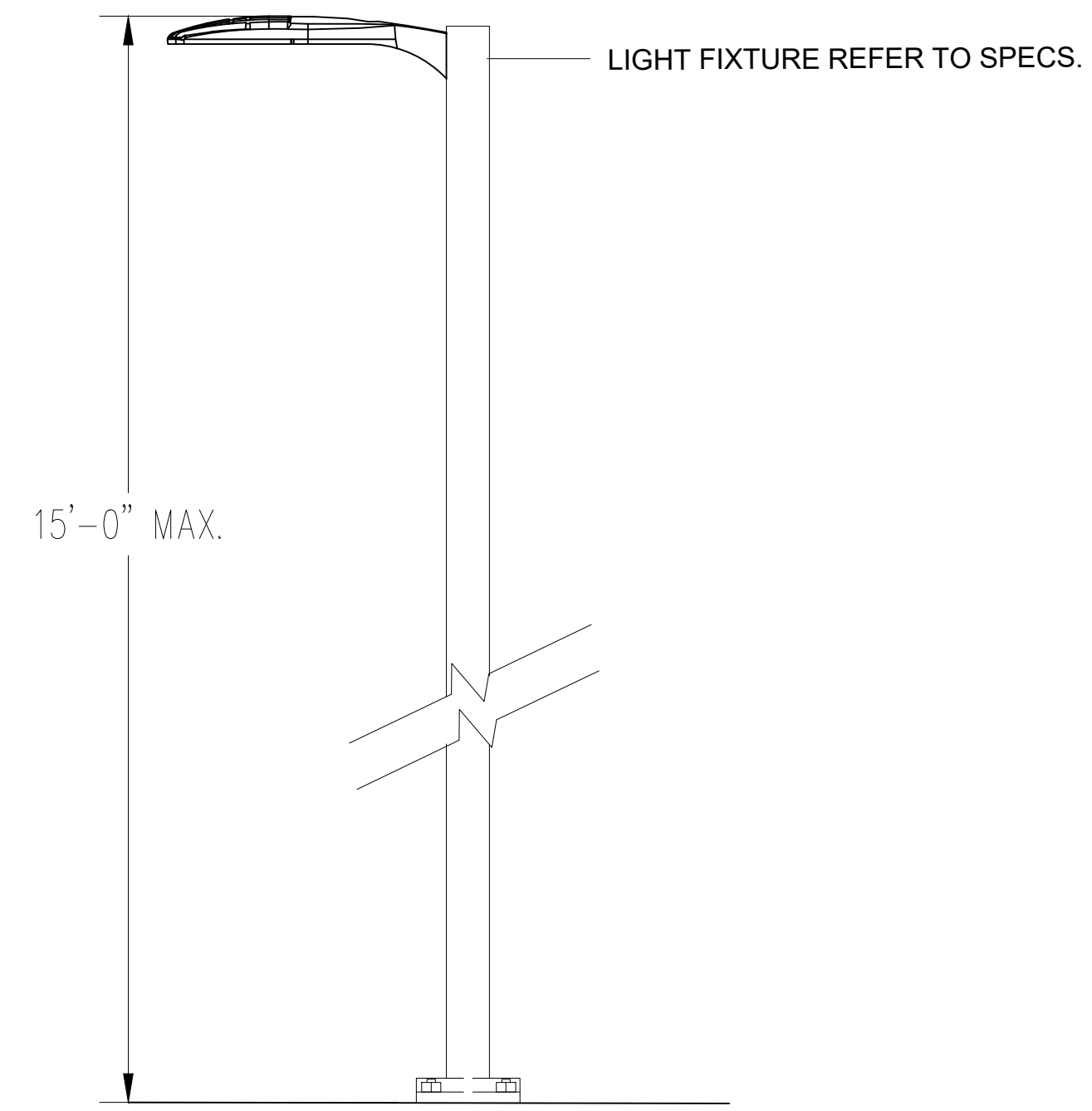
**01** PHOTOMETRIC PLAN  
SCALE: 1"=40'-0"

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	8.13%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	150/4 = 37.5 (SAY 38)
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	38+12 = 50
TOTAL PARKING PROVIDED	52 INCLUDING 3 ADA



**THE SITE**  
600 TURTLE COVE DR.  
ROCKWALL, TX 75087

**02** VICINITY MAP  
SCALE: 1"=40'-0"



**03** TYPICAL SITE POLE  
SCALE: N.T.S.

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Free Grid	Illuminance	Fc	1.08	9.0	0.0	N.A.	N.A.

Luminaire Schedule							
LABEL	Qty	Symbol	MANUFAC	Description	Lum. Lumens	Lum. Watts	
P1	4	☐	Lithonia Lighting	DSX1 LED P3 40K BLC MVOLT	10439	102	
P2	1	☐	Lithonia Lighting	DSX1 LED P2 50K T5M MVOLT	9351	70	
WP	10	☐	Lithonia Lighting	WSQ LED 1 10A700_40K SR2 MVOLT	2159	24	

**WAHEED CONSULTING**  
420 PARKSIDE COURT  
MURPHY, TEXAS 75094  
PH: 817-703-2010  
FIRM #: F-0336

**OWNER:**  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

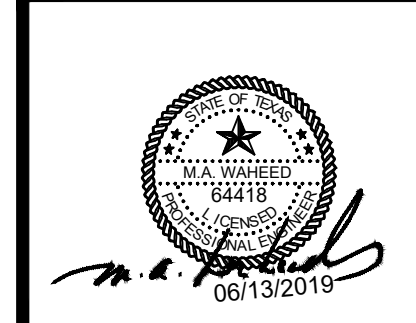
**PROJECT:**  
RETAIL BUILDING  
PHASE-1  
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**amazing concept**  
residential & commercial projects  
545 Coventry Drive, Grapevine, TX 75051  
Tel: (817) 806-0811  
E-mail: okm.helaluzzaman@gmail.com

SHEET TITLE:  
PHOTOMETRIC PLAN

DATE: 06.11.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # <b>H-2019-02</b>	SHEET NO: ESP





CONTACTS:

**MEP ENGINEERS:**  
 WAHEED CONSULTING  
 420 Parkside St.  
 Murphy, TX 75094  
 PHONE: (817) 793-2010  
 CONTACT: M. A. WAHEED

**OWNER/DEVELOPER:**  
 CENTERS FOR PEACE & MERCY, INC.  
 ABDUL LATIF KHAN, President  
 4152 Greenfield Drive  
 Richardson, TX 75082  
 PHONE: (318) 617-3491

**SURVEYOR:**  
 CBG SURVEYING, LLC.  
 12025 Shiloh Road, Ste 230  
 Dallas, TX 75228  
 PHONE: (214) 349-9485  
 CONTACT: BRYAN CONALLY

**CIVIL ENGINEER:**  
 DESIGN DEVELOPMENT CONSULT.  
 2308 KITTY HAWK DR.  
 PLANO, TX 75025  
 PHONE: (214)-533-7181

**ARCHITECT:**  
 AMAZING CONCEPT LLC.  
 545 COVENTRY DR.  
 Grapevine, Tx 76051  
 PHONE: (817) 808-0811  
 CONTACT: AHMED HELALUZZAMAN  
 Designer,  
 Email: akm.helaluzzaman@gmail.com

**AROIDS LANDSCAPE ARCHITECTS**  
 5901 INDIAN HILLS DR.  
 GARLAND, TX 75044  
 PHONE: (214)-329-6491

CONTACT: NAIM KHAN, PE CONTACT: MOHAMMED ABDUS SALAM

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	
LAND USE (FROM ZONING ORDINANCE)	
LOT AREA TOTAL	2.74 AC. (119,184 SF.)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
COVERED AREA PHASE-1	8.13%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
PARKING REQUIRED	50 SPACES INCLUDING 3 ADA
PARKING PROVIDED	52 SPACES INCLUDING 3 ADA



DARK BRONZE FRAMES, PARAPET CAP & CANOPY



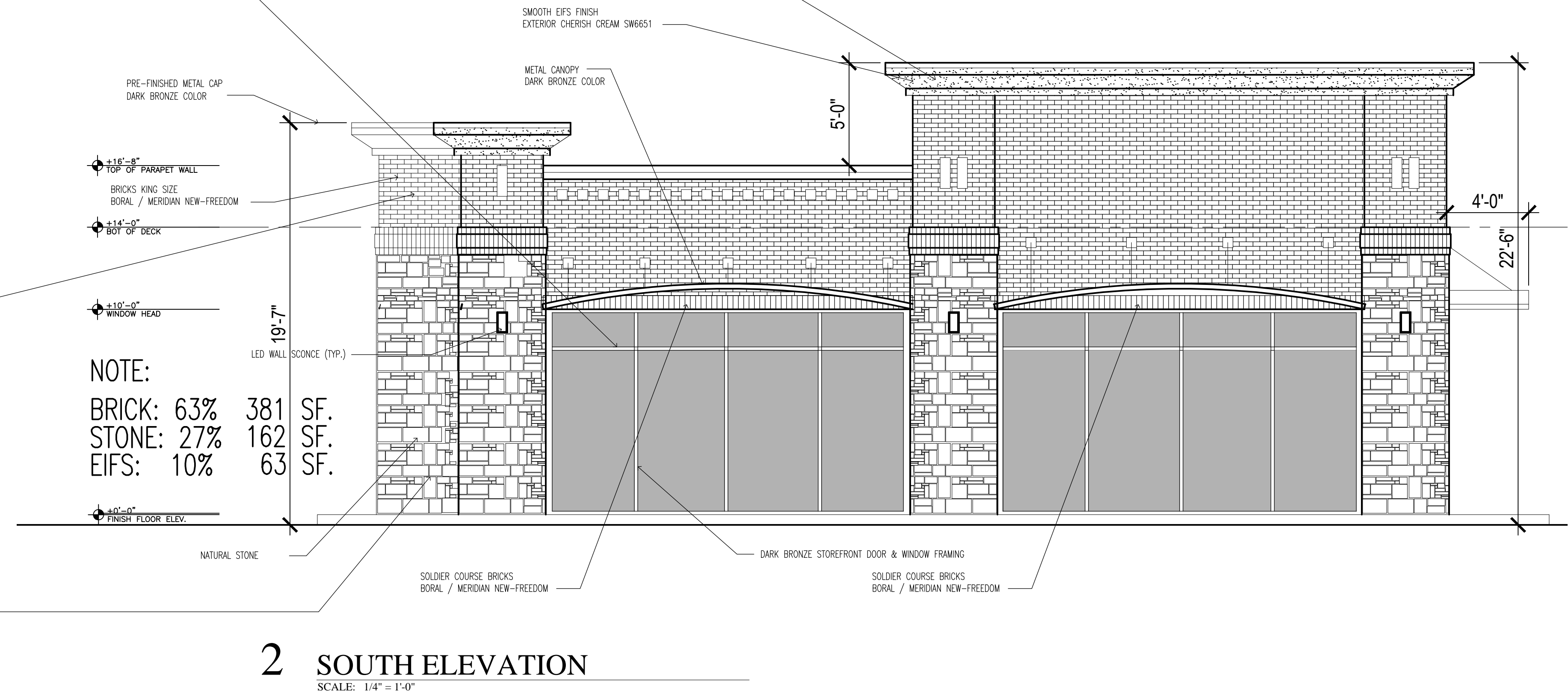
CHERISH CREAM SW6651 OR EQUAL



BORAL KINGSIZE MERIDIAN NEW-FREEDOM OR EQUAL

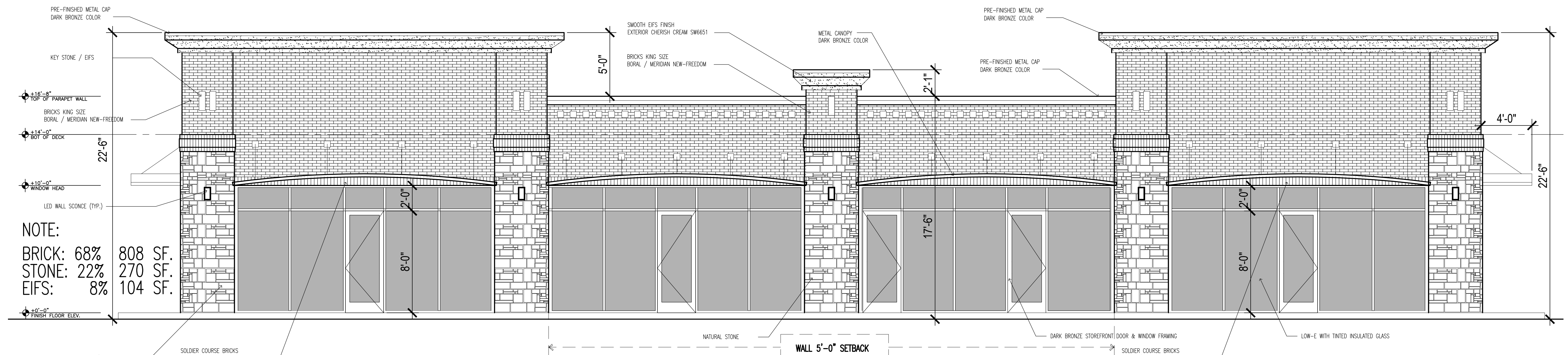


NATURAL LIME STONE OR EQUAL



2 SOUTH ELEVATION  
 SCALE: 1/4" = 1'-0"

NOTE:  
 BRICK: 63% 381 SF.  
 STONE: 27% 162 SF.  
 EIFS: 10% 63 SF.



1 EAST ELEVATION  
 SCALE: 1/4" = 1'-0"

NOTE:  
 BRICK: 68% 808 SF.  
 STONE: 22% 270 SF.  
 EIFS: 8% 104 SF.

OWNER:  
 CENTER FOR PEACE AND MERCY, INC.  
 PHONE: 318-617-3491  
 EMAIL: Peacemercyinc@gmail.com

PROJECT:  
 RETAIL BUILDING  
 PHASE-1  
 600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:


amazing concept  
 residential & commercial projects  
 545 Coventry Drive, Grapevine, Tx 76051  
 Tel: (817) 808 0811  
 E-mail: akm.helaluzzaman@gmail.com

SHEET TITLE:  
 EXTERIOR ELEVATIONS

DATE: 06.03.2019	SCALE: AS SHOWN
DRAWN: A. HELALUZZAMAN	DESIGNER: A. HELALUZZAMAN
PROJECT # H-2019-02	
SHEET NO: A501	

SITE DATA TABLE	
DESCRIPTION	
ZONING (FROM ZONING MAP)	COMMERCIAL (C) DISTRICT
ZONING	COMMERCIAL (C) DISTRICT
OVERLAY DISTRICT	SCENIC OVERLAY DISTRICT (SOD)
LOT AREA PHASE-1	1.28 AC. (55,757 SF.)
BUILDING AREA PHASE-1	4,535 SF.
LOT COVERAGE	8.13%
FLOOR AREA RATIO	0.038:1
BUILDING HEIGHT	ONE STORY (29'-8" MAX.)
RETAIL AREA	2,263 SF.
ASSEMBLY (WORSHIP)	2,267 SF.
WORSHIP OCCUPANTS	120 M + 30 W = 150 TOTAL
RETAIL OCCUPANTS	2,268 / 60 = 37.8 (SAY 38)
PARKING REQUIRED (WORSHIP)	150/4 = 37.5 (SAY 38)
PARKING REQUIRED (RETAIL)	2,268/200 = 11.34 (SAY 12)
TOTAL PARKING REQUIRED	38+12 = 50
TOTAL PARKING PROVIDED	52 INCLUDING 3 ADA

**CONTACTS:**

**MEP ENGINEERS:**  
WAHEED CONSULTING  
420 Parkside St.  
Murphy, TX 75094  
PHONE: (817) 793-2010  
CONTACT: M. A. WAHEED

**OWNER/DEVELOPER:**  
CENTERS FOR PEACE & MERCY, INC.  
ABDUL LATIF KHAN, President  
4152 Greenfield Drive  
Richardson, TX 75082  
PHONE: (318) 617-3491

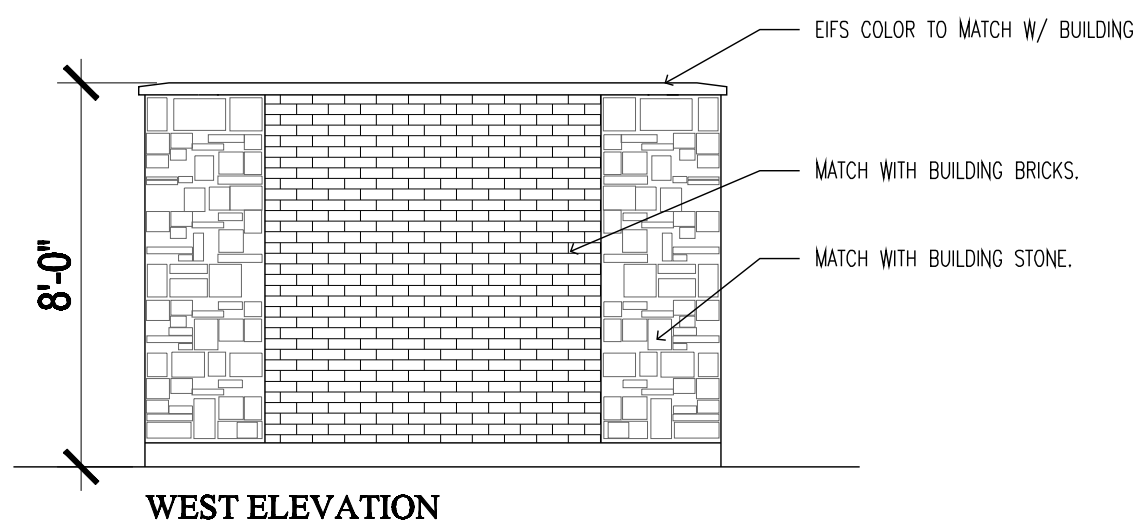
**ARCHITECT:**  
AMAZING CONCEPT LLC.  
545 COVENTRY DR.  
Grapevine, TX 76051  
PHONE: (817) 808-0811  
CONTACT: AHMED HELALUZZAMAN  
Designer,  
Email: akm.helaluzzaman@gmail.com

**SURVEYOR:**  
CBG SURVEYING, LLC.  
12025 Shiloh Road, Ste 230  
Dallas, TX 75228  
PHONE: (214) 349-9485  
CONTACT: BRYAN CONALLY

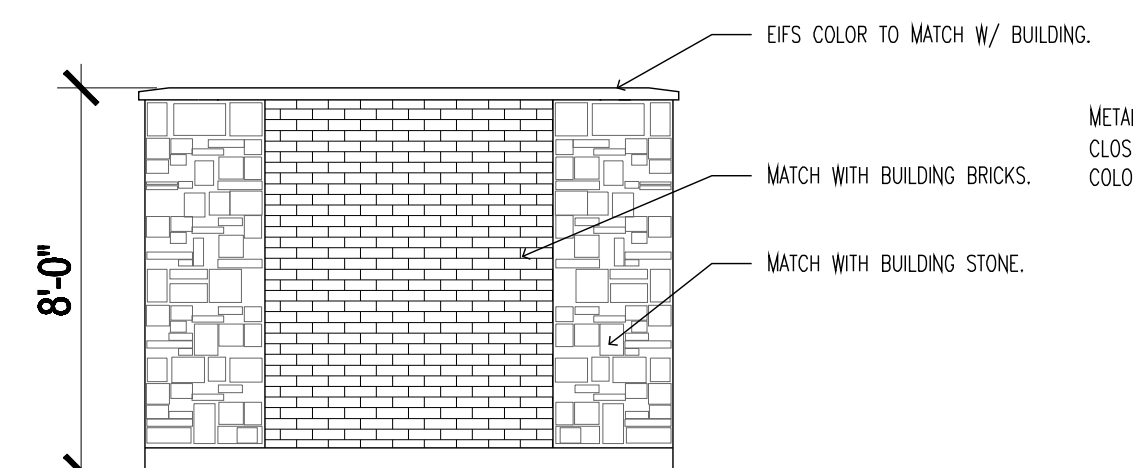
**CIVIL ENGINEER:**  
DESIGN DEVELOPMENT CONSULT.  
2308 KITTY HAWK DR.  
PLANO, TX 75025  
PHONE: (214)-533-7181

**AROIDS LANDSCAPE ARCHITECTS**  
5901 INDIAN HILLS DR.  
GARLAND, TX 75044  
PHONE: (214)-329-6491

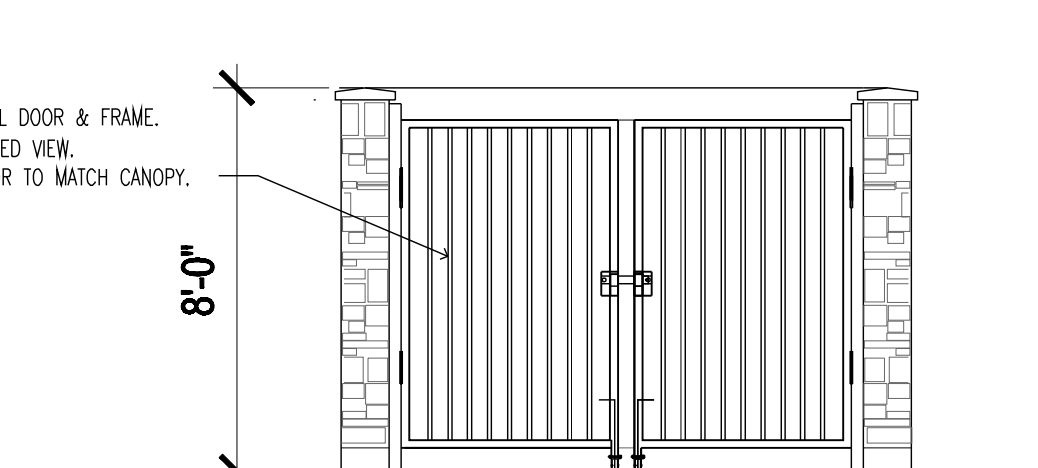
**CONTACT: NAIM KHAN, PE**      **CONTACT: MOHAMMED ABDUS SALAM**



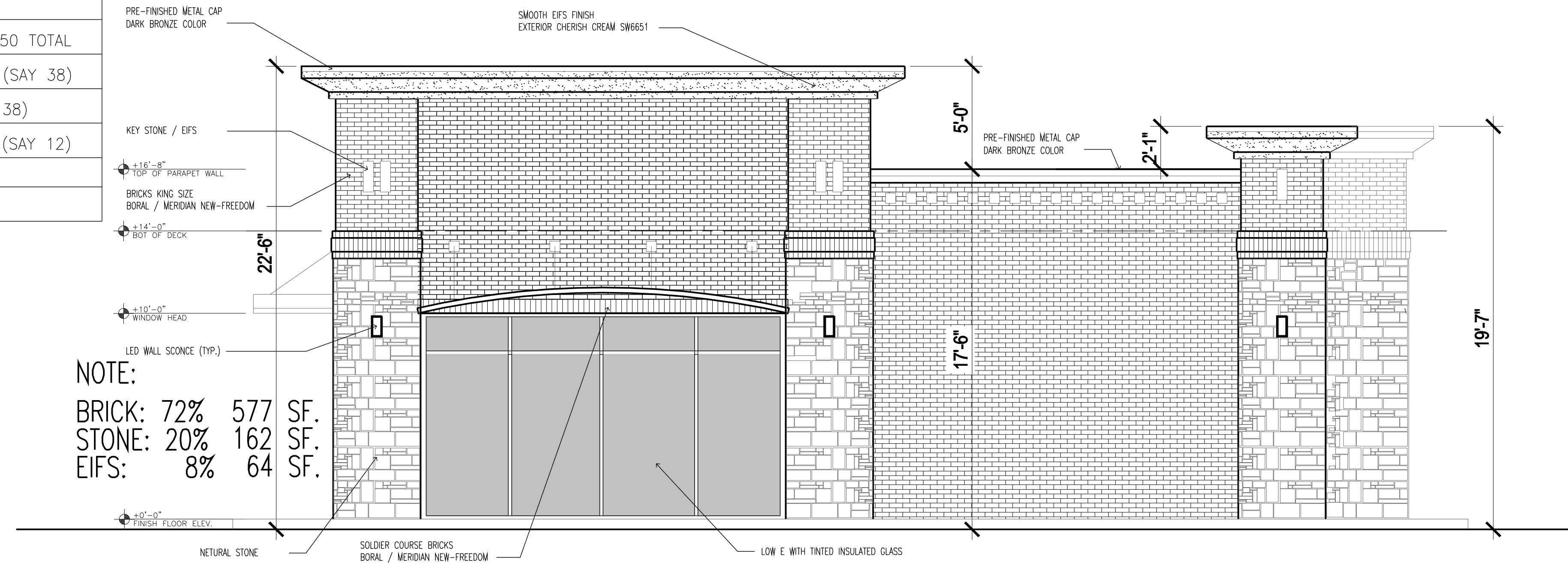
**WEST ELEVATION**



**NORTH & SOUTH ELEVATIONS**



**EAST ELEVATION**

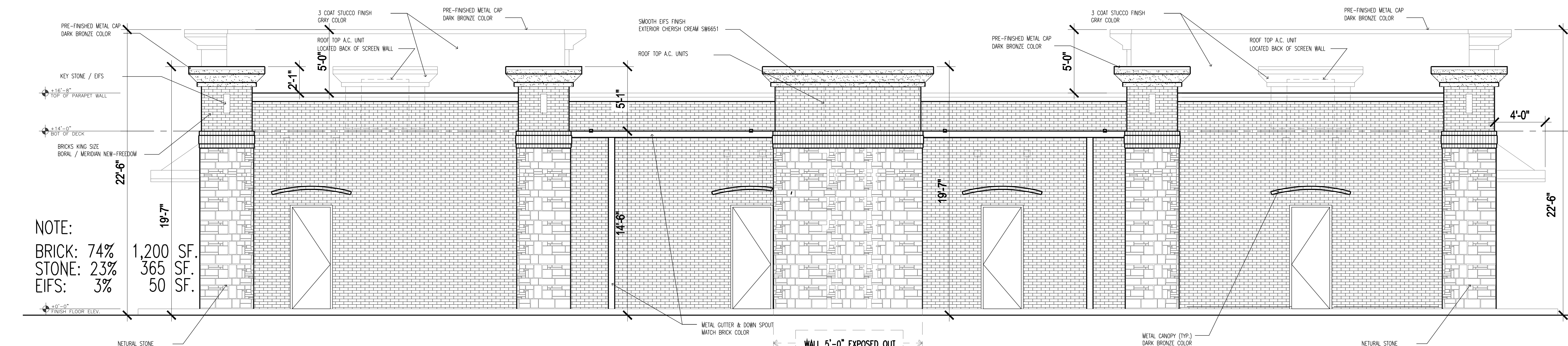


**2 NORTH ELEVATION**

**NOTE:**  
BRICK: 72% 577 SF.  
STONE: 20% 162 SF.  
EIFS: 8% 64 SF.

**3 DUMPSTER ELEVATIONS**

SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**

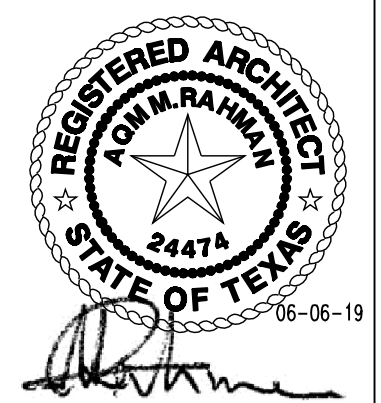
SCALE: 1/4" = 1'-0"

**NOTE:**  
BRICK: 74% 1,200 SF.  
STONE: 23% 365 SF.  
EIFS: 3% 50 SF.

**OWNER:**  
CENTER FOR PEACE AND MERCY, INC.  
PHONE: 318-617-3491  
EMAIL: Peacemercyinc@gmail.com

**PROJECT:**  
RETAIL BUILDING  
PHASE-1  
600 Turtle Cove Boulevard, Rockwall, Tx 75087

REVISIONS:

**amazing concept**  
residential & commercial projects  
545 Coventry Drive, TX 76051  
Tel. (817) 808-0811  
E-mail: akm.helaluzzaman@gmail.com

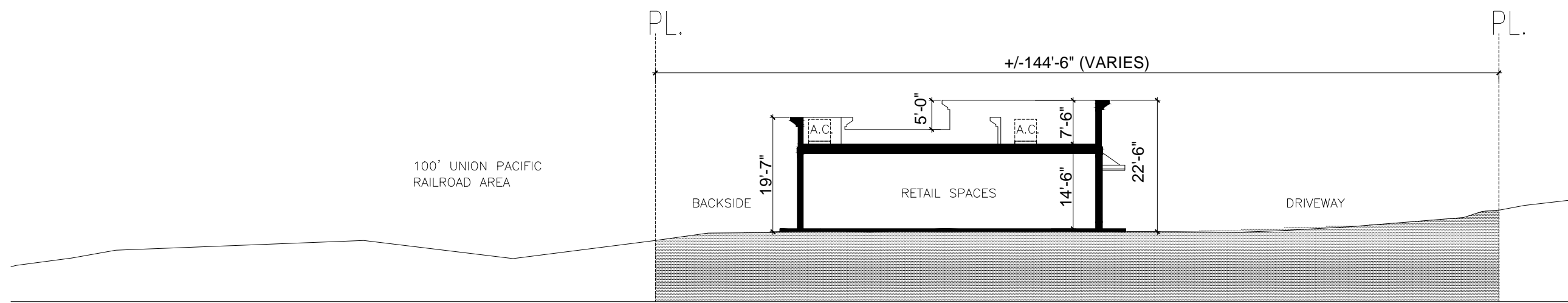
SHEET TITLE:  
EXTERIOR ELEVATIONS

DATE: 06.03.2019  
SCALE: AS SHOWN

DRAWN: A. HELALUZZAMAN  
DESIGNER: A. HELALUZZAMAN

PROJECT #  
**H-2019-02**

SHEET NO.:  
A502



RETAIL BUILDING

CONCEPT SITE SECTION

600 TURTLE COVE BLVD. 06.20.2019  
 SCALE: 1" = 20'



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

---

**TO:** Planning and Zoning Commission

**FROM:** David Gonzales, *Planning and Zoning Manager*

**DATE:** June 25, 2019

**SUBJECT:** MIS2019-005; *Alternative Tree Mitigation Settlement Agreement*

---

The applicant, John Delin of R. W. Ladera, LLC, is requesting an *Alternative Tree Mitigation Settlement Agreement* in conjunction with the Ladera of Rockwall Addition for the purpose of offsetting a portion of the required tree mitigation. Specifically, the applicant is requesting relief associated with the trees (*i.e.* 699.5-caliper inches of trees) that will be removed to construct an off-site, 12-inch sanitary sewer line that will serve the development. On June 26, 2018, the Planning and Zoning Commission approved an amended treescape plan allowing for the removal of an additional 977.75-caliper inches that were associated with the construction of this sanitary sewer line. This approval brought the total mitigation balance due to 1,443.25 caliper-inches. On March 12, 2019, a revised treescape plan was submitted with the final plat application [Case No. P2019-010] indicating the need for the removal of an additional 283.5-caliper inches of tree to allow the installation of the 12-inch sanitary sewer line. This increased the total mitigation balance due to 1,726.75-caliper inches. Currently, the applicant's approved mitigation plan calls for providing all 1,726.75-caliper inches on-site.

The applicant's proposal requests that the City Council consider one (1) of the two (2) following alternatives:

1. The City Council waive the 699.5-caliper inches associated with the offsite installation of the 12-inch sanitary sewer line; or,
2. The City Council consider reducing the tree mitigation balance associated with the off-site improvements by  $\frac{1}{2}$  the amount (*i.e.* 349.75-caliper inches). This balance would then be donated to the Parks Department to save the applicant the expense of planting and caring for the trees on-site.

If the City Council does not approve one (1) of the two (2) alternatives, the applicant has stated that they intend to provide the full balance to the Parks Department to be used in other areas of the City. According to Section 7, *Alternative Tree Mitigation Settlement Agreement*, of Article X, of the *Unified Development Code* (UDC), the City Council -- upon recommendation from the Planning and Zoning Commission -- may consider an *Alternative Tree Mitigation Settlement Agreement* where, due to hardship, the applicant is unable to meet the requirements of this article or where it is determined that adherence to the tree mitigation requirements will create a hardship for an applicant.

Attached to this memo is the applicant's letter requesting the alternatives and an exhibit indicating the tree's that will be required to be removed with the 12-inch sanitary sewer line. Should the Planning and Zoning Commission have any questions staff will be available at the June 25, 2019 meeting.

## City of Rockwall Project Plan Review History



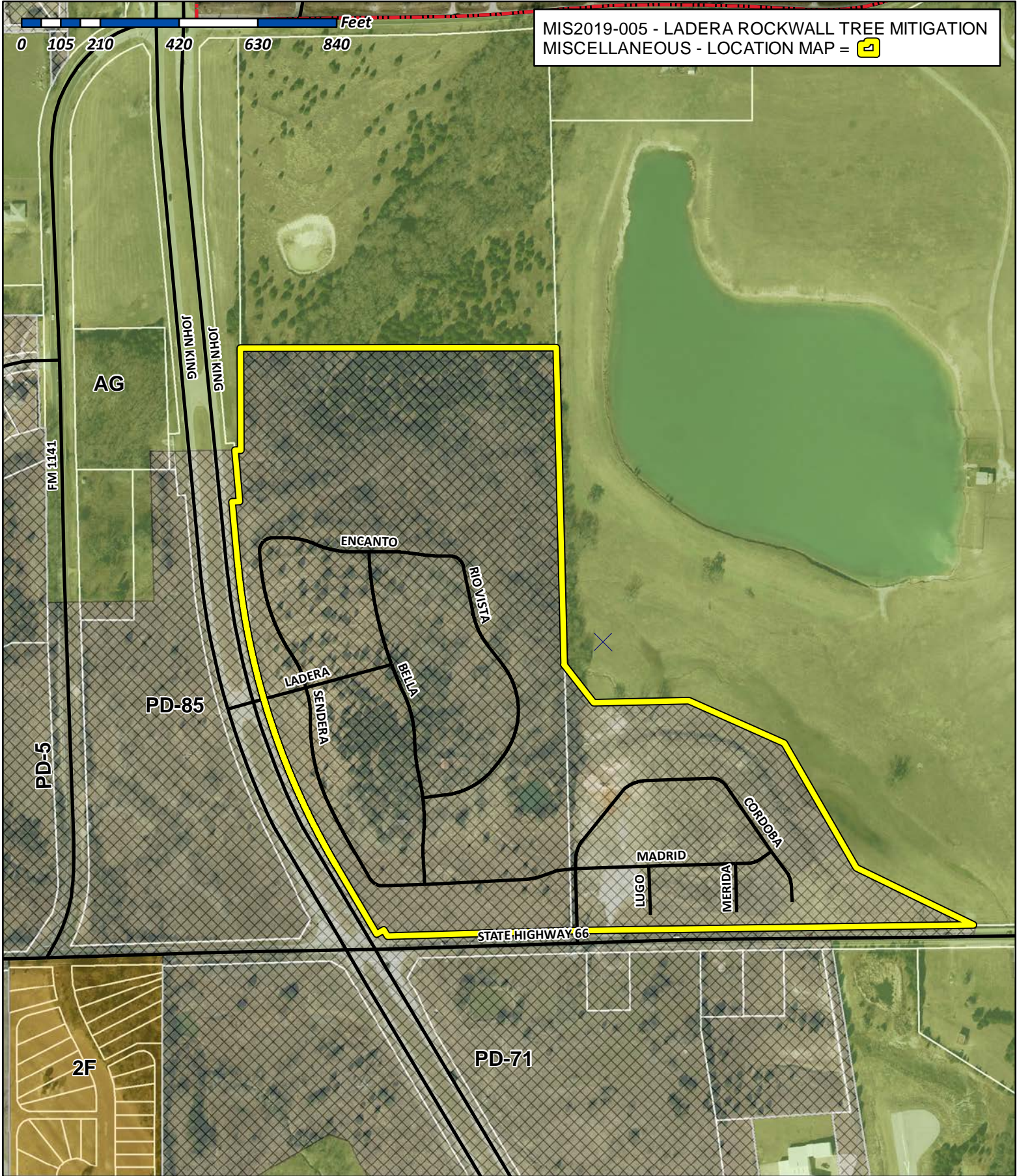
<b>Project Number</b> P2019-019	<b>Owner</b> RACK, PARTNERS LTD	<b>Applied</b> 4/16/2019 LM
<b>Project Name</b> Lot 11, Block A, 205 Business Park	<b>Applicant</b> MIKE SAMPLES	<b>Approved</b>
<b>Type</b> PLAT		<b>Closed</b>
<b>Subtype</b> FINAL		<b>Expired</b>
<b>Status</b> P&Z HEARING		<b>Status</b> 4/25/2019 DG

<b>Site Address</b> 125 NATIONAL DR	<b>City, State Zip</b> ROCKWALL, TX 75032	<b>Zoning</b>
--	--	---------------

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	2-16		2-16	0128-0000-0002-16-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	4/16/2019	4/23/2019	4/18/2019	2	APPROVED	
ENGINEERING (4/18/2019 11:36 AM SH) Note 4 should read, "Property owner shall be responsible for all maintenance, repair, and reconstruction of all drainage and detention systems in easements."	Sarah Hager	4/16/2019	4/23/2019	4/18/2019	2	COMMENTS	
FIRE	Ariana Hargrove	4/16/2019	4/23/2019	4/22/2019	6	APPROVED	
GIS	Lance Singleton	4/16/2019	4/23/2019	4/18/2019	2	APPROVED	
PLANNING	David Gonzales	4/16/2019	4/23/2019	4/25/2019	9	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Consider a request by Mike Samples for the approval of a final plat for Lot11, Block A, 205 Business Park Addition being a 1.50-acre tract of land identified as Tract 2-16 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 125 National Drive, and take any action necessary.</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday May 7, 2019. Please provide one (1) large copy [24" X 36" FOLDED] and one PDF version for a final review by staff:</p> <p>** Planning Department General Comments to be addressed:</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday May 7, 2019. Please provide one (1) large copy [24" X 36" FOLDED] and one PDF version for a final review by staff:</p> <p>** Planning Department General Comments to be addressed:</p> <ol style="list-style-type: none"> <li>1. The final plat shall conform to all standards and requirements of the Unified Development Code(UDC), the staff comments provided by the Planning Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document</li> <li>2. Provide a label indicating "Case No. P2019-019" on the lower right corner on all pages of the revised final plat</li> <li>3. Correct Title Block to read as follows: Final Plat Lot 11, Block A, 205 Business Park Addition being 1-Lot containg 1.50-acres or 65,338 SF Identified as Tract2-15 of the J.R. Johnson Survey, Abstract 128 An Addition to the City of Rockwall, Rockwall County, Texas</li> </ol> <p>** As a note and once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing **</p> <p>** Although on this case is on the Consent Agenda, staff would recommend that you and/or your representative(s) are in attendance for this request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Planning - Consent Agenda: April 30, 2019 (Tuesday at 6:00 p.m.)</p> <p>City Council - Consent Agenda: May 6, 2019 (Monday at 6:00 p.m.)</p>						



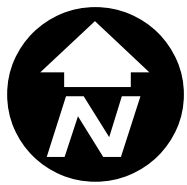
MIS2019-005 - LADERA ROCKWALL TREE MITIGATION  
 MISCELLANEOUS - LOCATION MAP = [icon]



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



## Gonzales, David

---

**From:** Miller, Ryan  
**Sent:** Wednesday, April 17, 2019 11:51 AM  
**To:** Gonzales, David  
**Subject:** Fwd: Request for Hearing on Tree Mitigation

**Importance:** High

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Attached is John Delin's request. I will prepare a caption this afternoon. Thanks.

### **Ryan C. Miller, AICP**

Director of Planning and Zoning  
Planning and Zoning Department  
City of Rockwall, Texas

*Please excuse any errors, this was sent from my mobile device.*

----- Original message -----

**From:** John Delin <john@integritygroups.com>  
**Date:** 4/17/19 10:16 AM (GMT-06:00)  
**To:** "Miller, Ryan" <RMiller@rockwall.com>  
**Subject:** Request for Hearing on Tree Mitigation

Ryan,

Per our phone call earlier, we are submitting a request to have a hearing on the Tree Mitigation associated with our Ladera Rockwall project, *only* in reference to the Offsite Utilities portion of the project.

As you know we are installing \$500,000 for water & sewer expansion for the City which will feed future growth and unfortunately receive no Pro-rata return for this work. Additionally we are faced with almost 500 inches of tree mitigation for areas which there is considerable tree growth anyway. We would propose;

1. A waiver of the Mitigation in Total for the Offsite Utility portion of the project or,
2. Reduce by ½ the amount to be Mitigated and provide the balance as a donation to the City for its use, without us expensing the cost for labor for planting and care.
3. Provide the appropriate number of inches in a donation to the City for use in other areas, without us expensing the cost for labor for planting and care.

Let me know if we can get this on the agenda.

Best,

John Delin



817.252.4281 **D**  
817.919.8111 **C**  
[john@integritygroups.com](mailto:john@integritygroups.com)

[IntegrityGroups.com](http://IntegrityGroups.com) | [LaderaTexas.com](http://LaderaTexas.com)  
**361 W Byron Nelson Blvd Ste. 104, Roanoke, TX 76262**  
Main Office (817) 430-3318

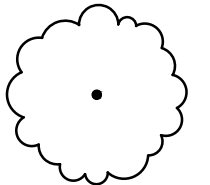
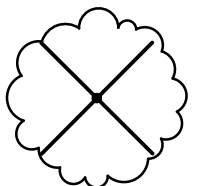
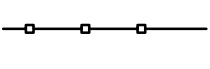




**Confidentiality Notice:**

*This e-mail and any attachments may contain confidential and/or copyright protected information and is intended for the sole use of recipient and may not be used, altered, distributed or changed without expressed written permission from sender. If you are not the intended recipient, please notify the sender immediately by return e-mail, delete this e-mail and destroy any copies. Any dissemination, use, reproduction or forwarding of this information by a person other than the intended recipient is unauthorized and may be illegal. Unless otherwise stated, opinions expressed in this e-mail are those of the author and may not reflect the view or opinions of Integrity Group, LLC, or any party it is representing. This email and any attachments is covered by the Electronic Communications Privacy Act, 18 U.S.C. 2510 et seq.*

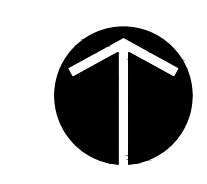
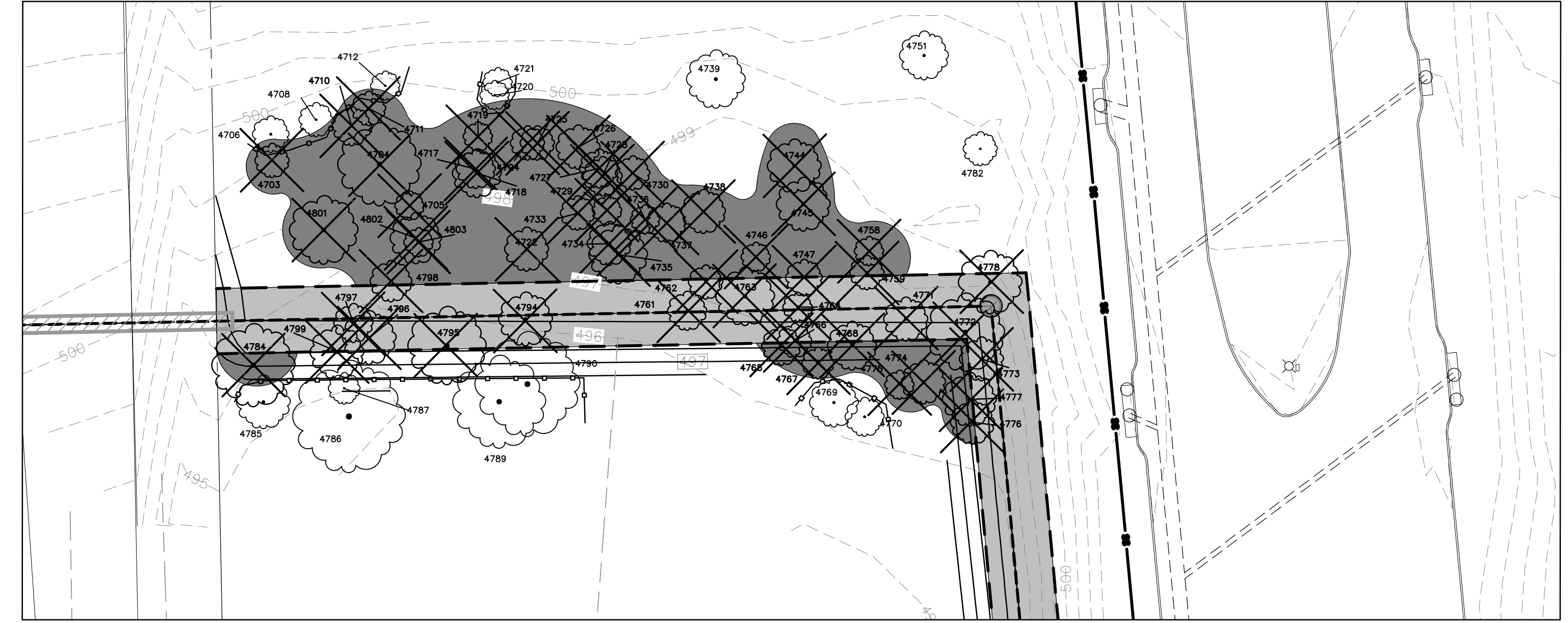
Approx. Limits of 100-Year Fully Developed Floodplain per Ultimate model. Refer to "Hydrologic and Hydraulic study in support of Ladera Rockwall Development" prepared by JEA-HydroTech Engineering, Inc. Dated March 13, 2019.

**LEGEND**

-  PROTECTED TREE TO REMAIN
-  PROTECTED TREE TO BE REMOVED
-  TREE PROTECTION FENCING (TPF)
-  OFF-SITE SEWER EASEMENT AREA
-  AREAS DIRECTLY AFFECTED BY OFF-SITE SEWER LINE

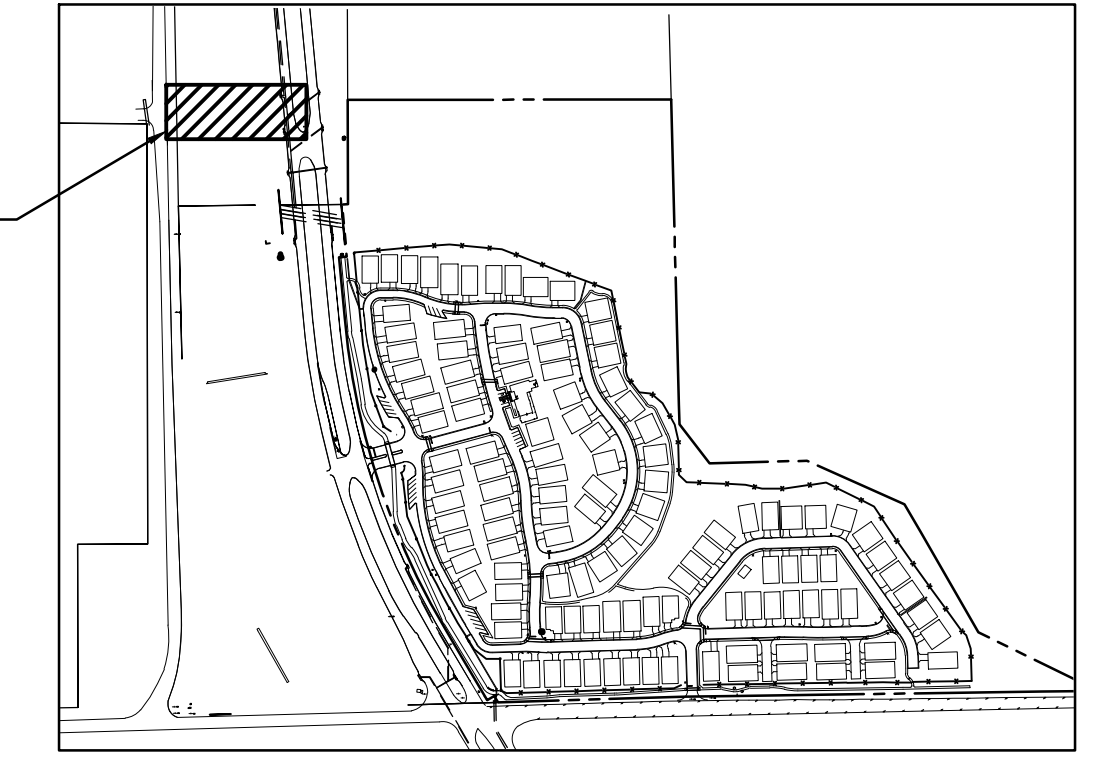
NOTE: 301 PROTECTED INCHES ARE PROPOSED FOR REMOVAL OUTSIDE OF THE OFF-SITE SEWER EASEMENT DUE TO GRADING SPECIFICALLY REQUIRED FOR PROPOSED SEWER LINE.

**NORTHWEST OFF-SITE SEWER CONNECTION**

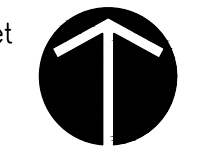


30 0 30 60 90 Feet  
SCALE: 1"=30'

**CONTEXT MAP**

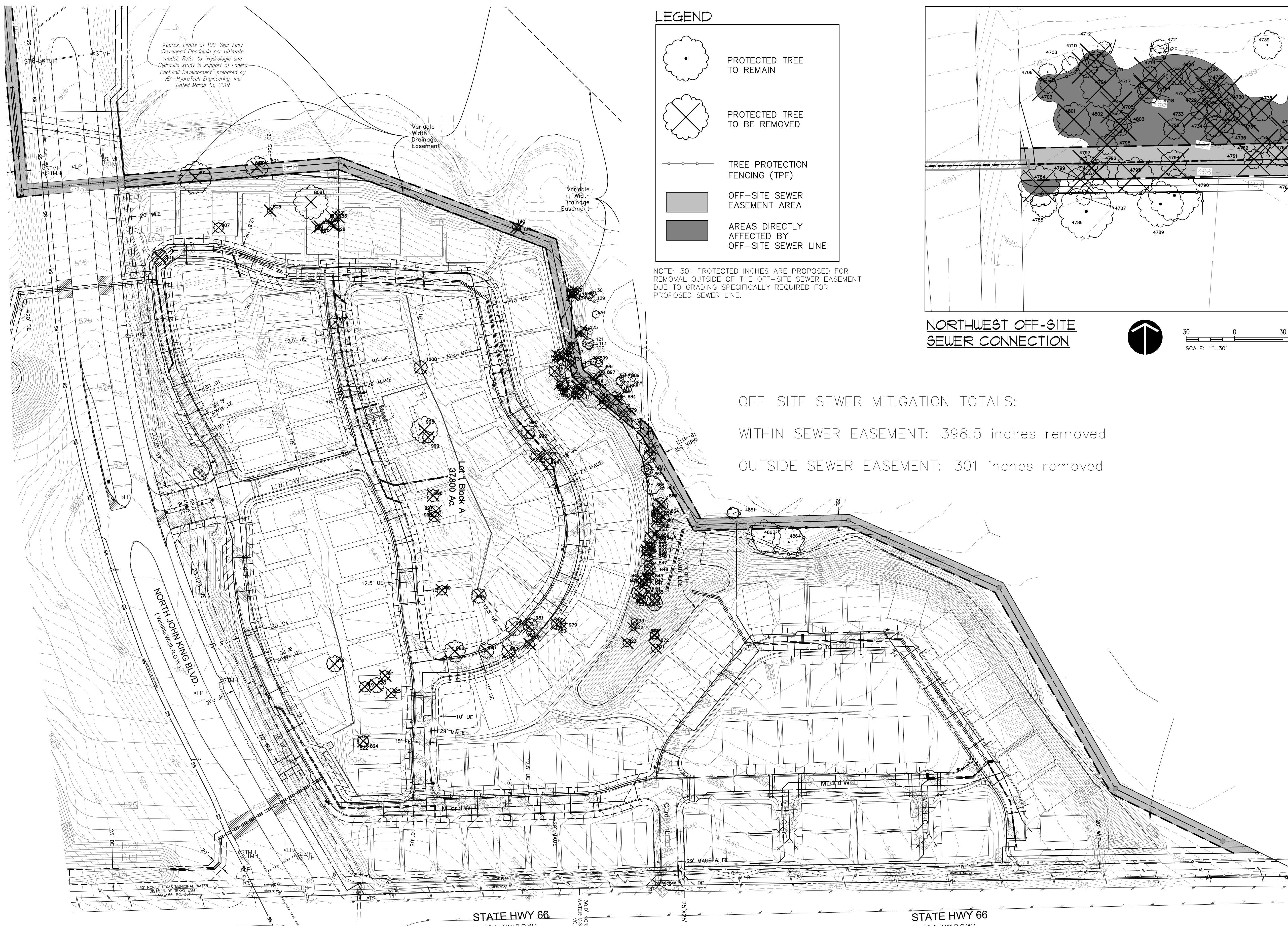


500 0 500 1000 1500 Feet  
SCALE: 1"=500'

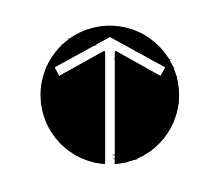


OFF-SITE SEWER MITIGATION TOTALS:  
WITHIN SEWER EASEMENT: 398.5 inches removed  
OUTSIDE SEWER EASEMENT: 301 inches removed

**MAIN SITE OF DEVELOPMENT**



80 0 80 160 240 Feet  
SCALE: 1"=80'



T: R. M. Ad  
C: I  
D: A. G. A. | M. Ad  
111 H. Dr  
L: T. 75057  
972. 436. 9712  
201 C. Dr  
R: T. 76262  
940. 240. 1012  
T: PE: 19762 T: PLS: 10194440



**Off-Site Sewer Tree Removal  
Ladera Rockwall**

Town of Rockwall  
Rockwall County, Texas

G&A Job No. 17191 Date: April 24, 2019 By: VC  
Z:\2017\17191\Drawings\FP & Const Plans\Sheets\17191\_TS.dwg  
This concept plan is intended for conceptual developmental use and shall not be interpreted as an official or submitted document. All aerial and map images were obtained from best available information. This plan is subject to change.

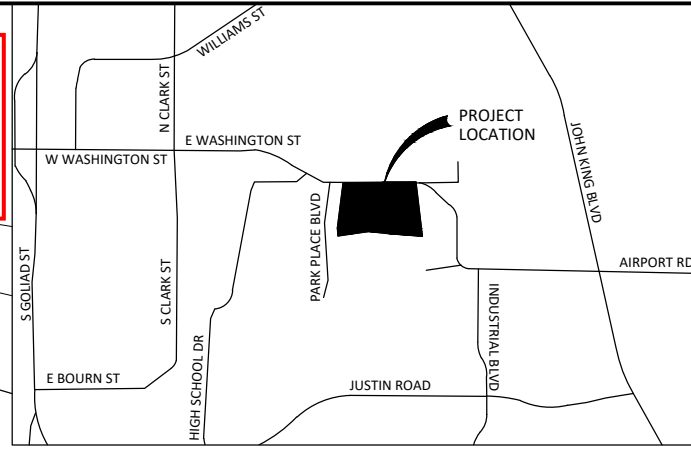
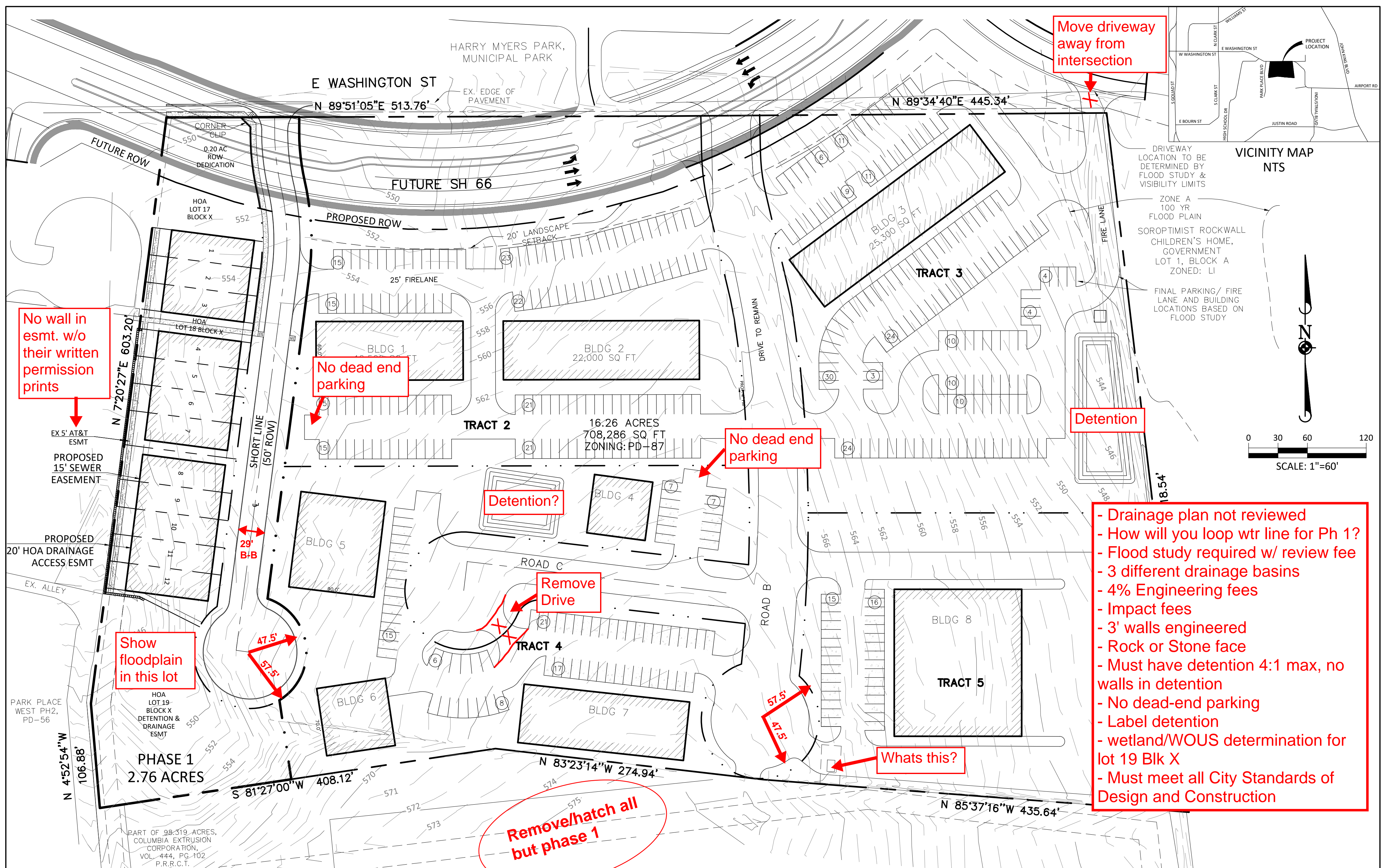
## City of Rockwall Project Plan Review History



<b>Project Number</b> P2019-026	<b>Owner</b> COLUMBIA, EXTRUSION CORP	<b>Applied</b> 6/14/2019	<b>LM</b>
<b>Project Name</b> Park Station	<b>Applicant</b> COLUMBIA DEVELOPMENT CO, LLC	<b>Approved</b>	
<b>Type</b> PLAT		<b>Closed</b>	
<b>Subtype</b> PRELIMINARY		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 1200 E WASHINGTON		<b>City, State Zip</b> ROCKWALL, TX 75087	
		<b>Zoning</b>	
<b>Subdivision</b> INDALLOY ADDITION	<b>Tract</b> 31	<b>Block</b>	<b>Lot No</b> 31
			<b>Parcel No</b> 0029-0000-0031-00-0R
			<b>General Plan</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019				
ENGINEERING	Sarah Hager	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(6/21/2019 1:55 PM SH)							
<ul style="list-style-type: none"> <li>- No dead end parking.</li> <li>- Shadow or remove all other phases of design.</li> <li>- Must show the existing floodplain boundary.</li> <li>- No structures allowed in easements, including AT&amp;T.</li> <li>- Move the third driveway away from the intersection of 66 and E Washington.</li> <li>- Is there a water line connection under the third driveway?</li> <li>- Cul-de-sack radii are 57.5'R ROW, 47.5'R of paving.</li> <li>- Remove the extra drive to Road C from bulding 7.</li> <li>- What is the box in the drive isle near building 5?</li> <li>- Label detention easements.</li> </ul>							
The following is for your information for engineering design.							
<ul style="list-style-type: none"> <li>- Drainage plan not reviewed</li> <li>- How will you loop wtr line for Ph 1?</li> <li>- Flood study required w/ review fee</li> <li>- 3 different drainage basins</li> <li>- 4% Engineering fees</li> <li>- Impact fees</li> <li>- 3' walls engineered</li> <li>- Rock or Stone face</li> <li>- Must have detention 4:1 max, no walls in detention</li> <li>- No dead-end parking</li> <li>- Label detention</li> <li>- wetland/WOUS determination for lot 19 Blk X</li> <li>- Must meet all City Standards of Design and Construction</li> </ul>							
FIRE	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7	APPROVED	
GIS	Lance Singleton	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
PLANNING	Korey Brooks	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	



**VICINITY MAP NTS**

DRIVEWAY LOCATION TO BE DETERMINED BY FLOOD STUDY & VISIBILITY LIMITS

ZONE A  
100 YR  
FLOOD PLAIN

SOROPTIMIST ROCKWALL CHILDREN'S HOME, GOVERNMENT LOT 1, BLOCK A ZONED: LI

FINAL PARKING/ FIRE LANE AND BUILDING LOCATIONS BASED ON FLOOD STUDY

SCALE: 1"=60'

- Drainage plan not reviewed
- How will you loop wtr line for Ph 1?
- Flood study required w/ review fee
- 3 different drainage basins
- 4% Engineering fees
- Impact fees
- 3' walls engineered
- Rock or Stone face
- Must have detention 4:1 max, no walls in detention
- No dead-end parking
- Label detention
- wetland/WOUS determination for lot 19 Blk X
- Must meet all City Standards of Design and Construction

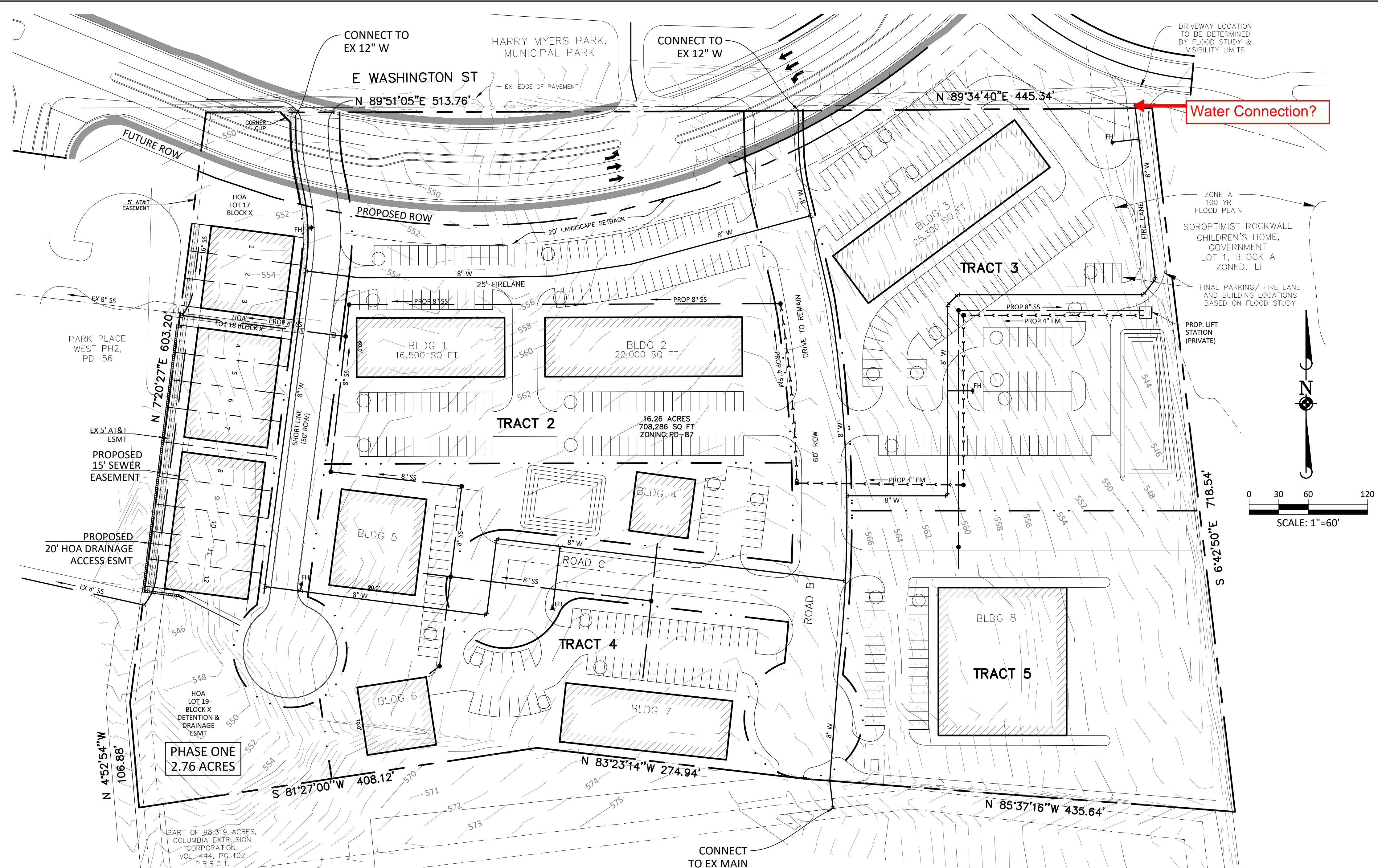
- PHASE 1 LOT DATA**
- MAX 12 LOTS
  - MIN 3000 SF
  - MIN 115' x 28'
  - 20' FRONT SETBACK
  - 10' REAR SETBACK
  - 0' SIDE SETBACK

MR. BILL BRICKER  
COLUMBIA DEVELOPMENT COMPANY, LLC  
305 PARK PLACE BLVD.  
ROCKWALL, TX 75087  
972.72.2439  
bill@coventures.com

**TOMDEN ENGINEERING, L.L.P.**  
5815 MEADOWCREST  
DALLAS, TX 75230  
(214) 679 - 1679  
FIRM No. 19244  
tjones@tomden.com

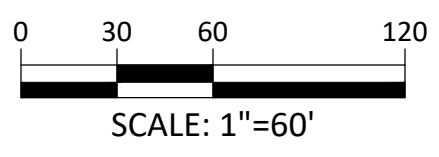
PHASE 1 SUMMARY	
1. 12 SINGLE FAMILY LOTS	0.94 AC
2. ROW DEDICATION (FUTURE SH 66)	0.20 AC
3. SHORT LINE (50' RIGHT-OF-WAY)	0.81 AC
4. HOA LOTS 17, 18, & 19	0.81 AC
TOTAL = 2.76 AC	

<b>PRELIMINARY PLAT - PD 87</b>
PARK STATION PHASE 1 16.26 ACRES
PART OF 98.319 ACRES COLUMBIA EXTRUSION COPORATION VOL. 444, PG. 102 P.R.R.C.T.
ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARED: 06/14/2019

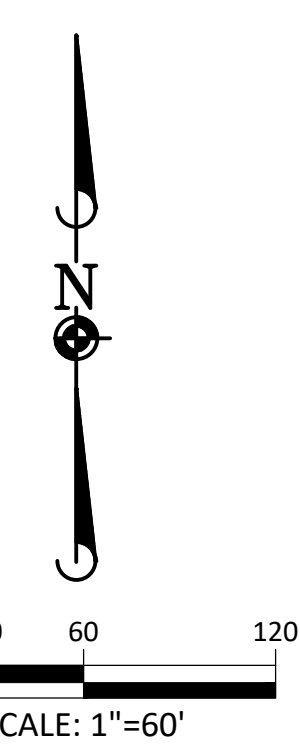
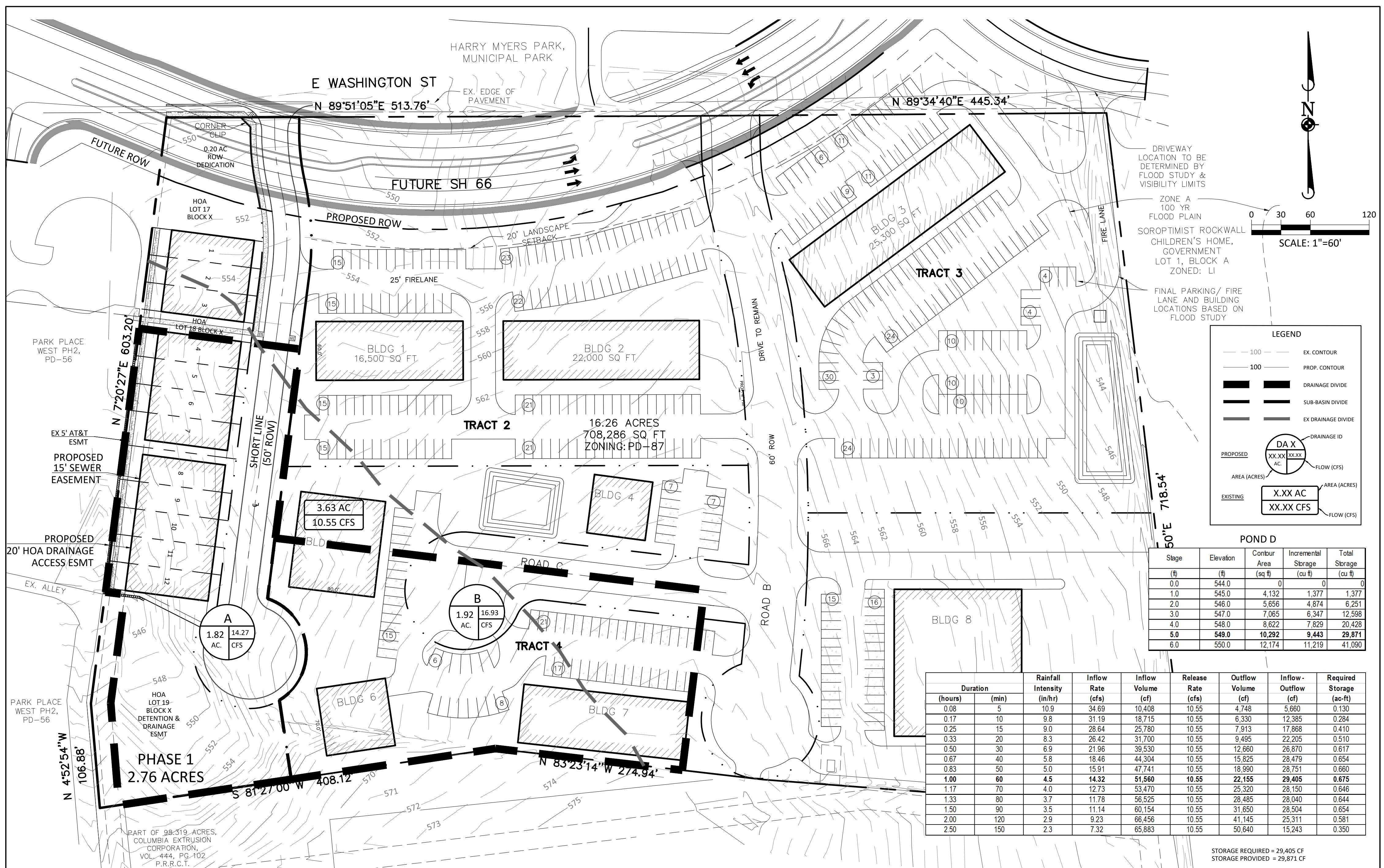


Water Connection?

ZONE A  
100 YR  
FLOOD PLAIN  
SOROPTIMIST ROCKWALL  
CHILDREN'S HOME,  
GOVERNMENT  
LOT 1, BLOCK A  
ZONED: LI  
FINAL PARKING/ FIRE LANE  
AND BUILDING LOCATIONS  
BASED ON FLOOD STUDY



<b>PRELIMINARY UTILITY PLAN</b>
PARK STATION PHASE 1 16.26 ACRES
PART OF 98.319 ACRES COLUMBIA EXTRUSION COPORATION VOL. 444, PG. 102 P.R.R.C.T.
ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARED: 06/14/2019



DRIVEWAY LOCATION TO BE DETERMINED BY FLOOD STUDY & VISIBILITY LIMITS

ZONE A 100 YR FLOOD PLAIN

SOROPTIMIST ROCKWALL CHILDREN'S HOME, GOVERNMENT LOT 1, BLOCK A ZONED: LI

FINAL PARKING/ FIRE LANE AND BUILDING LOCATIONS BASED ON FLOOD STUDY

**LEGEND**

- 100 --- EX. CONTOUR
- 100 --- PROP. CONTOUR
- DRAINAGE DIVIDE
- SUB-BASIN DIVIDE
- EX DRAINAGE DIVIDE
- DRAINAGE ID
- PROPOSED:  $\frac{DA \times}{XX.XX \times XX.XX}$  AC FLOW (CFS)
- EXISTING:  $\frac{X.XX \text{ AC}}{XX.XX \text{ CFS}}$

**POND D**

Stage	Elevation	Conbur Area	Incremental Storage	Total Storage
(ft)	(ft)	(sq ft)	(cu ft)	(cu ft)
0.0	544.0	0	0	0
1.0	545.0	4,132	1,377	1,377
2.0	546.0	5,656	4,874	6,251
3.0	547.0	7,065	6,347	12,598
4.0	548.0	8,622	7,829	20,428
5.0	549.0	10,292	9,443	29,871
6.0	550.0	12,174	11,219	41,090

Duration	Rainfall Intensity	Inflow Rate	Inflow Volume	Release Rate	Outflow Volume	Inflow - Outflow	Required Storage
(hours)	(in/hr)	(cfs)	(cf)	(cfs)	(cf)	(cf)	(ac-ft)
0.08	5	10.9	34.69	10.55	4,748	5,660	0.130
0.17	10	9.8	31.19	10.55	6,330	12,385	0.284
0.25	15	9.0	28.64	10.55	7,913	17,868	0.410
0.33	20	8.3	26.42	10.55	9,495	22,205	0.510
0.50	30	6.9	21.96	10.55	12,660	26,870	0.617
0.67	40	5.8	18.46	10.55	15,825	28,479	0.654
0.83	50	5.0	15.91	10.55	18,990	28,751	0.660
1.00	60	4.5	14.32	10.55	22,155	29,405	0.675
1.17	70	4.0	12.73	10.55	25,320	28,150	0.646
1.33	80	3.7	11.78	10.55	28,485	28,040	0.644
1.50	90	3.5	11.14	10.55	31,650	28,504	0.654
2.00	120	2.9	9.23	10.55	41,145	25,311	0.581
2.50	150	2.3	7.32	10.55	50,640	15,243	0.350

STORAGE REQUIRED = 29,405 CF  
STORAGE PROVIDED = 29,871 CF

**PHASE 1**

DA	Drainage Area	C	C*A	Tc	Design Storm	I	Q	Comments
EX	3.63	0.35	1.27	20	100 YR	8.3	10.55	ALLOWABLE DISCHARGE
A	1.82	0.8	1.456	10	100YR	9.8	14.27	TOWNHOMES
B	1.92	0.9	1.728	10	100YR	9.8	16.93	FUTURE INDUSTRIAL

**POND D SUMMARY**

EX. AREA TO POND  
 $3.63 \text{ AC.} \times 0.35 \times 8.3 = 10.55 \text{ CFS}$

PROPOSED AREA TO POND  
 $1.82 \text{ AC.} \times 0.80 \times 9.8 = 14.27 \text{ CFS}$   
 $1.92 \text{ AC.} \times 0.90 \times 9.8 = 16.93 \text{ CFS}$

TOTAL Q TO POND = 31.2 CFS  
PASS THROUGH FLOW TO POND

**PRELIMINARY DRAINAGE PLAN**


**PARK STATION PHASE 1**  
16.26 ACRES

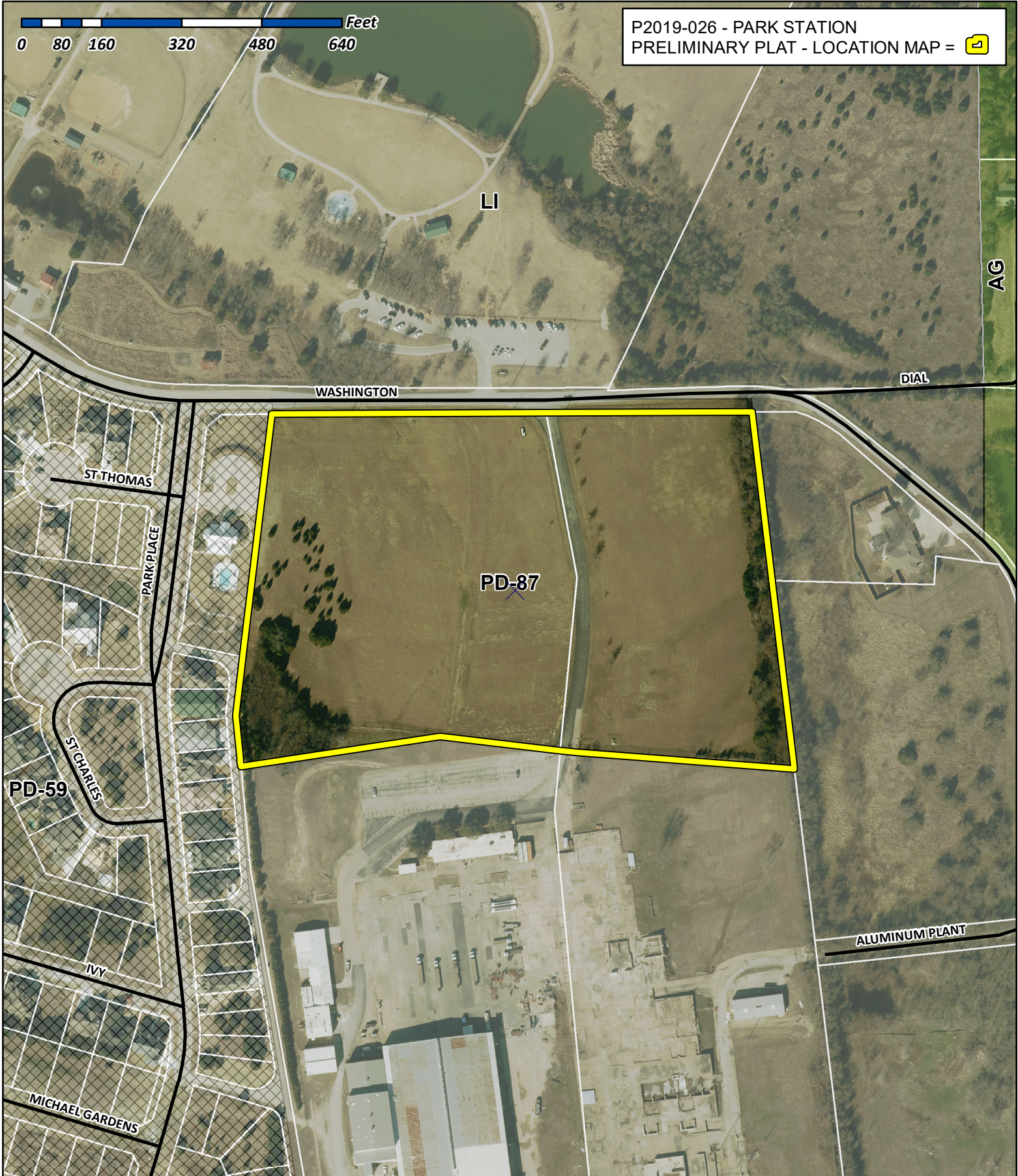
**PART OF 98.319 ACRES**  
COLUMBIA EXTRUSION COPORATION  
VOL. 444, PG. 102  
P.R.R.C.T.

**ROCKWALL, ROCKWALL COUNTY, TEXAS**

PREPARED: 06/14/2019

0 80 160 320 480 640 Feet

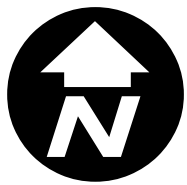
P2019-026 - PARK STATION  
PRELIMINARY PLAT - LOCATION MAP = 



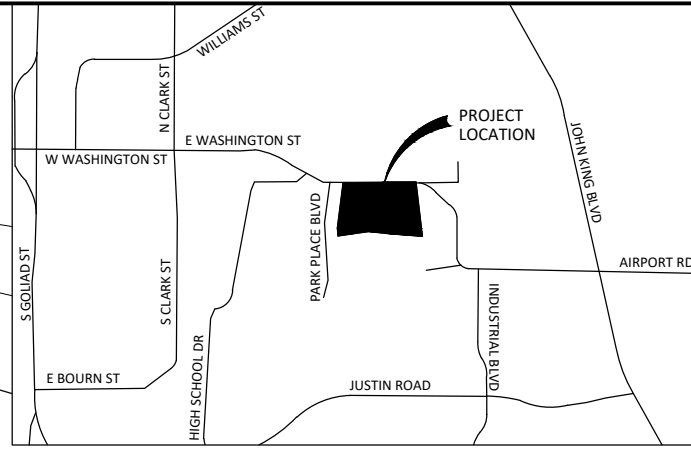
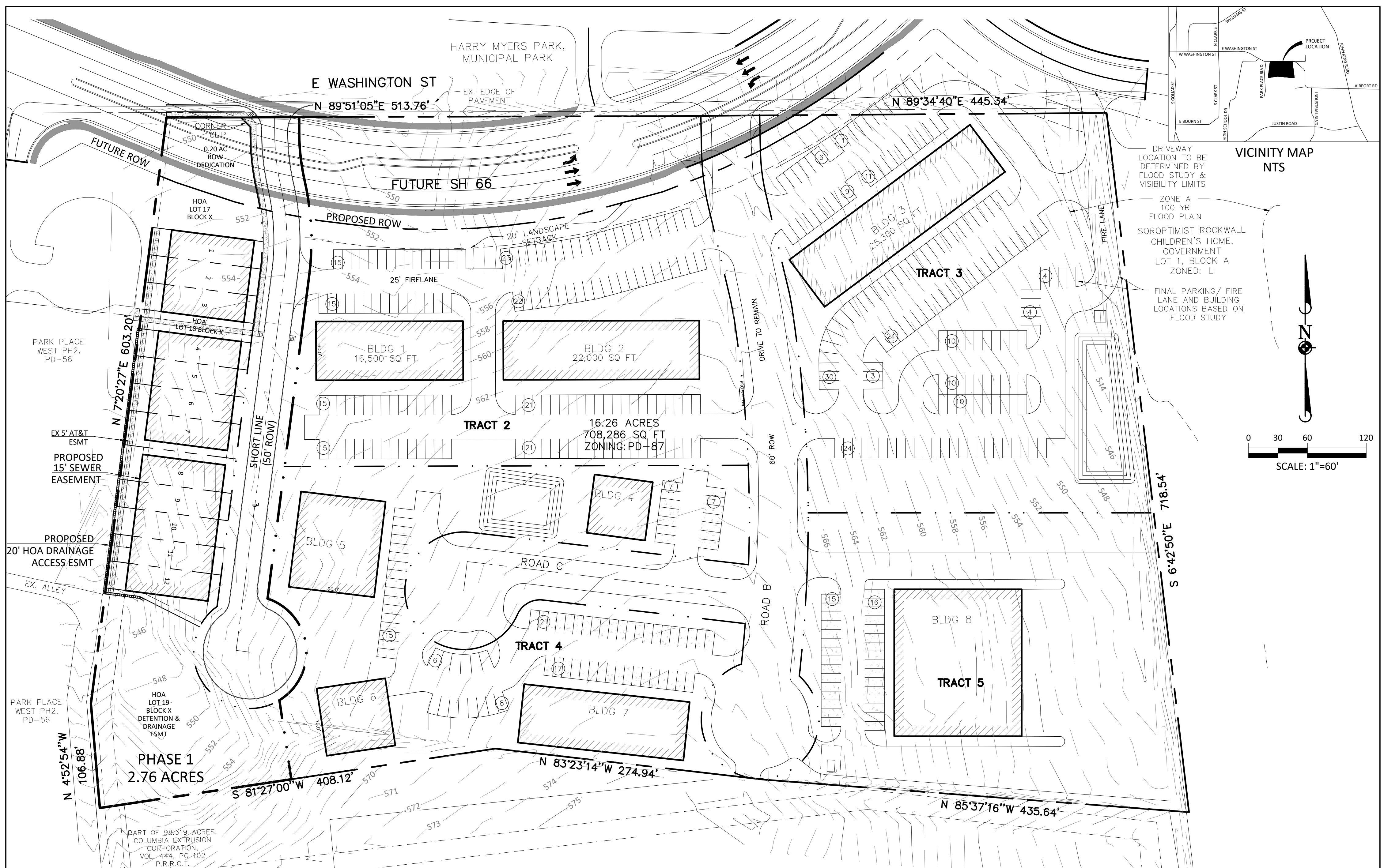
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







**VICINITY MAP NTS**

DRIVEWAY LOCATION TO BE DETERMINED BY FLOOD STUDY & VISIBILITY LIMITS

ZONE A  
100 YR  
FLOOD PLAIN

SOROPTIMIST ROCKWALL CHILDREN'S HOME, GOVERNMENT LOT 1, BLOCK A ZONED: LI

FINAL PARKING/ FIRE LANE AND BUILDING LOCATIONS BASED ON FLOOD STUDY

0 30 60 120  
SCALE: 1"=60'

PARK PLACE WEST PH2, PD-56

EX 5' AT&T ESMT

PROPOSED 15' SEWER EASEMENT

PROPOSED 20' HOA DRAINAGE ACCESS ESMT

EX. ALLEY

PARK PLACE WEST PH2, PD-56

HOA LOT 19-BLOCK X DETENTION & DRAINAGE ESMT

PART OF 98.319 ACRES, COLUMBIA EXTRUSION CORPORATION, VOL. 444, PG. 102 P.R.R.C.T.

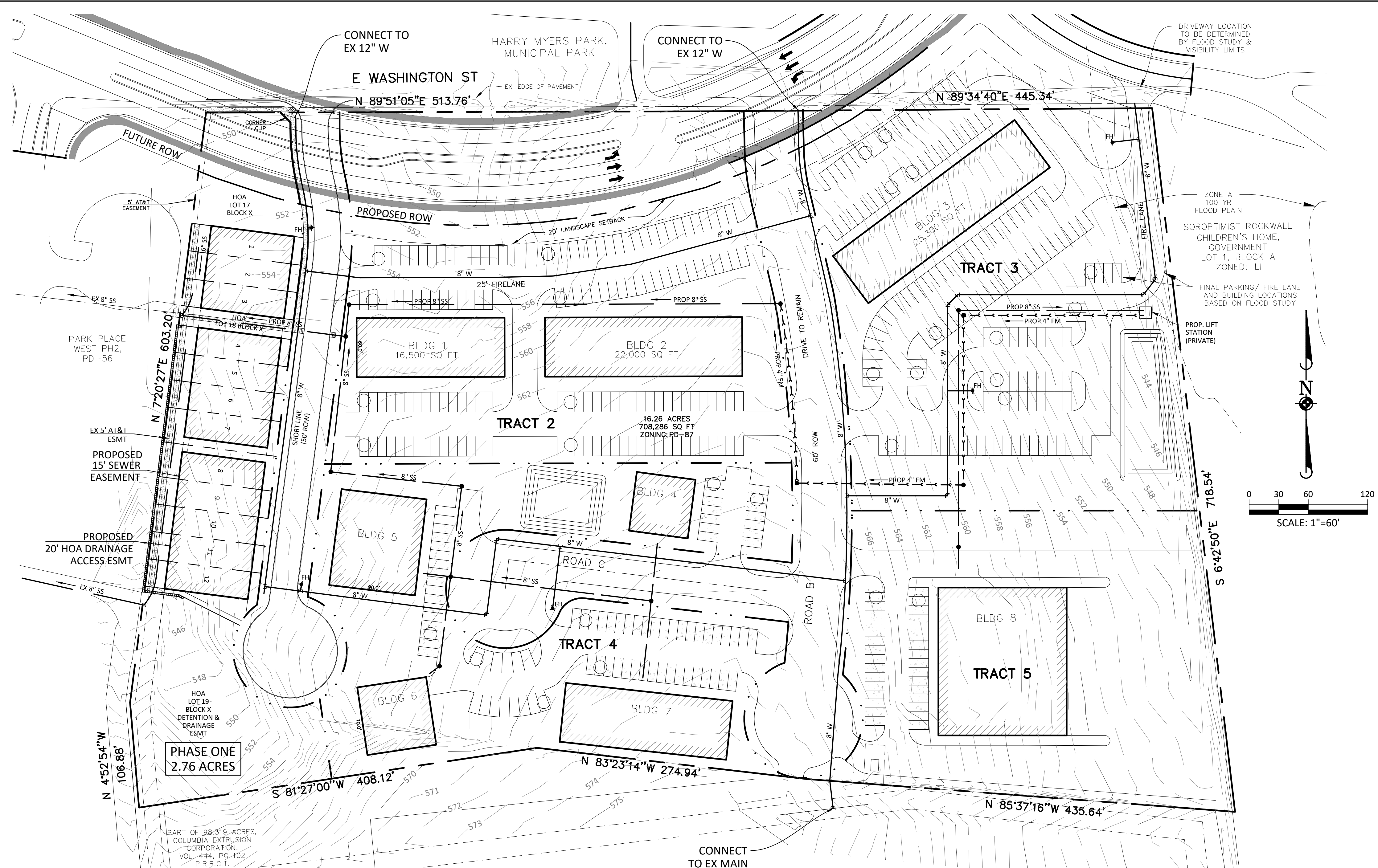
- PHASE 1 LOT DATA**
- MAX 12 LOTS
  - MIN 3000 SF
  - MIN 115' x 28'
  - 20' FRONT SETBACK
  - 10' REAR SETBACK
  - 0' SIDE SETBACK

MR. BILL BRICKER  
COLUMBIA DEVELOPMENT COMPANY, LLC  
305 PARK PLACE BLVD.  
ROCKWALL, TX 75087  
972.72.2439  
bill@coventures.com

**TOMDEN ENGINEERING, L.L.P.**  
5815 MEADOWCREST  
DALLAS, TX 75230  
(214) 679 - 1679  
FIRM No. 19244  
tjones@tomden.com

PHASE 1 SUMMARY	
1. 12 SINGLE FAMILY LOTS	0.94 AC
2. ROW DEDICATION (FUTURE SH 66)	0.20 AC
3. SHORT LINE (50' RIGHT-OF-WAY)	0.81 AC
4. HOA LOTS 17, 18, & 19	0.81 AC
TOTAL = 2.76 AC	

<b>PRELIMINARY PLAT - PD 87</b>
PARK STATION PHASE 1 16.26 ACRES
PART OF 98.319 ACRES COLUMBIA EXTRUSION COPORATION VOL. 444, PG. 102 P.R.R.C.T.
ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARED: 06/14/2019



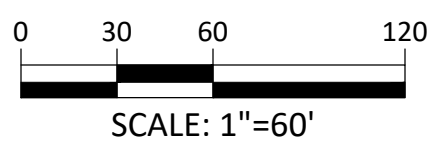
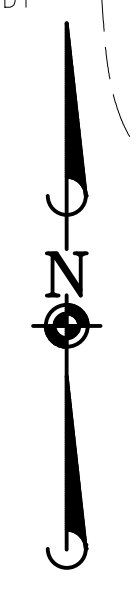
DRIVEWAY LOCATION TO BE DETERMINED BY FLOOD STUDY & VISIBILITY LIMITS

ZONE A  
100 YR  
FLOOD PLAIN

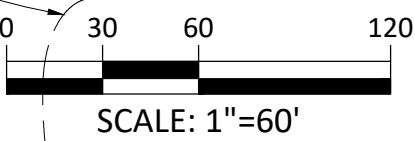
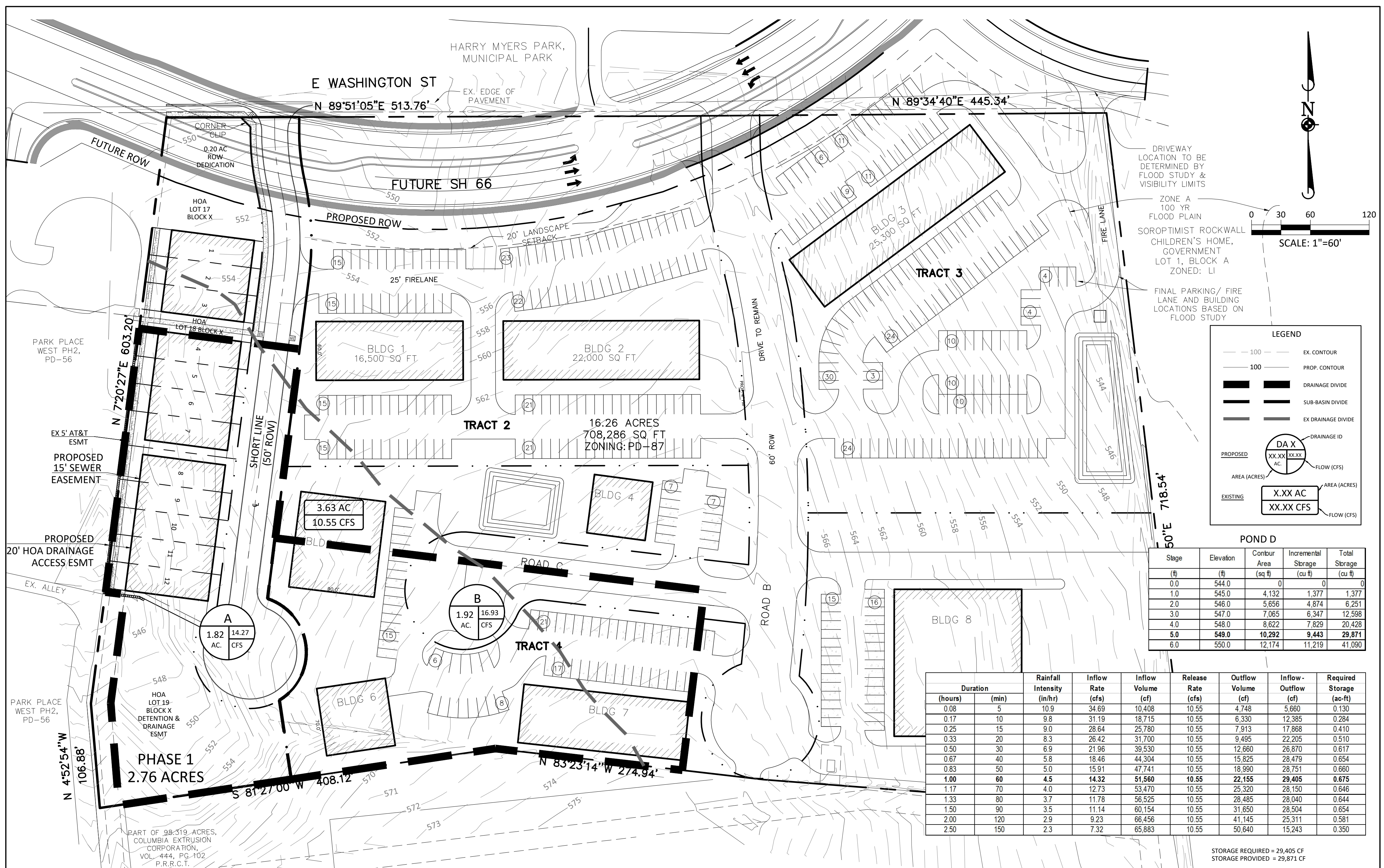
SOROPTIMIST ROCKWALL  
CHILDREN'S HOME,  
GOVERNMENT  
LOT 1, BLOCK A  
ZONED: LI

FINAL PARKING/ FIRE LANE  
AND BUILDING LOCATIONS  
BASED ON FLOOD STUDY

PROP. LIFT  
STATION  
(PRIVATE)



<b>PRELIMINARY UTILITY PLAN</b>
PARK STATION PHASE 1 16.26 ACRES
PART OF 98.319 ACRES COLUMBIA EXTRUSION COPORATION VOL. 444, PG. 102 P.R.R.C.T.
ROCKWALL, ROCKWALL COUNTY, TEXAS
PREPARED: 06/14/2019



DRIVEWAY LOCATION TO BE DETERMINED BY FLOOD STUDY & VISIBILITY LIMITS

ZONE A 100 YR FLOOD PLAIN

SOROPTIMIST ROCKWALL CHILDREN'S HOME, GOVERNMENT LOT 1, BLOCK A ZONED: LI

FINAL PARKING/ FIRE LANE AND BUILDING LOCATIONS BASED ON FLOOD STUDY

**LEGEND**

- 100 --- EX. CONTOUR
- 100 --- PROP. CONTOUR
- DRAINAGE DIVIDE
- SUB-BASIN DIVIDE
- EX DRAINAGE DIVIDE
- DRAINAGE ID
- DA X  
XX.XX XX.XX  
AC FLOW (CFS)
- AREA (ACRES)
- EXISTING X.XX AC  
XX.XX CFS
- AREA (ACRES)
- FLOW (CFS)

**POND D**

Stage	Elevation	Conbur Area	Incremental Storage	Total Storage
(#)	(#)	(sq ft)	(cu ft)	(cu ft)
0.0	544.0	0	0	0
1.0	545.0	4,132	1,377	1,377
2.0	546.0	5,656	4,874	6,251
3.0	547.0	7,065	6,347	12,598
4.0	548.0	8,622	7,829	20,428
5.0	549.0	10,292	9,443	29,871
6.0	550.0	12,174	11,219	41,090

Duration	Rainfall Intensity	Inflow Rate	Inflow Volume	Release Rate	Outflow Volume	Inflow - Outflow	Required Storage
(hours)	(in/hr)	(cfs)	(cf)	(cfs)	(cf)	(cf)	(ac-ft)
0.08	5	10.9	34.69	10.55	4,748	5,660	0.130
0.17	10	9.8	31.19	10.55	6,330	12,385	0.284
0.25	15	9.0	28.64	10.55	7,913	17,868	0.410
0.33	20	8.3	26.42	10.55	9,495	22,205	0.510
0.50	30	6.9	21.96	10.55	12,660	26,870	0.617
0.67	40	5.8	18.46	10.55	15,825	28,479	0.654
0.83	50	5.0	15.91	10.55	18,990	28,751	0.660
1.00	60	4.5	14.32	10.55	22,155	29,405	0.675
1.17	70	4.0	12.73	10.55	25,320	28,150	0.646
1.33	80	3.7	11.78	10.55	28,485	28,040	0.644
1.50	90	3.5	11.14	10.55	31,650	28,504	0.654
2.00	120	2.9	9.23	10.55	41,145	25,311	0.581
2.50	150	2.3	7.32	10.55	50,640	15,243	0.350

STORAGE REQUIRED = 29,405 CF  
STORAGE PROVIDED = 29,871 CF

**PHASE 1**

DA	Drainage Area	C	C*A	Tc	Design Storm	I	Q	Comments
EX	3.63	0.35	1.27	20	100 YR	8.3	10.55	ALLOWABLE DISCHARGE
A	1.82	0.8	1.456	10	100YR	9.8	14.27	TOWNHOMES
B	1.92	0.9	1.728	10	100YR	9.8	16.93	FUTURE INDUSTRIAL

**POND D SUMMARY**

EX. AREA TO POND  
3.63 AC. x 0.35 x 8.3 = 10.55 CFS

PROPOSED AREA TO POND  
1.82 AC. x 0.80 x 9.8 = 14.27 CFS  
1.92 AC x 0.90 x 9.8 = 16.93 CFS

TOTAL Q TO POND = 31.2 CFS  
PASS THROUGH FLOW TO POND

**PRELIMINARY DRAINAGE PLAN**

**PARK STATION PHASE 1**  
16.26 ACRES

**PART OF 98.319 ACRES**  
**COLUMBIA EXTRUSION COPORATION**  
VOL. 444, PG. 102  
P.R.R.C.T.

**ROCKWALL, ROCKWALL COUNTY, TEXAS**

PREPARED: 06/14/2019

## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2019-021	<b>Owner</b> DALLAS, EAST	<b>Applied</b> 6/14/2019	<b>LM</b>
<b>Project Name</b> Channel Corp	<b>Applicant</b> MULLIKEN CONSTRUCTION MANAGEMENT, INC.	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b> AMENDING		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 2400 S GOLIAD		<b>City, State Zip</b> ROCKWALL, TX 75032	
		<b>Zoning</b>	
<b>Subdivision</b> ROCKWALL BUSINESS PARK EAST PH 2	<b>Tract</b> 1	<b>Block</b> B	<b>Lot No</b> 1
		<b>Parcel No</b> 4832-000B-0001-00-0R	<b>General Plan</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
ENGINEERING	Amy Williams	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	<p>(6/21/2019 10:00 AM SH)</p> <ul style="list-style-type: none"> <li>- Fire lane radius is minimum of 20'. If the building is more than 36' tall, then the radius must be 30' minimum.</li> <li>- All additional parking to be 20'x9'.</li> <li>- The as-built plans show a curb inlet where you are proposing a parking island. This location may conflict with the plan.</li> <li>- How are you getting water and sewer to the new guard shack?</li> <li>- No storage in easements.</li> </ul> <p>The following items are for your information for engineering design.</p> <ul style="list-style-type: none"> <li>- Need to show TXDOT Row for John King</li> <li>- Must show existing/proposed utilities</li> <li>- 4% Engineering fees</li> <li>- Impact fees for new taps</li> <li>- Walls 3' and over must be engineered.</li> <li>- All retaining walls to be rock or stone face. No smooth concrete walls.</li> <li>- 20'x9' parking</li> <li>- 20' R min for fire lane</li> <li>- No storage on any easements</li> <li>- Need to show ex. easements</li> <li>- Must meet all City Standards of Design and Construction.</li> </ul>
FIRE	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	see comment
<p>(6/21/2019 9:32 AM AA)</p> <p>Remove "storage" label from fire lane along north end of the property.</p>							

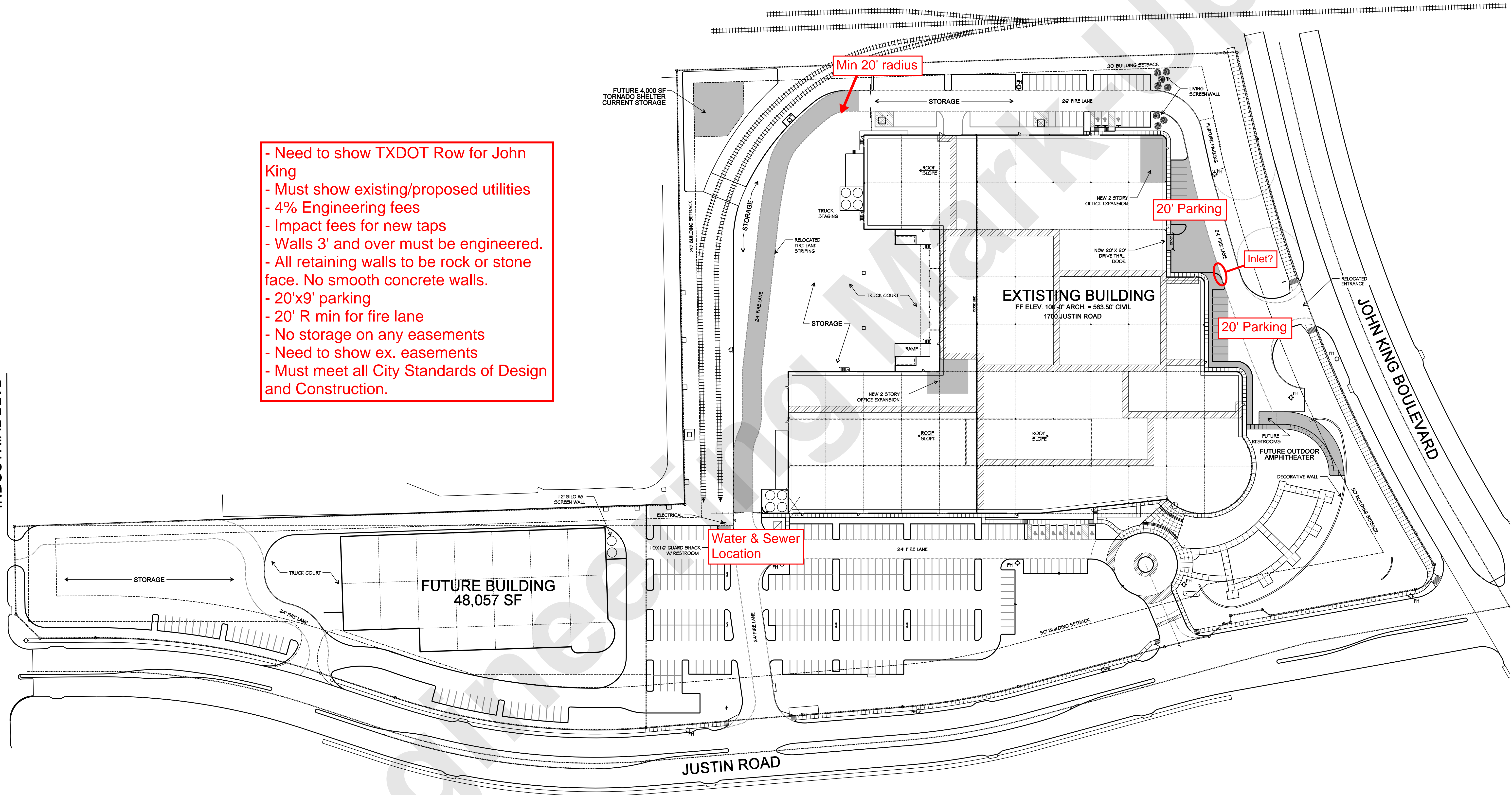
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
GIS	Lance Singleton	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
PLANNING	David Gonzales	6/14/2019	6/21/2019	6/20/2019	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						<p>Discuss and consider a request by Mark W. Pross of Pross Design Group, Inc. on behalf of Alton Frazier of Channell Commercial Corporation for the approval of an amended site plan for an existing industrial building on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 John King Boulevard, and take any action necessary.</p> <p>PLANNING AND ZONING 1ST ROUND STAFF COMMENTS(06.20.2019):</p> <p>The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:</p> <p>** Planning Department General Comments &amp; Requirements to address/acknowledge:</p> <ol style="list-style-type: none"> <li>1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required</li> <li>2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy(CO).</li> <li>3. Label all revised site plan documents with "Case No. SP2019-021" at the lower right corner of each plan.</li> </ol> <p>EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:</p> <ol style="list-style-type: none"> <li>1. Screening fence - existing chain link screening fence to be upgraded to meet code requirement for screening fence Sec. 5.6, of Art. V, of the UDC requires screening fences to be constructed with a masonry fence, minimum six (6)-feet in height. As an alternative, berms in conjunction with a minimum of a six-foot wrought fence and a combination of trees and shrubs can be utilized to meet the screening requirements if the planning and zoning commission determines that the proposed alternative will provide sufficient screening</li> </ol> <p>** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:</p> <p>Site Plan:</p> <ol style="list-style-type: none"> <li>1. Delineate, label and hatch all proposed storage areas. Provide detail of screening mechanism. What is the total square footage of outside storage?</li> <li>2. Under symbology, define 'work area'. The UDC requires all work areas to be within a completely enclosed building. Update Symbology legend.</li> <li>3. What is happening with the areas shaded in gray on the east side of the building that faces John King Blvd? Will parking be eliminated? Are these outdoor work areas?</li> <li>4. Move label with arrows indicating "Storage" from the drive aisle along the northern portion of the property and define the storage areas</li> <li>5. Remove the label indicating "new 2 story office expansion." This will require submittal and approval of a separate building permit</li> <li>6. Remove label indicating 24-ft firelane along the western portion of building as this is currently under request to abandon the firelane</li> <li>7. Ghost in all areas indicating "Future" (i.e. building, shelter, restrooms, parking, etc.).</li> <li>8. Provide elevations for guard shack. Materials to match existing (i.e. masonry structure).</li> </ol> <p>Landscape Plan:</p> <ol style="list-style-type: none"> <li>1. Landscaping to be installed as defined on the approved landscape plan[SP2014-011] subfmitted in June 2014.</li> <li>2. Proposed storage areas along Justin Road and the area located on the western portion of the building where the rail spur tracks are located are to be screened meeting the requirements of Sec. 5.6, of Article V, of the UDC as indicated above.</li> </ol>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
<p>Meeting Dates to Attend</p>						
<p>Planning - Work Session: June 25, 2019 (6:00p.m.) [Applicant to present/discuss project]</p>						
<p>Planning - Action: July 9, 2019 (6:00p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, deny)]</p>						

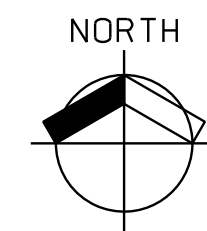
© 2014 THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROSS DESIGN GROUP.

INDUSTRIAL BLVD



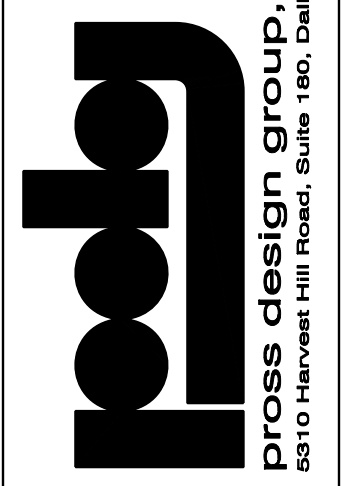
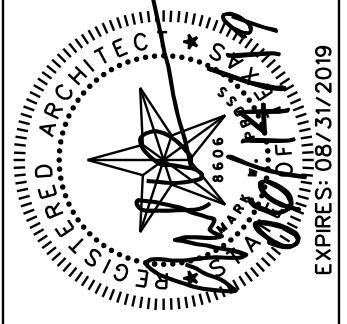
- Need to show TXDOT Row for John King
- Must show existing/proposed utilities
- 4% Engineering fees
- Impact fees for new taps
- Walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- 20'x9' parking
- 20' R min for fire lane
- No storage on any easements
- Need to show ex. easements
- Must meet all City Standards of Design and Construction.

SYMBOLY	
	PROPOSED WORK AREAS



**1 SITE PLAN**  
SCALE: 1"=60'-0"

drawn:  
checked:  
MARY W. PROSS  
DATE  
06/14/2019



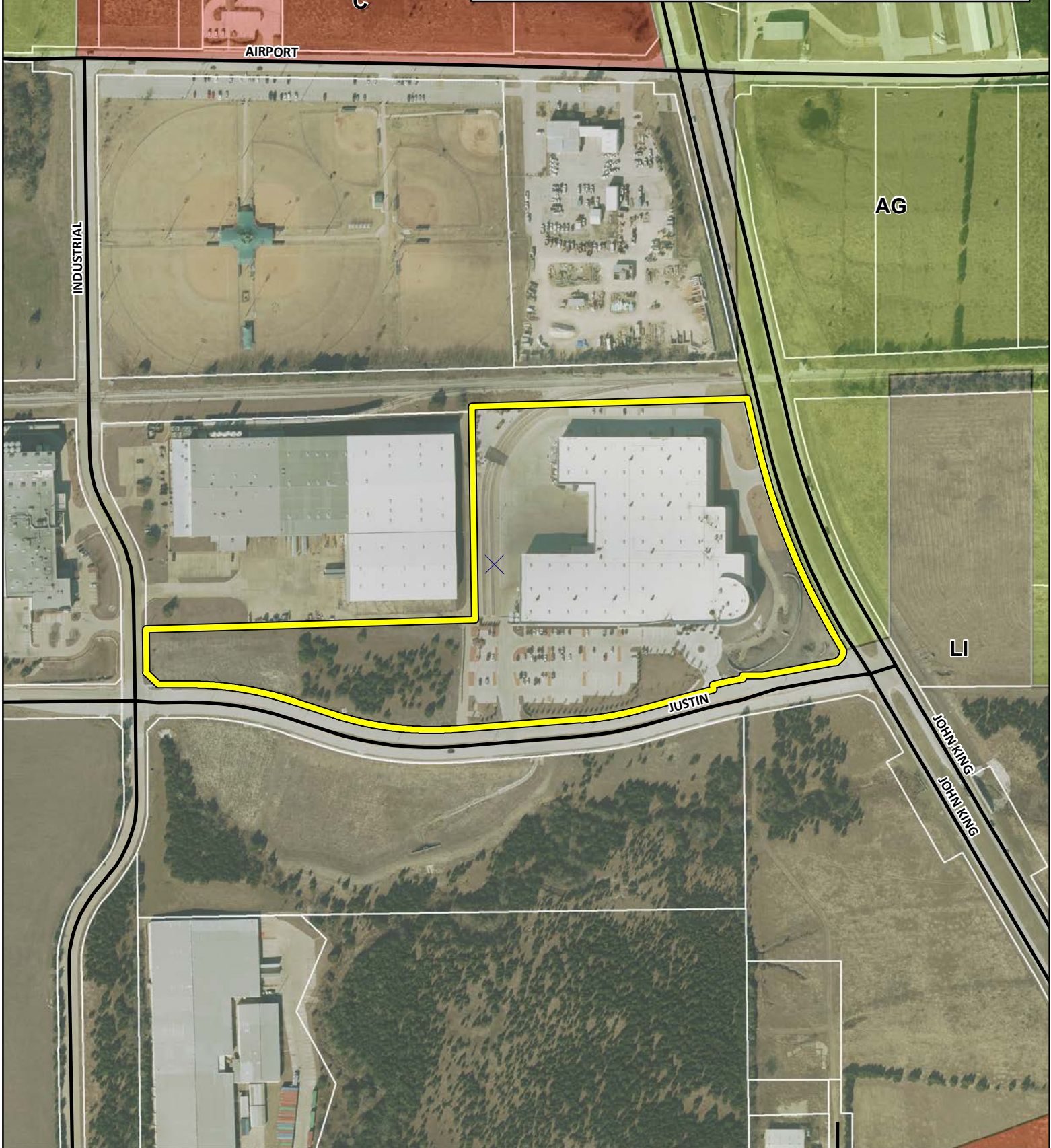
**CHANNELL**  
ROCKWALL, TEXAS  
1700 JUSTIN ROAD

job no  
1423  
sheet  
**A1.0**





SP2019-021 - SITE PLAN FOR CHANNELL COMMERCIAL CORP.  
SITE PLAN - LOCATION MAP =



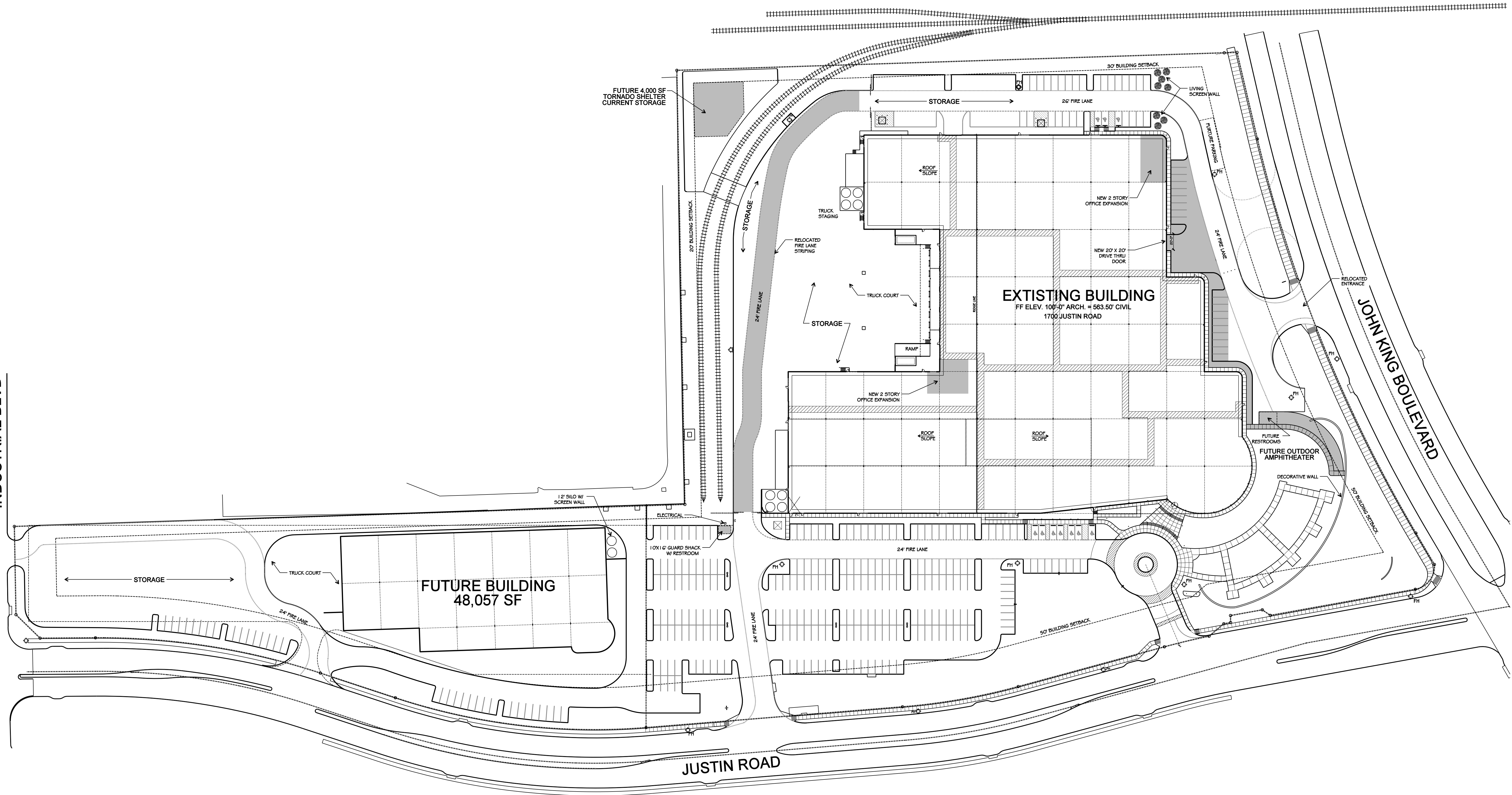
# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



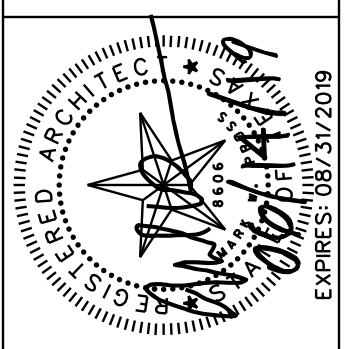
INDUSTRIAL BLVD



SYMBOLGY	
	PROPOSED WORK AREAS

NORTH  
  
**1 SITE PLAN**  
 SCALE: 1"=60'-0"

drawn:  
 checked:  
 MARY W. PROSS  
 c/w  
 06/14/2019

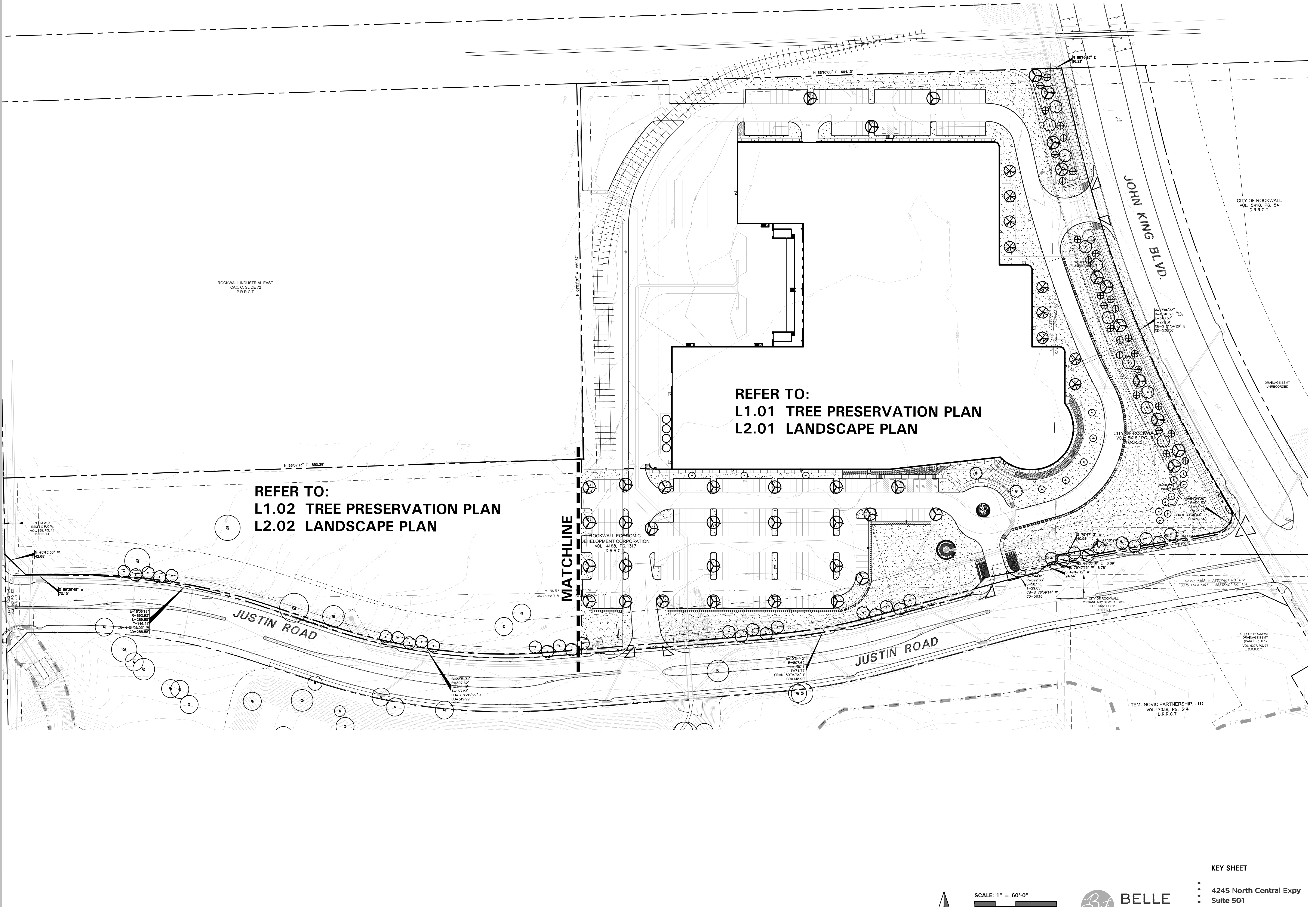


**pross design group, incorporated**  
 2610 Harvest Hill Road, Suite 100, Dallas, Texas 75228 972.758-1400

**CHANNELL**  
 ROCKWALL, TEXAS  
 1700 JUSTIN ROAD

job no  
 1423  
 sheet  
**A1.0**

© 2014 THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROSS DESIGN GROUP



ROCKWALL INDUSTRIAL EAST  
CA: C. SLIDE 72  
P.R.R.C.T.

REFER TO:  
L1.02 TREE PRESERVATION PLAN  
L2.02 LANDSCAPE PLAN

REFER TO:  
L1.01 TREE PRESERVATION PLAN  
L2.01 LANDSCAPE PLAN

MATCHLINE

JOHN KING BLVD.

JUSTIN ROAD

JUSTIN ROAD

CITY OF ROCKWALL  
VOL. 5418, PG. 54  
D.R.R.C.T.

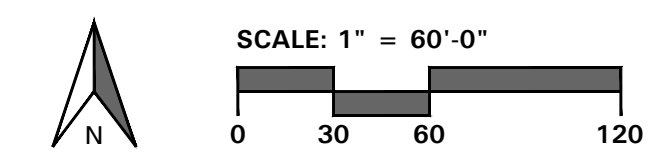
DRAINAGE ESMT  
UNRECORDED

CITY OF ROCKWALL  
DRAINAGE ESMT  
(PARCEL IDE1)  
VOL. 5227, PG. 13  
D.R.R.C.T.

TEMUNOVIC PARTNERSHIP, LTD.  
VOL. 7038, PG. 314  
D.R.R.C.T.

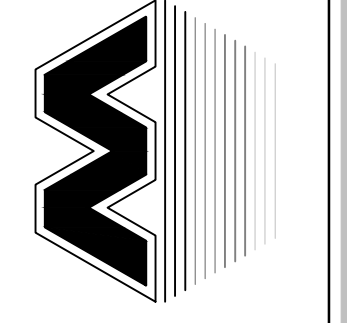
KEY SHEET

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

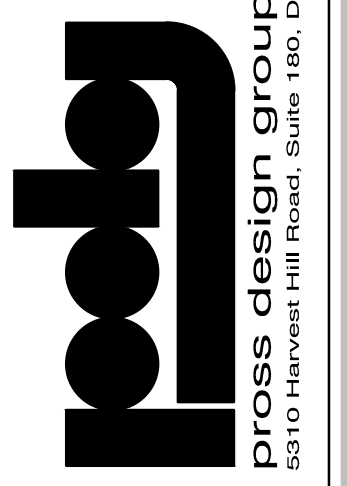


drawn:  
API  
checked  
KAH  
date  
07/01/2014

MOORE CONSTRUCTION, INC.  
11101 WATSON ROAD, SUITE 1001  
DALLAS, TEXAS 75240  
817.460.2200  
WWW.GENERALCONTRACTOR.COM



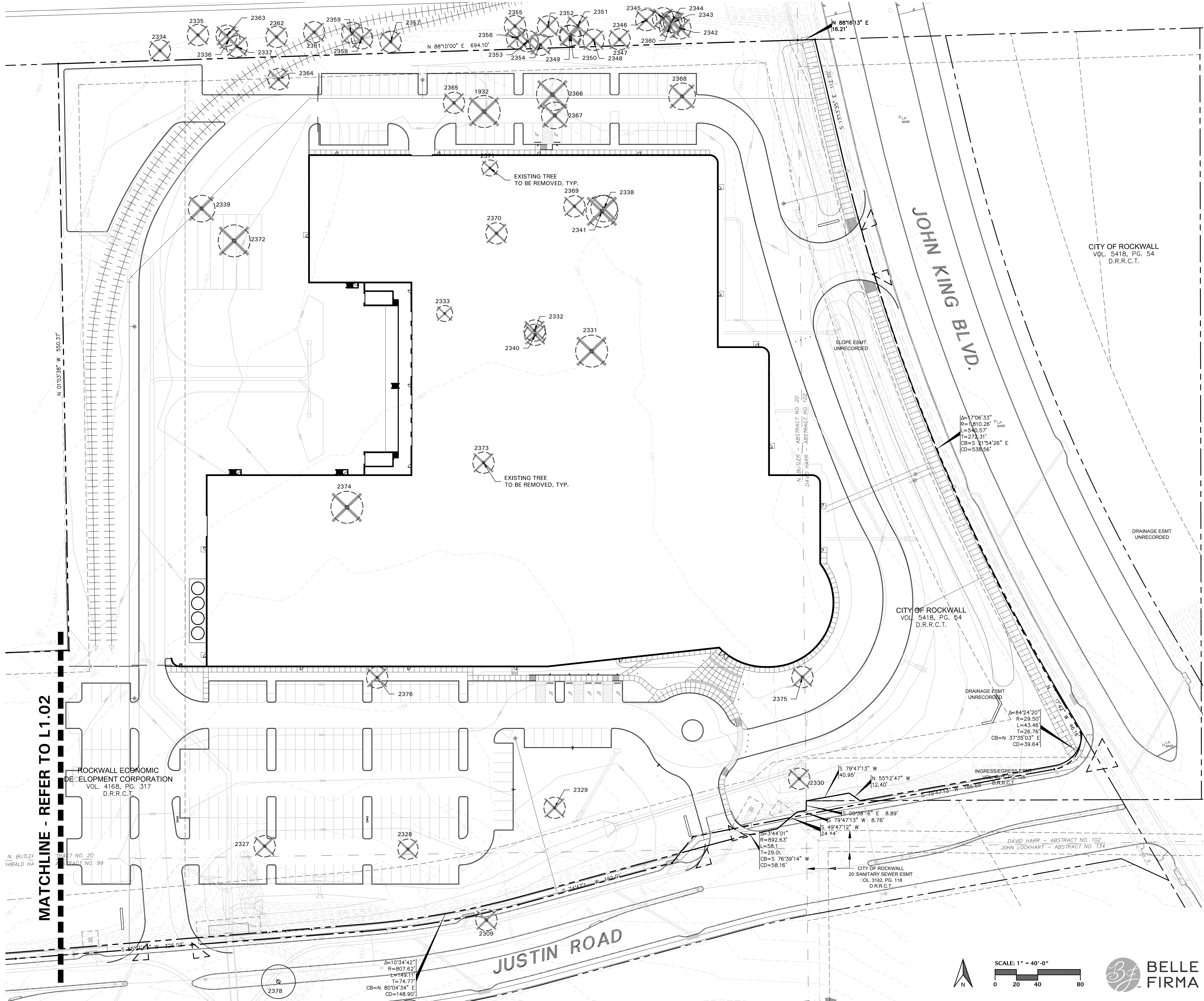
PROSS DESIGN GROUP, INCORPORATED  
5310 Harvest Hill Road, Suite 100, Dallas, Texas 75230, 972.7759-1400



CHANNELL  
ROCKWALL, TEXAS  
BUILD-TO-SUIT

job no  
1423  
sheet  
L1.00

© 2014 THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROSS DESIGN GROUP.



**MATCHLINE - REFER TO L1.02**

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION  
VOL. 4168, PG. 317  
D.R.R.C.T.

CITY OF ROCKWALL  
VOL. 5418, PG. 54  
D.R.R.C.T.

CITY OF ROCKWALL  
VOL. 5418, PG. 54  
D.R.R.C.T.

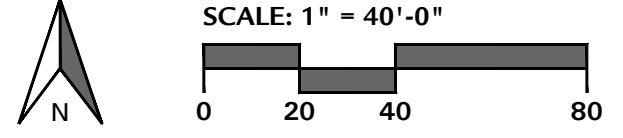
CITY OF ROCKWALL  
20' SANITARY SEWER ESMT  
VOL. 3182, PG. 118  
D.R.R.C.T.

$A=10^{\circ}34'42''$   
 $R=307.62'$   
 $L=149.11'$   
 $T=74.77'$   
 $CB=N 80^{\circ}04'34'' E$   
 $CD=148.90'$

$R=344.01'$   
 $L=892.63'$   
 $T=29.0'$   
 $CB=S 76^{\circ}39'14'' W$   
 $CD=58.16'$

$A=84^{\circ}24'20''$   
 $R=29.50'$   
 $L=43.46'$   
 $T=26.76'$   
 $CB=N 37^{\circ}35'03'' E$   
 $CD=39.64'$

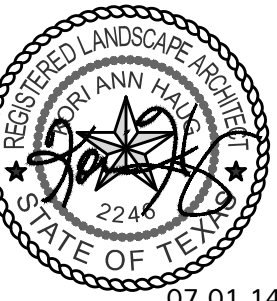
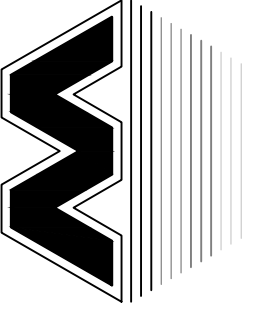
$A=7^{\circ}06'33''$   
 $R=1810.26'$   
 $L=540.37'$   
 $T=274.31'$   
 $CB=S 1^{\circ}54'26'' E$   
 $CD=538.56'$



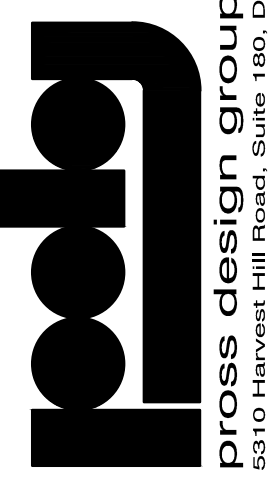
- TREE PRESERVATION PLAN**
- 4245 North Central Expy
  - Suite 501
  - Dallas, Texas 75205
  - 214.865.7192 office

drawn: API  
checked: KAH  
date: 07/01/2014

MOORE CONSTRUCTION, INC.  
11101 WATSON ROAD, SUITE 1001  
DALLAS, TEXAS 75240  
WWW.GENERALCONTRACTOR.COM



pross design group, incorporated  
5310 Harvest Hill Road, Suite 100, Dallas, Texas 75230, 972/7759-1400



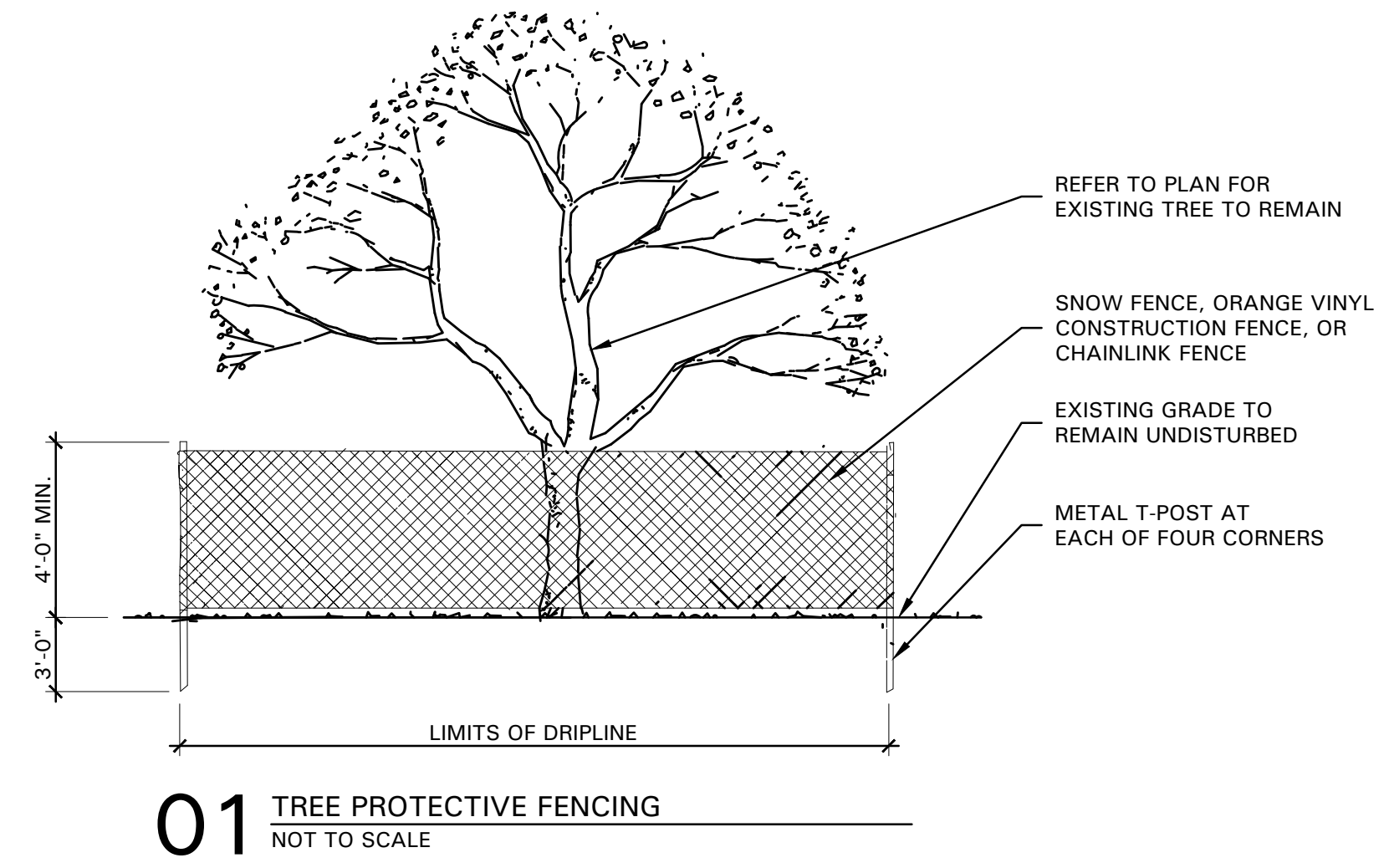
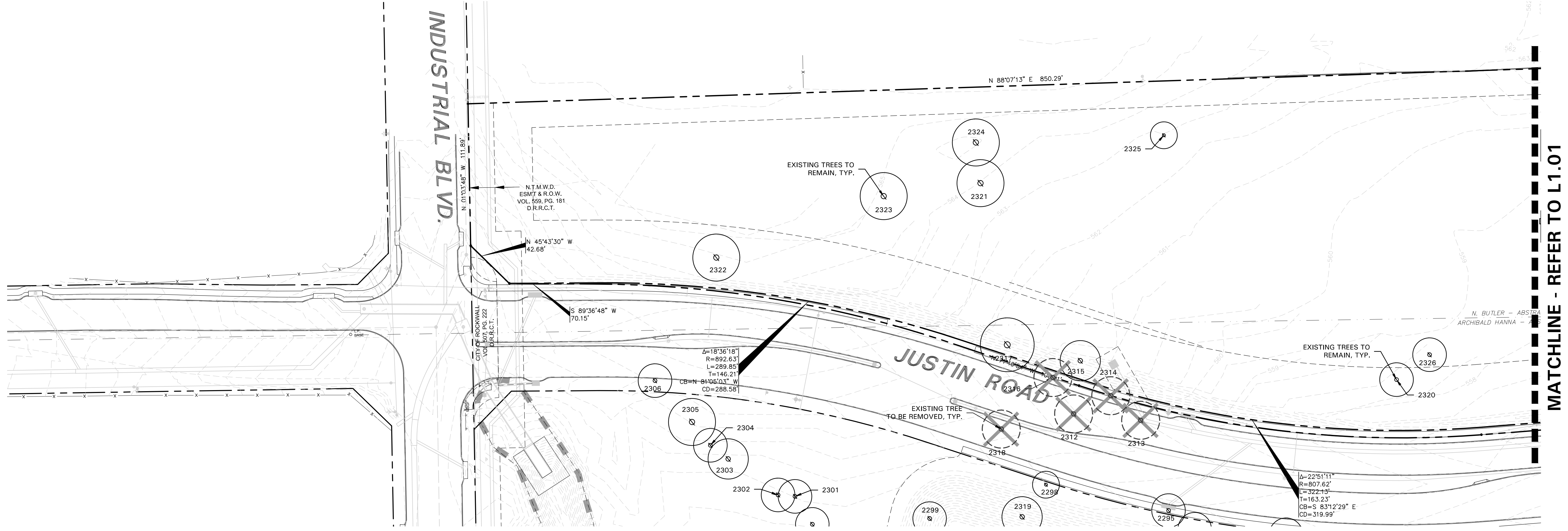
CHANNELL  
ROCKWALL, TEXAS



BUILD-TO-SUIT

job no 1423  
sheet  
**L1.01**

© 2014 THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROSS DESIGN GROUP.



**01 TREE PROTECTIVE FENCING**  
NOT TO SCALE

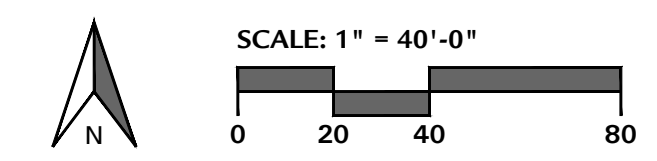
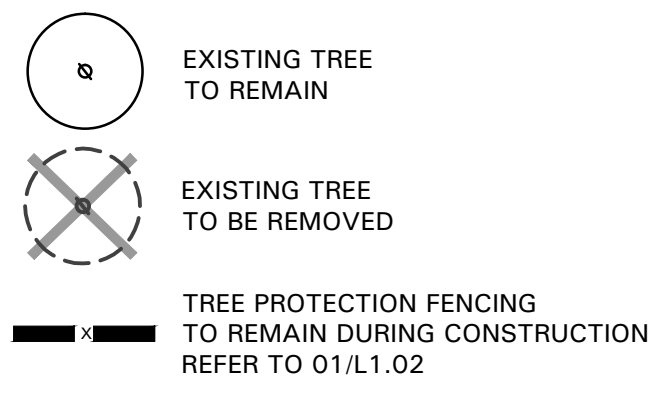
TREE SURVEY FIELD DATA				
No.	Dia. (inches)	Species (common name)	Status	Remarks
1932	13	MULTI-TRUNK CEDAR	TO BE REMOVED	
2309	11	MULTI-TRUNK CEDAR	TO REMAIN	
2312	14	MULTI-TRUNK CEDAR	TO BE REMOVED FUTURE RIGHT OF WAY	
2313	19	MULTI-TRUNK CEDAR	TO BE REMOVED FUTURE RIGHT OF WAY	
2314	16	MULTI-TRUNK CEDAR	TO BE REMOVED FUTURE RIGHT OF WAY	
2315	18	MULTI-TRUNK CEDAR	TO REMAIN	
2316	11	CEDAR	TO BE REMOVED FUTURE RIGHT OF WAY	
2317	20	MULTI-TRUNK CEDAR	TO BE REMOVED FUTURE RIGHT OF WAY	
2320	16	MULTI-TRUNK CEDAR	TO REMAIN	
2321	18	MULTI-TRUNK CEDAR	TO REMAIN	
2322	21	MULTI-TRUNK CEDAR	TO REMAIN	
2323	23	MULTI-TRUNK CEDAR	TO REMAIN	
2324	20	MULTI-TRUNK CEDAR	TO REMAIN	
2325	12	MULTI-TRUNK CEDAR	TO REMAIN	
2326	12	MULTI-TRUNK CEDAR	TO REMAIN	
2327	15	MULTI-TRUNK CEDAR	TO BE REMOVED	
2328	13	MULTI-TRUNK CEDAR	TO BE REMOVED	
2329	11	CEDAR	TO BE REMOVED	
2330	20	MULTI-TRUNK CEDAR	TO BE REMOVED	
2331	20	MULTI-TRUNK CEDAR	TO BE REMOVED	
2332	11	MULTI-TRUNK CEDAR	TO BE REMOVED	
2333	12	MULTI-TRUNK CEDAR	TO BE REMOVED	
2338	14	MULTI-TRUNK CEDAR	TO BE REMOVED	
2339	14	CEDAR	TO BE REMOVED	
2340	14	MULTI-TRUNK CEDAR	TO BE REMOVED	
2341	18	MULTI-TRUNK CEDAR	TO BE REMOVED	
2364	13	CEDAR	TO BE REMOVED	
2365	11	CEDAR	TO BE REMOVED	
2366	11	CEDAR	TO BE REMOVED	
2367	15	MULTI-TRUNK CEDAR	TO BE REMOVED	
2368	13	CEDAR	TO BE REMOVED	
2369	13	MULTI-TRUNK CEDAR	TO BE REMOVED	
2370	11	CEDAR	TO BE REMOVED	
2371	11	MULTI-TRUNK CEDAR	TO BE REMOVED	
2372	12	CEDAR	TO BE REMOVED	
2373	11	HACKBERRY	TO BE REMOVED	
2374	15	MULTI-TRUNK CEDAR	TO BE REMOVED	
2375	12	CEDAR	TO BE REMOVED	
2376	11	CEDAR	TO BE REMOVED	
<b>Total Caliper Inches on Site</b>			<b>485</b>	
<b>Total Caliper Inches Removed</b>			<b>334</b>	
<b>Total Mitigation Inches Required</b>			<b>250.5</b>	
<b>Total Mitigation Inches Provided</b>			<b>250.5</b>	

**TREE PRESERVATION NOTES**

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.

- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

**EXISTING TREE LEGEND**



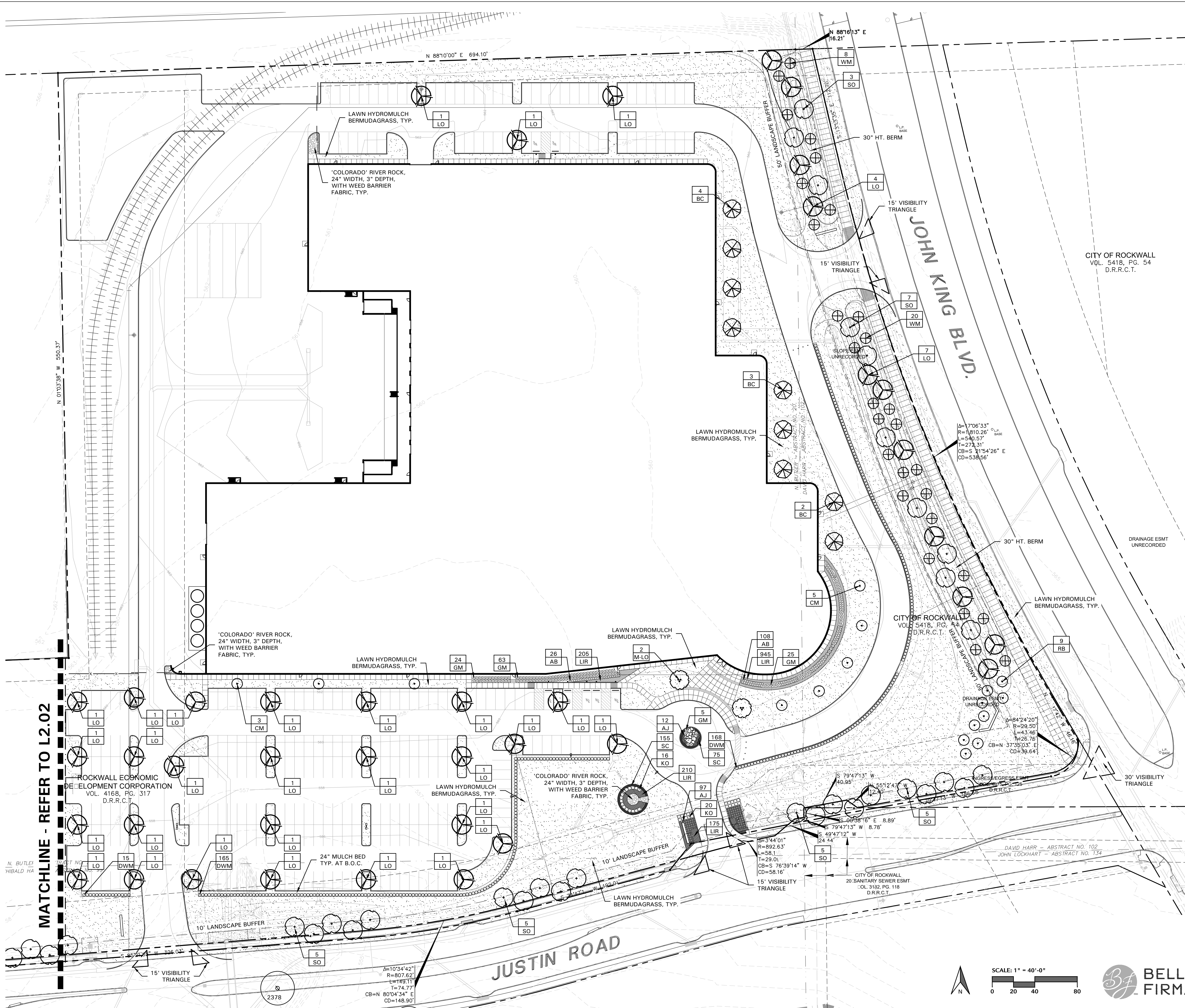
**TREE PRESERVATION PLAN**

4245 North Central Expy  
Suite 501  
Dallas, Texas 75205  
214.865.7192 office

job no 1423  
sheet  
**L1.02**

drawn: API checked KAH date 07/01/2014  
 MOORE CONSTRUCTION, INC. 11011 WATSON ROAD, SUITE 10011, ROCKWALL, TEXAS 75087  
 WWW.GENERALCONTRACTOR.COM  
 PROSS DESIGN GROUP, INCORPORATED 5310 Harvest Hill Road, Suite 100, Dallas, Texas 75230, 972/759-1400  
 CHANNELL ROCKWALL, TEXAS  
 BUILD-TO-SUIT

© 2014 THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROSS DESIGN GROUP.



**MATCHLINE - REFER TO L2.02**

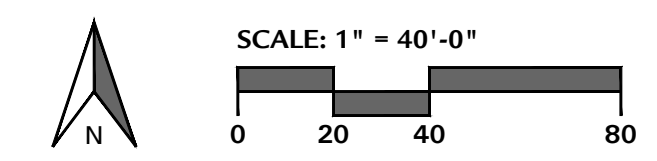
**PLANT LEGEND**

SYMBOL	COMMON NAME
AB	Dwarf Abelia 'Edward Goucher'
AJ	Asian Jasmine
BC	Bald Cypress
CM	Crepe Myrtle 'Natchez'
DWM	Dwarf Wax Myrtle
GM	Gulf Muhly
KO	Double Knock Out Rose
LIR	Liriope 'Big Blue'
LO	Live Oak
M-LO	Live Oak
RB	Oklahoma Redbud
SC	Seasonal Color
SO	Shumard Red Oak
WM	Wax Myrtle

REFER TO L2.02 FOR PLANT LIST

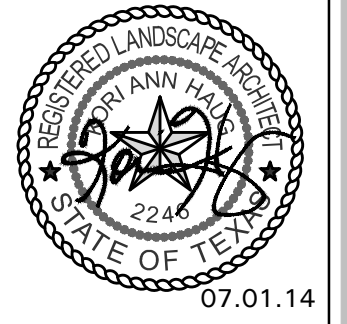
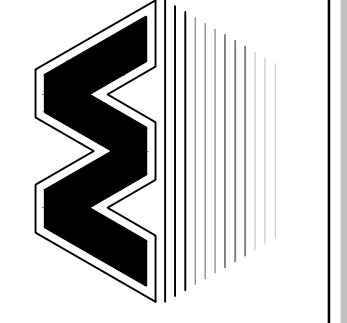
**LANDSCAPE PLAN**

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

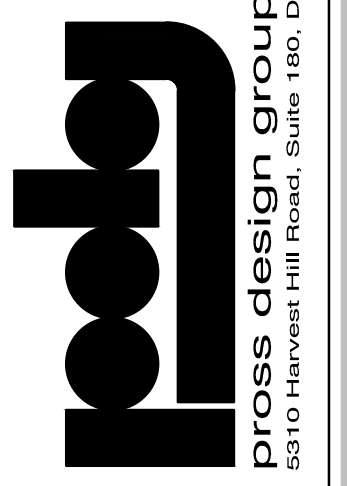


drawn: API  
checked: KAH  
date: 07/01/2014

MOORE CONSTRUCTION, INC.  
11101 WATSON ROAD, SUITE 1001  
DALLAS, TEXAS 75240  
WWW.GENERALCONTRACTOR.COM



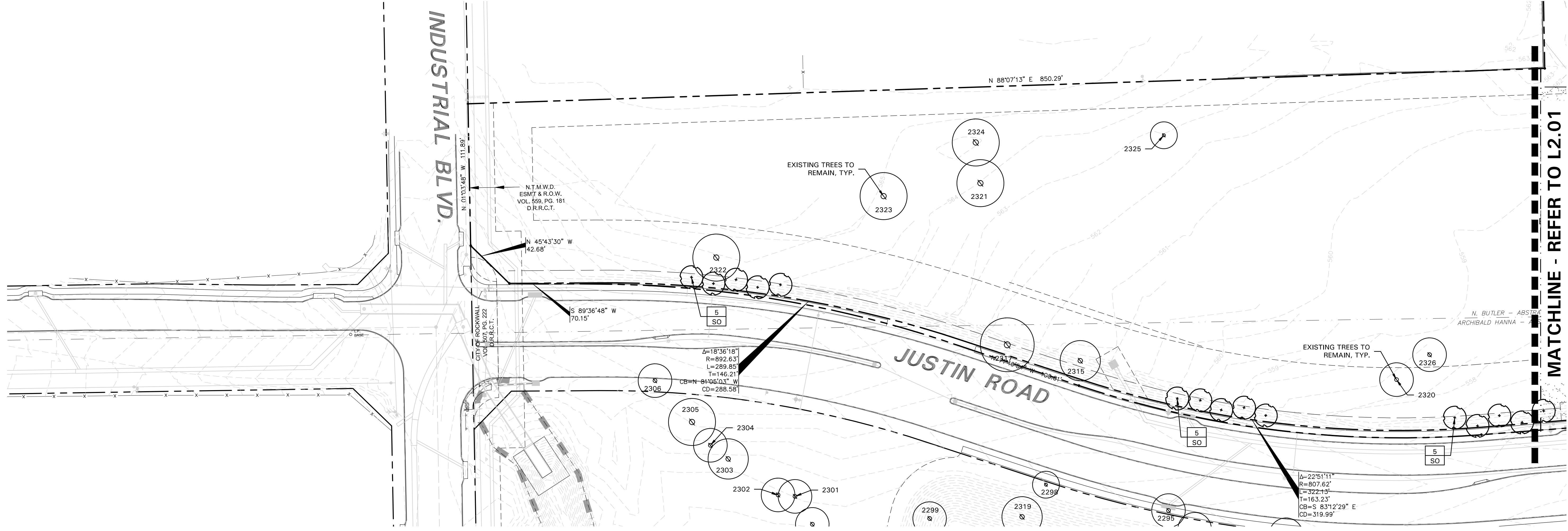
ross design group, incorporated  
5310 Harvest Hill Road, Suite 100, Dallas, Texas 75230, 972/7759-1400



CHANNEL  
ROCKWALL, TEXAS  
UILD-TO-SUIT

job no 1423  
sheet  
**L2.01**

© 2014 THIS DOCUMENT AND THE DESIGNS CONTAINED THEREIN REMAINS THE PROPERTY OF PROSS DESIGN GROUP, INC. AS AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF PROSS DESIGN GROUP.



**PLANT LIST**

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
<b>TREES</b>					
BC	<i>Taxodium distichum</i>	Bald Cypress	9	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CM	<i>Lagerstroemia indica 'Natchez'</i>	Crape Myrtle 'Natchez'	8	30 gal.	container grown, 3-5 trunk, no cross canes, 8' ht., 4' spread, matching
LO	<i>Quercus virginiana</i>	Live Oak	40	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
M-LO	<i>Quercus virginiana</i>	Live Oak	2	3" cal.	container grown, 3-5 trunk, 12' ht., 4' spread, 4' branching ht., matching
RB	<i>Cercis canadensis 'Oklahoma'</i>	Oklahoma Redbud	9	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	45	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
WM	<i>Myrica cerifera</i>	Wax Myrtle	28	6' ht.	container grown, full to base, 3' spread
<b>SHRUBS/GROUND COVER</b>					
AB	<i>Abelia grandiflora 'Edward Goucher'</i>	Dwarf Abelia 'Edward Goucher'	134	3 gal.	container full, 18" spread, 24" o.c.
AJ	<i>Juniperus tobita 'Andorra'</i>	Andorra Juniper	109	5 gal.	container full, 20" spread, 36" o.c.
DWM	<i>Myrica pusilla</i>	Dwarf Wax Myrtle	348	5 gal.	container full, 20" spread, 24" o.c.
GM	<i>Muhlenbergia capillaris</i>	Gulf Muhly	117	5 gal.	container full, 36" o.c.
KO	<i>Rosa hybrida 'Radtko'</i>	Double Knock Out Rose	36	5 gal.	container full, 20" spread, 36" o.c.
LIR	<i>Liriope muscari 'Big Blue'</i>	Liriope 'Big Blue'	1535	4" pots	container full top of container, 12" o.c.
SC	<i>Cynodon dactylon</i>	Common Bermudagrass	230	4" pots	container full, 12" o.c., selection by Owner refer to notes

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

**LANDSCAPE NOTES**

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE HYDROMULCH BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

**MAINTENANCE NOTES**

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

**GENERAL LAWN NOTES**

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

**HYDROMULCH NOTES**

- CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
- BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
- FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
- FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
- HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
- USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER

RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.

**LANDSCAPE TABULATIONS**

THE CITY OF ROCKWALL, TEXAS

**SITE SUMMARY**  
 Site Area = 18.95 AC; 825,439 s.f.  
 Impervious Area = 9.64 AC; 419,872 s.f.  
 Landscape Area = 9.31 AC; 405,567 s.f.  
 Building Area = 206,024 s.f.

**STREET LANDSCAPING**

- 10' wide landscape buffer with one tree per 50 l.f. along Justin Rd.
- 50' wide landscape buffer with a built-up berm (30"-40" ht.), shrubs or combination along John King Boulevard.
- 3 canopy trees and 4 accent trees per every 100 l.f. along John King Boulevard.

STREET	Required	Provided
JUSTIN RD. - 1,833 l.f.	10' buffer (37) canopy trees, 4" cal.	10' buffer (35) trees, 4" cal. (2) existing trees
JOHN KING PARKWAY - 700 l.f.	50' buffer (21) canopy trees, 4" cal. (28) accent trees, 4" ht.	50' buffer (21) canopy trees, 4" cal. (28) accent trees, 4" ht.

**PARKING LOT LANDSCAPING**

- 5% of the interior parking lot shall be landscape.
- One (1) large tree per 10 spaces
- No required parking space more than 80' from a tree
- Screening of parking lot along Justin Rd.

Total interior parking lot area = 107,727 s.f.  
 Total parking spaces = 277 spaces

Required	Provided
5,386 s.f. (5%) (28) trees, 3" cal. all spaces within 80' of tree	10,224 s.f. (9%) (28) trees, 3" cal. all spaces within 80' of tree

**SITE LANDSCAPING**

- 10% of the total site shall be landscaped for LIGHT INDUSTRIAL.
- 100% of the total requirements shall be located in the front of and along side buildings for LIGHT INDUSTRIAL.

Total site = 18.95 AC; 825,439 s.f.

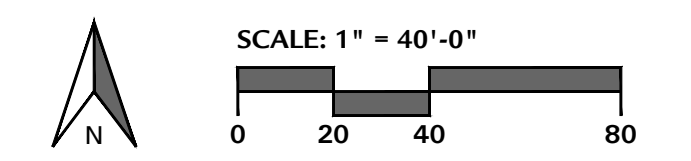
Required	Provided
82,543 s.f. (10%) 82,543 s.f. (100%)	129,079 s.f. (15%) 125,052 s.f. (151%)

**NO TREES WITHIN 5'-0" OF ANY UTILITIES**

**IRRIGATION WILL MEET REQUIREMENTS OF UDC**

**LANDSCAPE PLAN**

4245 North Central Expy  
 Suite 501  
 Dallas, Texas 75205  
 214.865.7192 office



drawn: API checked: KAH date: 07/01/2014

MOORE CONSTRUCTION, INC.  
 11101 WATSON ROAD, SUITE 1001  
 DALLAS, TEXAS 75240  
 WWW.GENERALCONTRACTOR.COM

ROCKWALL, TEXAS

CHANNELL  
 BUILD-TO-SUIT

job no: 1423  
 sheet: L2.02





**City of Rockwall**  
**Project Plan Review History**

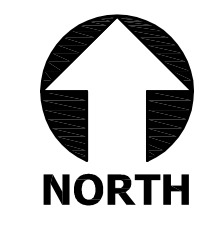
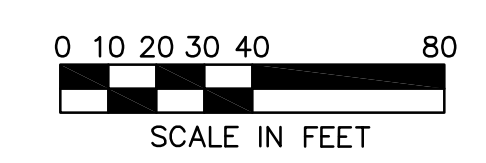
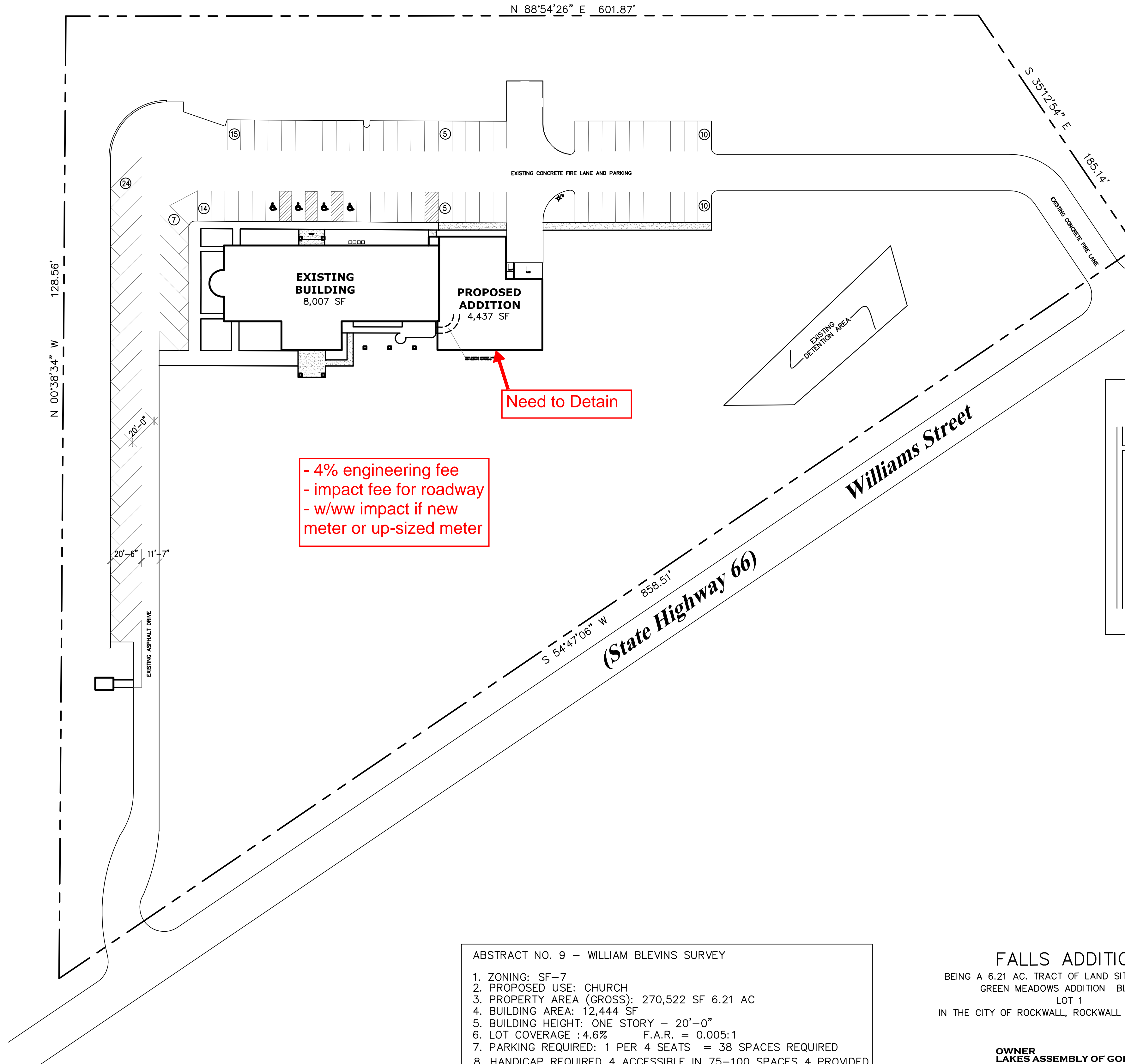


<b>Project Number</b> SP2019-022	<b>Owner</b> ROCKWALL, ASSEMBLY OF GOD	<b>Applied</b> 6/14/2019	<b>LM</b>
<b>Project Name</b> The Lakes Assembly	<b>Applicant</b> MERSHAWN ARCHITECTS	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b>		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 901 WILLIAMS		<b>City, State Zip</b> , TX	
		<b>Zoning</b>	
<b>Subdivision</b> GREEN MEADOWS	<b>Tract</b> 8	<b>Block</b>	<b>Lot No</b> 8
			<b>Parcel No</b> 0029-0000-0008-00-OR
			<b>General Plan</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019				
ENGINEERING (6/21/2019 9:53 AM SH) - Must have detention for any new impervious areas. - 4% engineering fees. - Impact fees for roadway. - Water and Wastewater Impact fees for new taps	Sarah Hager	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	
FIRE	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7	APPROVED	
GIS	Lance Singleton	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
PLANNING	Korey Brooks	6/14/2019	6/21/2019	6/20/2019	6	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-022 Site Plan for The Lakes Assembly: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
1.						This is a request by Greg Wallis of Mershaw Architects on behalf of Rockwall Assembly of God for the approval of a site plan for an addition to an existing church on a 6.210-acre tract of land identified as Lot 1, Block A, Lakes Assembly Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 901 Williams Street.
2.						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
3.						For reference, include the case number (SP2019-022) in the lower right hand corner of all pages on future submittals.
4.						Site Plan--Will any additional exterior lighting be added?
5.						Site Plan--Is additional parking being added?
6.						Site Plan--Please show landscape buffer and setback adjacent to SH-66
7.						Site Plan--Please dimension all walls
8.						Site Plan—Please provide a light crosshatch to the existing areas.
9.						Site Plan--Please provide a floorplan to indicate the use of the addition to ensure the parking requirement is accurate.
10.						Site Plan--Please show and label where the mechanical equipment is and how it will be screened?
11.						Site Plan--Please show centerline of SH-66
12.						Site Plan--Please provide total number of seat and breakdown of existing building.
13.						Site Plan--Please provide width of drive and radii
14.						Site Plan--Please provide lot information on within the lot (e.g. SF, acreage, zoning, legal description, etc).
15.						Site Plan--Please increase the font size of the items labeled on the site. Also, please note that the accessible symbols are blurry.
16.						Site Plan--Please show and label adjacent properties.
17.						Site Plan--Please note that a 10-foot landscape buffer including headlight screening is required along the property lines that are adjacent to residential.
18.						Site Plan--As shown, an exception to the horizontal articulation requirements is needed on the south elevation of the addition.
19.						Site Plan—Please show all easements.
20.						Landscape Plan—Please provide dimensions of all walls on the structure.
21.						Landscape Plan—Please label the detention, building, firelane, parking, etc. as labeled on site plan
22.						Landscape Plan—Please provide the same site data table and property information as shown on site plan.
23.						Landscape Plan—Please note, hydromulch isn't typically allowed—sod may be required
24.						Landscape Plan—Please note, there are some extra characters in the Total Landscape Area section of the plan.
25.						Landscape Plan—Please show headlight screening from adjacent residential properties.
26.						Landscape Plan—Are any trees being removed? Please indicate either way.
27.						Landscape Plan--Please note that a 10-foot landscape buffer including headlight screening is required along the property lines that are adjacent to residential.
28.						Landscape Plan—Please show vicinity map and the other labels as the site plan (e.g. label SH-66, etc.)
29.						Building Elevations—Please provide the west elevation and indicate which elevation faces the street.
30.						Building Elevations—Please provide dimension, heights, scale, etc.
31.						Building Elevations—It appears that the east elevation may be a different scale than the others. Please provide all 4 elevations at the same scale.
32.						Building Elevations—Please note that a variance to horizontal articulation will be required for the south elevation of the addition.
33.						Building Elevations—Would it be possible to provide an additional elevations page that shows existing greyed out? It is difficult to understand where the addition starts.
34.						Building Elevations—Please provide shadows to show where projections, recesses are.
35.						Building Elevations—Please take a look at the east elevation-it appears that there may be a discrepancy in the roofline.
36.						Building Elevations—Please take a look at the north elevation. There appears to be some extra lines in the roof (right below the two labels for the roof).
37.						Building Elevations—Please show and label where the mechanical equipment is and how it will be screened?

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
38. Building Elevations—Please show building materials and percentages.						
39. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2019. The Planning and Zoning Worksession is on June 25th, 2019. The Planning and Zoning Meeting will be July 9th, 2019. Both meetings start at 6:00 p.m. The ARB meetings will be at 5:00 p.m. on the meeting dates.						



**PRICING & CONSTRUCTION**

**GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

1. ZONING: SF-7
2. PROPOSED USE: CHURCH
3. PROPERTY AREA (GROSS): 270,522 SF 6.21 AC
4. BUILDING AREA: 12,444 SF
5. BUILDING HEIGHT: ONE STORY - 20'-0"
6. LOT COVERAGE : 4.6% F.A.R. = 0.005:1
7. PARKING REQUIRED: 1 PER 4 SEATS = 38 SPACES REQUIRED
8. HANDICAP REQUIRED 4 ACCESSIBLE IN 75-100 SPACES 4 PROVIDED
9. TOTAL PARKING PROVIDED: 82 SPACES
10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 67,089 SF

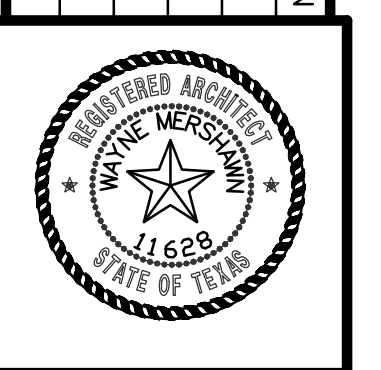
**FALLS ADDITION**  
 BEING A 6.21 AC. TRACT OF LAND SITUATED IN THE GREEN MEADOWS ADDITION BLOCK A LOT 1 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER**  
**LAKES ASSEMBLY OF GOD**  
 902 WILLIAMS STREET  
 ROCKWALL, TEXAS 75087  
 CASE #SP2019-000

RESIDENTIAL RESTAURANTS  
 MEDICAL COMMERCIAL CHURCHES  
**MERSHAWN ARCHITECTS**  
 INSTITUTIONAL ARCHITECTS

2313 RIDGE ROAD #103  
 ROCKWALL, TEXAS 75087  
 PHONE: 972-722-9302  
 FAX: 972-249-2051

No.	Date	Revision	By



**THE LAKES ASSEMBLY**  
**ROCKWALL, TEXAS**

**PROPOSED SITE PLAN**

Scale: 1" = 40'-0"

Date: \_\_\_\_\_

Project No.: 180901

Designed: GW

Drawn: GW

Checked: WM



SP2019-022 - SITE PLAN FOR THE LAKES ASSEMBLY  
 SITE PLAN - LOCATION MAP =

PD-5

HIGH COTTON

HEATH

SF-7

NASH

WILLIAMS

LILLIAN

NASH

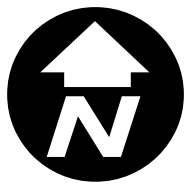
SQUABBLE CREEK

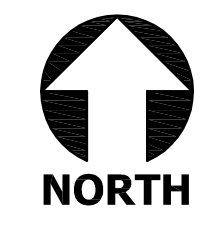
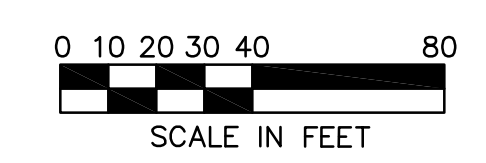
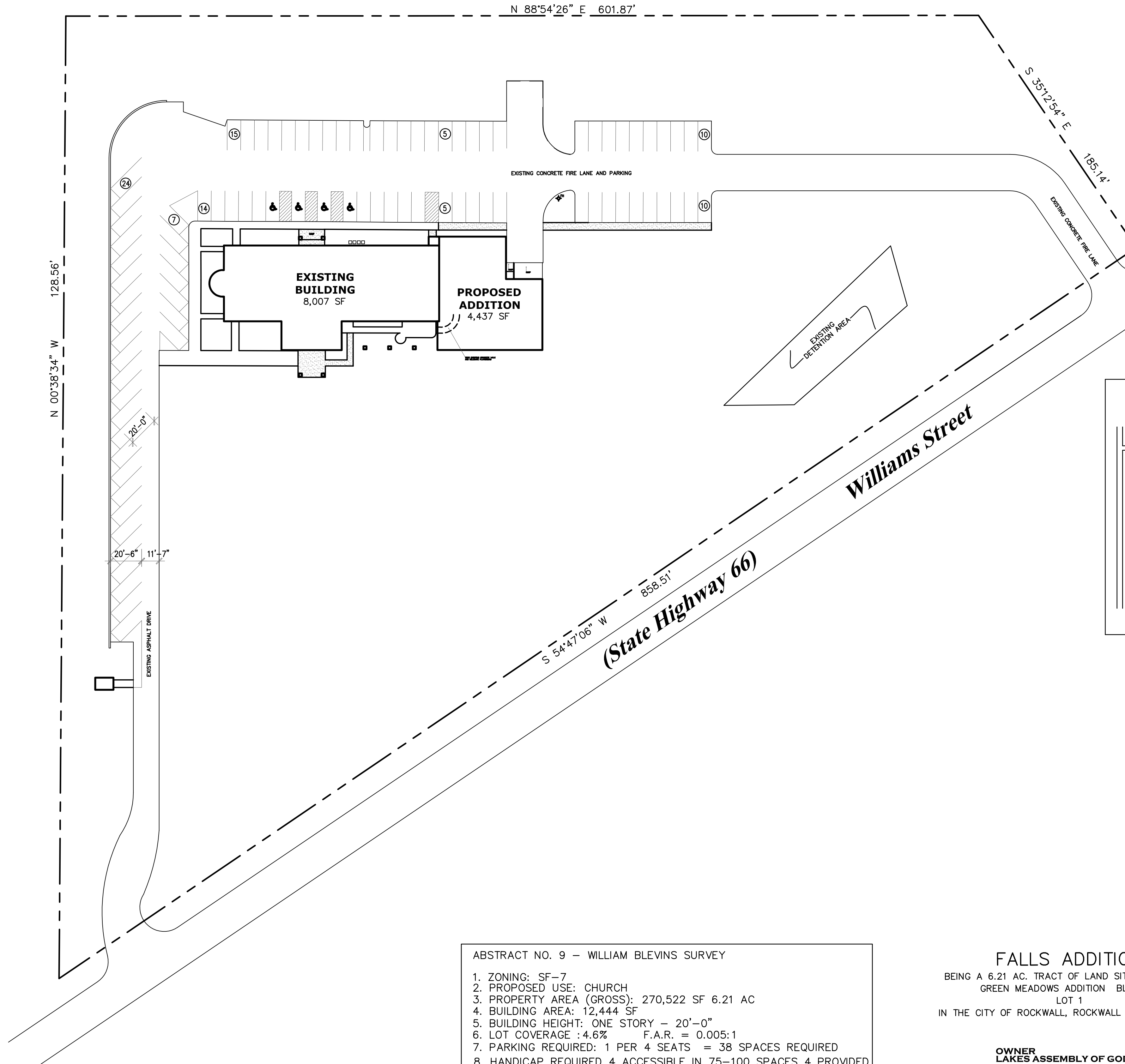


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**PRICING & CONSTRUCTION**

**GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

ABSTRACT NO. 9 - WILLIAM BLEVINS SURVEY

1. ZONING: SF-7
2. PROPOSED USE: CHURCH
3. PROPERTY AREA (GROSS): 270,522 SF 6.21 AC
4. BUILDING AREA: 12,444 SF
5. BUILDING HEIGHT: ONE STORY - 20'-0"
6. LOT COVERAGE : 4.6% F.A.R. = 0.005:1
7. PARKING REQUIRED: 1 PER 4 SEATS = 38 SPACES REQUIRED
8. HANDICAP REQUIRED 4 ACCESSIBLE IN 75-100 SPACES 4 PROVIDED
9. TOTAL PARKING PROVIDED: 82 SPACES
10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 67,089 SF

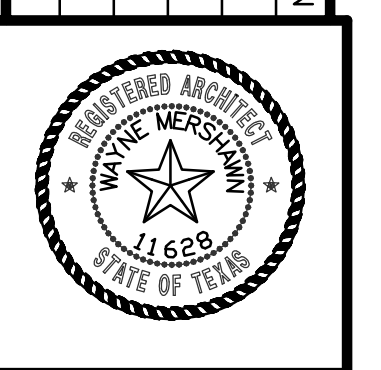
**FALLS ADDITION**  
 BEING A 6.21 AC. TRACT OF LAND SITUATED IN THE GREEN MEADOWS ADDITION BLOCK A LOT 1 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER**  
**LAKES ASSEMBLY OF GOD**  
 902 WILLIAMS STREET  
 ROCKWALL, TEXAS 75087  
 CASE #SP2019-000

RESIDENTIAL RESTAURANTS  
 MEDICAL COMMERCIAL CHURCHES  
**MERSHAWN ARCHITECTS**  
 INSTITUTIONAL ARCHITECTS

2313 RIDGE ROAD #103  
 ROCKWALL, TEXAS 75087  
 PHONE: 972-722-9302  
 FAX: 972-249-2051

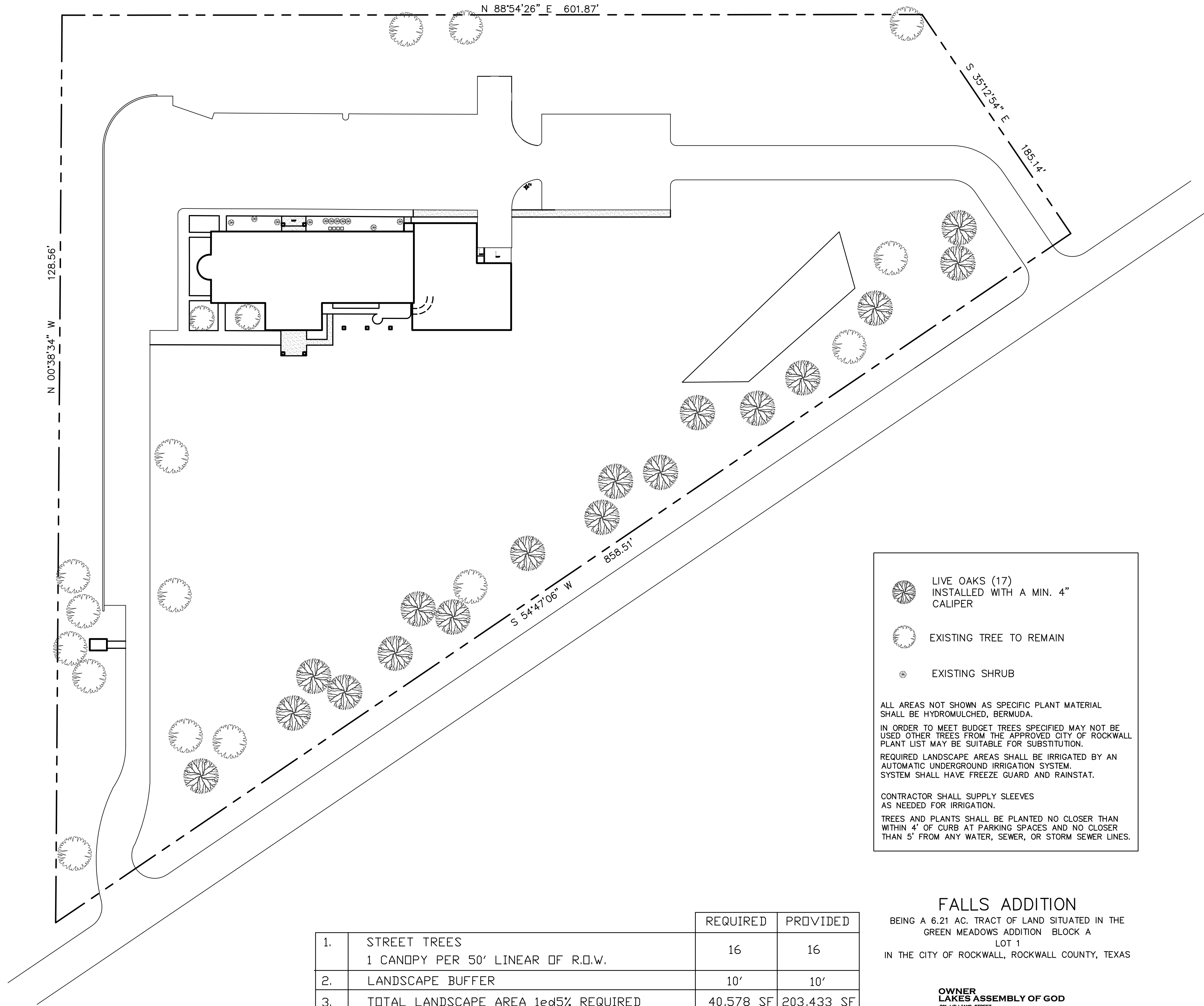
No.	Date	Revision	By




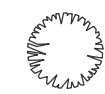

**THE LAKES ASSEMBLY**  
**ROCKWALL, TEXAS**  
**PROPOSED SITE PLAN**

Scale: 1" = 40'-0"

Date:	
Project No.:	180901
Designed:	GW
Drawn:	GW
Checked:	WM

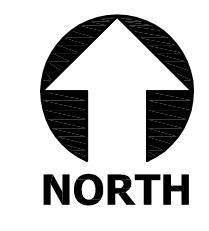
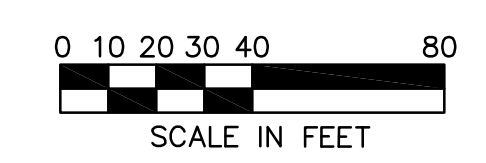


		REQUIRED	PROVIDED
1.	STREET TREES 1 CANOPY PER 50' LINEAR OF R.O.W.	16	16
2.	LANDSCAPE BUFFER	10'	10'
3.	TOTAL LANDSCAPE AREA 1e d5% REQUIRED	40,578 SF	203,433 SF

 LIVE OAKS (17)  
INSTALLED WITH A MIN. 4"  
CALIPER  
 EXISTING TREE TO REMAIN  
 EXISTING SHRUB

ALL AREAS NOT SHOWN AS SPECIFIC PLANT MATERIAL  
SHALL BE HYDROMULCHED, BERMUDA.  
 IN ORDER TO MEET BUDGET TREES SPECIFIED MAY NOT BE  
USED OTHER TREES FROM THE APPROVED CITY OF ROCKWALL  
PLANT LIST MAY BE SUITABLE FOR SUBSTITUTION.  
 REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY AN  
AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.  
SYSTEM SHALL HAVE FREEZE GUARD AND RAINSTAT.

CONTRACTOR SHALL SUPPLY SLEEVES  
AS NEEDED FOR IRRIGATION.  
 TREES AND PLANTS SHALL BE PLANTED NO CLOSER THAN  
WITHIN 4' OF CURB AT PARKING SPACES AND NO CLOSER  
THAN 5' FROM ANY WATER, SEWER, OR STORM SEWER LINES.



**PRICING & CONSTRUCTION**

- GENERAL NOTES:**
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
  - IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
  - ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
  - AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
  - PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
  - THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

**FALLS ADDITION**  
 BEING A 6.21 AC. TRACT OF LAND SITUATED IN THE  
 GREEN MEADOWS ADDITION BLOCK A  
 LOT 1  
 IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER**  
**LAKE ASSEMBLY OF GOD**  
 902 VILLAGE STREET  
 ROCKWALL, TEXAS 75087  
 CASE #SP2019-000

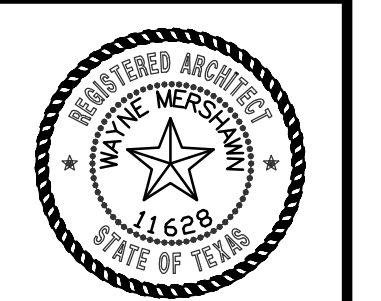
© COPYRIGHT 2019 MERSHAWN ARCHITECTS, INC.  
 NO PRINTING OR COPING IS ALLOWED  
 WITHOUT PERMISSION FROM MERSHAWN.

RESIDENTIAL RESTAURANTS  
 INSTITUTIONAL  
**ARCHITECTS**

MEDICAL COMMERCIAL  
 CHURCHES  
**MERSHAWN**

2313 RIDGE ROAD #103  
 ROCKWALL, TEXAS 75087  
 PHONE: 972-722-9302  
 FAX: 972-249-2051

No.	Date	Revision	By



**THE LAKES ASSEMBLY**  
**ROCKWALL, TEXAS**

**LANDSCAPE PLAN**

Scale: 1" = 40'-0"

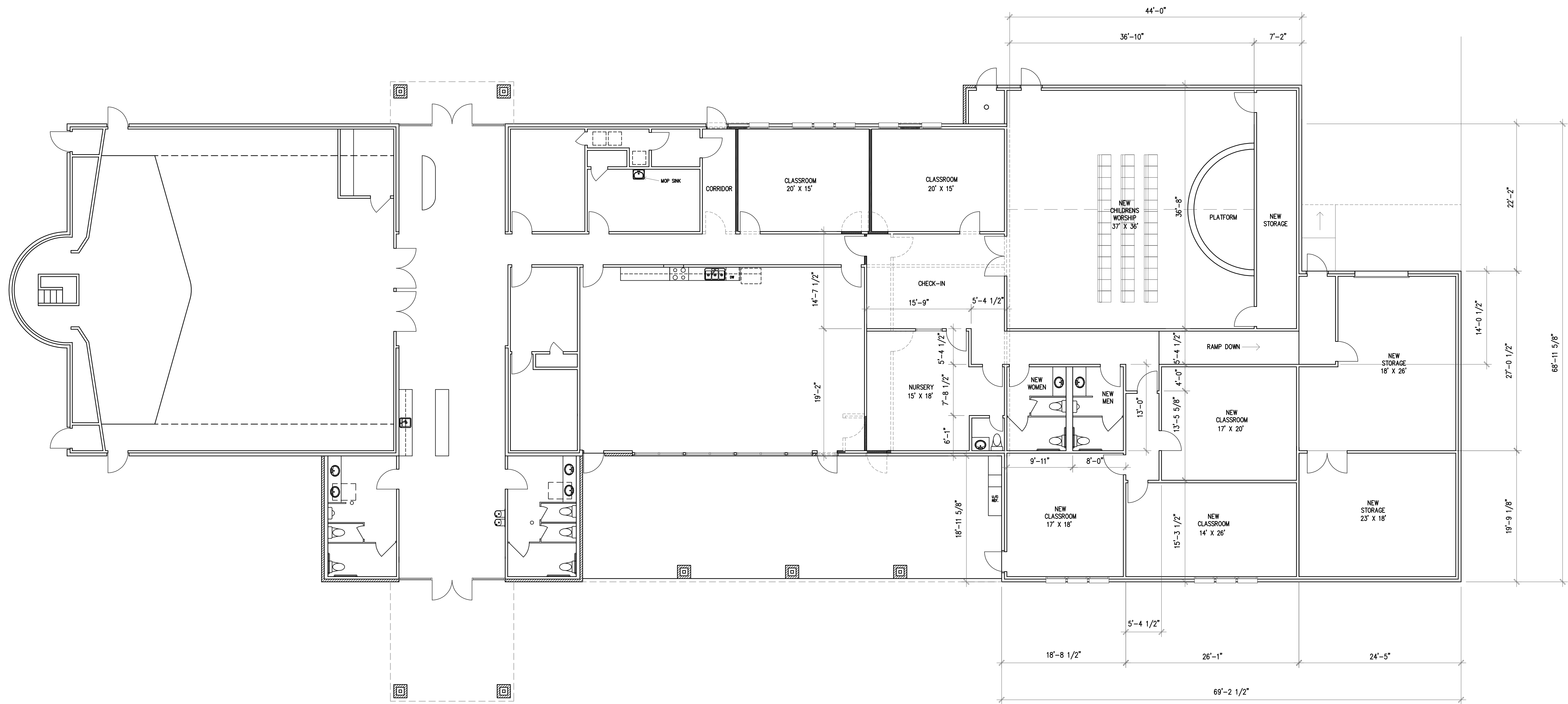
Date: \_\_\_\_\_

Project No.: 180901

Designed: GW

Drawn: GW

Checked: WM



NORTH

**PRICING & CONSTRUCTION  
GENERAL NOTES:**

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

NOTE:  
THE CHURCH WILL STILL BE OPEN FOR USE. ALL SUBCONTRACTORS ARE REQUIRED TO CLEAN UP ALL DEBRIS AT THE END OF EACH WORK DAY. IF GENERAL CLEAN UP IS DONE BY THE G.C. BACK CHARGES SHALL APPLY.

RESIDENTIAL RESTAURANTS  
INSTITUTIONAL  
**ARCHITECTS**

MEDICAL COMMERCIAL  
CHURCHES  
**MERSHAWN**

2313 RIDGE ROAD #103  
ROCKWALL, TEXAS 75087

PHONE: 972-722-9302  
FAX: 972-249-2051

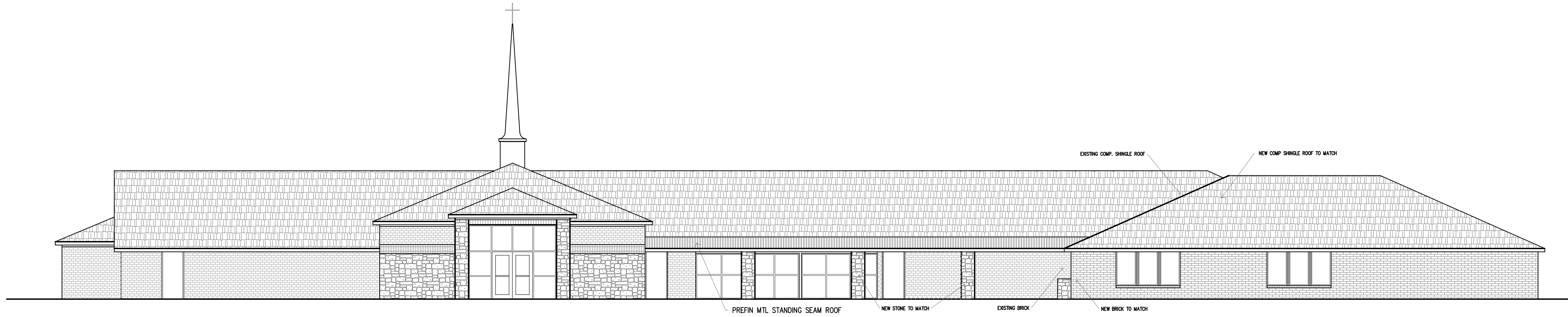
No.	Date	Revision	By

ROCKWALL, TEXAS  
LAKES ASSEMBLY

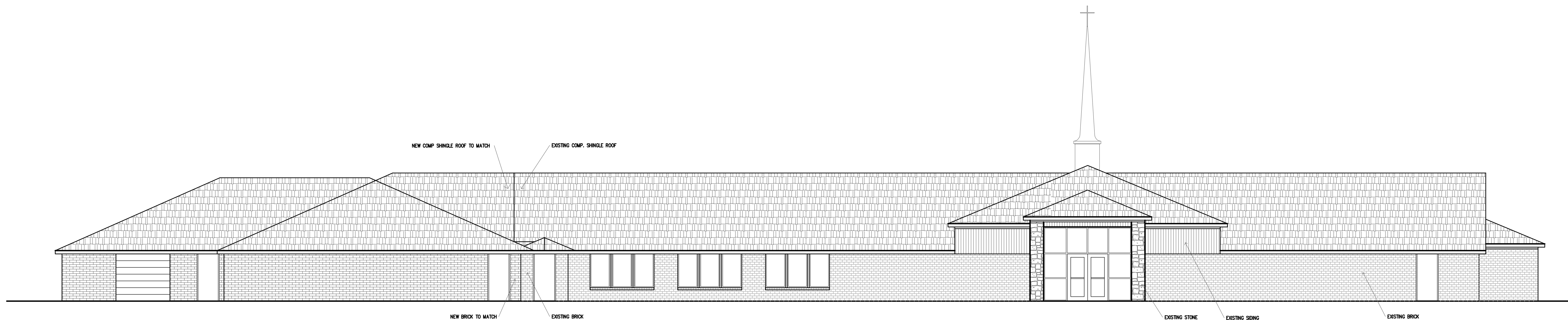
**FLOOR PLAN**

Scale:	1/8" = 1'-0"
Date:	9/17/2018
Project No.:	180901
Designed:	GW
Drawn:	GW
Checked:	WM

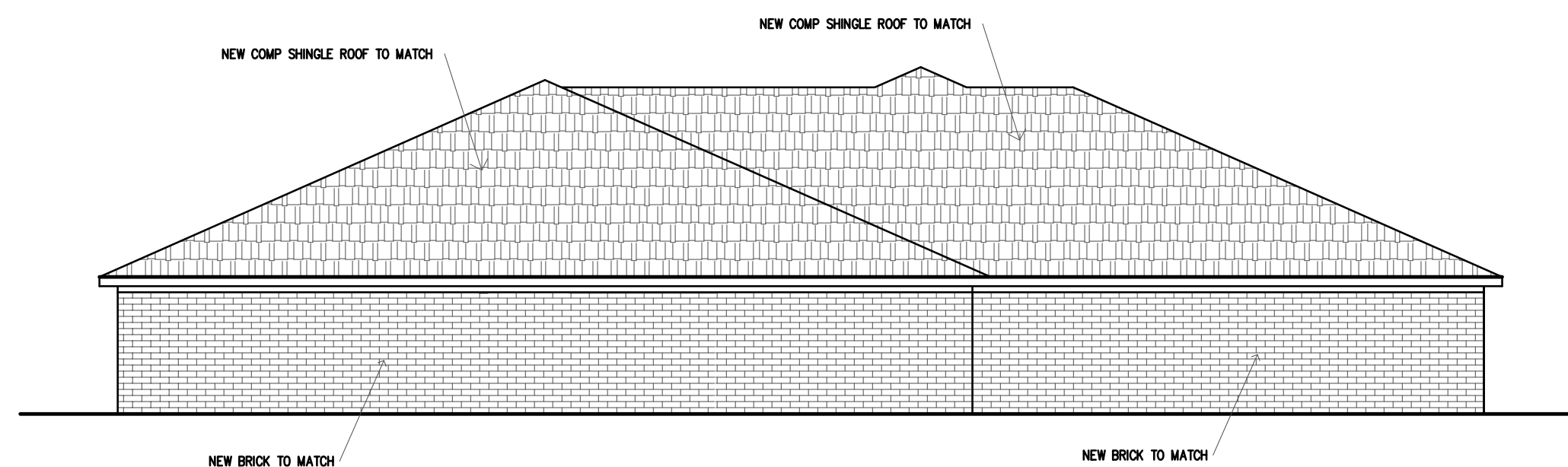




**PROPOSED SOUTH ELEVATION**



**PROPOSED NORTH ELEVATION**



**PROPOSED EAST ELEVATION**

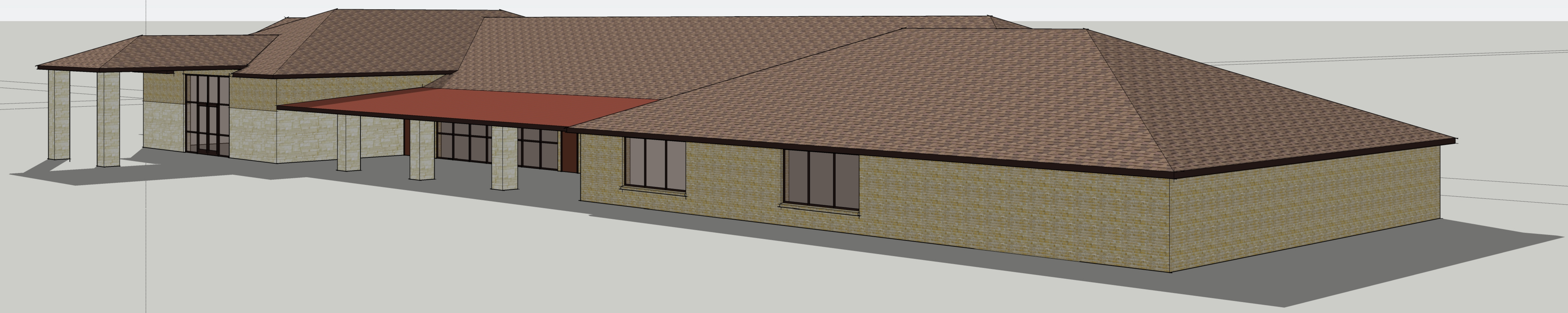
**PRICING & CONSTRUCTION  
GENERAL NOTES:**

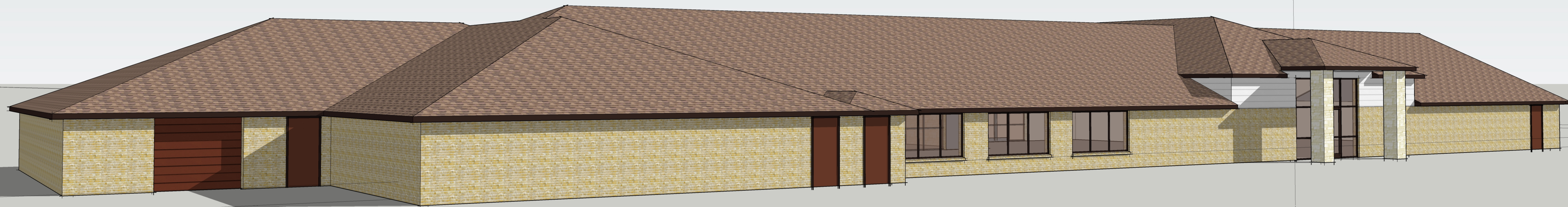
1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS. EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

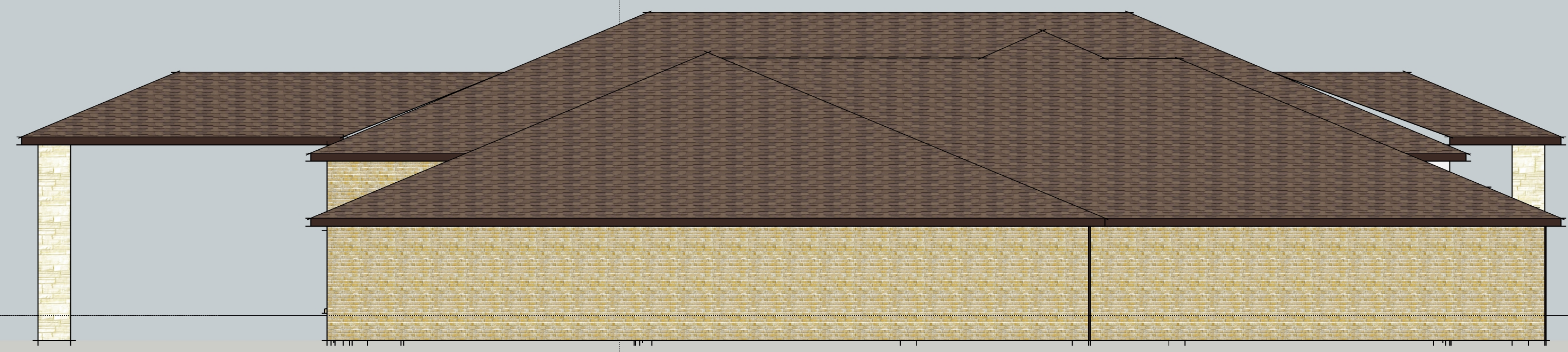
No.	Date	Revision	By

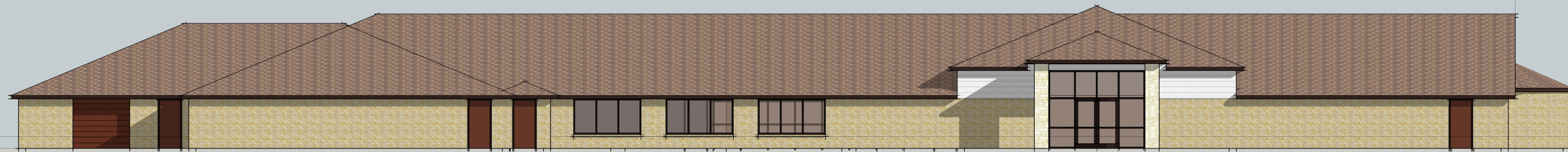
**ROCKWALL, TEXAS  
LAKES ASSEMBLY  
EXTERIOR ELEVATION**

Scale: 1/8" = 1'-0"
Date: 9/17/2018
Project No.: 180901
Designed: GW
Drawn: GW
Checked: WM











## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2019-023	<b>Owner</b> GOLIAD REAL, ESTATE LLC	<b>Applied</b> 6/14/2019	<b>LM</b>
<b>Project Name</b> Site Plan for Mixed-Use Development	<b>Applicant</b> WIER & ASSOCIATES, INC	<b>Approved</b>	
<b>Type</b> SITE PLAN		<b>Closed</b>	
<b>Subtype</b>		<b>Expired</b>	
<b>Status</b> Staff Review		<b>Status</b>	
 <b>Site Address</b> 3005 N GOLIAD ST		<b>City, State Zip</b> ROCKWALL, TX 75087	
		<b>Zoning</b>	
<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>
	1		1
			<b>Parcel No</b> 0131-0000-0001-00-OR
			<b>General Plan</b>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/14/2019	6/21/2019	6/17/2019	3	APPROVED	
ENGINEERING	Sarah Hager	6/14/2019	6/21/2019	6/21/2019	7	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(6/21/2019 10:29 AM SH) <ul style="list-style-type: none"> <li>- Dumpster to drain to an oil/water separator and then the storm lines</li> <li>- Parking spaces near the wall must have 2' clear overhang. Wall to have a traffic rated guardrail on top</li> <li>- Show the 10' ROW dedication of SH 205.</li> <li>- No signs can be in easements, ROW, or visibility triangles.</li> <li>- Minimum driveway spacing is 100'.</li> <li>- Must show the existing and proposed utilities. The existing lift station is in the coffee house drive isle</li> <li>- Parking against the building must be 20'x9'.</li> </ul> <p>Landscape Plan</p> <ul style="list-style-type: none"> <li>- Must show existing and proposed utilities</li> <li>- Trees must be at least 5' away from utilities</li> <li>- Need to show 10' SH 205 ROW dedication &amp; Trees out of ROW</li> </ul> <p>The following items are for your information for engineering design</p> <ul style="list-style-type: none"> <li>- 4% Engineering fees</li> <li>- Impact fees</li> <li>- Parking against the building must be 20'x9'.</li> <li>- Must Complete Flood Study</li> <li>- Review Fees apply for review</li> <li>- Dumpster area to drain to oil/water separator then storm</li> <li>- Retaining walls 3' and over must be engineered.</li> <li>- All retaining walls to be rock or stone face No smooth concrete walls.</li> <li>- TxDOT permit for driveway on SH205</li> <li>- Must have detention above floodplain elevations for tract</li> <li>- Must show existing and proposed utilities</li> <li>- TIA is required</li> <li>- Wetland/WOUS determination for work in floodplain/creek</li> <li>- Erosion Hazard setback requirement</li> <li>- Show all fire lanes</li> <li>- 5' sidewalk in 10' Row dedication for SH205</li> <li>- No walls in Easements or ROW</li> <li>- Must meet all City Standards of Design and Construction.</li> </ul>						
FIRE (6/21/2019 9:44 AM AA) <p>The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.</p> <p>A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.</p>	Ariana Hargrove	6/14/2019	6/21/2019	6/21/2019	7 COMMENTS	See comments
GIS	Lance Singleton	6/14/2019	6/21/2019	6/19/2019	5 APPROVED	See comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(6/19/2019 12:06 PM LS) Address assignments will be: 1100sf Bldg: 3005 N GOLIAD ST, ROCKWALL TX 75087 (*Suites to be numbered 101, 103, 105, 107, 109, 111 from South to North)  460sf Bldg: 150 PECAN VALLET DR, ROCKWALL, TX 75087							
PLANNING	David Gonzales	6/14/2019	6/21/2019	6/20/2019	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
------------------------	---------	------	-----	----------	----------------	---------

Discuss and consider a request by Jake Fears, PE of Weir & Associates, Inc. on behalf of Goliad Real Estate, LLC for the approval of a site plan for a multi-tenant retail building and restaurant on a 2.542-acre tract of land identified as Tract1 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N Goliad Street [SH-205], and take any action necessary.

PLANNING AND ZONING 1ST ROUND STAFF COMMENTS(06.20.2019):

The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

\*\* Planning Department General Comments & Requirements to address/acknowledge:

1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required
2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy (CO).
3. Label all revised site plan documents with "Case No. SP2019-023" at the lower right corner of each plan.

EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:

1. Horizontal articulation for the primary and secondary building facade standards of the UDC for the north, south, east and west facing facades extend for more than 60-ft with out a projection or recess.
2. Wall projection- minimum required for primary and secondary facades is 5-ft. All facades do not meet.
3. Architectural Element above wall is required to have a minimum of width of 10-ft on primary facade and a minimum of 3-ft on secondary facades. Not indicated or present.
4. Vertical projection- minimum for primary facade is 5-ft, secondary building facade requires 3-ft. All projections do not meet this standards.
5. Materials standards of the UDC and the N SH-205 OV to allow for stucco being located within the first 4 feet of grade on both buildings.
6. Materials standards of the N SH-205 OV to allow for the use of cultured stone rather than natural stone
7. For not meeting the 4-side architect requirements of the N SH-205 OV for both buildings.
8. For not meeting the minimum 20% natural stone requirement for building number 2.
9. To allow for dumpster enclosure to face a public street (building no. 2).

\*\* Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent final review by staff:

Site Plan:

1. Provide a minimum 10-ft landscape buffer along the property lines that face Pecan Valley Drive and Quail Run Road
2. Correct building setbacks from 10-ft to 15-ft along Pecan Valley Drive and Quail Run Road
3. Hatch area to be dedicated as right of way along Quail Run Road
4. Provide screening detail at L2 from residential properties.
5. Parking space dimensions adjacent to building are to be a minimum of 20-ft x 9-ft.
6. Relabel parking count "7" to 5 spaces on east side of parking lot (adjacent to SH-205).
7. SH-205 is a 120-ft right of way. Indicate where center line is at 60-ft and hatch any area that requires ROW dedication
8. Relabel firelane as "24-ft Firelane, Public Access, and Utility Easement (as appropriate) for both building areas.
9. All utilities are to be placed underground, no overhead utilities.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
10. Submittal and approval of a separate building permit for signage						
Landscape Plan:						
1. Provide landscape buffers for all streets						
a. N SH-205 - minimum 20-ft						
b. Pecan Valley Drive - minimum 10-ft						
c. Quail Run Road - minimum 10-ft						
2. Provide a minimum of one (1), three (3)-caliper inch canopy tree for each 50 linear feet within the landscape buffers for Pecan Valley & Quail Run.						
3. Correct Plant Schedule Table to indicate a minimum four(4)-caliper inch canopy tree(s) to be located within the N SH-205 landscape buffer.						
Treescape Plan:						
1. Correct table and recalculate mitigation due for all Bois D'Arc trees & Chinaberry trees as these are non-protected trees and do not count towards mitigation						
2. Tree number 2598 is greater than 25-inches and requires mitigation to count as double the number of inches being removed (i.e. 29" x 2 = 58").						
3. Tree number 2834 is being saved and is greater than 25-inches. Since this is an Elm tree, this should count as credit towards mitigation, which equals 1:1 (i.e. 48-inches of credit).						
Photometric Plan:						
1. High readings detected at the property lines. All readings are not to exceed 0.2-FC at the property lines. Revise plan.						
2. Pole height not to exceed 20-ft OAH (include base, pole, and attachments). Revise Plan.						
3. Provide cut sheets for all exterior lighting fixtures						
Building Elevations:						
1. See all exceptions being requested based on submittal at top of report						
2. Provide color renderings of both buildings for Architectural Review Board (ARB) review.						
3. Provide a materials sample board for ARB review.						
4. Dash in RTU's on elevations. RTU's and other roof top equipment must be visually screened from adjacent properties and rights of way.						
5. Provide calculations of exterior building materials for each facade of building no 2.						
<p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745.</p>						
Meeting Dates to Attend						
Architectural Review Board - June 25, 2019 (5:00 p.m.) [ARB to provide comments]						
Planning - Work Session: June 25, 2019 (6:00p.m.) [Applicant to present/discuss project]						
Architectural Review Board - July 9, 2019 (5:00 p.m.) [ARB to provide recommendation]						
Planning - Action: July 9, 2019 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]						

**LEGEND**

	PARKING COUNT
	LANDSCAPE AREA (RE: LANDSCAPE PLAN)
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT

- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

**FEMA NOTE**

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

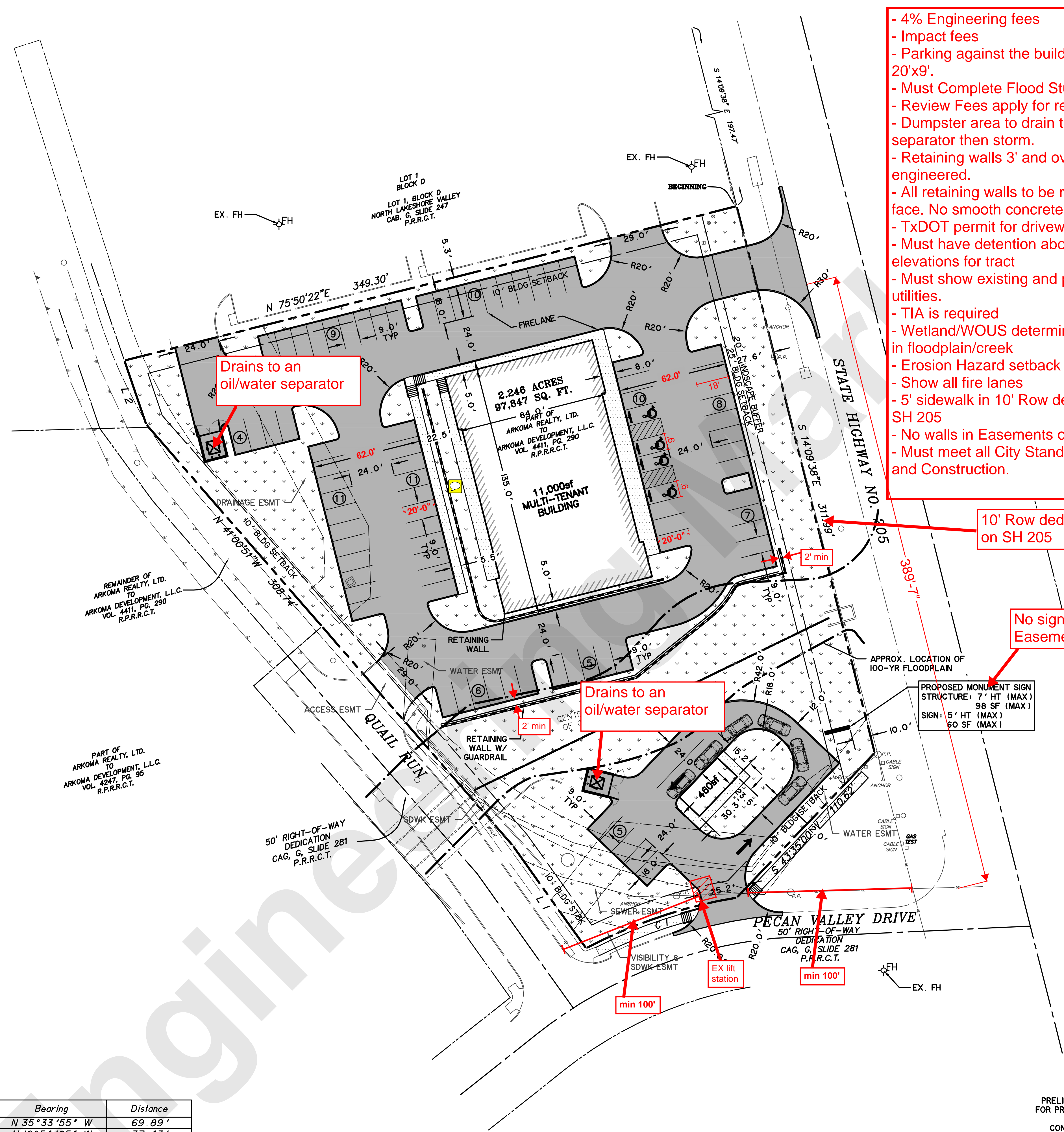
**DEVELOPER**  
 GRAND CENTRAL CROSSING, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE I300  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 FAX: (214) 891-3203  
 CHAD@JTEVANS.COM

**ENGINEER**  
 WIER & ASSOCIATES  
 CONTACT: JAKE FEARS, P.E.  
 2201 E. LAMAR BLVD., SUITE #200E  
 ARLINGTON, TX 76006  
 PHONE: (817) 467-7700  
 FAX: (817) 467-7713  
 JAKEF@WIERASSOCIATES.COM

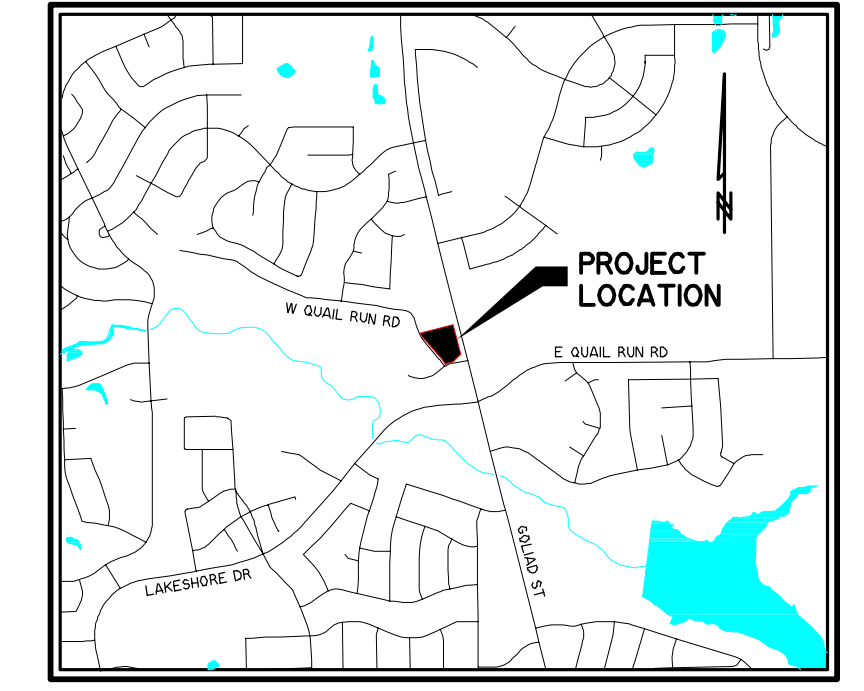
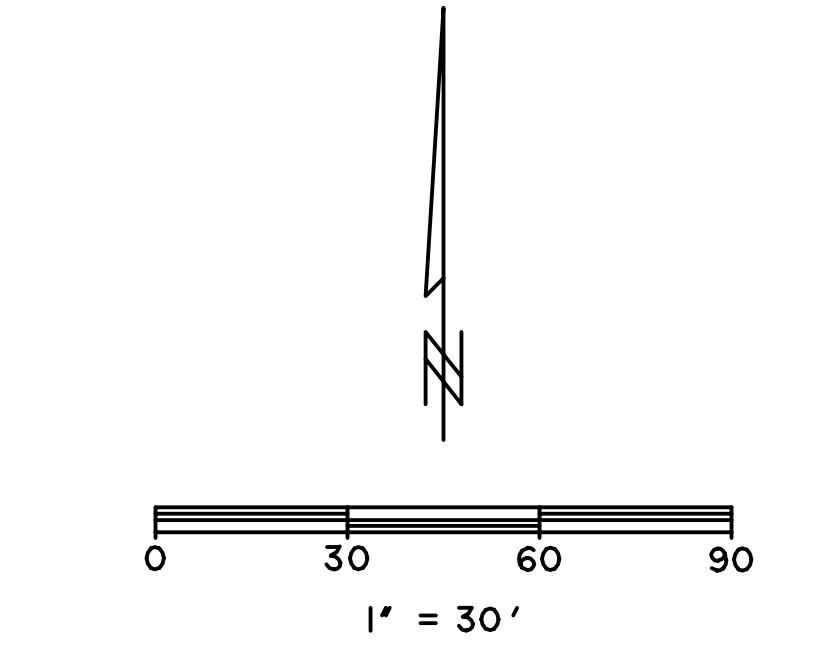
Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



- 4% Engineering fees
- Impact fees
- Parking against the building must be 20'x9'.
- Must Complete Flood Study
- Review Fees apply for review
- Dumpster area to drain to oil/water separator then storm.
- Retaining walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- TxDOT permit for driveway on SH 205
- Must have detention above floodplain elevations for tract
- Must show existing and proposed utilities.
- TIA is required
- Wetland/WOUS determination for work in floodplain/creek
- Erosion Hazard setback requirement
- Show all fire lanes
- 5' sidewalk in 10' Row dedication for SH 205
- No walls in Easements or ROW
- Must meet all City Standards of Design and Construction.



**SITE DATA CHART**

ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
BUILDING AREA	NORTH BUILDING: 11,000 SF SOUTH BUILDING: 460 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 10' QUAIL RUN RD: 10' INTERNAL: 10'
LOT AREA	2.246± AC (97,847 SF)
PARKING REQ'D.	NORTH BUILDING 8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30 SOUTH BUILDING 460 SF RESTAURANT: 1/100 SF = 5 TOTAL = 67
HANDICAP-ACCESSIBLE PROVIDED	4
TOTAL PARKING PROVIDED	84
BUILDING/LOT COVERAGE	11.7%
LANDSCAPE AREA	40,290 SF
LANDSCAPE COVERAGE	41.2%

**SITE PLAN  
 MIXED-USE DEVELOPMENT  
 3009 N. GOLIAD ST  
 ROCKWALL, TEXAS**

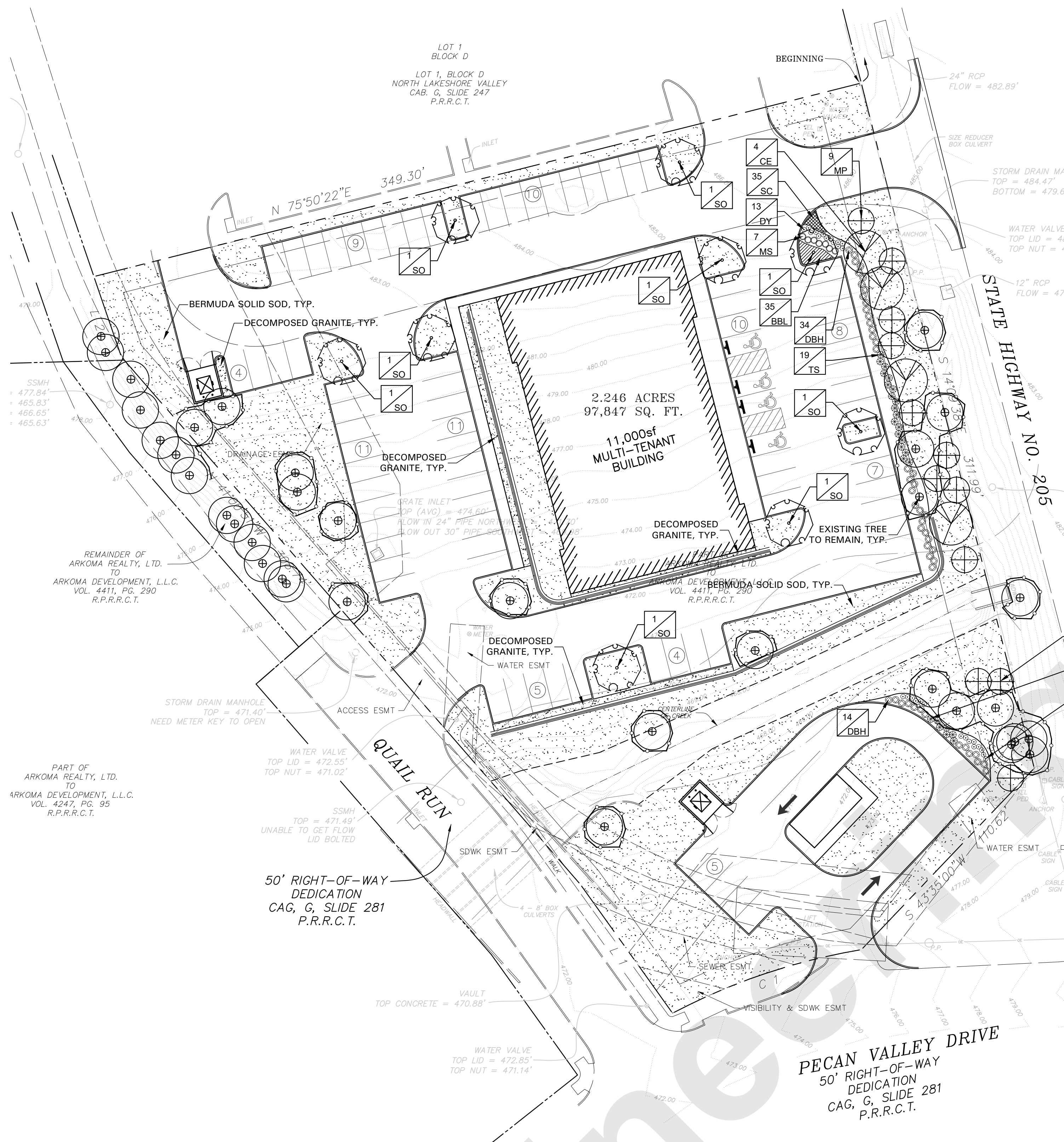
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

**June 12, 2019**

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.

PRINTED: 6/12/2019 10:28 AM FILE: AMANDA@AWR.DWG LAST SAVER: 6/12/2019 7:28 AM SAVED BY: AMANDA@AWR.DWG FILE: 19068\_LANDSCAPE SERIES.DWG  
 BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



- Must show existing and proposed utilities  
 - Trees must be at least 5' away from utilities  
 - Need to show 10' SH 205 ROW dedication & Trees out of ROW

**GENERAL LAWN NOTES**

EROSION CONTROL AND SOIL PREPARATION: THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS. NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

**HYDROMULCH:**

SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

**LANDSCAPE NOTES**

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING. IF NECESSARY.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4" OZ WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

**IRRIGATION:**

IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

**MAINTENANCE REQUIREMENTS:**

VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

**MISCELLANEOUS MATERIALS:**

STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

**LANDSCAPE TABULATIONS**  
ROCKWALL, TEXAS - SH205 Overlay

I-30 OVERLAY REQUIREMENTS	
1. Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery or a combination of both along the entire length of the property's frontage along the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a maximum height of 48".	
2. Three canopy trees along with four accent trees are required per 100 feet of the SH-205 r.o.w.	
SH205 = 312 I.F.	
REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
9 canopy trees, 4" cal.	4 canopy trees, 4" cal.; 5 existing trees
12 accent trees, 4' ht.	12 accent trees, 4' ht.
PARKING LOT LANDSCAPE	
1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.	
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars. (84 parking spaces)	
REQUIRED	PROVIDED
36" screen	36" screen
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.; 1 existing 20" Elm

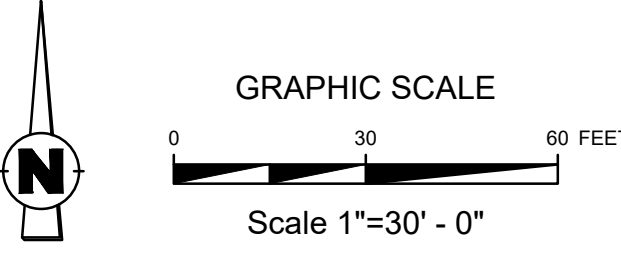
**PLANT SCHEDULE**

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
<b>SHADE TREES</b>					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
9	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
<b>ORNAMENTAL TREES</b>					
12	MP	Mexican Plum	<i>Prunus mexicana</i>	30 gal.	8' ht., 4' spread min.
<b>SHRUBS</b>					
48	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
28	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" spread, 24" o.c.
7	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
26	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" spread, 30" o.c.
<b>GROUNDCOVER/VINES/GRASS</b>					
35	BBL	Big Blue Liriope	<i>Linopoe muscari 'Big Blue'</i>	1 gal.	full, 18" o.c.
35	SC	Seasonal Color		4" pots	full, 12" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

**OWNER/DEVELOPER**  
 GRAND CENTRAL CROSSING, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE 1300  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

**ENGINEER**  
 WIER & ASSOCIATES  
 CONTACT: JAKE FEARS, P.E.  
 2201 E. LAMAR BLVD., SUITE #200E  
 ARLINGTON, TX 76006  
 PHONE: (817) 467-7700  
 FAX: (817) 467-7713  
 JAKEF@WIERASSOCIATES.COM



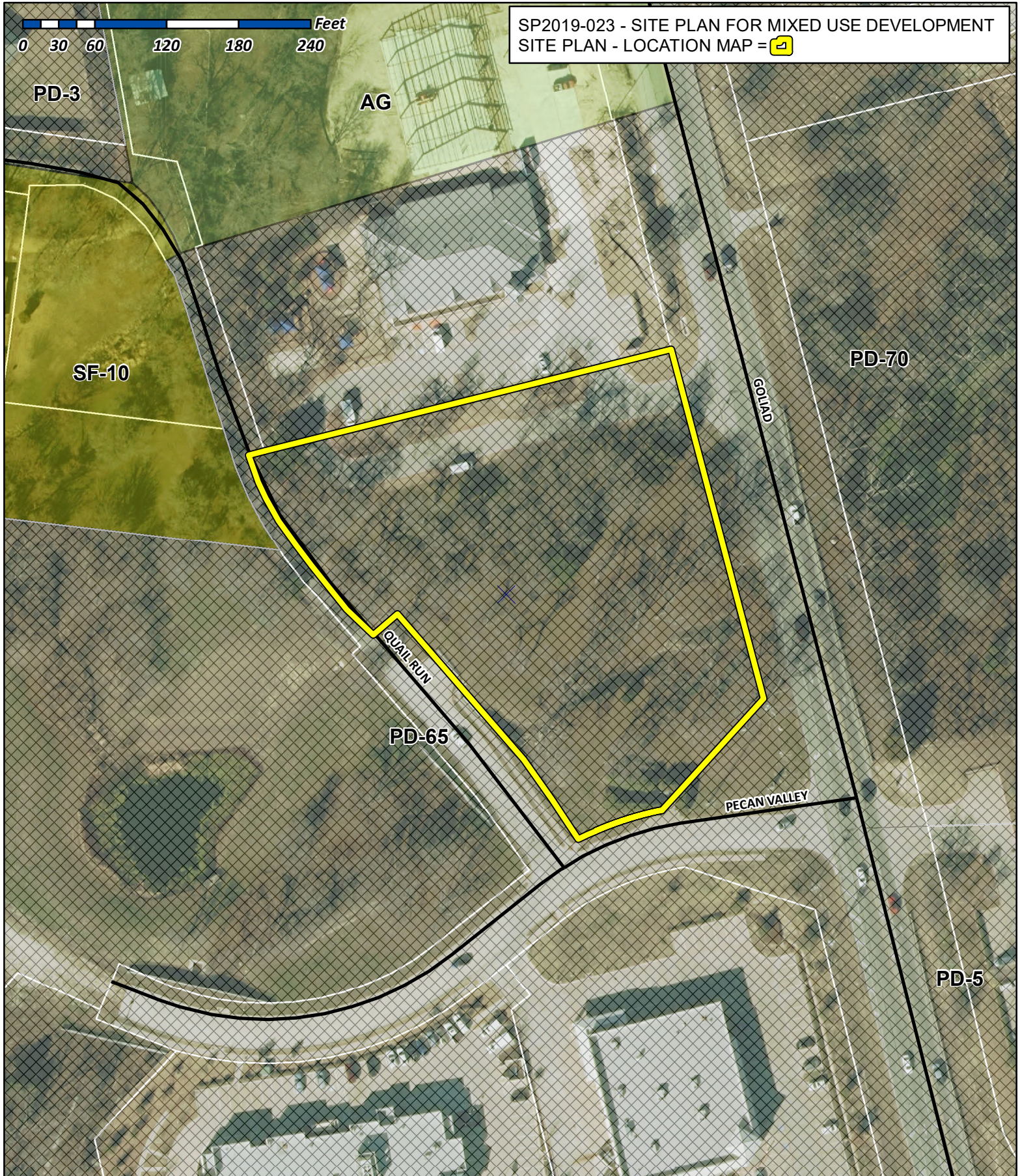
**AWR**  
 AWR Designs, LLC  
 P.O. Box 1746  
 Aliso, Texas 76008  
 amanda@awr-designs.com  
 c. 512.517.5589

**LANDSCAPE PLAN**  
**RETAIL/RESTAURANT**  
**ROCKWALL, TEXAS**  
 ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS  
 June 10, 2019

PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
**ENGINEERS SURVEYORS LAND PLANNERS**  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com  
 CASE No.: \_\_\_\_\_ DATE: 6/12/2019  
 W.A. No. 19022



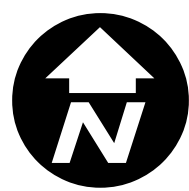
SP2019-023 - SITE PLAN FOR MIXED USE DEVELOPMENT  
SITE PLAN - LOCATION MAP =



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



LEGEND	
	PARKING COUNT
	LANDSCAPE AREA (REF: LANDSCAPE PLAN)
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT

- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
  - ALL PROPOSED CURB RADIUS ARE 3.0' F/C. WITHIN PARKING LOT, UNLESS NOTED OTHERWISE.
  - SEE ARCHITECTURAL PLANS FOR BLDG. DIMENSIONS.
  - ALL CONCRETE PAVEMENT SHALL HAVE 6" CURBS UNLESS OTHERWISE NOTED.

**FEMA NOTE**

FLOOD STATEMENT: ACCORDING TO COMMUNITY PANEL NO. 48397C0030L, DATED SEPTEMBER 26, 2008, OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM MAP, THIS PROPERTY IS WITHIN FLOOD ZONES 'A' AND 'X'. PART OF THIS PROPERTY LIES WITHIN ZONES 'A'. AREAS DETERMINED TO BE WITHIN THE 0.2% ANNUAL CHANCE FLOODPLAIN. IF PARTS OF THE SITE ARE NOT WITHIN AN IDENTIFIED SPECIAL FLOOD HAZARD AREA, THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WIER & ASSOCIATES, INC.

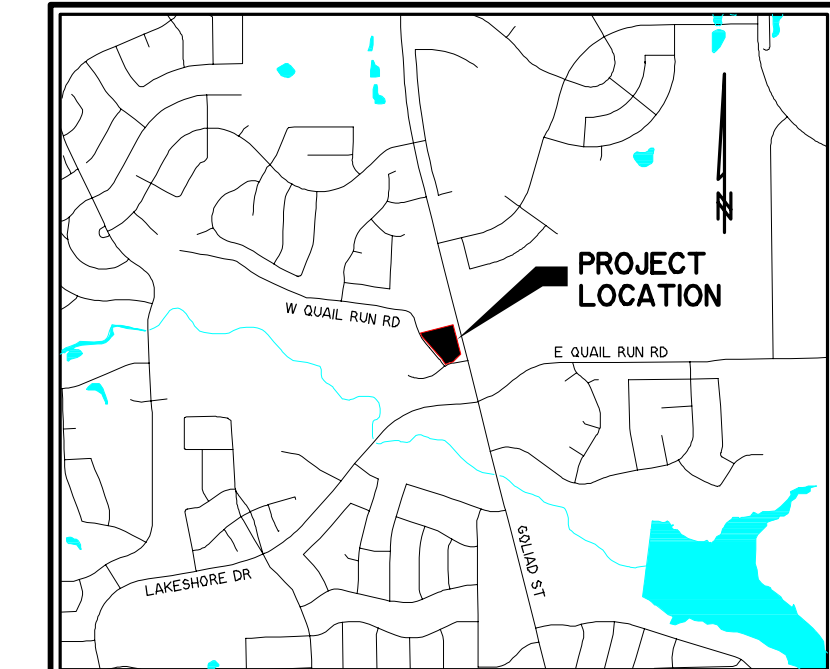
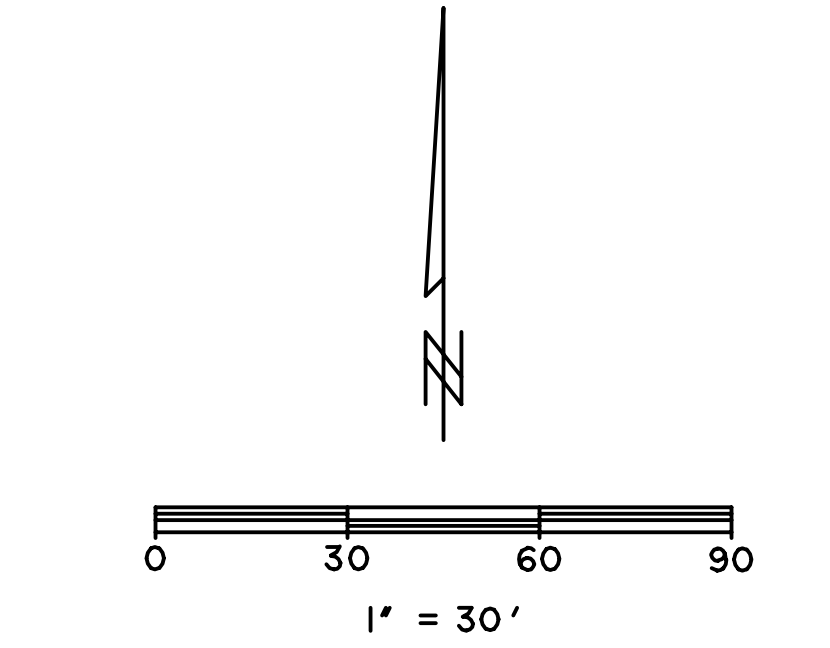
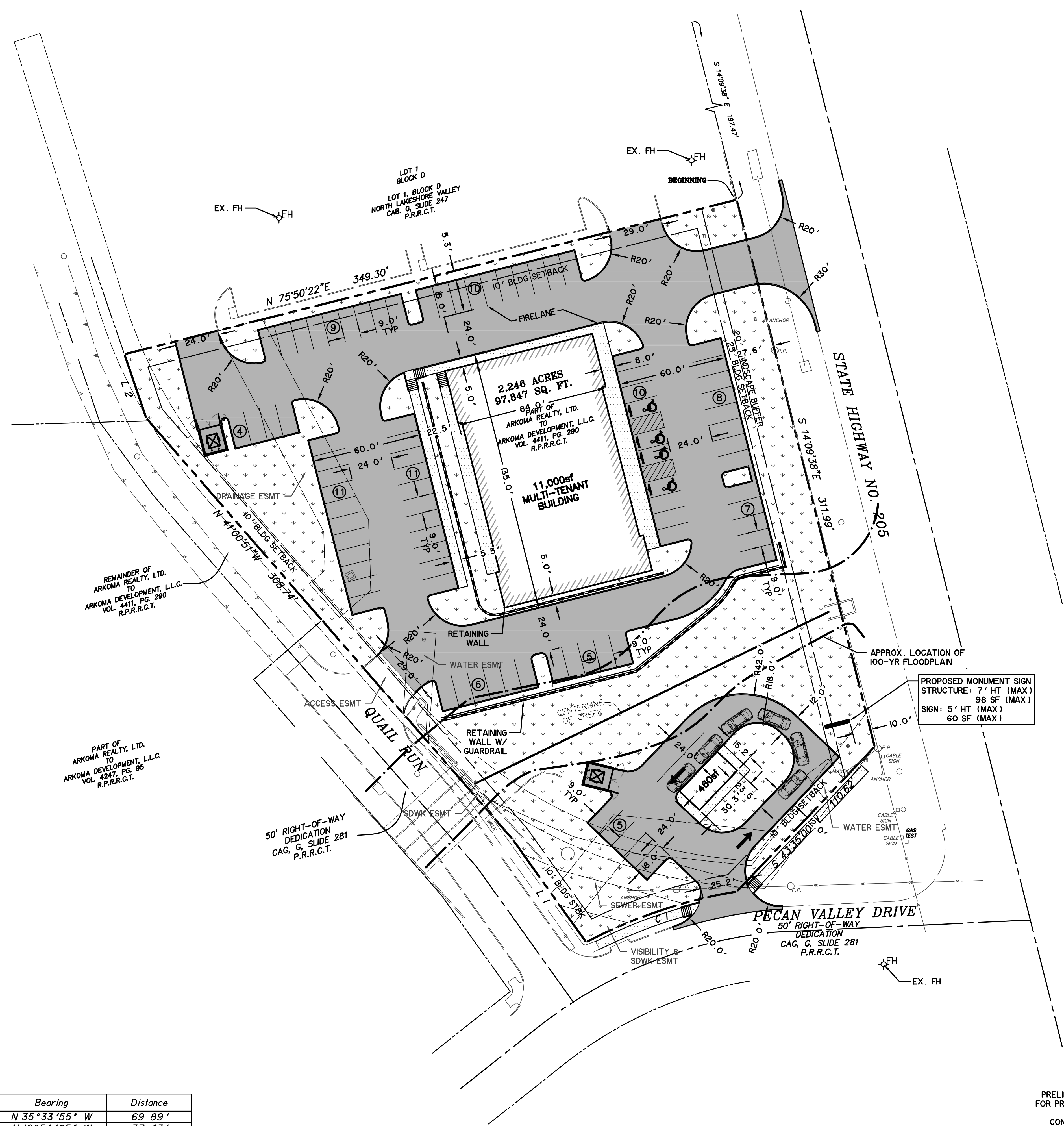
**DEVELOPER**  
 GRAND CENTRAL CROSSING, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE I300  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 FAX: (214) 891-3203  
 CHAD@JTEVANS.COM

**ENGINEER**  
 WIER & ASSOCIATES  
 CONTACT: JAKE FEARS, P.E.  
 2201 E. LAMAR BLVD., SUITE #200E  
 ARLINGTON, TX 76006  
 PHONE: (817) 467-7700  
 FAX: (817) 467-7713  
 JAKEF@WIERASSOCIATES.COM

Course	Bearing	Distance
L 1	N 35°33'55" W	69.89'
L 2	N 18°54'05" W	37.43'

Curve	Radius	Length	Delta	Chord	Chord Bear.
C 1	275.00'	88.33'	18°24'13"	87.95'	S 71°24'38" W



**VICINITY MAP**  
 1" = 2,000'

SITE DATA CHART	
ZONING	PD-65 W/ N. SH-205 OVERLAY
EXISTING USE	VACANT / UNDEVELOPED
PROPOSED USE	MIXED-USE (COMMERCIAL)
BUILDING AREA	NORTH BUILDING: 11,000 SF SOUTH BUILDING: 460 SF
BUILDING HEIGHT	25'-0"
BUILDING SETBACKS	HIGHWAY 205: 25' PECAN VALLEY DR: 10' QUAIL RUN RD: 10' INTERNAL: 10'
LOT AREA	2.246± AC (97,847 SF)
PARKING REQ'D.	NORTH BUILDING 8,000 SF RETAIL: 1/250 SF = 32 3,000 SF RESTAURANT: 1/100 = 30  SOUTH BUILDING 460 SF RESTAURANT: 1/100 SF = 5  TOTAL = 67
HANDICAP-ACCESSIBLE PROVIDED	4
TOTAL PARKING PROVIDED	84
BUILDING/LOT COVERAGE	11.7%
LANDSCAPE AREA	40,290 SF
LANDSCAPE COVERAGE	41.2%

**SITE PLAN  
 MIXED-USE DEVELOPMENT  
 3009 N. GOLIAD ST  
 ROCKWALL, TEXAS**

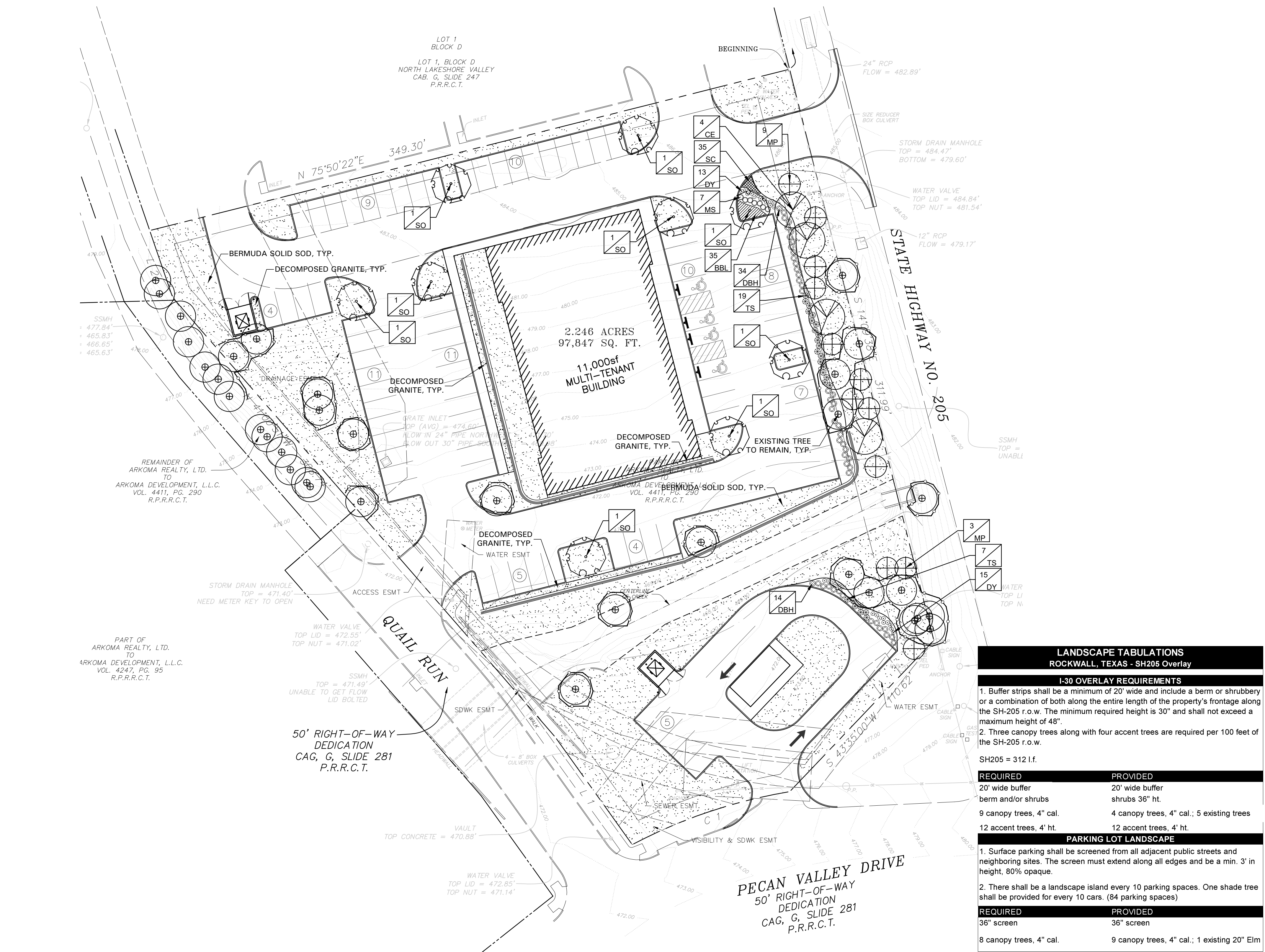
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS

**June 12, 2019**

PRELIMINARY PLANS FOR PROJECT REVIEW. NOT FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES. Prepared By/Or Under Direct Supervision Of Jacob H. Fears, PE Texas Registration No. 99376 On Date Shown Below.

PREPARED BY:  
**WIA WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com

PRINTED: 6/12/2019 8:28 AM LAST SAVED: 6/12/2019 7:28 AM SAVED BY: AMANDA RICHARDSON FILE: 19068\_LANDSCAPE SERIES.DWG



**GENERAL LAWN NOTES**

EROSION CONTROL AND SOIL PREPARATION: THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL CONTOURS AS SPECIFIED PER CIVIL PLANS. ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD NOT BE ABLE TO POOL IN ANY AREAS SPECIFIED OTHERWISE. EROSION FABRIC SUCH AS JUTE MATTING OR OPEN WEAVE TO BE USED WHERE NECESSARY TO PREVENT SOIL EROSION.

ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.

CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS PRIOR TO INSTALLATION OF TOPSOIL AND SOD.

FOUR (4") OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOD. IF TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SOD UNTIL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION. SOD SHALL BE REPLACED IF NECESSARY.

**SOLID SOD:** SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.

SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOD IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOD WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.

SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.

SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOD SHALL INCLUDE AN OVER-SEED OF ANNUAL RYE OR WINTER RYEGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO §115.D OF TITLE 7, PART XXIX, HORTICULTURE COMMISSION CHAPTER 1.

**HYDROMULCH:** SCARIFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL HIGH IN HUMUS AND ORGANIC CONTENT FROM A LOCAL SUPPLY. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.

IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.

IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE-HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.

ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

**LANDSCAPE NOTES**

REFERENCE SITEWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.

CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.

CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.

A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.

LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.

PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. EDGING TO BE GREEN IN COLOR AND A MINIMUM OF 3/16" THICK. EDGING SHALL BE STAKED FROM THE INSIDE OF BED. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.

MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.

QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.

CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.

TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER 4" OZ WOVEN WEED BARRIER FABRIC OR APPROVED EQUAL WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE DE WITT WEED BARRIER OR APPROVED EQUAL. MULCH SHALL BE SHREDDED BARK OR RUBBER LANDSCAPE MULCH. PINE STRAW MULCH IS PROHIBITED.

CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

**IRRIGATION:** IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE COVERAGE LIMITS OF A PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOD TEMPORARILY BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.

ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

**MAINTENANCE REQUIREMENTS:** VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.

MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.

ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

**MISCELLANEOUS MATERIALS:** STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL LANDSCAPE EDGING.

DECOMPOSED GRANITE SHALL CONSIST OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.

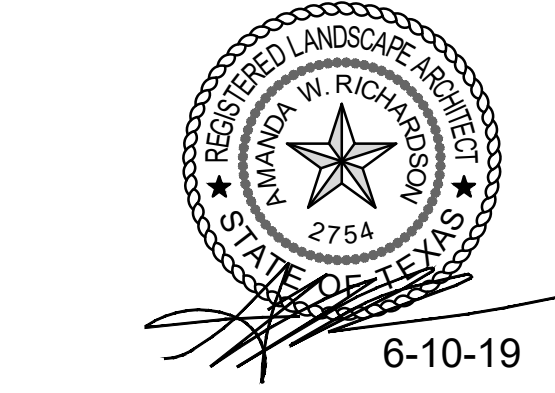
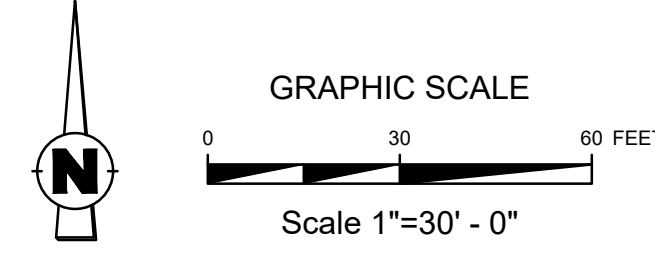
LANDSCAPE TABULATIONS	
ROCKWALL, TEXAS - SH205 Overlay	
<b>1-30 OVERLAY REQUIREMENTS</b>	
1. Buffer strips shall be a minimum of 20' wide and include a berm or shrubbery or a combination of both along the entire length of the property's frontage along the SH-205 r.o.w. The minimum required height is 30" and shall not exceed a maximum height of 48".	
2. Three canopy trees along with four accent trees are required per 100 feet of the SH-205 r.o.w.	
SH205 = 312 I.F.	
<b>REQUIRED</b>	<b>PROVIDED</b>
20' wide buffer	20' wide buffer
berm and/or shrubs	shrubs 36" ht.
9 canopy trees, 4" cal.	4 canopy trees, 4" cal.; 5 existing trees
12 accent trees, 4' ht.	12 accent trees, 4' ht.
<b>PARKING LOT LANDSCAPE</b>	
1. Surface parking shall be screened from all adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.	
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars. (84 parking spaces)	
<b>REQUIRED</b>	<b>PROVIDED</b>
36" screen	36" screen
8 canopy trees, 4" cal.	9 canopy trees, 4" cal.; 1 existing 20" Elm

PLANT SCHEDULE					
QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
<b>SHADE TREES</b>					
4	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
9	SO	Shumard Oak	<i>Quercus shumardii</i>	3" cal.	12' ht., 5' spread
<b>ORNAMENTAL TREES</b>					
12	MP	Mexican Plum	<i>Prunus mexicana</i>	30 gal.	8' ht., 4' spread min.
<b>SHRUBS</b>					
48	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	full, 20" spread, 36" o.c.
28	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.
7	MS	Morning Light Miscanthus	<i>Miscanthus sinensis 'Morning Light'</i>	5 gal.	full, 20" spread, 36" o.c.
26	TS	Texas Sage 'Thundercloud'	<i>Leucophyllum frutescens 'Thundercloud'</i>	5 gal.	full, 24" sprd, 30" o.c.
<b>GROUNDCOVER/VINES/GRASS</b>					
35	BBL	Big Blue Liriope	<i>Linopoe muscaris 'Big Blue'</i>	1 gal.	full, 18" o.c.
35	SC	Seasonal Color		4" pots	full, 12" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		
		Decomposed Granite			

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

**OWNER/DEVELOPER**  
 GRAND CENTRAL CROSSING, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY, STE 1300  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 FAX: (214) 891-3203 CHAD@JTEVANS.COM

**ENGINEER**  
 WIER & ASSOCIATES  
 CONTACT: JAKE FEARS, P.E.  
 2201 E. LAMAR BLVD., SUITE #200E  
 ARLINGTON, TX 76006  
 PHONE: (817) 467-7700  
 FAX: (817) 467-7713  
 JAKEF@WIERASSOCIATES.COM



6-10-19

LANDSCAPE PLAN  
 RETAIL/RESTAURANT  
 ROCKWALL, TEXAS

ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE S. KING SURVEY, ABSTRACT No. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING PART OF THAT TRACT OF LAND DESCRIBED IN A DEED FROM ARKOMA REALTY, LTD., TO ARKOMA DEVELOPMENT, L.L.C., AS RECORDED IN VOLUME 4411, PAGE 290 OF THE REAL PROPERTY RECORDS OF ROCKWALL COUNTY, TEXAS  
 June 10, 2019



PREPARED BY:  
**VIA WIER & ASSOCIATES, INC.**  
 ENGINEERS SURVEYORS LAND PLANNERS  
 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700  
 Texas Firm Registration No. F-2776 www.WierAssociates.com





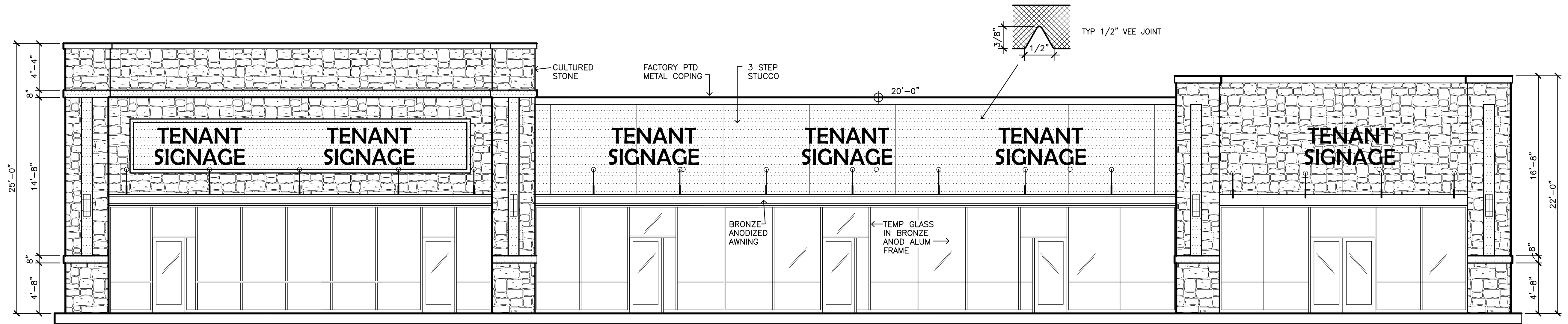


Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
MAIN PARKING	0	Fc	1.4	5.2	0.0	N.A.
PROPERTY LINE	N.A.	Fc	0.2	1.1	0.0	N.A.
SOUTH PARKING	0	Fc	1.6	3.0	0.3	5.3

Luminaire Schedule						
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Loss Factor
□	XA	13	LITHONIA KAD LED 40C 700 40K R4 MVOLT [MOUNTING] HS [FINISH]	8619	94	0.800
○	XB	22	LITHONIA OLLWD LED P1 40K MVOLT [FINISH]	264	8.6	1.000

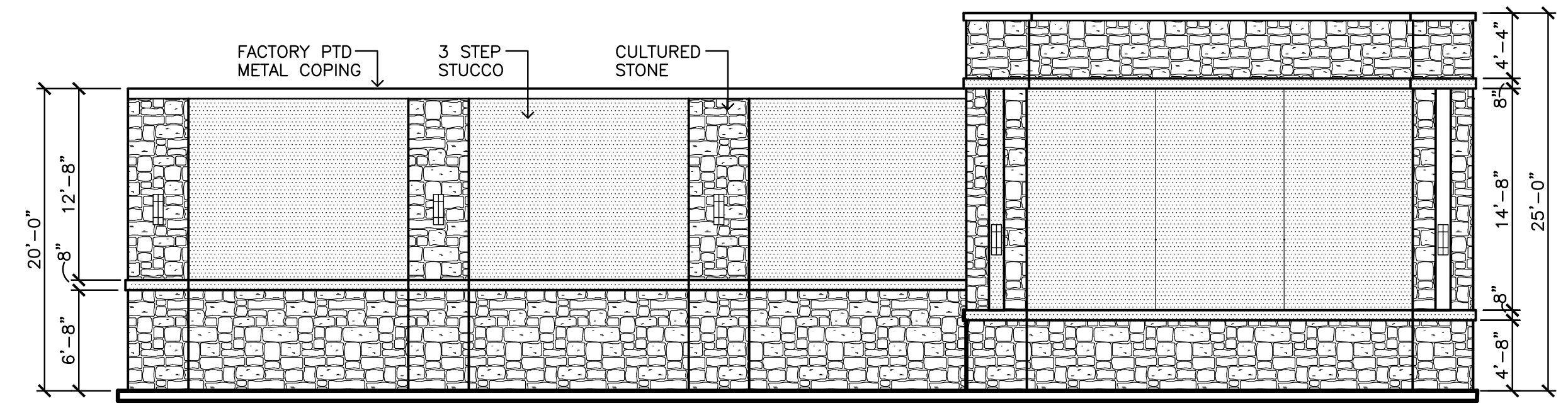
- Notes:
1. Surface reflectances: Vertical/Horizontal - 50/20.
  2. Calculation values are at height indicated in summary table.
  3. Mounting heights are designated on drawing with "MH."
  4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
  5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
  6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
  7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.





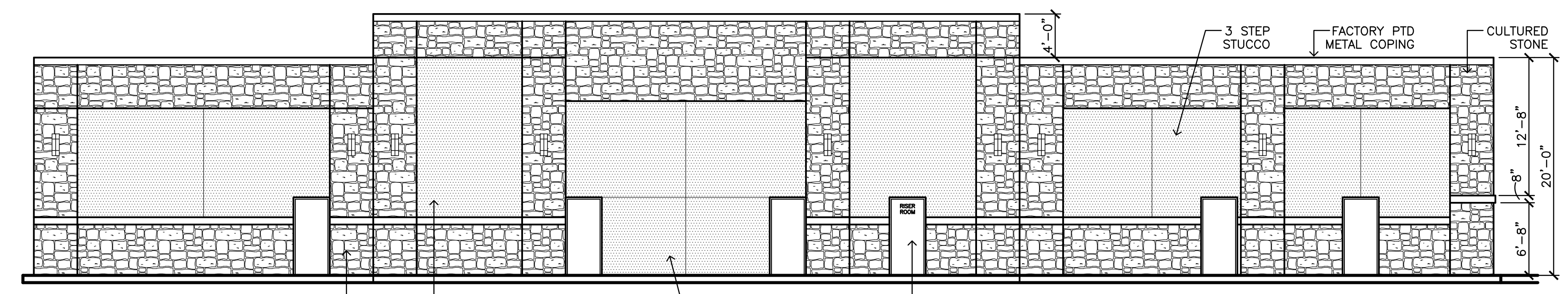
**1 east elevation**  
 scale: 3/16" = 1'-0"

EAST FACADE: 1,472 SF (NO WINDOWS & DOORS)  
 STONE: 828 SF, 56%  
 3 STEP STUCCO: 644 SF, 44%



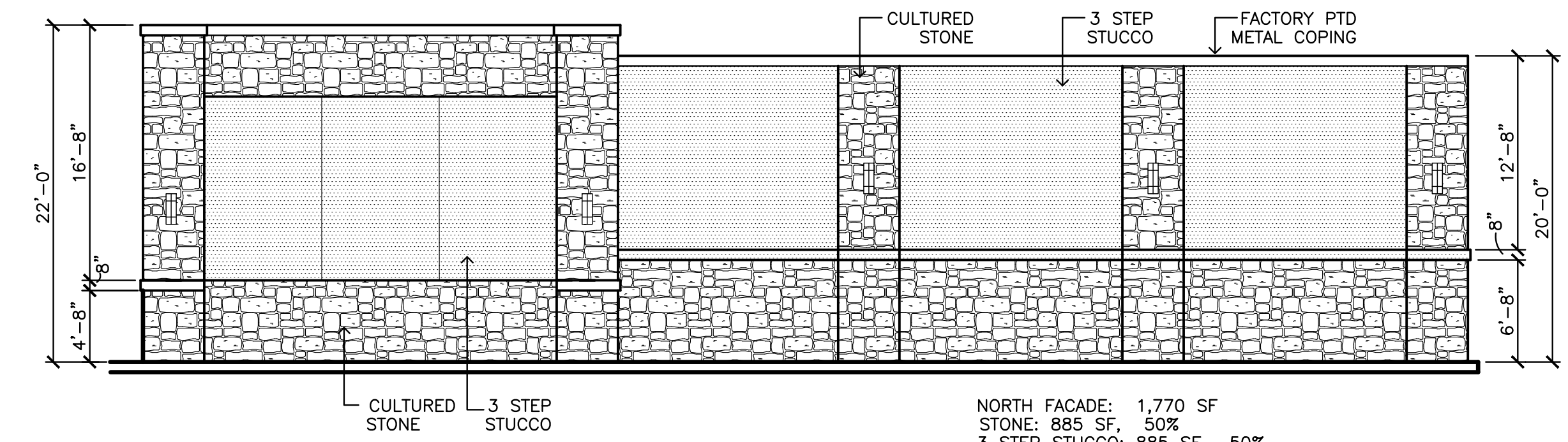
**2 south elevation**  
 scale: 7/8" = 1'-0"

SOUTH FACADE: 1,930 SF  
 STONE: 1,034 SF, 53%  
 3 STEP STUCCO: 896 SF, 47%



**3 west elevation**  
 scale: 1/8" = 1'-0"

WEST FACADE: 2,920 SF  
 STONE: 1,460 SF, 50%  
 3 STEP STUCCO: 1,460 SF, 50%



**4 north elevation**  
 scale: 1/8" = 1'-0"

NORTH FACADE: 1,770 SF  
 STONE: 885 SF, 50%  
 3 STEP STUCCO: 885 SF, 50%



**5 awning photo**  
 scale: nts

AWNING EXAMPLE. COLOR (BRONZE TO MATCH STOREFRONT)  
 OWNER, DIMENSIONS AS SHOWN ON ROOF PLAN. TIE BACKS TO MATCH.  
 CORNER DRAINS AS SHOWN.  
 VENDOR: VICTORY AWNINGS 817-759-1600

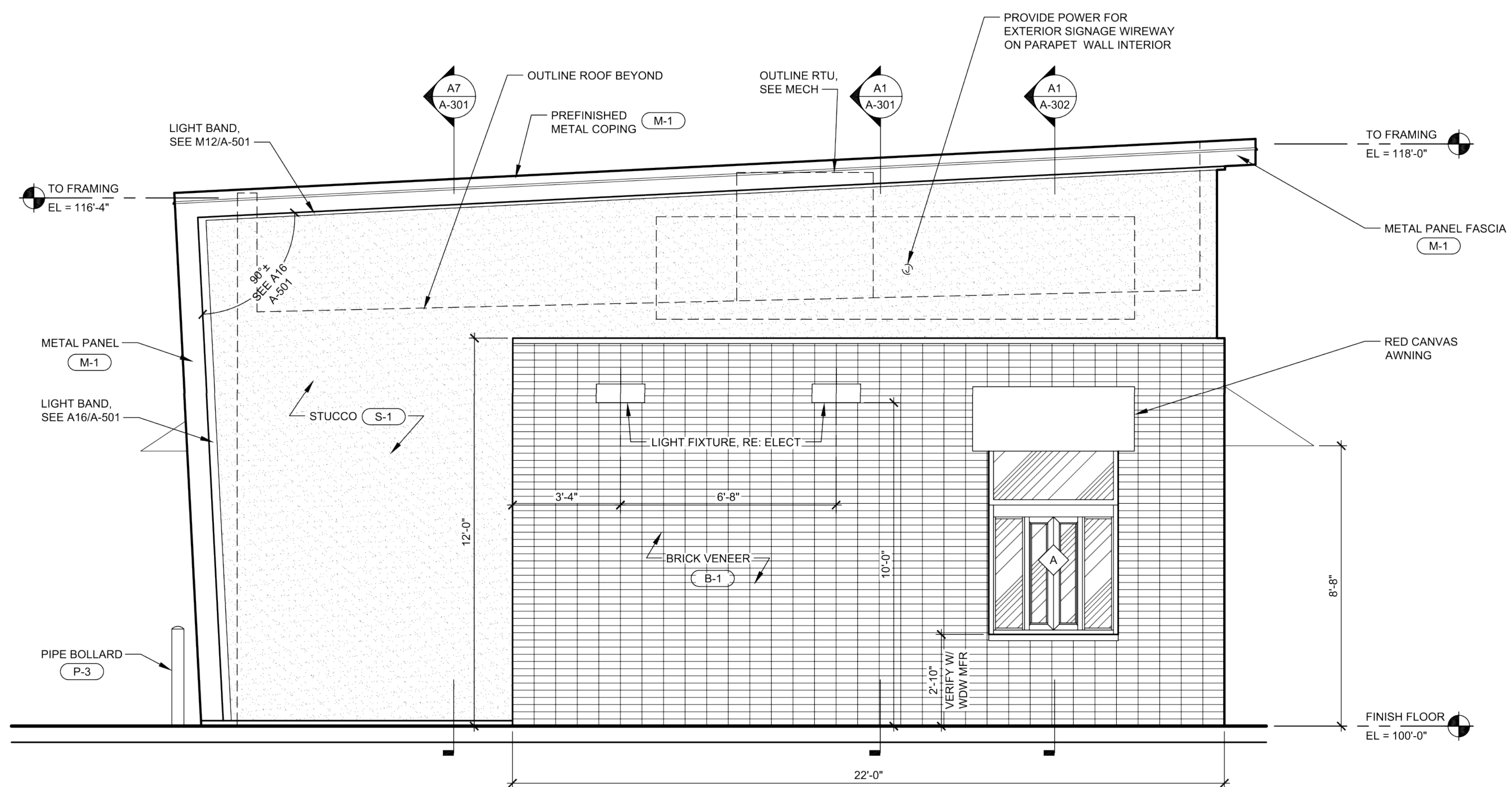
Owner:  
 DA ENNIS 45 PARTNERS LP  
 14114 Dallas Parkway #670  
 Dallas, Texas 75254

Project:  
**Shell Building**  
 Ridge Road  
 Rockwall, Texas

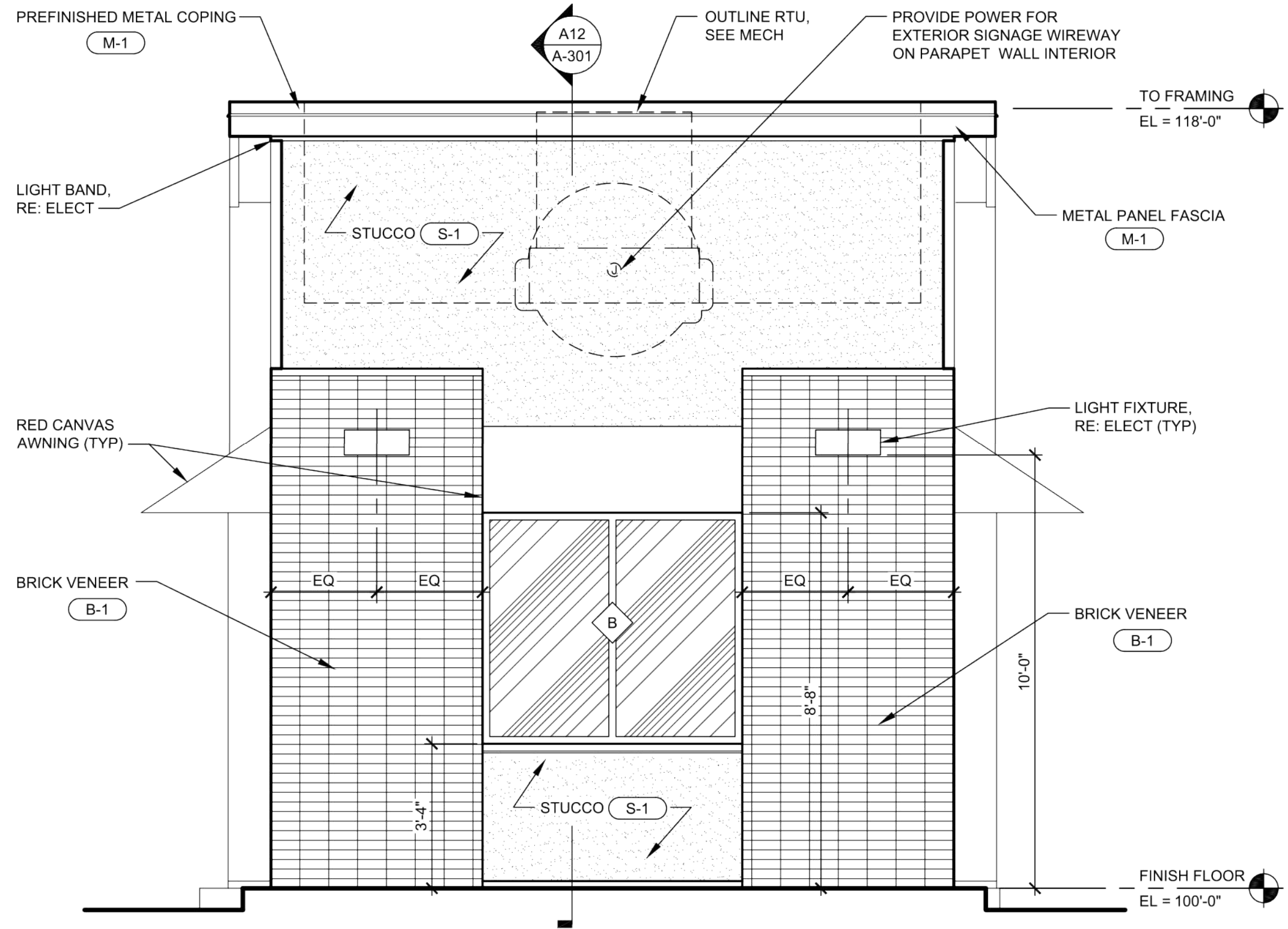
Scale: as noted  
 Issue For:  
 Site plan submittal 6-6-19

Sheet Number:

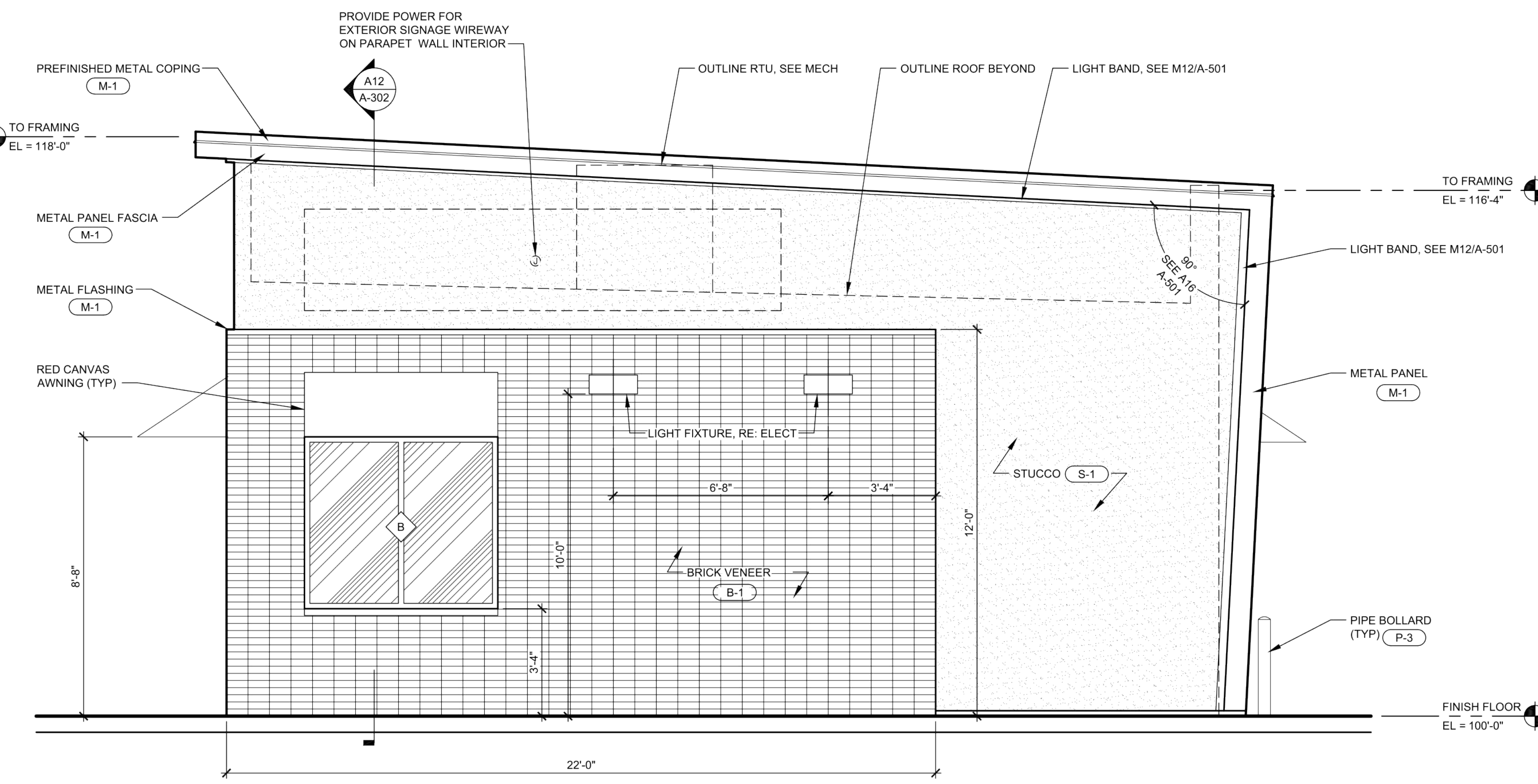
PRINTED: 6/13/2019 5:18 PM FILE: WIKER-PAVING\_S18\_LAS1\_SAVED: 6/13/2019 3:12 PM SAVED BY: JAKEB FILE: SKOOTER ELEVATION.DWG  
 BAR IS ONE INCH ON ORIGINAL FULL-SIZE PRINT



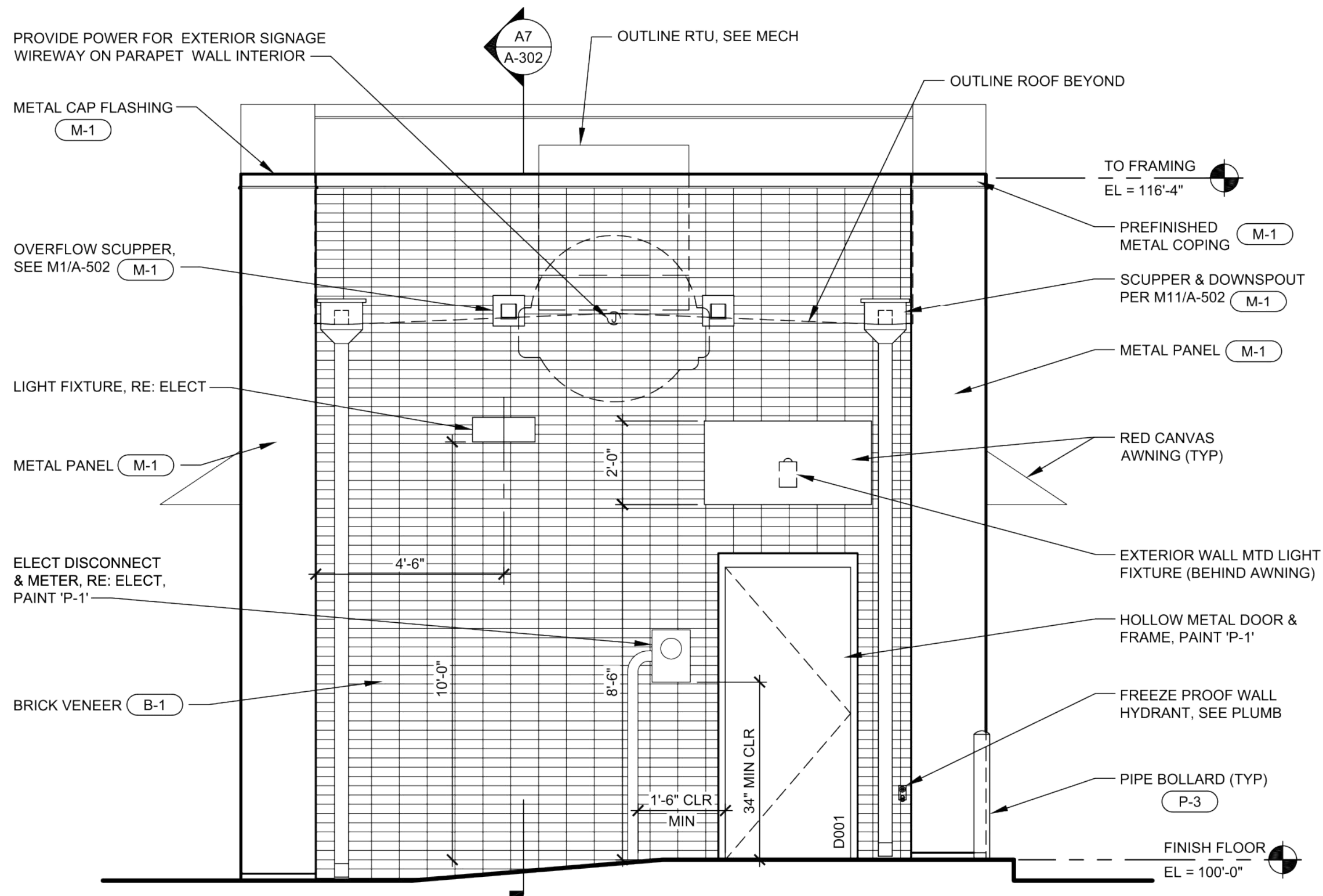
**J1** EXTERIOR ELEVATION - NORTH  
SCALE: 3/8" = 1'-0"



**J13** EXTERIOR ELEVATION - WEST  
SCALE: 3/8" = 1'-0"



**A1** EXTERIOR ELEVATION - SOUTH  
SCALE: 3/8" = 1'-0"



**A13** EXTERIOR ELEVATION - EAST  
SCALE: 3/8" = 1'-0"

LEGEND	
	- DOOR NUMBER
	- WINDOW TYPE
	- FINISH / MATERIAL IDENTIFIER
	- SECTION
	- SECTION NUMBER
	- SHEET SECTION SHOWN ON SIM = SIMILAR, OH = OPPOSITE HAND

**DEVELOPER**  
 GRAND CENTRAL CROSSING, LLC  
 CONTACT: CHAD DUBOSE  
 8350 N CENTRAL EXPWY., STE 1300  
 DALLAS, TEXAS 75206  
 PHONE: (214) 891-3215  
 FAX: (214) 891-3203  
 CHAD@JTEVANS.COM

**COFFEE KIOSK ELEVATIONS  
 MIXED-USE DEVELOPMENT  
 3009 N. GOLIAD ST  
 ROCKWALL, TEXAS**

## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2019-024	<b>Owner</b> ATHEY, BOBBY FRANK	<b>Applied</b> 6/17/2019 KB
<b>Project Name</b> Friendship Baptist Church	<b>Applicant</b> ROCKWALL FRIENDSHIP BAPTIST CHURCH	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

<b>Site Address</b> 1820 JUSTIN RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
---------------------------------------	--	---------------

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	2-4		2-4	0102-0000-0002-04-0R	

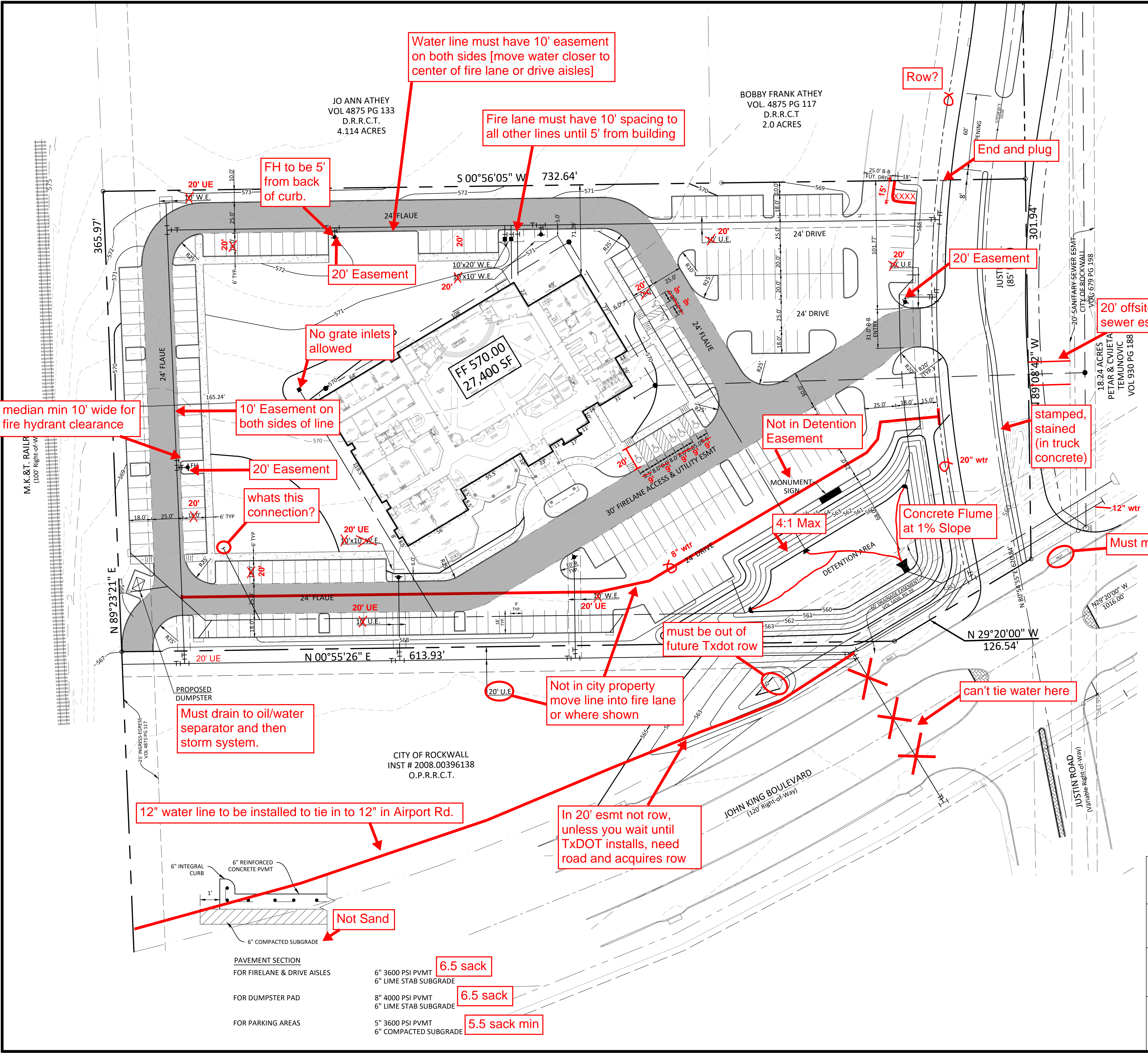
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/17/2019	6/24/2019	6/20/2019	3	APPROVED	
ENGINEERING	Sarah Hager	6/17/2019	6/24/2019	6/21/2019	4	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(6/21/2019 9:44 AM SH)</p> <ul style="list-style-type: none"> <li>- Minimum 20' wide easements. Water line to be centered in easement with 10' of easement on either side of the line.</li> <li>- Dumpster to drain to an oil/water separator.</li> <li>- 12" water line to be installed along John King and tie into Airport Rd. Water line to be in 20' easement, not the ROW.</li> <li>- No sand allowed under paving.</li> <li>- Drainage culvert to be out of TXDOT ROW.</li> <li>- Fire Hydrant to have 10' parking island for safety.</li> <li>- 4:1 maximum slope.</li> <li>- Monument sign can't be in the detention easement.</li> <li>- Each of the storm outfalls must have a 1% sloped concrete flume to prevent erosion. This flume will connect the outfall to the next intake.</li> <li>- No grate inlets allowed.</li> <li>- Median in Justin Road to be stamped and stained in the truck.</li> <li>- Must have 20' offsite sewer easement for the connection.</li> <li>- Can't tie the water line under John King.</li> <li>- Water line can't be in City property.</li> <li>- All parking against the building to be 20'x9'.</li> <li>- All fire hydrants to be placed 5' back from the curb.</li> </ul> <p>The following is for your information for engineering design.</p> <ul style="list-style-type: none"> <li>- 4% Engineering fees</li> <li>- Impact fees</li> <li>- Walls 3' and over must be engineered.</li> <li>- All retaining walls to be rock or stone face. No smooth concrete walls.</li> <li>- No utilities in Detention Must have 2' of freeboard from the 100-year water surface to the detention easement.</li> <li>- Utilities to have 10' Easement on both sides of the line</li> <li>- Min 20' easements</li> <li>- No structures or utilities in detention easement</li> <li>- 4:1 Max slope</li> <li>- Must build Justin Rd.</li> <li>- TxDOT permit for John King utilities</li> <li>- Off-site esmts required for sewer</li> <li>- Sidewalk along Justin</li> <li>- Show dedication of rows for Justin</li> <li>- Show dedication (future) of row for TxDOT Plans for John King. No detention allowed in future row of John King</li> <li>- Need Note: Dimensions are to face curb or edge of paving? (unless stated)</li> <li>- Must meet all City Standards of Design and Construction</li> </ul> <p>(6/21/2019 9:45 AM SH)</p> <p>Landscaping: No trees are allowed to be within 5' of any utility.</p>						
FIRE	Ariana Hargrove	6/17/2019	6/24/2019	6/21/2019	4 COMMENTS	see comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
(6/21/2019 9:53 AM AA) The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.  A minimum of a 5-foot wide sidewalk or other approved "all-weather" pathway shall be provided from the fire lane to the FDC. Parking/loading spaces are not considered a clear pathway.							
GIS (6/19/2019 11:51 AM LS) Address assignment will be: 1820 JUSTIN RD, ROCKWALL TX 75087	Lance Singleton	6/17/2019	6/24/2019	6/19/2019	2	APPROVED	See comments
PLANNING	Korey Brooks	6/17/2019	6/24/2019	6/20/2019	3	COMMENTS	Comments

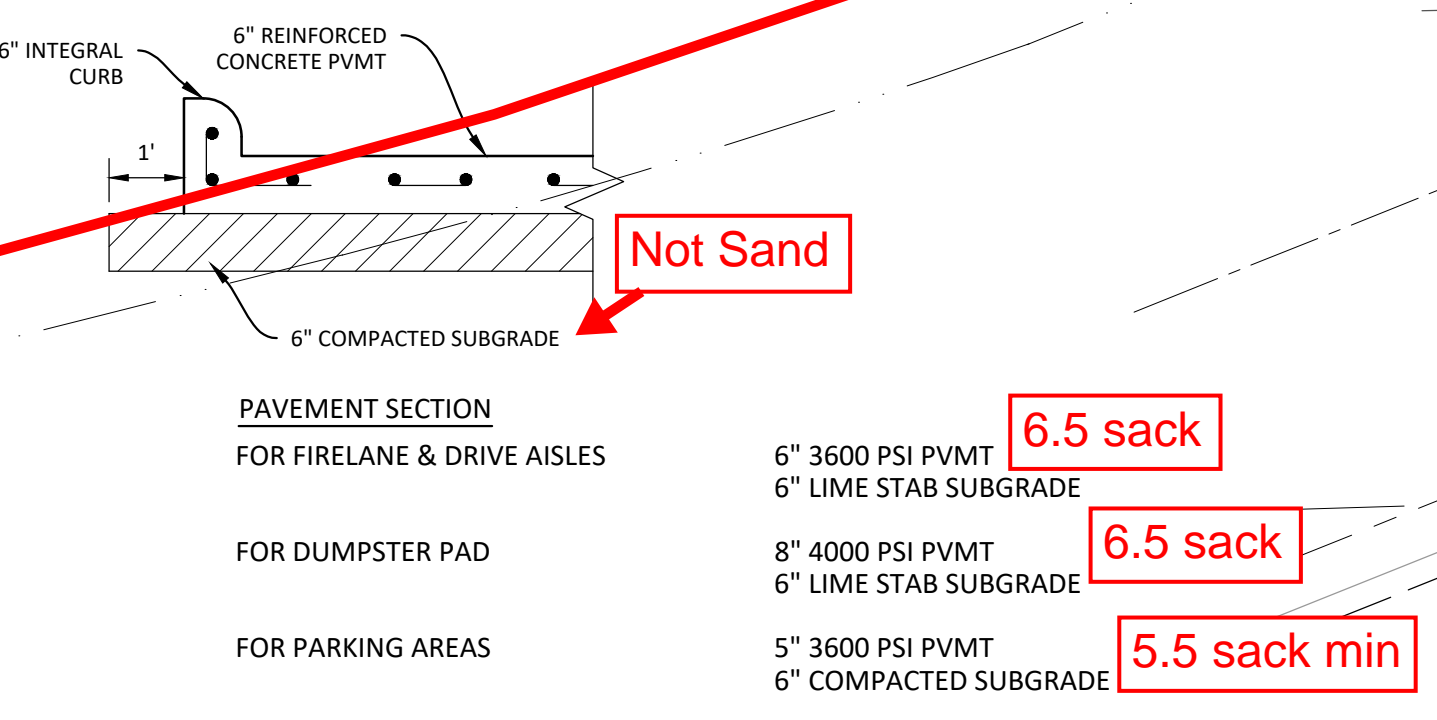
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2019-024 Site Plan for Friendship Baptist Church: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
1.						This is a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of a site plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard
2.						For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.
3.						For reference, include the case number (SP2019-024) in the lower right hand corner of all pages on future submittals.
4.						Site Plan—Please show and label the landscape buffers along John King and Justin Road.
5.						Site Plan—Please note, the landscape buffer is 25-feet.
6.						Site Plan—Please provide radii
7.						Site Plan—Please provide a separate floorplan at a larger size and remove it from other plans. It is difficult to read the floorplan on the site plan.
8.						Site Plan—Please breakdown each use (e.g. office, classroom, etc.)
9.						Site Plan—Please remove monument sign—That is taken care of with a separate process.
10.						Site Plan—Although there are labels within the building and close surrounding areas, it is not legible.
11.						Site Plan—Please show grass as a stipple hatch pattern to differentiate from concrete.
12.						Site Plan—For clarity, please show the property line as a solid, bold line and label.
13.						Site Plan—It appears that some of your 18-foot parking spaces will need to be 20-feet—Please see engineering comments.
14.						Site Plan—Please label all utilities and sidewalks.
15.						Site Plan—Please show and label required sidewalk adjacent to John King Blvd. and Justin Rd.
16.						Site Plan—Please dimension all walls (e.g. the recesses on the west side of the building are not dimensioned).
17.						Landscape Plan—Please label the property line
18.						Landscape Plan—Please show and label the landscape buffers
19.						Landscape Plan—Please show grass/groundcover as a stipple hatch pattern.
20.						Landscape Plan—Please indicate all sidewalks
21.						Landscape Plan—Please note, the dumpster cannot face the street.
22.						Please Provide a photometric plan.
23.						Building Elevations—Please note, the John King Overlay requires 4-sided architecture. The rear of the building will have to have a parapet.
24.						Building Elevations—Please show rooftop equipment and how it will be screen on all elevations.
25.						Building Elevations—Please provide a different hatch for each building material being utilized.
26.						Building Elevations—Please do not include windows and doors in your calculations or materials tables.
27.						Building Materials—It would be helpful to have renderings from the rear of the building. It is difficult to understand the elevations. For instance, on the east elevation, there is a parapet, however, on the west elevation, there is a metal roof. Additionally, there is a show wall on the lefthand side of the north elevation, however, it blends with the building and makes it appear that the doors are cut off.
28.						Building Elevations—Please provide shadows to help show projections and recesses on the building.
29.						Building Elevations—The west elevation does not appear to show the projecting element with the pitched roof.
30.						Building Elevations—Please use a different lineweight/type for dimensions vs structure. It is confusing as drawn.
31.						Building Elevations—Please note that there is a min 20% natural stone and a maximum 50% stucco requirement. The tile is a secondary material that has a max of 10%. As shown, masonry exceptions will be required.
32.						Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2019. The Planning and Zoning Worksession is on June 25th, 2019. The Planning and Zoning Meeting will be July 9th, 2019. Both meetings start at 6:00 p.m. The ARB meetings will be at 5:00 p.m. on the meeting dates.





- 4% Engineering fees
- Impact fees
- Walls 3' and over must be engineered.
- All retaining walls to be rock or stone face. No smooth concrete walls.
- No utilities in Detention. Must have 2' of freeboard from the 100-year water surface to the detention easement.
- Utilities to have 10' Easement on both sides of the line
- Min 20' easements
- No structures or utilities in detention easement
- 4:1 Max slope
- Must build Justin Rd.
- TxDOT permit for John King utilities
- Off-site esmts required for sewer
- Sidewalk along Justin
- Show dedication of rows for Justin
- Show dedication (future) of row for TxDOT Plans for John King. No detention allowed in future row of John King
- Need Note: Dimensions are to face curb or edge of paving? (unless stated)
- Must meet all City Standards of Design and Construction

PROPOSED LAND USE	CHURCH
GENERAL OVERLAY	PROPOSED
ZONING DISTRICT	LIGHT INDUSTRIAL (LI)
OVERLAY	JOHN KING (SH 205)
OVERALL SITE	
TOTAL SITE AREA	6.033 AC.
IMPERVIOUS SURFACE	62% (3.76 AC)
PERVIOUS SURFACE AREA	38% (2.27 AC)
BUILDING	
TOTAL SQUARE FOOTAGE	27,400 S.F.
TOTAL GROSS INTENSITY (FAR)	0.10 OR 10%
PROPERTY DEVELOPMENT REGULATIONS	
MAXIMUM LOT COVERAGE	60%
MINIMUM LOT AREA	43,560 SF
MINIMUM LOT WIDTH	100
MINIMUM LOT DEPTH	125
SETBACKS	
FRONT	25
REAR	1/2 H > 36 w/ FRW & ALLEY
SIDE	1/2 H > 36 w/ FRW
STRUCTURE HEIGHT	60' MAX
PARKING & ACCESS	
REQUIRED	
TOTAL PARKING (598 SPACES @ 1 PER 4 SEATS)	150
PROVIDED	
TOTAL PARKING	245
NO. OF HANDICAP (REGULAR)	4
NO. OF HANDICAP (VAN)	3



CASE NO. \_\_\_\_\_

**SITE PLAN**  
**6.03 ACRES**

**ROCKWALL FRIENDSHIP BAPTIST CHURCH**

**VOL. 4875, PG. 117 D.R.R.C.T.**

OWNER/DEVELOPER ROCKWALL FRIENDSHIP BAPTIST CHURCH MR. SHANON THOMAS, SENIOR PASTOR 5651 STATE HWY 276 ROYSE CITY, TX 75189 972-712-7520	SURVEYOR H.D. FETTY LAND SURVEYOR, LLC TRACY FETTY 6770 FM 1565 ROYSE CITY, TEXAS 75189 972-635-2255
---	---

DATE		REVISIONS		DRAWN BY	

**SITE PLAN**

**ROCKWALL FRIENDSHIP BAPTIST CHURCH**

**ROCKWALL, TEXAS**

---

PROJ. MGR.: TPI  
 PROJ. ASSOC.: ADC  
 DRAWN BY:  
 DATE: 06/14/2019

SHEET  
**1** OF **1**

**TOMDEN ENGINEERING, L.L.P.**  
 5815 MEADOWCREST  
 DALLAS, TX 75230  
 (214) 679-1679  
 FIRM No. 19244  
 tjones@tomden.com

### C ORDINANCE REQUIREMENT

**Mandatory Provisions**

- 15' landscape buffer**  
Provided.
- Screening of off-street loading areas**  
Provided.
- Residential Adjacency**  
6' masonry fencing n/a
- Buffer landscaping**  
1 tree per 50' linear feet 1,105 /50 22 3" caliper trees required  
22 3" caliper trees provided
- Parking lot landscaping**  
5% required 75,000 \*.05 3,750 required area  
4,228 provided area
- Open space**  
Office zoning requires 20% 262,666 \*.20 52,533 square feet required  
109,000 square feet provided
- SH 205 Overlay District**  
Planting at Buffer 323 / 50 6 Canopy Trees required  
9 Canopy Trees provided  
323 / 25 13 Accent Trees required  
14 Accent Trees provided

### C PLANT LISTING

ALL SIZES SHOWN ARE MINIMUM. SMALLER CONTAINERS MEETING THE SPECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED. IF QUANTITIES ARE SHOWN, CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES. PLAN REFERENCES GOVERN.

BOTANIC NAME	COMMON NAME	SIZE	DESCRIPTION
<b>LARGE TREES</b>			
QUERCUS PHELLOS	CHINQUAPIN OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
QUERCUS SHUMARDII	SHUMARD RED OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
QUERCUS VIRGINIANA	LIVE OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
TAXODIUM DISTICHUM	BALD CYPRESS	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
ULMUS CRASSIFOLIA	CEDAR ELM	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
<b>ORNAMENTAL TREES</b>			
VITEX AGNUS-CASTUS	VITEX	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
ILEX VOMITORIA 'NANA'	TREE YAUPON	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
LAGESTROEMIA INDICA	CRAPE MYRTLE	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
<b>SHRUBS</b>			
ILEX CRENATA BURFORDII NANA	DWARF BURFORD HOLLY	3 GALLON	24" ON CENTER
SALVIA GREGII 'HOTLIPS'	HOT LIPS CHERRY SAGE	3 GALLON	24" ON CENTER
<b>GROUNDCOVER / PERINNEL</b>			
EUONYMUS COLORATA	PURPLE WINTERCREEPER	1 GALLON	18" ON CENTER
TRACHELSPERMUM ASIATICUM	ASIAN JASMINE	1 GALLON	18" ON CENTER
<b>LAWN</b>			
CYNDON	SOLID SOD BERMUDA		

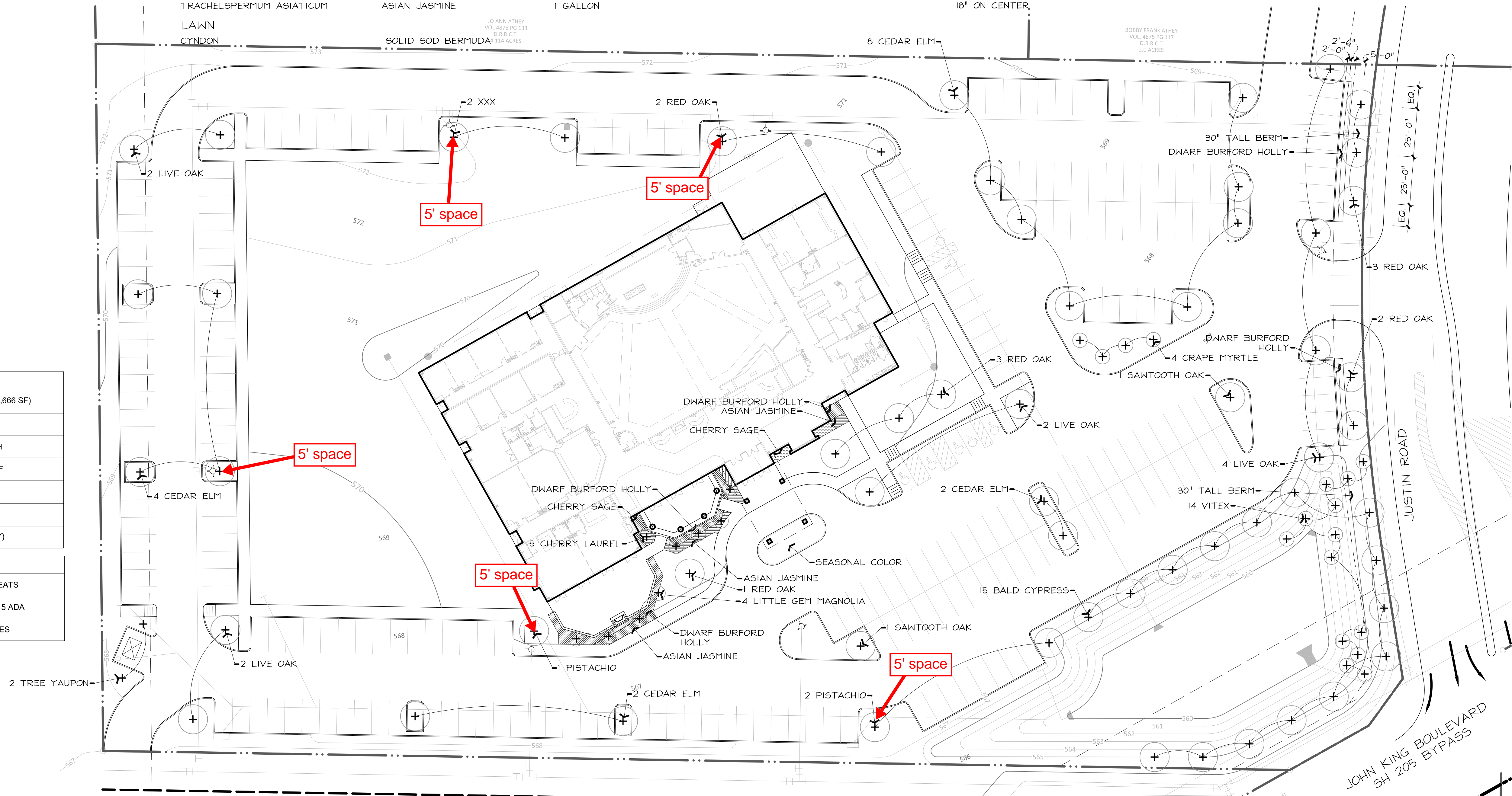
### B PREPARATION GENERAL NOTES

- PLAN PREPARED BY:  
MICHAEL S. KENDALL  
KENDALL + LANDSCAPE ARCHITECTURE  
6976 SANTA BARBARA  
DALLAS, TEXAS 75214  
PHONE: (214) 739-3226  
E-MAIL: MIKE@KENDALL7.COM  
TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127
- ALL AREAS SHALL BE IRRIGATED BY A LICENCES IRRIGATOR WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE.
- ALL REQUIRED TREES FROM THE CITY APPROVED LISTING.
- IRRIGATION WILL MEET THE REQUIREMENTS OF UDC.

No trees within 5' of utilities

SITE DATA TABLE	
SITE AREA	6.03 ACRES 262,666 SF)
ZONING	L1
PROPOSED USE	CHURCH
BUILDING SIZE	27,400 SF
LOT COVERAGE	10%
FLOOR TO AREA RATIO	0.04 : 1
BUILDING HEIGHT	(1 STORY)

PARKING TABLE	
PARKING REQUIREMENTS	1 PER X 4 SEATS
PARKING REQUIRED	150 SPACES - 5 ADA
PARKING PROVIDED	245 SPACES



### A LANDSCAPE PLAN

1" = 30'-0" 0 15' 30' 60'



FRIENDSHIP BAPTIST CHURCH  
ROCKWALL, TEXAS

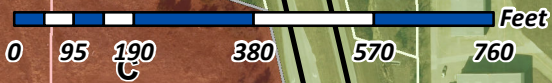
Seal

Revisions

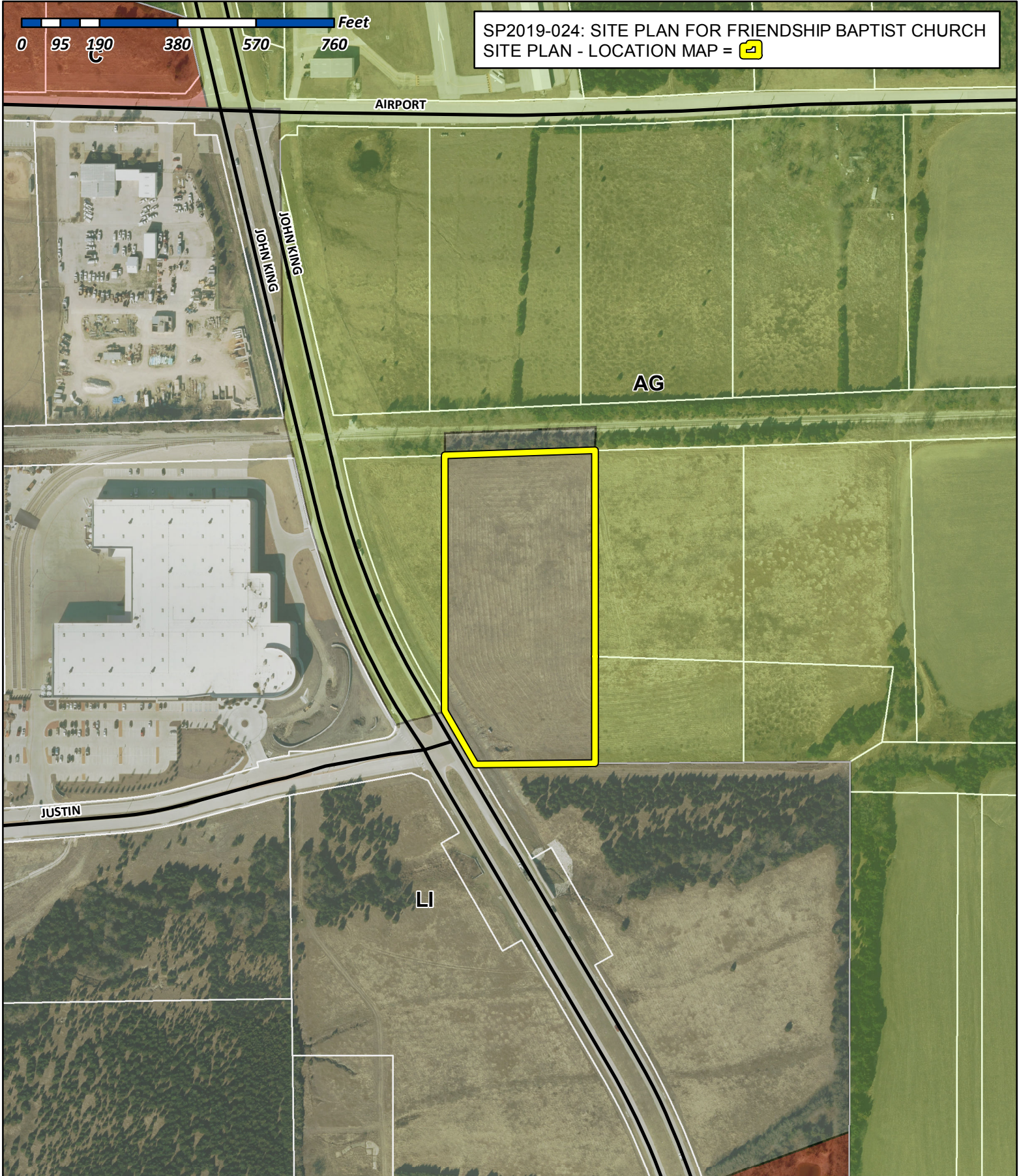
Issue Date  
**06.04.19**

Sheet Name  
**LANDSCAPE PLAN**

Sheet Number  
**L1.1**



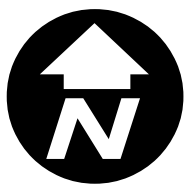
SP2019-024: SITE PLAN FOR FRIENDSHIP BAPTIST CHURCH  
SITE PLAN - LOCATION MAP = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



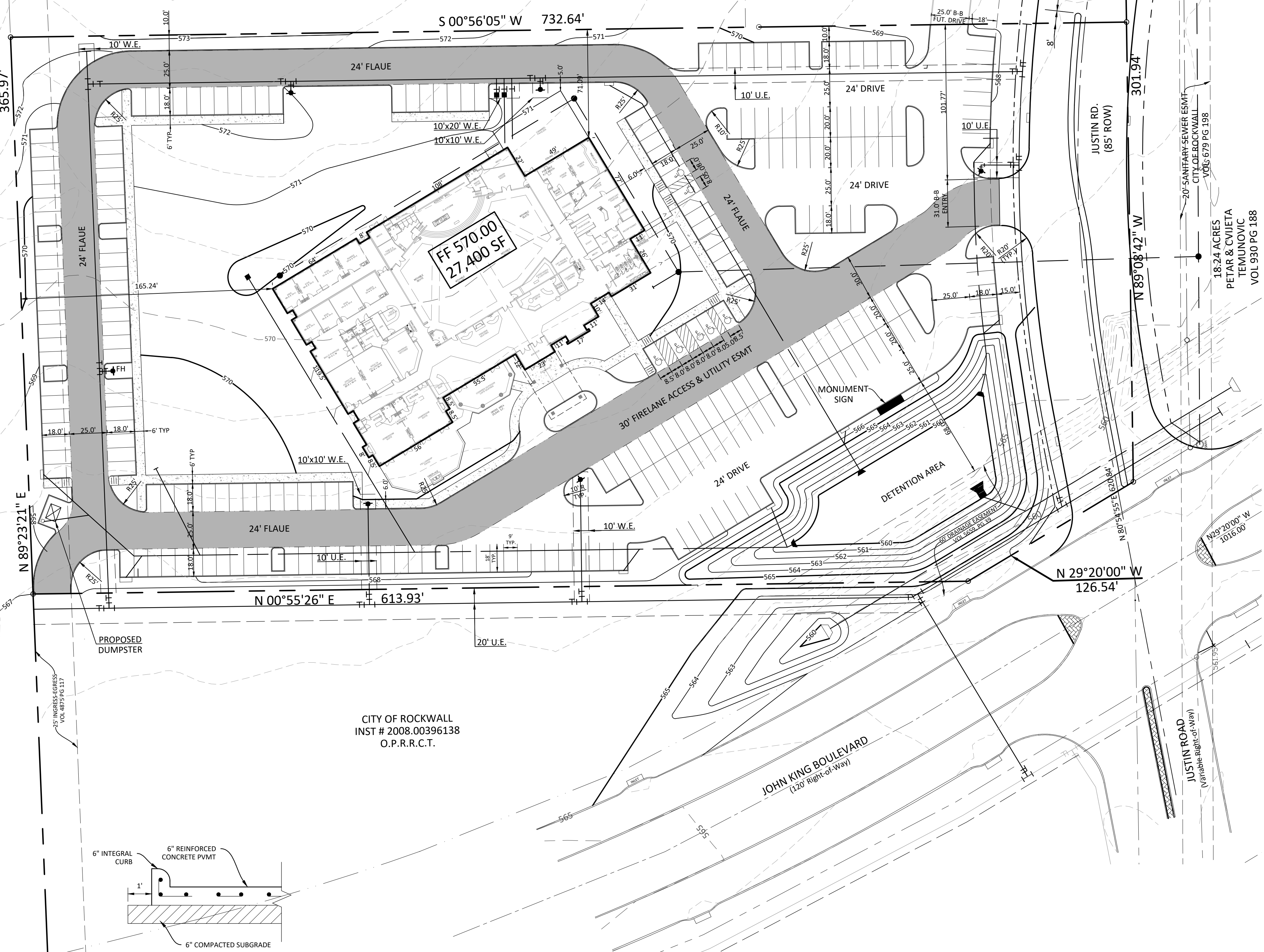
M.K.&T. RAILROAD  
(100' Right-of-Way)

JO ANN ATHEY  
VOL 4875 PG 133  
D.R.R.C.T.  
4.114 ACRES

BOBBY FRANK ATHEY  
VOL. 4875 PG 117  
D.R.R.C.T.  
2.0 ACRES

CITY OF ROCKWALL  
INST # 2008.00396138  
O.P.R.R.C.T.

JUSTIN ROAD  
(Variable Right-of-Way)



**PAVEMENT SECTION**  
FOR FIRELANE & DRIVE AISLES

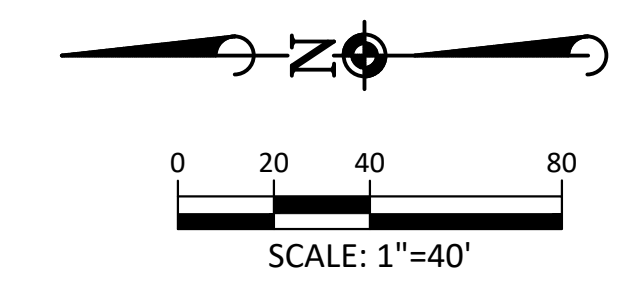
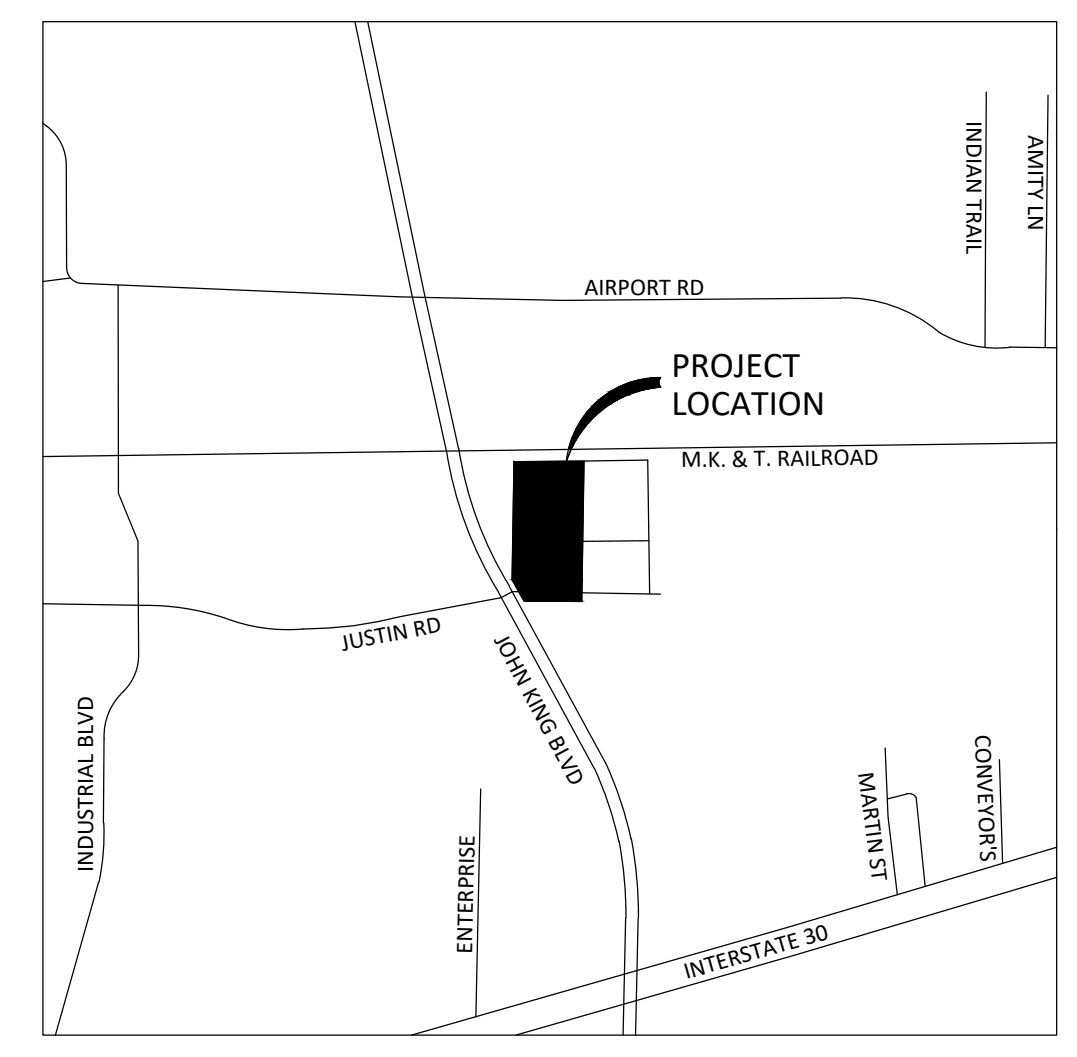
6" 3600 PSI PVMT  
6" LIME STAB SUBGRADE

**FOR DUMPSTER PAD**

8" 4000 PSI PVMT  
6" LIME STAB SUBGRADE

**FOR PARKING AREAS**

5" 3600 PSI PVMT  
6" COMPACTED SUBGRADE



**PROJECT INFORMATION**

NAME OF PROJECT: ROCKWALL FRIENDSHIP BAPTIST CHURCH  
PROPOSED LAND USE: CHURCH

**GENERAL**

ZONING DISTRICT: LIGHT INDUSTRIAL (LI)  
OVERLAY: JOHN KING (SH 205)

**OVERALL SITE**

TOTAL SITE AREA: 6.033 AC.  
IMPERVIOUS SURFACE: 62% (3.76 AC)  
PERVIOUS SURFACE AREA: 38% (2.27 AC)

**BUILDING**

TOTAL SQUARE FOOTAGE: 27,400 S.F.  
TOTAL GROSS INTENSITY (FAR): 0.10 OR 10%

**PROPERTY DEVELOPMENT REGULATIONS**

MAXIMUM LOT COVERAGE: 60%  
MINIMUM LOT AREA: 43,560 SF  
MINIMUM LOT WIDTH: 100  
MINIMUM LOT DEPTH: 125

SETBACKS:  
FRONT: 25  
REAR: 1/2 H > 36 w/ FRW & ALLEY  
SIDE: 1/2 H > 36 w/ FRW  
STRUCTURE HEIGHT: 60' MAX

**PARKING & ACCESS**

REQUIRED:  
TOTAL PARKING (598 SPACES @ 1 PER 4 SEATS): 150

PROVIDED:  
TOTAL PARKING: 245  
NO. OF HANDICAP (REGULAR): 4  
NO. OF HANDICAP (VAN): 3

CASE NO. \_\_\_\_\_

**SITE PLAN**  
6.03 ACRES

**ROCKWALL FRIENDSHIP BAPTIST CHURCH**

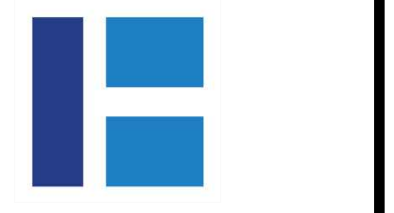
**VOL. 4875, PG. 117 D.R.R.C.T.**

OWNER/DEVELOPER  
ROCKWALL FRIENDSHIP BAPTIST CHURCH  
MR. SHANON THOMAS, SENIOR PASTOR  
5651 STATE HWY 276  
ROYSE CITY, TX 75189  
972-712-7520

SURVEYOR  
H.D. FETTY LAND SURVEYOR, LLC  
TRACY FETTY  
6770 FM 1565  
ROYSE CITY, TEXAS 75189  
972-635-2255

DATE	
REVISIONS	
DRAWN BY	

**TOMDEN ENGINEERING, L.L.P.**  
5815 MEADOWCREST  
DALLAS, TX 75230  
(214) 679-1679  
FIRM No. 19244  
tjones@tomden.com



**SITE PLAN**  
**ROCKWALL FRIENDSHIP BAPTIST CHURCH**  
**ROCKWALL, TEXAS**

PROJ. MGR.: TPI  
PROJ. ASSOC.: ADC  
DRAWN BY:  
DATE: 06/14/2019

SHEET  
**1** OF **1**

# C ORDINANCE REQUIREMENT

## Mandatory Provisions

- 15' landscape buffer**  
Provided.
- Screening of off-street loading areas**  
Provided.
- Residential Adjacency**  
6' masonry fencing n/a
- Buffer landscaping**  
1 tree per 50' linear feet 1,105 /50 22 3" caliper trees required  
22 3" caliper trees provided
- Parking lot landscaping**  
5% required 75,000 \*.05 3,750 required area  
4,228 provided area
- Open space**  
Office zoning requires 20% 262,666 \*.20 52,533 square feet required  
109,000 square feet provided
- SH 205 Overlay District**  
Planting at Buffer 323 / 50 6 Canopy Trees required  
9 Canopy Trees provided  
323 / 25 13 Accent Trees required  
14 Accent Trees provided

# C PLANT LISTING

ALL SIZES SHOWN ARE MINIMUM. SMALLER CONTAINERS MEETING THE SPECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED. IF QUANTITIES ARE SHOWN, CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES. PLAN REFERENCES GOVERN.

BOTANIC NAME	COMMON NAME	SIZE	DESCRIPTION
<b>LARGE TREES</b>			
QUERCUS PHELLOS	CHINQUAPIN OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
QUERCUS SHUMARDII	SHUMARD RED OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
QUERCUS VIRGINIANA	LIVE OAK	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
TAXODIUM DISTICHUM	BALD CYPRESS	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
ULMUS CRASSIFOLIA	CEDAR ELM	100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD	SINGLE STRAIGHT LEADER.
<b>ORNAMENTAL TREES</b>			
VITEX AGNUS-CASTUS	VITEX	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
ILEX VOMITORIA 'NANA'	TREE YAUPON	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
LAGESTROEMIA INDICA	CRAPE MYRTLE	65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD	MULTI-TRUNK - 3 CANES MAXIMUM
<b>SHRUBS</b>			
ILEX CRENATA BURFORDII NANA	DWARF BURFORD HOLLY	3 GALLON	24" ON CENTER
SALVIA GREGII 'HOTLIPS'	HOT LIPS CHERRY SAGE	3 GALLON	24" ON CENTER
<b>GROUNDCOVER / PERINNEL</b>			
EUONYMUS COLORATA	PURPLE WINTERCREEPER	1 GALLON	18" ON CENTER
TRACHELSPERMUM ASIATICUM	ASIAN JASMINE	1 GALLON	18" ON CENTER
<b>LAWN</b>			
CYNDON	SOLID SOD BERMUDA		

# B PREPARATION GENERAL NOTES

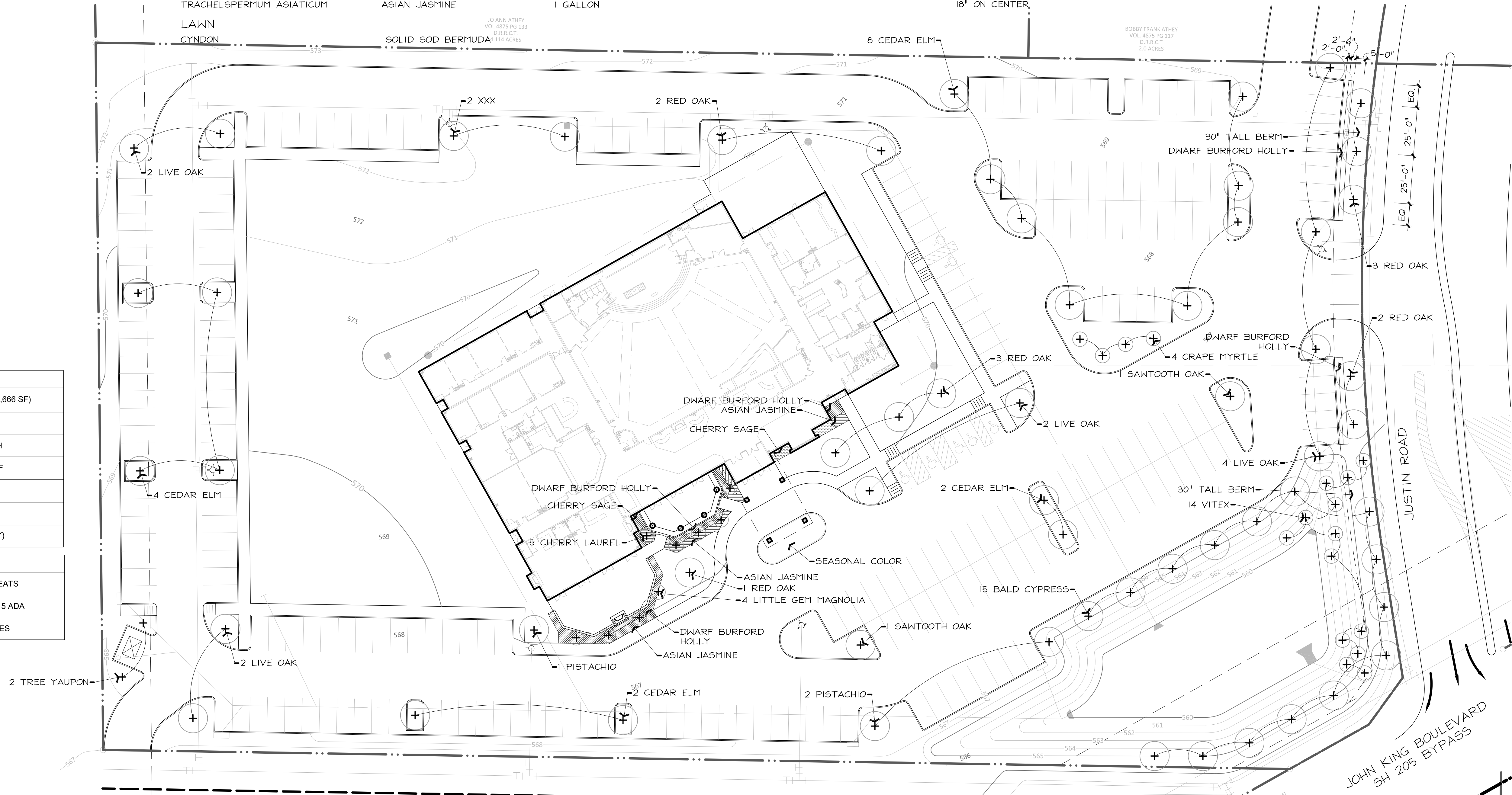
- PLAN PREPARED BY:  
MICHAEL S. KENDALL  
KENDALL + LANDSCAPE ARCHITECTURE  
6976 SANTA BARBARA  
DALLAS, TEXAS 75214  
PHONE: (214) 739-3226  
E-MAIL: MIKE@KENDALL7.COM  
TEXAS LANDSCAPE ARCHITECT LICENSE NO. 1127
- ALL AREAS SHALL BE IRRIGATED BY A LICENCES IRRIGATOR WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM PROVIDING 100% COVERAGE.
- ALL REQUIRED TREES FROM THE CITY APPROVED LISTING.
- IRRIGATION WILL MEET THE REQUIREMENTS OF UDC.



# FRIENDSHIP BAPTIST CHURCH ROCKWALL, TEXAS

SITE DATA TABLE	
SITE AREA	6.03 ACRES 262,666 SF)
ZONING	L1
PROPOSED USE	CHURCH
BUILDING SIZE	27,400 SF
LOT COVERAGE	10%
FLOOR TO AREA RATIO	0.04 : 1
BUILDING HEIGHT	(1 STORY)

PARKING TABLE	
PARKING REQUIREMENTS	1 PER X 4 SEATS
PARKING REQUIRED	150 SPACES - 5 ADA
PARKING PROVIDED	245 SPACES



**A LANDSCAPE PLAN**  
1" = 30'-0"

Seal

Revisions

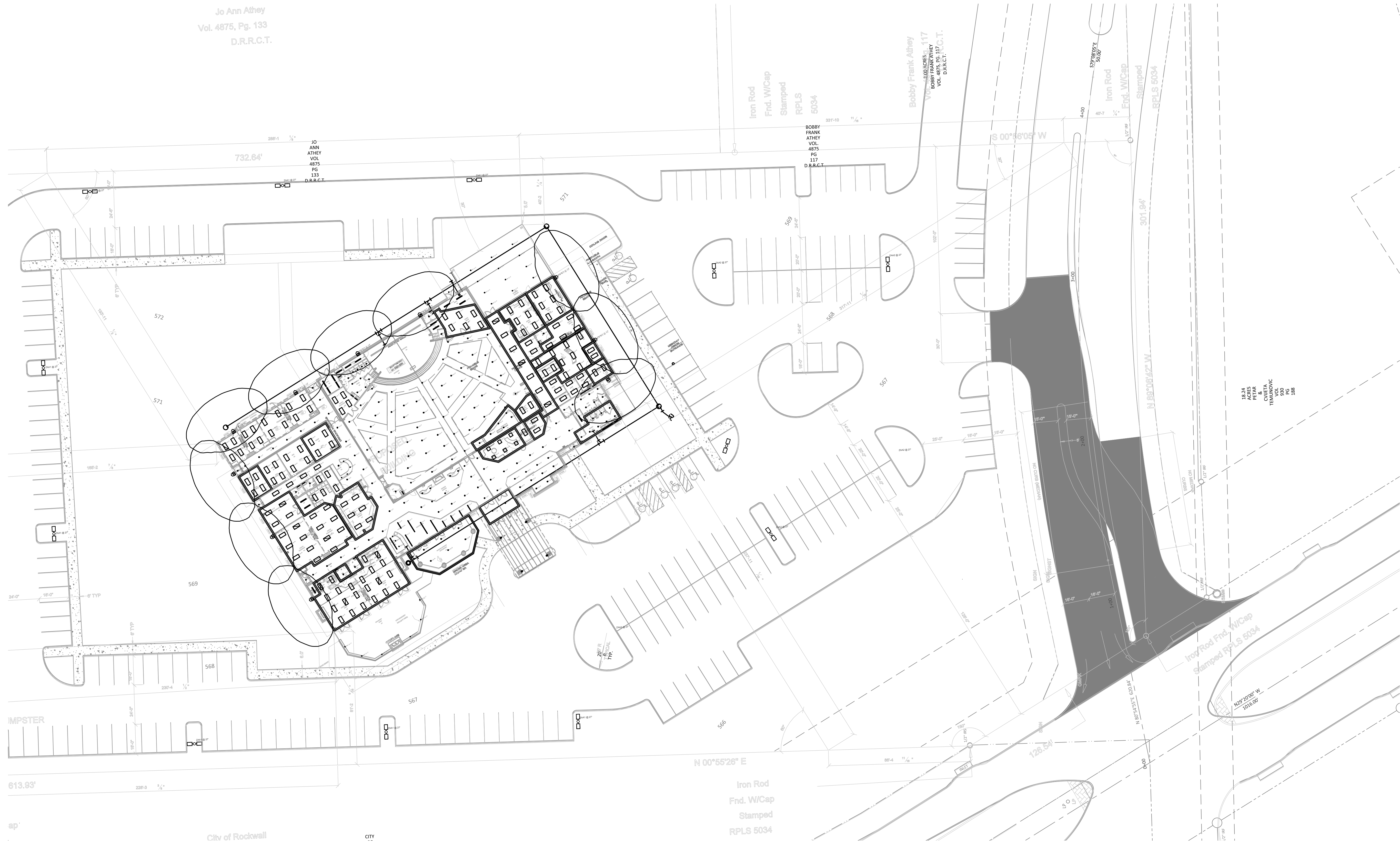
Issue Date

06.04.19

Sheet Name  
**LANDSCAPE PLAN**

Sheet Number

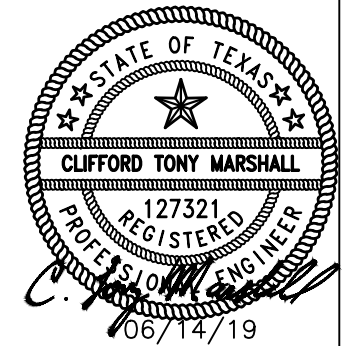
**L1.1**



- KEY NOTES:**
1. FROM BUILDING PLUMBING FIXTURES. SEE SHEET P1.0 AND P1.2 FOR CONTINUATION.
  2. TO SEWER MAIN. SEE CIVIL PLANS FOR CONTINUATION.
  3. FROM BUILDING PLUMBING FIXTURES. SEE SHEET P1.1 AND P1.3 FOR CONTINUATION.
  4. 4" DOMESTIC WATER LINE. SEE CIVIL PLANS FOR CONTINUATION.
  5. 6" FIRE WATER LINE. SEE CIVIL PLANS FOR CONTINUATION.

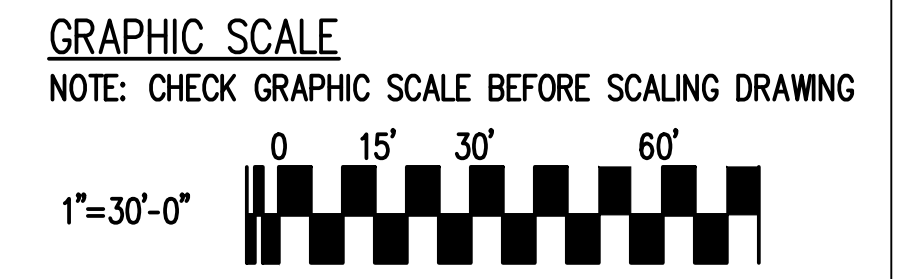
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CROSSPOINTE CHURCH ARCHITECTS. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE, REPRODUCTION, OR DISTRIBUTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF CROSSPOINTE CHURCH ARCHITECTS IS STRICTLY PROHIBITED. THE ARCHITECT ASSUMES NO LIABILITY FOR DAMAGES OF ANY KIND, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THESE DRAWINGS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES RENDERED. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF STRUCTURAL, MECHANICAL, ELECTRICAL, OR OTHER SPECIALTY SYSTEMS, NOR TO THE CONSTRUCTION OF SUCH SYSTEMS. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF LANDSCAPE ARCHITECTURE, CIVIL ENGINEERING, OR OTHER SPECIALTY SYSTEMS, NOR TO THE CONSTRUCTION OF SUCH SYSTEMS. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL INTERIORS, NOR TO THE CONSTRUCTION OF SUCH INTERIORS. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF HISTORIC PRESERVATION, NOR TO THE CONSTRUCTION OF SUCH PRESERVATION. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ENVIRONMENTAL ENGINEERING, NOR TO THE CONSTRUCTION OF SUCH ENGINEERING. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL RENDERINGS, NOR TO THE CONSTRUCTION OF SUCH RENDERINGS. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL MODELING, NOR TO THE CONSTRUCTION OF SUCH MODELING. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL PHOTOGRAPHY, NOR TO THE CONSTRUCTION OF SUCH PHOTOGRAPHY. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL VIDEO, NOR TO THE CONSTRUCTION OF SUCH VIDEO. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL AUDIO, NOR TO THE CONSTRUCTION OF SUCH AUDIO. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL LIGHTING, NOR TO THE CONSTRUCTION OF SUCH LIGHTING. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL SECURITY, NOR TO THE CONSTRUCTION OF SUCH SECURITY. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL ACCESSIBILITY, NOR TO THE CONSTRUCTION OF SUCH ACCESSIBILITY. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL SUSTAINABILITY, NOR TO THE CONSTRUCTION OF SUCH SUSTAINABILITY. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL WELLNESS, NOR TO THE CONSTRUCTION OF SUCH WELLNESS. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL WELLBEING, NOR TO THE CONSTRUCTION OF SUCH WELLBEING. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL WELLNESS, NOR TO THE CONSTRUCTION OF SUCH WELLNESS. THE ARCHITECT'S LIABILITY DOES NOT EXTEND TO THE DESIGN OF ARCHITECTURAL WELLBEING, NOR TO THE CONSTRUCTION OF SUCH WELLBEING.

**MARSHALL ENGINEERING CORPORATION**  
T.B.P.E. FIRM REG. # F-5988  
715 N. HOUSTON AVENUE  
HUMBLE TEXAS 77338  
PHONE: 281-852-4131  
FAX: 281-852-4631  
marshallengineeringco.com

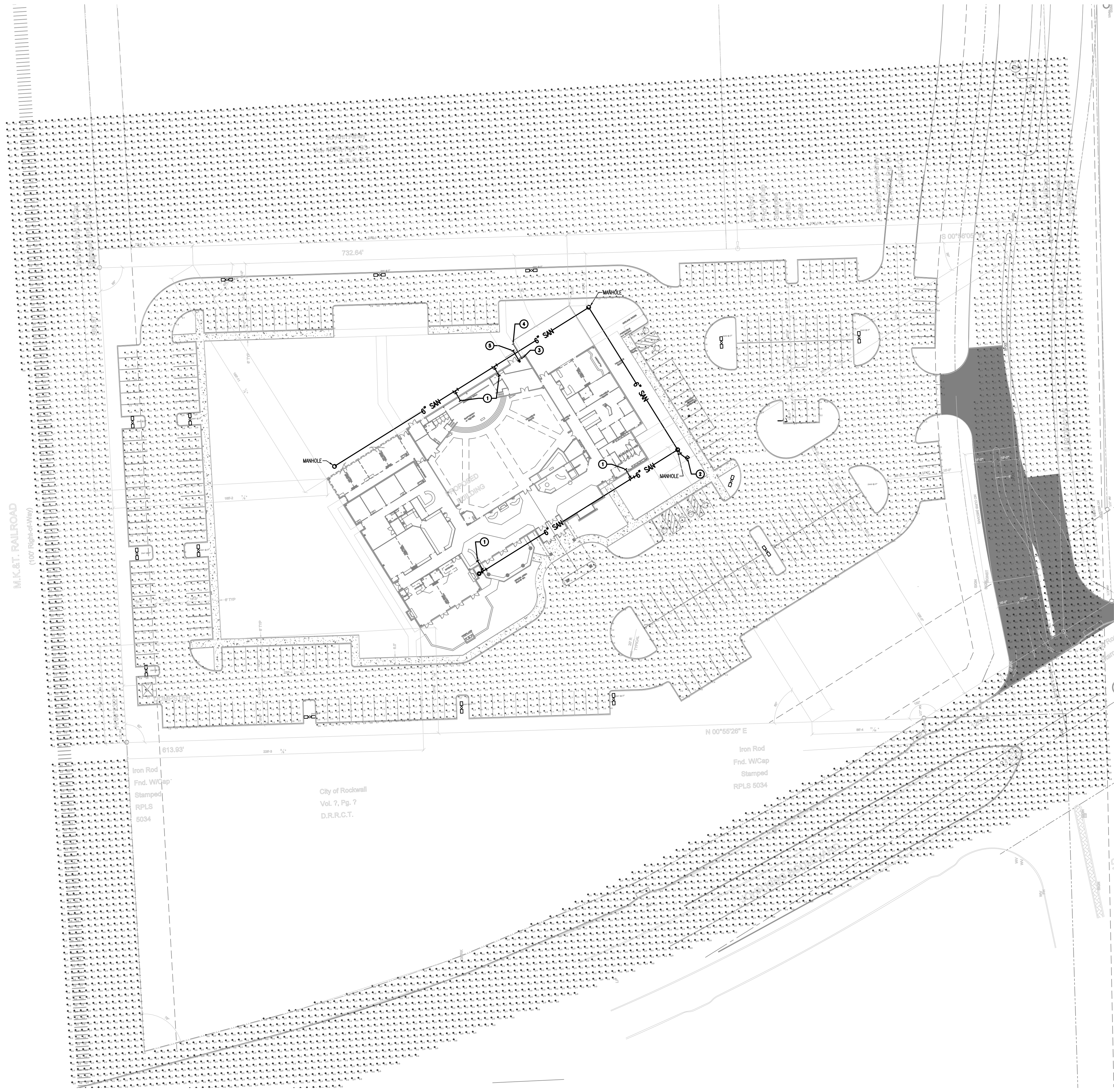


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
☐	ZAA1	11	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT SPA PIRHFCV HS XAPINSHI) - DRILL MOUNT TO LITHONIA POLE. SSS-25 SC DM2AS XAPINSHI) - ANCHOR BOLT TO 2" CONCRETE PAD	AREA LIGHT - PARKING - 1@90	LED	1	DSX1_LED_P8_40K_T4M_MVOLT_HS.as	18423.85	0.9	207
☐	ZAA2	5	Lithonia Lighting	DSX1 LED P8 40K T4M MVOLT SPA PIRHFCV HS XAPINSHI) - DRILL MOUNT TO LITHONIA POLE. SSS-25 SC DM2AS XAPINSHI) - ANCHOR BOLT TO 2" CONCRETE PAD	AREA LIGHT - PARKING - 2@90	LED	1	DSX1_LED_P8_40K_T4M_MVOLT_HS.as	23739.58	0.9	414
○	ZSS1	13	USAI	BLRDS 16C3 3K 50 S WH XAPINSHI) UNV	EXTERIOR - SURFACE CYLINDER	LED	1	BLRDS-16C3-30KH-50-S-WH-AB00.as	1045.093	0.9	16
○	ZWS1	4	BEGA-US	21-2M12027TV K35 XAPINSHI)	EXTERIOR - COLUMN MOUNT - INDIRECT WALL SCENE	LED	1	[WC1] 22434.BES	2978.814	0.9	55.42
○	ZWW1	6	BEGA	23172 12027TV K35 XAPINSHI)	WALL MT PATH LIGHT - 18" MOUNTING HEIGHT	LED	1	[WW2] 22372.BES	240.6907	0.9	11
☐	ZWW2	10	Lithonia Lighting	WST LED P2 40K VW MVOLT PIRHFCV E20WC XAPINSHI)	WALL PACK	LED	1	WST_LED_P2_40K_VW_MVOLT_HS.as	3511	0.9	23

**MEP SITE PLAN**



The Drawings, Specifications and other documents prepared by the Engineer for this Project are instruments of the Engineer's service for use solely with respect to this Project, and the Engineer shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies, including reproducible copies, of the Engineer's Drawings, Specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Engineer's Drawings, Specifications or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others, except by agreement in writing and with appropriate compensation to the Engineer.

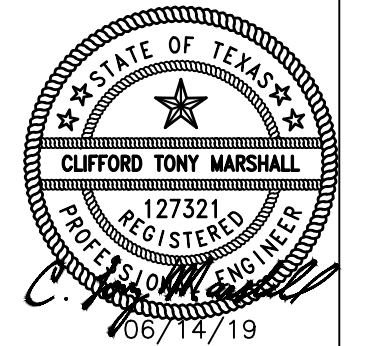


- KEY NOTES:**
1. FROM BUILDING PLUMBING FIXTURES. SEE SHEET P1.0 AND P1.2 FOR CONTINUATION.
  2. TO SEWER MAIN. SEE CIVIL PLANS FOR CONTINUATION.
  3. FROM BUILDING PLUMBING FIXTURES. SEE SHEET P1.1 AND P1.3 FOR CONTINUATION.
  4. 4" DOMESTIC WATER LINE. SEE CIVIL PLANS FOR CONTINUATION.
  5. 6" FIRE WATER LINE. SEE CIVIL PLANS FOR CONTINUATION.

**CROSSPOINTE**  
**CHURCH ARCHITECTS**  
*designing buildings that grow churches*  
 10924 GRANT ROAD #112, HOUSTON, TX 77070  
 281-404-2236 214-269-2236 866-687-2296

THIS DOCUMENT IS THE PROPERTY OF MARSHALL ENGINEERING CORPORATION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MARSHALL ENGINEERING CORPORATION. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN. THE ENGINEER DOES NOT WARRANT OR REPRESENT THAT THE INFORMATION CONTAINED HEREIN IS COMPLETE, ACCURATE, OR FREE FROM ERROR. THE USER OF THIS DOCUMENT ASSUMES ALL LIABILITY FOR ANY AND ALL CLAIMS WHICH MAY BE ASSERTED AGAINST THEM AS A RESULT OF THE USE OF THESE DOCUMENTS.

**MARSHALL ENGINEERING CORPORATION**  
 T.B.P.E. FIRM REG. # F-5988  
 715 N. HOUSTON AVENUE  
 HUMBLE, TEXAS 77338  
 PHONE: 281-852-4131  
 FAX: 281-852-4631  
 marshallengineeringco.com

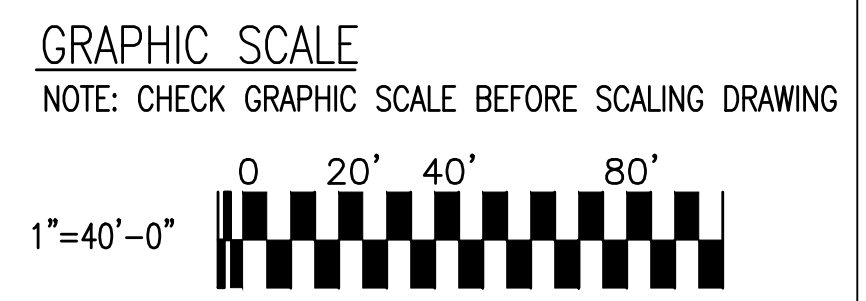


**ROCKWALL FRIENDSHIP BAPTIST CHURCH**  
**FR**

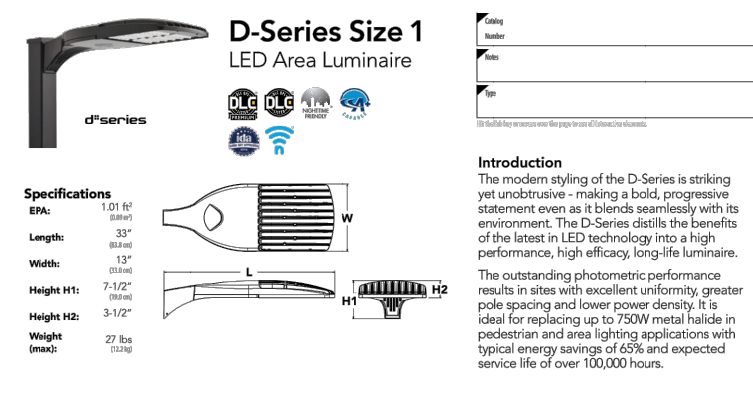
Drawn by: \_\_\_\_\_  
 Project No.: \_\_\_\_\_  
 Checked by: \_\_\_\_\_  
 Revisions: \_\_\_\_\_

Date: XXX  
 Drawing No.: **E1.1**

**1 LIGHTING CALCULATIONS**



The Drawings, Specifications and other documents prepared by the Engineer for this Project are instruments of the Engineer's service for use solely with respect to this Project, and the Engineer shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies, including reproducible copies, of the Engineer's Drawings, Specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Engineer's Drawings, Specifications or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others, except by agreement in writing and with appropriate compensation to the Engineer.



**Specifications**

Finish: White  
 Depth: 2.00"  
 Height: 1.50"  
 Width: 1.50"  
 Weight: 0.10 lbs  
 Mount: Flush

**Ordering Information**

EXAMPLE: DSX1 LED F7 40K T3M D2M SPA NATARZ P1RHN COB20

Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code
DSX1	LED	F7	40K	T3M	D2M	SPA	NATARZ	P1RHN	COB20

**Ordering Information**

Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code	Order Code
DSX1	LED	F7	40K	T3M	D2M	SPA	NATARZ	P1RHN	COB20

**WST LED Architectural Wall Sconce**

**Specifications**

Luminaire: WST LED Architectural Wall Sconce  
 Height: 4.50"  
 Depth: 3.00"  
 Width: 3.00"  
 Weight: 0.10 lbs

**Optional Back Box (PBW)**

Height: 4.50"  
 Depth: 3.00"  
 Width: 3.00"

**Optional Back Box (PBW)**

Height: 4.50"  
 Depth: 3.00"  
 Width: 3.00"

**LED wall luminaire - asymmetric floodlight**

**Features & Specifications**

**Features:**

- Asymmetric floodlight for accent or direct lighting effects for interior and exterior applications.
- LED wall luminaire for luminaire before and after the luminaire.
- LED wall luminaire for luminaire before and after the luminaire.

**Specifications:**

- Height: 4.50"
- Depth: 3.00"
- Width: 3.00"
- Weight: 0.10 lbs

**LITONIA LIGHTING**

**FEATURES & SPECIFICATIONS**

**Features:**

- Asymmetric floodlight for accent or direct lighting effects for interior and exterior applications.
- LED wall luminaire for luminaire before and after the luminaire.
- LED wall luminaire for luminaire before and after the luminaire.

**Specifications:**

- Height: 4.50"
- Depth: 3.00"
- Width: 3.00"
- Weight: 0.10 lbs

**LED recessed wall - shielded**

**Features & Specifications**

**Features:**

- Asymmetric floodlight for accent or direct lighting effects for interior and exterior applications.
- LED wall luminaire for luminaire before and after the luminaire.
- LED wall luminaire for luminaire before and after the luminaire.

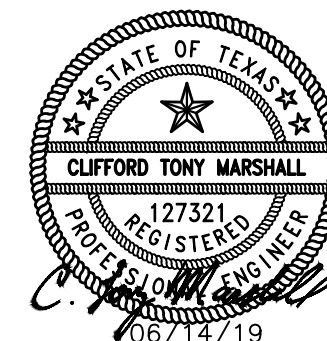
**Specifications:**

- Height: 4.50"
- Depth: 3.00"
- Width: 3.00"
- Weight: 0.10 lbs

1 LIGHTING CUT SHEETS

The Drawings, Specifications and other documents prepared by the Engineer for this Project are instruments of the Engineer's service for use solely with respect to this Project, and the Engineer shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright. The Owner shall be permitted to retain copies, including reproducible copies, of the Engineer's Drawings, Specifications and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Engineer's Drawings, Specifications or other documents shall not be used by the Owner or others on other projects, for additions to this Project or for completion of this Project by others, except by agreement in writing and with appropriate compensation to the Engineer.

**MARSHALL ENGINEERING CORPORATION**  
 T.B.P.E. FIRM REG. # F-5988  
 715 N. HOUSTON AVENUE  
 HUMBLE, TEXAS 77338  
 PHONE: 281-852-4131  
 FAX: 281-852-4631  
 marshallengineeringco.com



**ROCKWALL FRIENDSHIP BAPTIST CHURCH**

Drawn by: [Signature]  
 Project No.: [Number]  
 Checked by: [Signature]  
 Revisions:

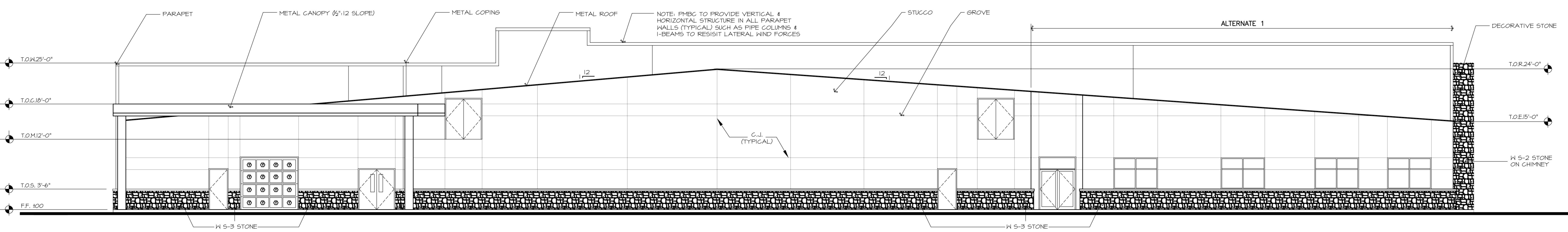
Date: XXX  
 Drawing No.: **E1.2**

**CROSSPOINTE CHURCH ARCHITECTS**  
*designing buildings that grow churches*  
 10924 GRANT ROAD #112, HOUSTON, TX 77070  
 281-404-2336 214-269-2336 866-687-2296

THIS DOCUMENT IS THE PROPERTY OF MARSHALL ENGINEERING CORPORATION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE BLOCK. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MARSHALL ENGINEERING CORPORATION. THE ENGINEER'S DESIGN AND SPECIFICATIONS ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE ENGINEER'S DESIGN AND SPECIFICATIONS DO NOT CONSTITUTE A GUARANTEE OF PERFORMANCE OR A WARRANTY OF ANY KIND. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ENGINEER'S DESIGN AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MARSHALL ENGINEERING CORPORATION. THE ENGINEER'S DESIGN AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MARSHALL ENGINEERING CORPORATION. THE ENGINEER'S DESIGN AND SPECIFICATIONS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF MARSHALL ENGINEERING CORPORATION.

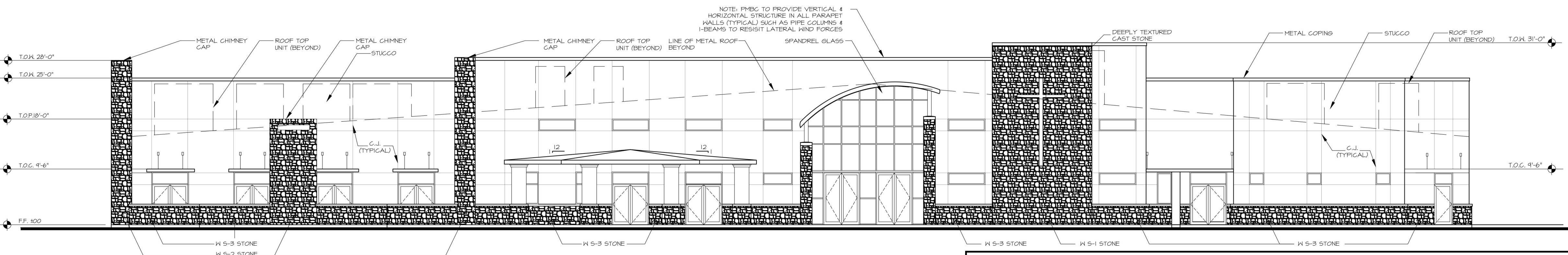


SOUTH FAÇADE SYNOPSIS			
4,456 SF (3,994 SF w/o doors/windows)			
Metal Roof	104 SF	.02%	
Stone	904 SF	23%	
Stucco	2,986 SF	75%	
Doors/Windows	462 SF	N/A	



4 SOUTH ELEVATION  
A3.1 SCALE: 3/32" = 1'-0"

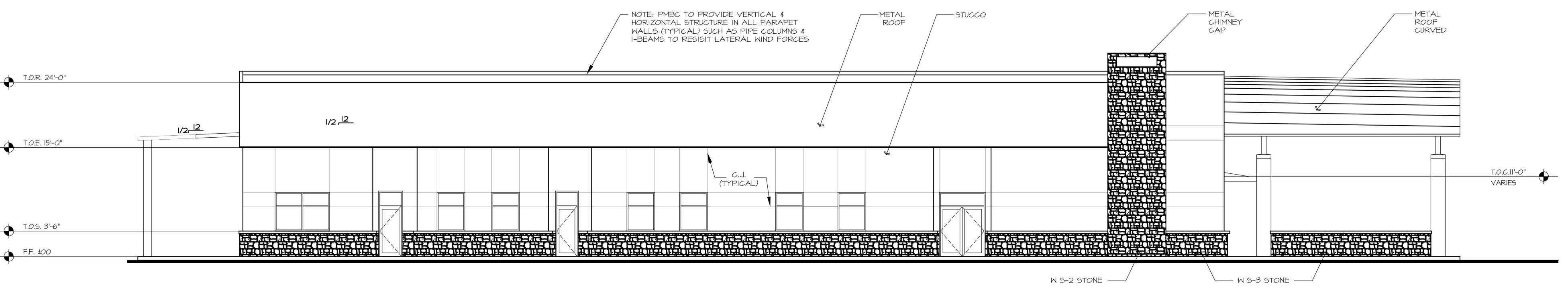
NORTH FAÇADE SYNOPSIS			
6,204 SF (5,184 SF w/o doors/windows)			
Ceramic Tile	240 SF	5%	
Stone	1,492 SF	29%	
Stucco	3,361 SF	64%	
Metal Roof	91 SF	2%	
Doors/Windows	1,020 SF	N/A	



3 NORTH ELEVATION  
A3.1 SCALE: 3/32" = 1'-0"

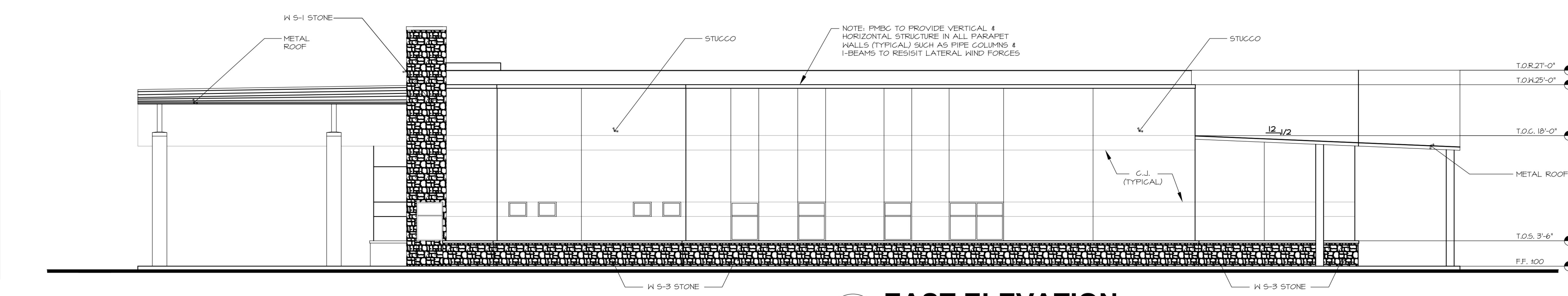
**THIS IS THE ELEVATION FACING THE PUBLIC R.O.W.**

WEST FAÇADE SYNOPSIS			
3,280 SF (2,972 SF w/o doors/windows)			
Metal Roof	1,200 SF	40%	
Stone	808 SF	27%	
Stucco	964 SF	32%	
Doors/Windows	308 SF	N/A	

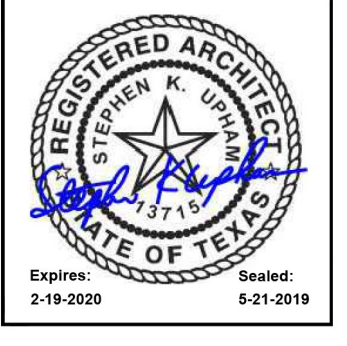


2 WEST ELEVATION  
A3.1 SCALE: 3/32" = 1'-0"

EAST FAÇADE SYNOPSIS			
3,821 SF (3,690 SF w/o doors/windows)			
Metal Roof	319 SF	9%	
Stone	655 SF	17%	
Stucco	2,716 SF	74%	
Doors/Windows	131 SF	N/A	



1 EAST ELEVATION  
A3.1 SCALE: 3/32" = 1'-0"



**NOTE:** These drawings are preliminary and shall not be used for construction or final bidding unless sealed by the architect above.

Design, plans and specifications are copyright © 2019 Stephen K. Upton and Church Architects. All rights reserved. The information contained herein is the property of Church Architects. This information is to be used only for the project and location specified. It is not to be used for any other project, location or purpose without the express written consent of Church Architects. The user of this information agrees to hold Church Architects harmless for any and all claims, damages, losses or expenses of any kind or nature, including reasonable attorney's fees, that may be incurred by or for the user of this information. The user of this information shall release, defend, indemnify and hold Church Architects harmless for any and all claims, damages, losses or expenses of any kind or nature, including reasonable attorney's fees, that may be incurred by or for Church Architects. The user of this information shall also release, defend, indemnify and hold Church Architects harmless for any and all claims, damages, losses or expenses of any kind or nature, including reasonable attorney's fees, that may be incurred by or for the user of this information.

**ROCKWALL FRIENDSHIP BAPTIST CHURCH**

**FR**

Drawn by: CS  
Project No.: 1709  
Checked by: SKU  
Revisions:

Date: 05/14/2019  
Drawing No.:  
**A3.1**



2. Around the base of the building—hard to see in rendering



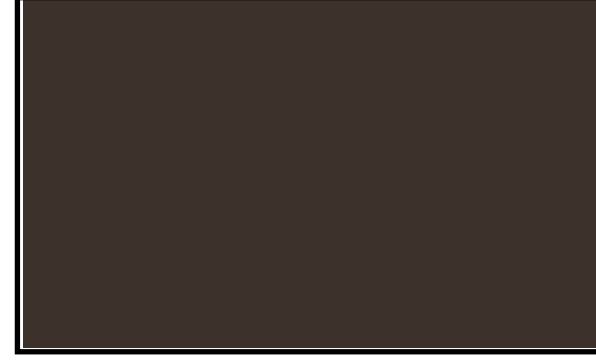
1. 3-coat Stucco—color: Dryvit (finish coat only)  
color: Baked Meringue



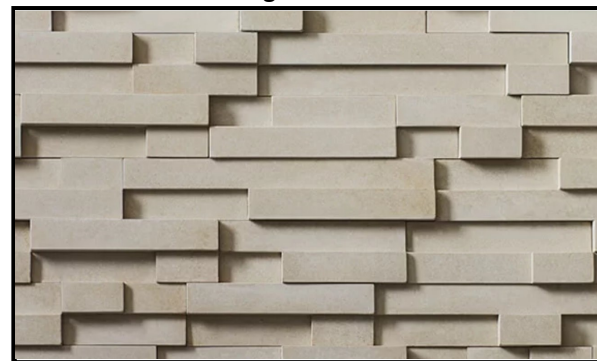
2. Manufactured stone: Boral Pro-Fit Alpine  
LedgeStone—Color: Chardennay



3. Metal trim:



4. Metal Roofing: MBCI Signature 300 metal  
roofing, color: Medium Bronze



5. Manufactured stone:



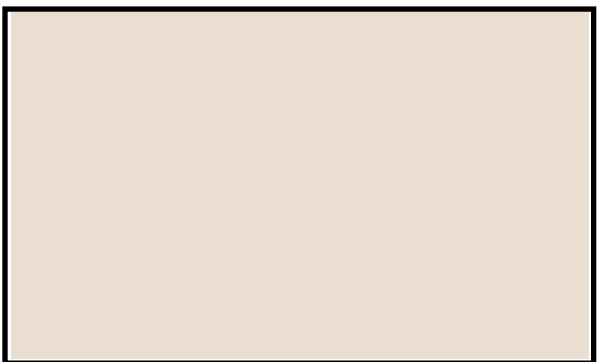
6. Ceramic Tile—"reclaimed wood" look—DalTile  
Yorkwood Manor YM02 Pecan



7. Metal window/door frames: Bronze finish on  
aluminum



8. Glass: Bronze glass



9. Metal trim (painted to match stucco): Sherwin  
Williams Moderate White SW 6140



10. Metal cross and logo: custom made from  
CorTen steel

- 1. Stucco—color:
  - 2. Manufactured stone:
  - 3. Metal trim: bronze finish
  - 4. Metal roof (exposed): bronze
  - 5. Manufactured stone:
  - 6. Ceramic tile "reclaimed wood" look:
  - 7. Window frames: bronze
  - 8. Glass: bronze tint everywhere (except clear glass at heavily shaded main entrance)
  - 9. Metal trim: (match the stucco) color:
  - 10. Cross and sign: CorTen steel (rust color)
- Metal roof (where not seen): white

**Applicant Info:**

**Crosspointe Architects**

Steve Upham  
10924 Grant Road, #112  
Houston, TX 77070 281-404-2236  
Steve@CrosspointeArchitects.com

**Owner Info:**

**Rockwall Friendship Baptist Church**

— Pastor Shanon Thomas  
5651 State Highway 276  
Royse City, TX 75189  
972-772-7520  
info@rockwallfbc.org

Rockwall Friendship Baptist Church

Case No: \_\_\_\_\_

## City of Rockwall Project Plan Review History



<b>Project Number</b> SP2019-025	<b>Owner</b> REALTY LLC, 2424 MTA	<b>Applied</b> 6/17/2019 KB
<b>Project Name</b> KE Andrews	<b>Applicant</b> KIMLEY HORN	<b>Approved</b>
<b>Type</b> SITE PLAN		<b>Closed</b>
<b>Subtype</b>		<b>Expired</b>
<b>Status</b> Staff Review		<b>Status</b>

<b>Site Address</b> 2460 RIDGE RD	<b>City, State Zip</b> ROCKWALL, TX 75087	<b>Zoning</b>
--------------------------------------	--	---------------

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	15		15	0064-0000-0015-00-OR	

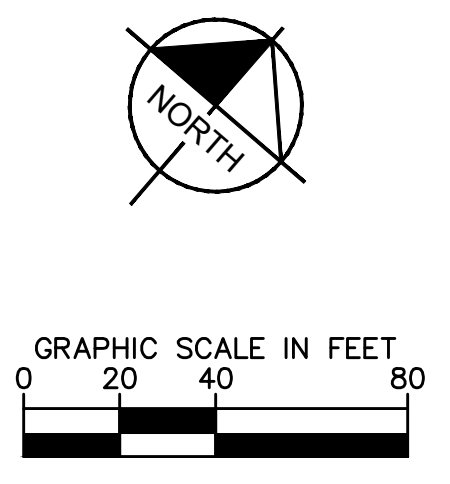
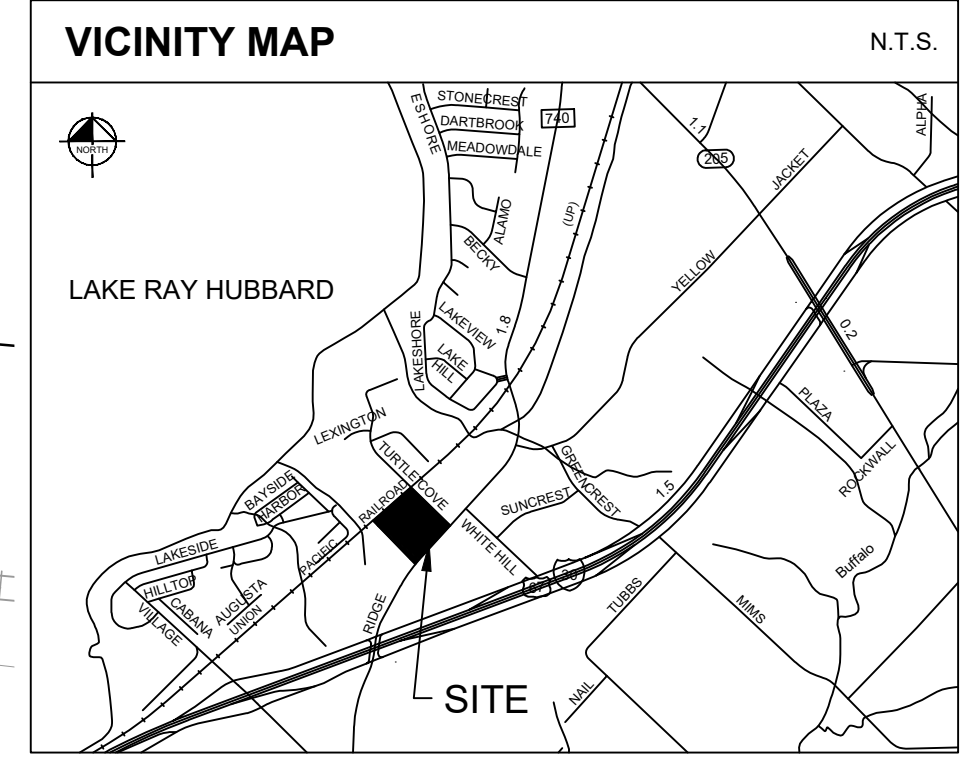
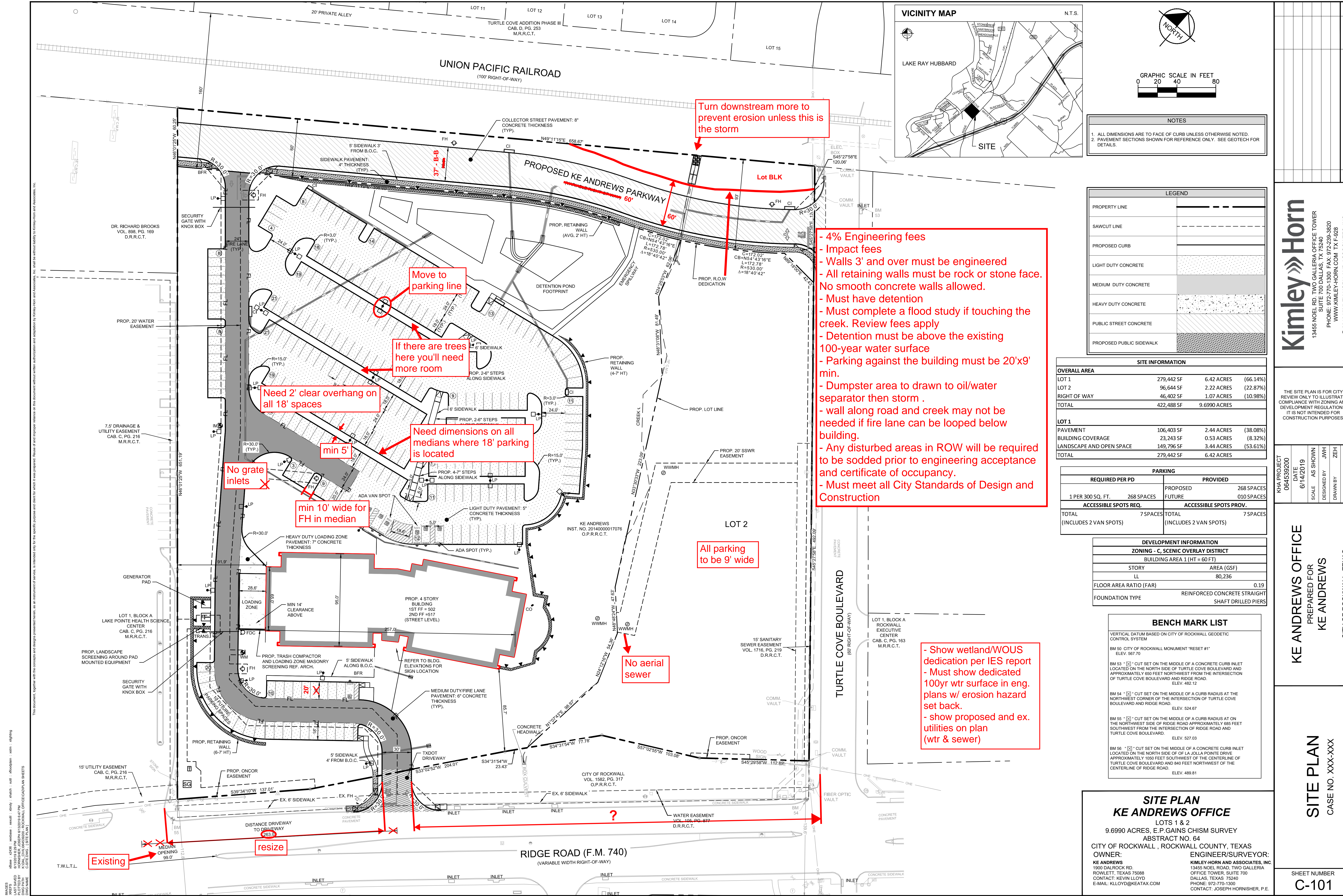
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	6/17/2019	6/24/2019	6/18/2019	1	APPROVED	
ENGINEERING	Sarah Hager	6/17/2019	6/24/2019	6/21/2019	4	COMMENTS	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(6/21/2019 11:48 AM SH)						<ul style="list-style-type: none"> <li>- KE Andrews Pkwy must be 37' back to back with a 60' ROW.</li> <li>- Water line must be centered in a 20' easement.</li> <li>- Minimum easement is 20'.</li> <li>- No grate inlets allowed</li> <li>- All parking against the building to be 20'x9'. All other parking to be 18'x9' with a 2' clear overhang.</li> <li>- If parking isle median is planned to have lights and trees, the median must be 5' minimum. Two feet of clear overhang is required</li> <li>- Parking islands for fire hydrants must be 10' wide. The hydrant must be set 5' back from the curb.</li> <li>- No aerial sewer crossing allowed.</li> <li>- Include the lot and block numbers for the small parcel to the west of KE Andrews Pkwy.</li> <li>- Must label all driveway spacing.</li> <li>- Show wetland/WOUS dedication per IES report</li> <li>- Must show dedicated 100yr water surface in eng. plans w/ erosion hazard set back.</li> <li>- show proposed and ex. utilities on plan (water &amp; sewer)</li> <li>- Retaining wall along the floodplain must have a traffic rated guardrail</li> <li>- Trees close to the sidewalk will cause uplifting later on</li> <li>- No trees within 5' of any utility.</li> <li>- Move the water connection out from under the bushes.</li> <li>- Dumpster to drain to an oil/water separator and then to the storm lines</li> <li>- Retaining wall is not allowed in the ROW.</li> <li>- Must show existing and proposed utilities</li> </ul> <p>The following is for your information for engineering design</p> <ul style="list-style-type: none"> <li>- 4% Engineering fees</li> <li>- Impact fees</li> <li>- Walls 3' and over must be engineered</li> <li>- All retaining walls must be rock or stone face. No smooth concrete walls allowed.</li> <li>- Must have detention</li> <li>- Must complete a flood study if touching the creek. Review fees apply</li> <li>- Detention must be above the existing 100-year water surface</li> <li>- Parking against the building must be 20'x9' min.</li> <li>- Dumpster area to drain to oil/water separator then storm.</li> <li>- wall along road and creek may not be needed if fire lane can be looped below building</li> <li>- Any disturbed areas in ROW will be required to be sodded prior to engineering acceptance and certificate of occupancy.</li> <li>- Show wetland/WOUS dedication per IES report</li> <li>- Must show dedicated 100yr water surface in eng. plans w/ erosion hazard set back.</li> <li>- show proposed and ex. utilities on plan (water &amp; sewer)</li> <li>- Must meet all City Standards of Design and Construction</li> </ul>

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
FIRE	Ariana Hargrove	6/17/2019	6/24/2019	6/21/2019	4	APPROVED	
GIS (6/19/2019 11:40 AM LS) Address assignment will be: 2460 RIDGE RD, ROCKWALL, TX 75087	Lance Singleton	6/17/2019	6/24/2019	6/19/2019	2	APPROVED	See comments
PLANNING	David Gonzales	6/17/2019	6/24/2019	6/20/2019	3	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
						Discuss and consider a request by Matt Lucas, PE of Kimley Horn on behalf of Kevin J. Lloyd of 2424 MTA Realty, LLC for the approval of a site plan for an office building on a 9.7-acre tract of land identified at Tract15 of the E. P. G. Chisum Survey, Abstract No. 64, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southwest corner of Ridge Road [FM-740] and Turtle Cove Boulevard, and take any action necessary.
						PLANNING AND ZONING 1ST ROUND STAFF COMMENTS(06.20.2019):
						The following staff comments are to be addressed and resubmitted no later than Tuesday July2, 2019. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:
						** Planning Department General Comments & Requirements to address/acknowledge:
						1. Adherence to the Unified Development Code (UDC), Planning, Building Inspections, Engineering and Fire Department standards shall be required
						2. Submittal and approval of a Civil Engineering Plans, and Final Plat prior to issuance of a Certificate of Occupancy(CO).
						3. Label all revised site plan documents with "Case No. SP2019-025" at the lower right corner of each plan.
						EXCEPTIONS FOR THE PLANNING AND ZONING COMMISSION TO CONSIDER:
						1. To allow for allow for secondary materials to exceed a maximum of10% (i.e. MP-1 & MP-2).
						** Please address the following Planning Comments for each plan and resubmit revised plans by date requested for a subsequent/final review by staff:
						Site Plan:
						1. Delineate and label the minimum 20-ft landscape buffer along the property line Ridge Road and minimum10-ft along Andrews Parkway.
						2. Provide a hatch or use a lighter gray scale for10 future parking spaces.
						3. Remove label "Medium Duty Firelance..."
						4. Provide detail for minimum 10-ft tall masonry screening wall for loading zone/dock.
						5. Label firelane as "24-ft Firelane, Public Access, and Utility Easement".
						6. Provide label on unused portion of lot next to rail road tracks as "Open Space to be Maintained by Property Owner."
						Landscape Plan:
						1. 1. Delineate and label the minimum 20-ft landscape buffer along the property line Ridge Road and minimum10-ft along KE Andrews Parkway.
						2. Provide a minimum of two (2), four (4)-caliper inch canopy trees and four (4) accent trees for each 100 linear feet within the 20-ft landscape buffer along Ridge Road.
						3. Provide one (1), three (3)-caliper inch canopy tree for each50 linear feet within the landscape buffer along KE Andrews Parkway
						4. Correct Planting Details - Plant Schedule Table to indicate a minimum four(4)-caliper inch canopy tree(s) to be lcoated within the Ridge Road landscape buffer.
						5. Planting Plan Sheet LP 1.01: Correct table to indicate minimum 20-ft Landscape Buffer for Scenic Overlay(Ridge Road).
						6. Planting Plan Sheet LP1.01: Correct table to indicate a minimum of two(2), four (4)-caliper inch trees (i.e. 7 trees) & four (4) accent trees (i.e. 13) per 100 linear feet within the 20-ft Landscape Buffer (Scenic Overlay District Standard).
						Treescape Plan:
						1. Recalculate tree mitigation based on city's tree preservation ordinance. Call to discuss if necessary.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>Photometric Plan:</p> <ol style="list-style-type: none"> <li>1. Provide foot candle reading coverage for site to all property lines All readings are not to exceed 0.2-FC at the property lines. Revise plan.</li> <li>2. Pole height not to exceed 20-ft OAH (include base, pole, and attachments). Provide detail.</li> <li>3. Provide cut sheets for all exterior lighting fixtures (i.e. wall mounted fixtures). Exterior lighting fixtures are to be shielded with a full cut-off so as to not create glare.</li> </ol> <p>Building Elevations:</p> <ol style="list-style-type: none"> <li>1. See all exception being requested based on submittal at top of report</li> <li>2. Provide color rendering for Architectural Review Board (ARB) review.</li> <li>3. Dash in RTU's on elevations. RTU's and other roof top equipment must be visually screened from adjacent properties and rights of way.</li> </ol> <p>** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request. If you have any questions regarding this case, please feel free to contact David Gonzalez, AICP with the Planning Department at 972-771-7745.</p> <p>Meeting Dates to Attend</p> <p>Architectural Review Board- June 25, 2019 (5:00 p.m.) [ARB to provide comments]</p> <p>Planning - Work Session: June 25, 2019 (6:00p.m.) [Applicant to present/discuss project]</p> <p>Architectural Review Board- July 9, 2019 (5:00 p.m.) [ARB to provide recommendation]</p> <p>Planning - Action: July 9, 2019 (6:00p.m.) [P&amp;Z to take action (i.e. approve, approve with conditions, deny)]</p>						



**NOTES**  
 1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.  
 2. PAVEMENT SECTIONS SHOWN FOR REFERENCE ONLY. SEE GEOTECH FOR DETAILS.

**LEGEND**

PROPERTY LINE	---
SAWCUT LINE	---
PROPOSED CURB	---
LIGHT DUTY CONCRETE	[Pattern]
MEDIUM DUTY CONCRETE	[Pattern]
HEAVY DUTY CONCRETE	[Pattern]
PUBLIC STREET CONCRETE	[Pattern]
PROPOSED PUBLIC SIDEWALK	[Pattern]

**SITE INFORMATION**

OVERALL AREA		
LOT 1	279,442 SF	6.42 ACRES (66.14%)
LOT 2	96,644 SF	2.22 ACRES (22.87%)
RIGHT OF WAY	46,402 SF	1.07 ACRES (10.98%)
<b>TOTAL</b>	<b>422,488 SF</b>	<b>9.6990 ACRES</b>

LOT 1		
PAVEMENT	106,403 SF	2.44 ACRES (38.08%)
BUILDING COVERAGE	23,243 SF	0.53 ACRES (8.32%)
LANDSCAPE AND OPEN SPACE	149,796 SF	3.44 ACRES (53.61%)
<b>TOTAL</b>	<b>279,442 SF</b>	<b>6.42 ACRES</b>

**PARKING**

REQUIRED PER PD		PROVIDED	
1 PER 300 SQ. FT.	268 SPACES	PROPOSED	268 SPACES
		FUTURE	010 SPACES
<b>ACCESSIBLE SPOTS REQ.</b>		<b>ACCESSIBLE SPOTS PROV.</b>	
<b>TOTAL</b>	<b>7 SPACES</b>	<b>TOTAL</b>	<b>7 SPACES</b>
(INCLUDES 2 VAN SPOTS)		(INCLUDES 2 VAN SPOTS)	

**DEVELOPMENT INFORMATION**

ZONING - C, SCENIC OVERLAY DISTRICT	
BUILDING AREA 1 (HT = 60 FT)	
STORY	AREA (GSF)
LL	80,236
FLOOR AREA RATIO (FAR)	0.19
FOUNDATION TYPE	REINFORCED CONCRETE STRAIGHT SHAFT DRILLED PIERS

**BENCH MARK LIST**

VERTICAL DATUM BASED ON CITY OF ROCKWALL GEODETIC CONTROL SYSTEM

BM 50 CITY OF ROCKWALL MONUMENT "RESET #1" ELEV. 567.70

BM 53 "X" CUT SET ON THE MIDDLE OF A CONCRETE CURB INLET LOCATED ON THE NORTH SIDE OF TURTLE COVE BOULEVARD AND APPROXIMATELY 650 FEET NORTHWEST FROM THE INTERSECTION OF TURTLE COVE BOULEVARD AND RIDGE ROAD. ELEV. 482.12

BM 54 "X" CUT SET ON THE MIDDLE OF A CURB RADIUS AT THE NORTHWEST CORNER OF THE INTERSECTION OF TURTLE COVE BOULEVARD AND RIDGE ROAD. ELEV. 524.67

BM 55 "X" CUT SET ON THE MIDDLE OF A CURB RADIUS AT ON THE NORTHWEST SIDE OF RIDGE ROAD APPROXIMATELY 685 FEET SOUTHWEST FROM THE INTERSECTION OF RIDGE ROAD AND TURTLE COVE BOULEVARD. ELEV. 527.03

BM 56 "X" CUT SET ON THE MIDDLE OF A CONCRETE CURB INLET LOCATED ON THE NORTH SIDE OF OF LA JOLLA POINTE DRIVE APPROXIMATELY 1050 FEET SOUTHWEST OF THE CENTERLINE OF TURTLE COVE BOULEVARD AND 840 FEET NORTHWEST OF THE CENTERLINE OF RIDGE ROAD. ELEV. 489.81

**SITE PLAN KE ANDREWS OFFICE**  
 LOTS 1 & 2  
 9.6990 ACRES, E.P.GAINS CHISM SURVEY  
 ABSTRACT NO. 64  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 OWNER: KE ANDREWS  
 1900 DALROCK RD.  
 ROWLETT, TEXAS 75088  
 CONTACT: KEVIN LLOYD  
 E-MAIL: KLLOYD@KEATX.COM

ENGINEER/SURVEYOR:  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL RD., TWO GALLERIA  
 OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PHONE: 972-770-1300  
 CONTACT: JOSEPH HORNISHER, P.E.

- 4% Engineering fees
- Impact fees
- Walls 3' and over must be engineered
- All retaining walls must be rock or stone face. No smooth concrete walls allowed.
- Must have detention
- Must complete a flood study if touching the creek. Review fees apply
- Detention must be above the existing 100-year water surface
- Parking against the building must be 20'x9' min.
- Dumpster area to draw to oil/water separator then storm .
- wall along road and creek may not be needed if fire lane can be looped below building.
- Any disturbed areas in ROW will be required to be sodded prior to engineering acceptance and certificate of occupancy.
- Must meet all City Standards of Design and Construction

**Kimley»Horn**  
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-238-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
 © 2018 KIMLEY-HORN AND ASSOCIATES, INC.

THE SITE PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

**SCALE AS SHOWN**

DATE: 6/14/2019  
 DESIGNED BY: JWH  
 DRAWN BY: ZEH  
 CHECKED BY: MAL

**KE ANDREWS OFFICE PREPARED FOR KE ANDREWS**  
 CITY OF ROCKWALL, TEXAS

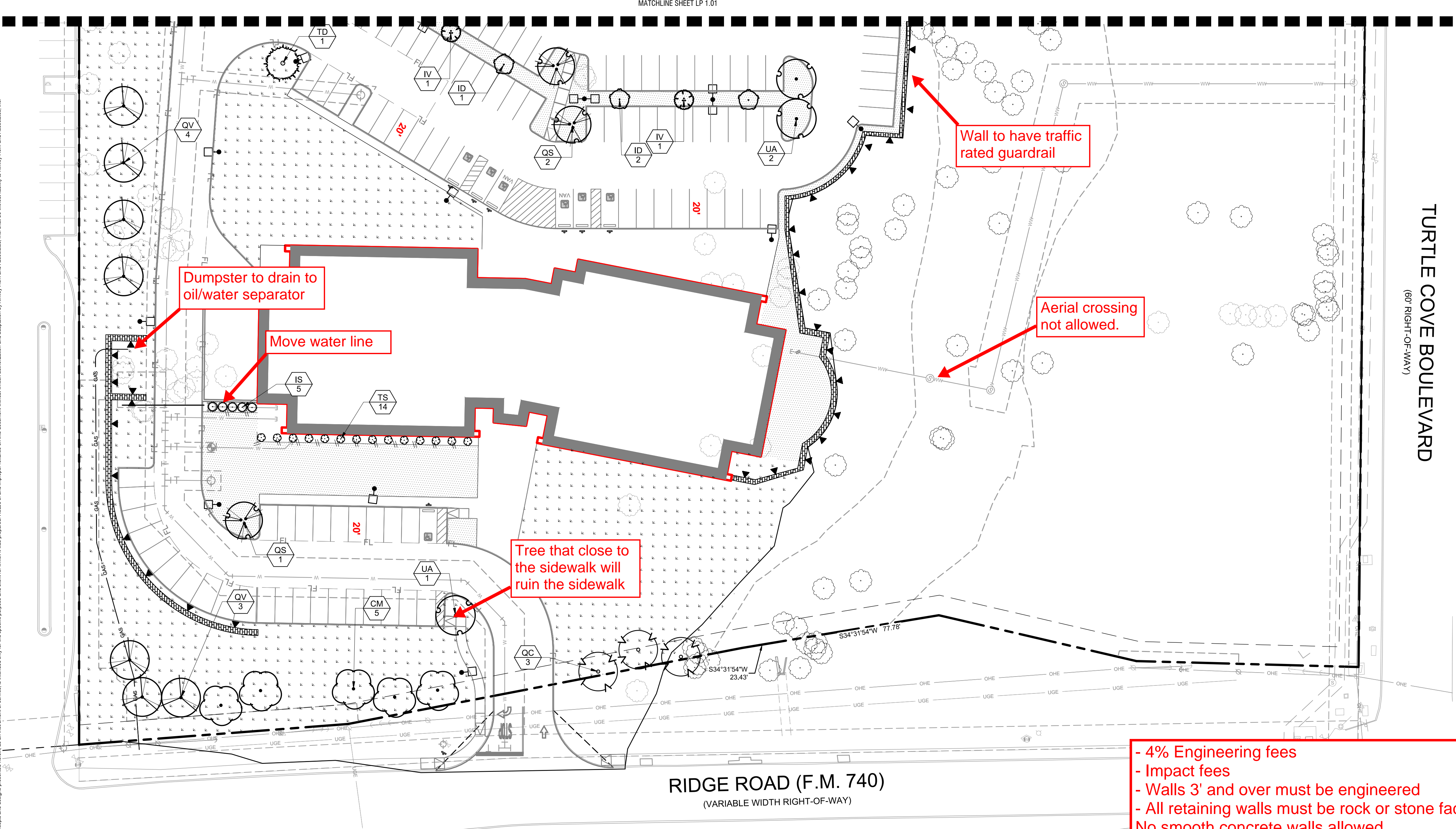
**SITE PLAN**  
 CASE NO. XXX-XXX

SHEET NUMBER  
**C-101**

This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. Review of said instrument without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



IMAGES: 06/14/2019 10:50:00 AM - 06/14/2019 10:50:00 AM - 06/14/2019 10:50:00 AM  
 PLOTTED BY: J. LLOYD  
 LAST MODIFIED: 06/14/2019 10:50:00 AM  
 DRAWING NAME: LP 1.01 PLANTING PLAN (LP 1.01 PLANTING PLAN)  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Review and interpret reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**PLANT SCHEDULE**

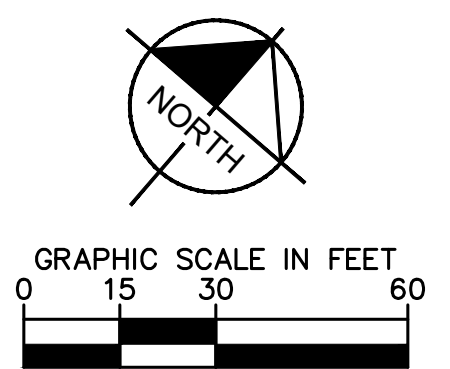
TREES	CODE	BOTANICAL / COMMON NAME
UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	
TD	TAXODIUM DISTICHUM / BALD CYPRESS	
CM	ACER SACCHARUM 'CADDO' / CADDO MAPLE	
QC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	
QV	QUERCUS VIRGINIANA / LIVE OAK	
CI	CARYA ILLINOENSIS / PECAN	
ID	ILEX DECIDUA / POSSUMHAW HOLLY	
QS	QUERCUS SHUMARDII / SHUMARD RED OAK	
IV	ILEX VOMITORIA / YALPON HOLLY	
SHRUBS	CODE	BOTANICAL / COMMON NAME
IS	ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY	
TS	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
SOD	CYNODON DACTYLON / BERMUDA GRASS	
WF	NATIVE MIX / WILDFLOWER SEED	

TURTLE COVE BOULEVARD  
 (60' RIGHT-OF-WAY)

RIDGE ROAD (F.M. 740)  
 (VARIABLE WIDTH RIGHT-OF-WAY)

No trees within 5' of utilities

- 4% Engineering fees
- Impact fees
- Walls 3' and over must be engineered
- All retaining walls must be rock or stone face. No smooth concrete walls allowed.
- Must have detention
- Must complete a flood study if touching the creek. Review fees apply
- Detention must be above the existing 100-year water surface
- Parking against the building must be 20'x9' min.
- Dumpster area to drain to oil/water separator then storm .
- wall along road and creek may not be needed if fire lane can be looped below building.
- Any disturbed areas in ROW will be required to be sodded prior to engineering acceptance and certificate of occupancy.
- Must meet all City Standards of Design and Construction



**KE ANDREWS OFFICE**  
 LOTS 1 & 2  
 9.6990 ACRES, E.P. GAINS CHISM SURVEY  
 ABSTRACT NO. 64  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
 KE ANDREWS  
 1900 DALROCK ROAD  
 ROWLETT, TEXAS 75088  
 CONTACT: KEVIN LLOYD  
 EMAIL: KLLOYD@KEATAX.COM

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
 SUITE 700, DALLAS, TX 75240  
 TEL. NO. 972-770-1300  
 CONTACT: PAT HART, PLA

NO.	REVISIONS	DATE	BY

**Kimley-Horn**  
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-238-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.

FOR REVIEW ONLY  
 Not for construction or permit purposes.  
**Kimley-Horn**  
 R.L.A. PATRICK B. HART  
 L.A. No. 2832 Date 05/2019

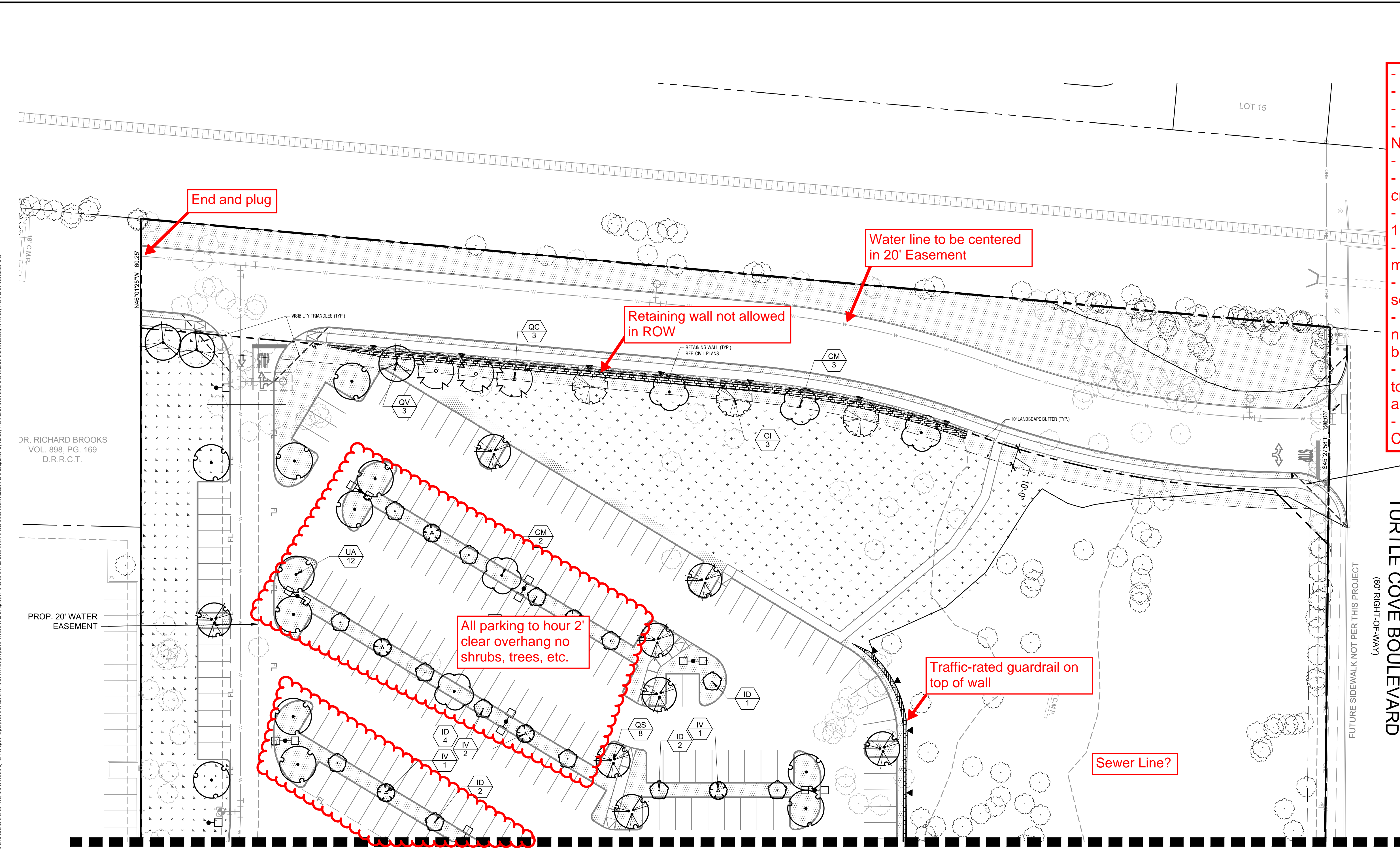
KHA PROJECT 064539200	DATE 06/14/2019	SCALE AS SHOWN	DESIGNED BY PBH	DRAWN BY BDM	CHECKED BY BDA
--------------------------	--------------------	-------------------	--------------------	-----------------	-------------------

KE ANDREWS OFFICE  
 PREPARED FOR  
 KE ANDREWS  
 CITY OF ROCKWALL, TEXAS

**PLANTING PLAN**

SHEET NUMBER  
**LP 1.00**

IMAGES: © 2019 Kimley-Horn and Associates, Inc. All rights reserved. No part of this document may be reproduced without the written permission of Kimley-Horn and Associates, Inc. This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Review of and reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- 4% Engineering fees
- Impact fees
- Walls 3' and over must be engineered
- All retaining walls must be rock or stone face. No smooth concrete walls allowed.
- Must have detention
- Must complete a flood study if touching the creek. Review fees apply
- Detention must be above the existing 100-year water surface
- Parking against the building must be 20'x9' min.
- Dumpster area to drawn to oil/water separator then storm .
- wall along road and creek may not be needed if fire lane can be looped below building.
- Any disturbed areas in ROW will be required to be sodded prior to engineering acceptance and certificate of occupancy.
- Must meet all City Standards of Design and Construction

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME

**City of Rockwall - Article VIII - Landscape Standards**

	REQUIRED	PROVIDED
<b>TOTAL LANDSCAPE AREA REQUIREMENT</b>		
Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts. 422,488 SF x 15% = 63,373 SF	15% (63,373 SF)	60.5% (255,700 SF)
<b>LANDSCAPE BUFFER STRIP</b>		
A minimum 10' wide landscape buffer strip must be provided along the entire length of the portion of the perimeter of any commercial or industrial lot that abuts, without an alley or drive separation, or is directly across a public street from a residential zoning district.	Yes	Yes
A street landscape buffer strip with a minimum width of 10' must be provided along the entire length of the property to the developed that is adjacent to a major arterial or collector street.	Yes	N/A
<b>STREET LANDSCAPING</b>		
One large tree shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage (excluding driveways and accessways). Due to existing utility conflicts along Ridge Road and Turtle Cove Boulevard, various trees have been placed around the site.		
Ridge Road - 334' / 50' = 7 Trees	7 Trees	7 Trees
Collector Road - 486' / 50' = 10 Trees	10 Trees	10 Trees
<b>SCREENING OF OFF-STREET LOADING DOCKS</b>		
Off-street loading docks in commercial zoning classifications must be screened from:		
1. All public streets	Yes	Yes
2. Any residential district that abuts or is directly across a public street or alley from the lot.	Yes	Yes
<b>PARKING LOT LANDSCAPING</b>		
Any parking lot with more than two rows of spaces shall have a minimum of 5% or 200 SF in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping. Total Parking Area = 106,191 sf	5% (5,310 sf)	10.6% (11,293 sf)
If parking and maneuvering space exceeds 20,000 square feet, one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. (268 required parking spaces / 10 = 27 trees)	27 Trees	27 Trees
No required parking space may be located more than 80 feet from the trunk of a large canopy tree.	Yes	Yes
All trees must be internal to the parking lot.	Yes	Yes
No tree shall be planted closer than 2 1/2' to the pavement.	Yes	Yes
<b>DETENTION BASINS</b>		
Detention basins shall have a minimum of one tree for each 750 square feet of dry land area OR detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by section 5.12.C. Instead, 1 shrub or ornamental grass per every 1,500 sf of dry land area shall be required to be planted on site or around the detention area. (20,813 sf / 1500 sf = 14 Shrubs)	14 Shrubs and Native Grasses	14 Shrubs and Native Grasses

**DEVELOPMENT INFORMATION**

<b>ZONING - C, SCENIC OVERLAY DISTRICT</b>	
<b>BUILDING AREA 1 (HT = 60 FT)</b>	
STORY	AREA (GSF)
LL	80,236
FLOOR AREA RATIO (FAR)	0.19
FOUNDATION TYPE	REINFORCED CONCRETE STRAIGHT SHAFT DRILLED PIERS

**SITE INFORMATION**

OVERALL AREA			
LOT 1	279,442 SF	6.42 ACRES	(66.14%)
LOT 2	96,644 SF	2.22 ACRES	(22.87%)
RIGHT OF WAY	46,402 SF	1.07 ACRES	(10.98%)
<b>TOTAL</b>	<b>422,488 SF</b>	<b>9.6990 ACRES</b>	
<b>LOT 1</b>			
PAVEMENT	106,403 SF	2.44 ACRES	(38.08%)
BUILDING COVERAGE	23,243 SF	0.53 ACRES	(8.32%)
LANDSCAPE AND OPEN SPACE	149,796 SF	3.44 ACRES	(53.61%)
<b>TOTAL</b>	<b>279,442 SF</b>	<b>6.42 ACRES</b>	

**PARKING**

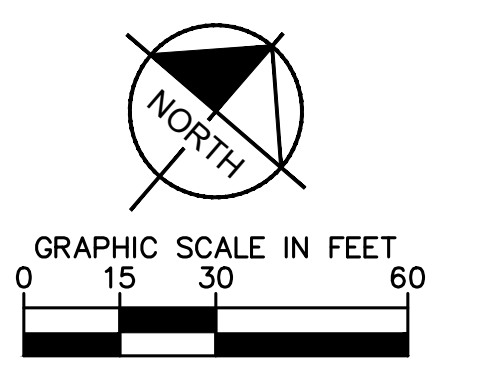
REQUIRED PER PD	PROVIDED
1 PER 300 SQ. FT. 268 SPACES	268 SPACES
ACCESSIBLE SPOTS REQ. 7 SPACES	ACCESSIBLE SPOTS PROV. 7 SPACES
<b>TOTAL (INCLUDES 2 VAN SPOTS)</b>	<b>TOTAL (INCLUDES 2 VAN SPOTS)</b>

NOTE: AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS AND MEET THE REQUIREMENTS OF THE UDC. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: NO TREES TO BE PLANTED WITHIN 5' OF ANY UTILITIES

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



**KE ANDREWS OFFICE**  
 LOTS 1 & 2  
 9.6990 ACRES, E.P. GAINS CHISM SURVEY  
 ABSTRACT NO. 64  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:  
 KE ANDREWS  
 1900 DALROCK ROAD  
 ROWLETT, TEXAS 75088  
 CONTACT: KEVIN LLOYD  
 EMAIL: KLLOYD@KEATX.COM

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
 SUITE 700, DALLAS, TX 75240  
 TEL. NO. 972-770-1300  
 CONTACT: PAT HART, PLA

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

No. \_\_\_\_\_

© 2019 KIMLEY-HORN AND ASSOCIATES, INC.

**Kimley-Horn**

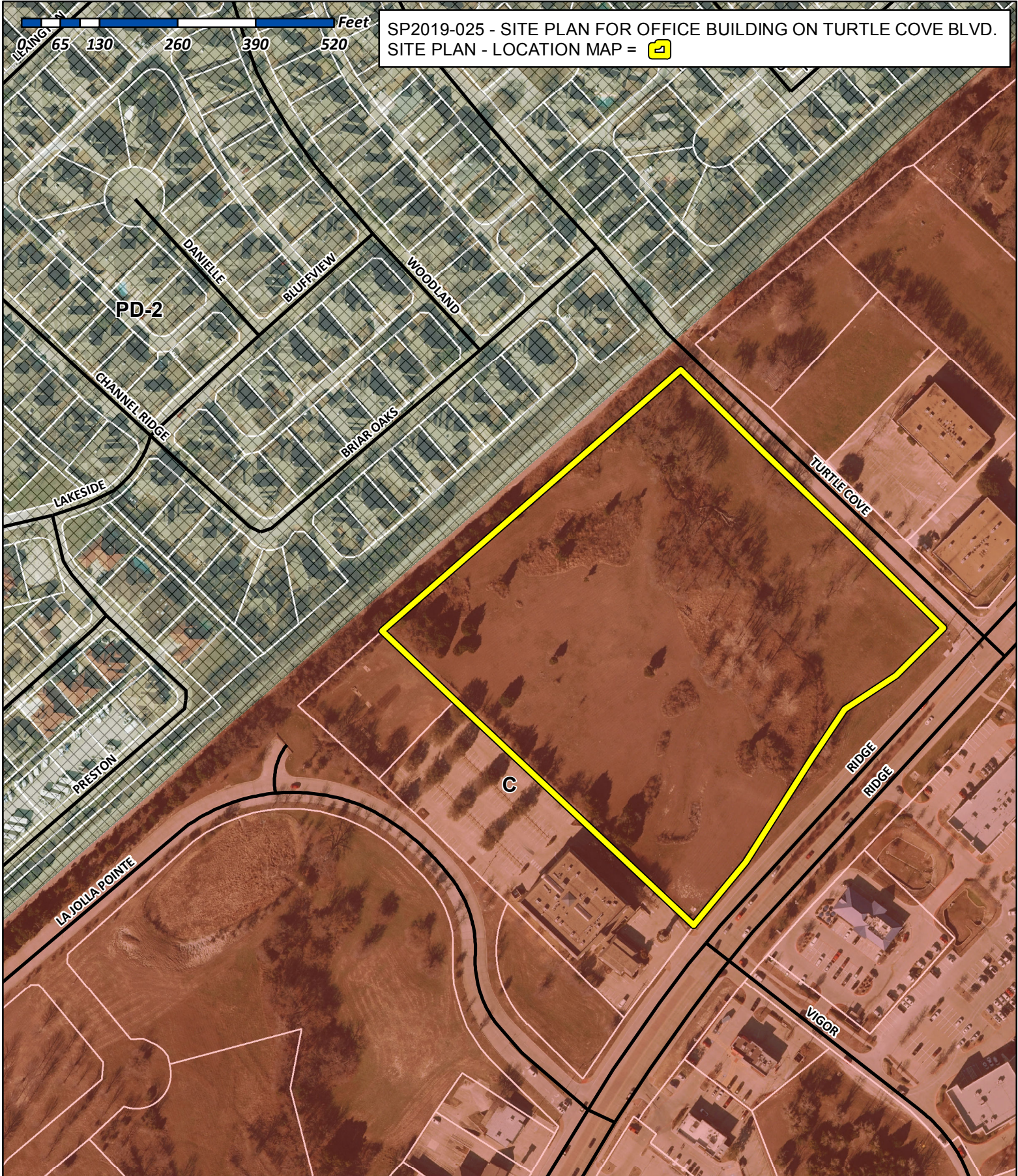
13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-238-3820  
 WWW.KIMLEY-HORN.COM TX F-928

KHA PROJECT: 064539200  
 DATE: 06/14/2019  
 SCALE: AS SHOWN  
 DESIGNED BY: PBH  
 DRAWN BY: BDM  
 CHECKED BY: BDA

**KE ANDREWS OFFICE**  
 PREPARED FOR  
**KE ANDREWS**  
 CITY OF ROCKWALL, TEXAS

**PLANTING PLAN**

SHEET NUMBER  
**LP 1.01**



SP2019-025 - SITE PLAN FOR OFFICE BUILDING ON TURTLE COVE BLVD.  
 SITE PLAN - LOCATION MAP =

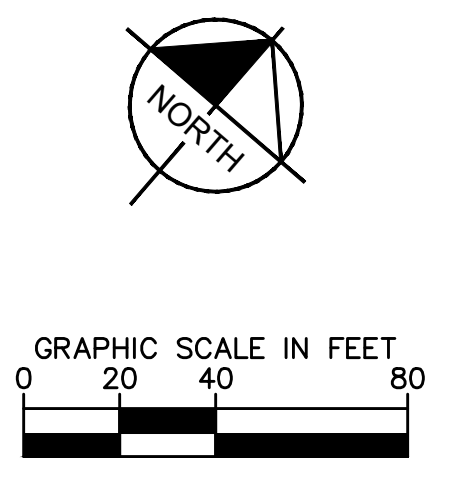
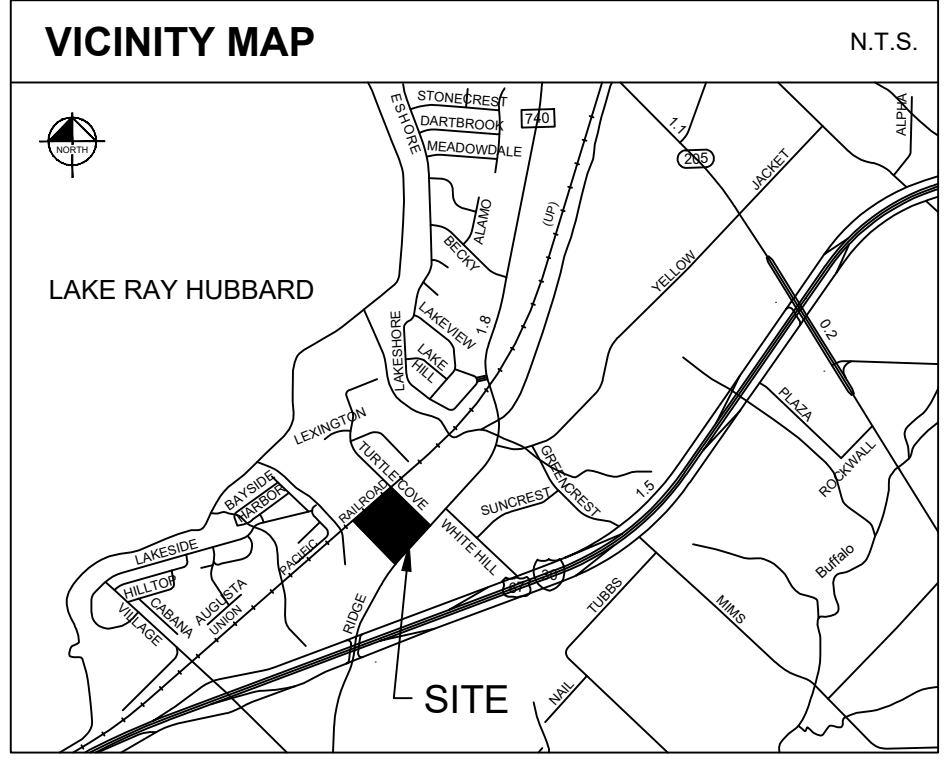
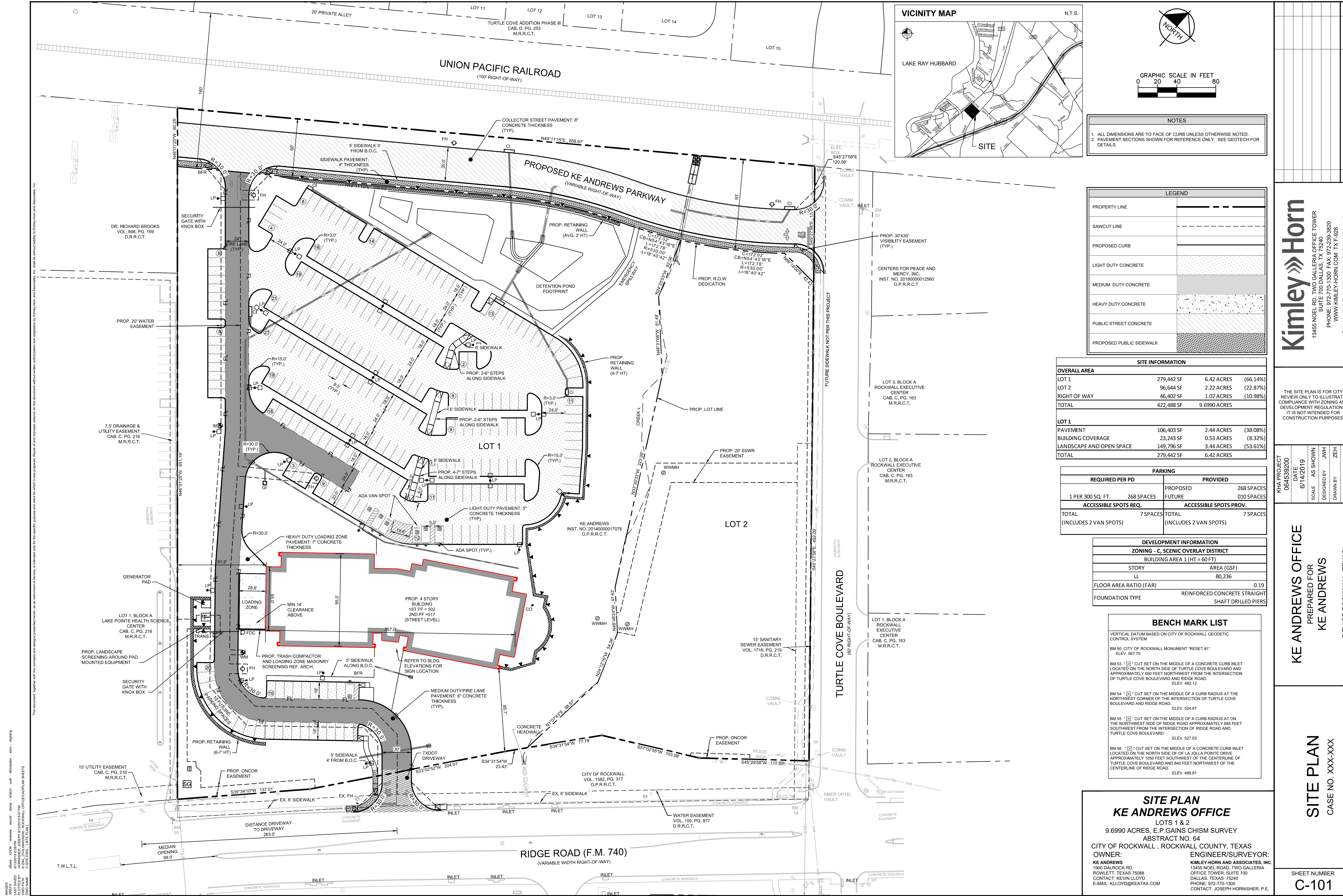


# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**NOTES**

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT SECTIONS SHOWN FOR REFERENCE ONLY. SEE GEOTECH FOR DETAILS.

LEGEND	
PROPERTY LINE	
SAWCUT LINE	
PROPOSED CURB	
LIGHT DUTY CONCRETE	
MEDIUM DUTY CONCRETE	
HEAVY DUTY CONCRETE	
PUBLIC STREET CONCRETE	
PROPOSED PUBLIC SIDEWALK	

SITE INFORMATION			
<b>OVERALL AREA</b>			
LOT 1	279,442 SF	6.42 ACRES	(66.14%)
LOT 2	96,644 SF	2.22 ACRES	(22.87%)
RIGHT OF WAY	46,402 SF	1.07 ACRES	(10.98%)
<b>TOTAL</b>	<b>422,488 SF</b>	<b>9.6990 ACRES</b>	
<b>LOT 1</b>			
PAVEMENT	106,403 SF	2.44 ACRES	(38.08%)
BUILDING COVERAGE	23,243 SF	0.53 ACRES	(8.32%)
LANDSCAPE AND OPEN SPACE	149,796 SF	3.44 ACRES	(53.61%)
<b>TOTAL</b>	<b>279,442 SF</b>	<b>6.42 ACRES</b>	

PARKING			
<b>REQUIRED PER PD</b>	<b>PROPOSED</b>	<b>PROVIDED</b>	
1 PER 300 SQ. FT.	268 SPACES	FUTURE	268 SPACES
<b>ACCESSIBLE SPOTS REQ.</b>	<b>ACCESSIBLE SPOTS PROV.</b>		
TOTAL (INCLUDES 2 VAN SPOTS)	7 SPACES	TOTAL (INCLUDES 2 VAN SPOTS)	7 SPACES

DEVELOPMENT INFORMATION	
<b>ZONING - C, SCENIC OVERLAY DISTRICT</b>	
BUILDING AREA 1 (HT = 60 FT)	
STORY	AREA (GSF)
LL	80,236
FLOOR AREA RATIO (FAR)	0.19
FOUNDATION TYPE	REINFORCED CONCRETE STRAIGHT SHAFT DRILLED PIERS

BENCH MARK LIST	
VERTICAL DATUM BASED ON CITY OF ROCKWALL GEODETIC CONTROL SYSTEM	
BM 50	CITY OF ROCKWALL MONUMENT "RESET #1" ELEV. 567.70
BM 53	"X" CUT SET ON THE MIDDLE OF A CONCRETE CURB INLET LOCATED ON THE NORTH SIDE OF TURTLE COVE BOULEVARD AND APPROXIMATELY 650 FEET NORTHWEST FROM THE INTERSECTION OF TURTLE COVE BOULEVARD AND RIDGE ROAD. ELEV. 482.12
BM 54	"X" CUT SET ON THE MIDDLE OF A CURB RADIUS AT THE NORTHWEST CORNER OF THE INTERSECTION OF TURTLE COVE BOULEVARD AND RIDGE ROAD. ELEV. 524.67
BM 55	"X" CUT SET ON THE MIDDLE OF A CURB RADIUS AT ON THE NORTHWEST SIDE OF RIDGE ROAD APPROXIMATELY 685 FEET SOUTHWEST FROM THE INTERSECTION OF RIDGE ROAD AND TURTLE COVE BOULEVARD. ELEV. 527.03
BM 56	"X" CUT SET ON THE MIDDLE OF A CONCRETE CURB INLET LOCATED ON THE NORTH SIDE OF OF LA JOLLA POINTE DRIVE APPROXIMATELY 1050 FEET SOUTHWEST OF THE CENTERLINE OF TURTLE COVE BOULEVARD AND 840 FEET NORTHWEST OF THE CENTERLINE OF RIDGE ROAD. ELEV. 489.81

**SITE PLAN**  
**KE ANDREWS OFFICE**  
 LOTS 1 & 2  
 9.6990 ACRES, E.P.GAINS CHISM SURVEY  
 ABSTRACT NO. 64  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
**OWNER:** KE ANDREWS  
 1900 DALROCK RD.  
 ROWLETT, TEXAS 75088  
 CONTACT: KEVIN LLOYD  
 E-MAIL: KLLOYD@KEATX.COM  
**ENGINEER/SURVEYOR:** KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL RD, TWO GALLERIA  
 OFFICE TOWER, SUITE 700  
 DALLAS, TEXAS 75240  
 PHONE: 972-770-1300  
 CONTACT: JOSEPH HORNISHER, P.E.

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-238-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
 © 2018 KIMLEY-HORN AND ASSOCIATES, INC.

THE SITE PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

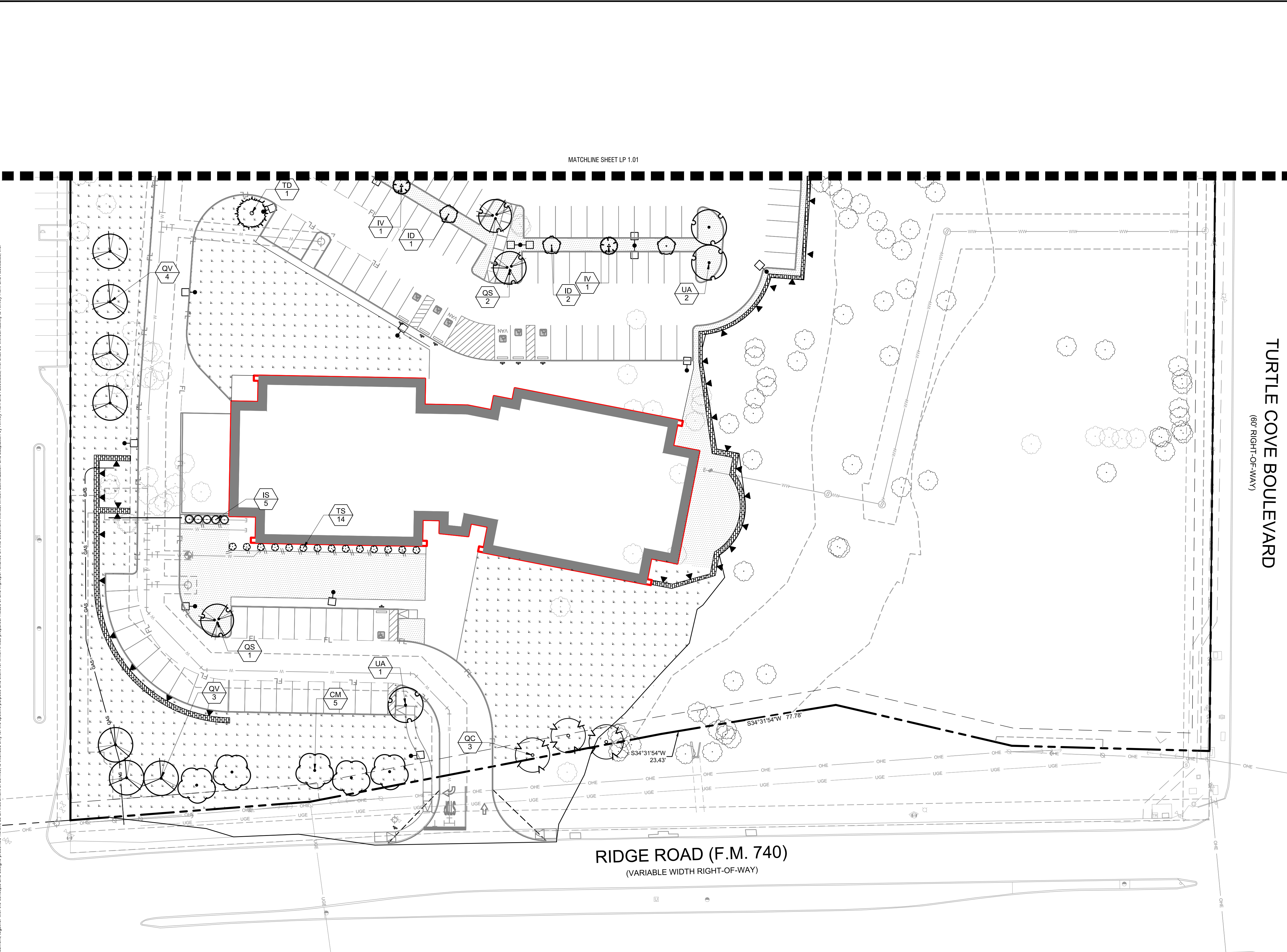
KHA PROJECT	064539200
DATE	6/14/2019
SCALE	AS SHOWN
DESIGNED BY	JWH
DRAWN BY	ZEH
CHECKED BY	MAL

**KE ANDREWS OFFICE**  
 PREPARED FOR  
**KE ANDREWS**  
 CITY OF ROCKWALL, TEXAS

**SITE PLAN**  
 CASE NO. XXX-XXX  
 SHEET NUMBER  
**C-101**

This document, together with the concepts and design presented herein, is an instrument of service, its intended only for the specific purpose and client for which it was prepared. Reuse of any information contained herein without the written authorization and approval of Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

IMAGES : photos : aerial : 0205 to 0207 : landscape : trees : soil : lighting  
 PLOTTED BY : JACOB BLAYD  
 DATE PLOTTED : 06/14/2019 10:21 AM  
 PLOT SCALE : 1/8" = 1'-0"  
 DRAWN BY : KE ANDREWS  
 DATE DRAWN : 06/14/2019  
 CHECKED BY : KE ANDREWS  
 DATE CHECKED : 06/14/2019  
 PROJECT NAME : KE ANDREWS OFFICE  
 SHEET NAME : LP 1.01 PLANTING PLAN

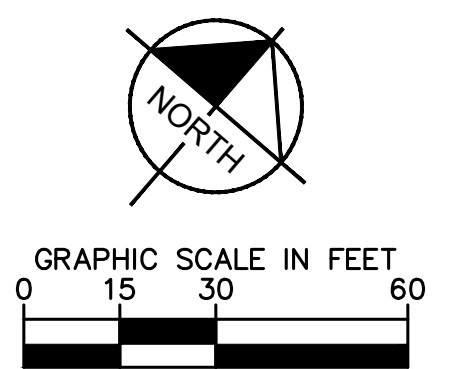


**PLANT SCHEDULE**

TREES	
CODE	BOTANICAL / COMMON NAME
UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM
TD	TAXODIUM DISTICHUM / BALD CYPRESS
CM	ACER SACCHARUM 'CADDO' / CADDO MAPLE
QC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK
QV	QUERCUS VIRGINIANA / LIVE OAK
CI	CARYA ILLINOENSIS / PECAN
ID	ILEX DECIDUA / POSSUMHAW HOLLY
QS	QUERCUS SHUMARDII / SHUMARD RED OAK
IV	ILEX VOMITORIA / YALPON HOLLY
SHRUBS	
CODE	BOTANICAL / COMMON NAME
IS	ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY
TS	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE
GROUND COVERS	
CODE	BOTANICAL / COMMON NAME
SOD	CYNODON DACTYLON / BERMUDA GRASS
WF	NATIVE MIX / WILDFLOWER SEED

**TURTLE COVE BOULEVARD**  
 (60' RIGHT-OF-WAY)

**RIDGE ROAD (F.M. 740)**  
 (VARIABLE WIDTH RIGHT-OF-WAY)



**KE ANDREWS OFFICE**  
 LOTS 1 & 2  
 9.6990 ACRES, E.P. GAINS CHISM SURVEY  
 ABSTRACT NO. 64  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: KE ANDREWS  
 1900 DALROCK ROAD  
 ROWLETT, TEXAS 75088  
 CONTACT: KEVIN LLOYD  
 EMAIL: KLLOYD@KEATAX.COM

LANDSCAPE ARCHITECT:  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
 SUITE 700, DALLAS, TX 75240  
 TEL. NO. 972-770-1300  
 CONTACT: PAT HART, PLA

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.

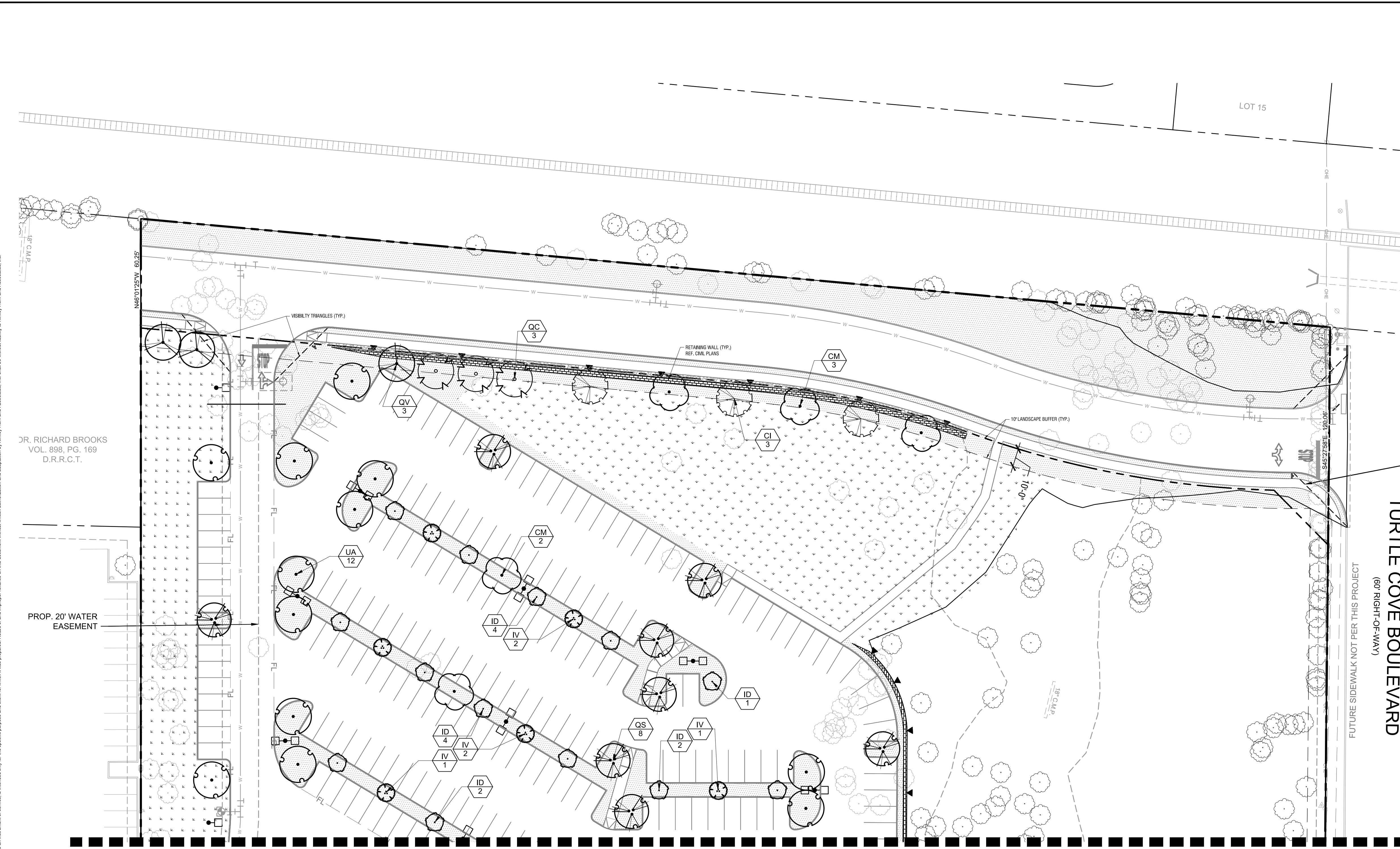
PREPARED FOR  
**Kimley»Horn**  
 R.L.A. PATRICK B. HART  
 L.A. No. 2832 Date 05/2019

KHA PROJECT	064539200
DATE	06/14/2019
SCALE	AS SHOWN
DESIGNED BY	PBH
DRAWN BY	BDM
CHECKED BY	BDA

**KE ANDREWS OFFICE**  
 PREPARED FOR  
**KE ANDREWS**  
 CITY OF ROCKWALL, TEXAS

**PLANTING PLAN**  
 SHEET NUMBER  
**LP 1.00**

IMAGES: COURTESY: HORN; ©2019; IN: SHINY; LANDSCAPE: STREET; MILL; LIGHTING  
 PLOTTED BY: MANTUE BLANE 01/20/2019 10:51 AM  
 LAST REVISED: 01/20/2019 10:51 AM  
 DRAWN BY: MANTUE BLANE 01/20/2019 10:51 AM  
 CHECKED BY: MANTUE BLANE 01/20/2019 10:51 AM  
 DATE: 01/20/2019  
 DRAWING: LP 1.01 PLANTING PLAN (REV. 01/20/2019)  
 PROJECT: KE ANDREWS OFFICE PREPARED FOR KE ANDREWS  
 SHEET: LP 1.01 PLANTING PLAN



**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME
UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	
TO	TAXODIUM DISTICHUM / BALD CYPRESS	
CM	ACER SACCHARUM 'CADDO' / CADDO MAPLE	
QC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	
QV	QUERCUS VIRGINIANA / LIVE OAK	
CI	CARYA ILLINOENSIS / PECAN	
ID	ILEX DECIDUA / POSSUMHAW HOLLY	
QS	QUERCUS SHUMARDII / SHUMARD RED OAK	
IV	ILEX VOMITORIA / YAUPON HOLLY	
SHRUBS	CODE	BOTANICAL / COMMON NAME
IS	ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY	
TS	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
SOD	CYNODON DACTYLON / BERMUUDA GRASS	
WF	NATIVE MIX / WILDFLOWER SEED	

City of Rockwall - Article VIII - Landscape Standards	REQUIRED	PROVIDED
<b>TOTAL LANDSCAPE AREA REQUIREMENT</b>		
Minimum square footage requirements for landscaping shall be provided and maintained in the zoning districts. 422,488 SF x 15% = 63,373 SF	15% (63,373 SF)	60.5% (255,700 SF)
<b>LANDSCAPE BUFFER STRIP</b>		
A minimum 10' wide landscape buffer strip must be provided along the entire length of the portion of the perimeter of any commercial or industrial lot that abuts, without an alley or drive separation, or is directly across a public street from a residential zoning district.	Yes	Yes
A street landscape buffer strip with a minimum width of 10' must be provided along the entire length of the property to the developed that is adjacent to a major arterial or collector street.	Yes	N/A
<b>STREET LANDSCAPING</b>		
One large tree shall be provided in the required buffer in numbers equal to one tree for each 50 feet of street frontage (excluding driveways and accessways) Due to existing utility conflicts along Ridge Road and Turtle Cove Boulevard, various trees have been placed around the site.		
Ridge Road - 334' / 50' = 7 Trees	7 Trees	7 Trees
Collector Road - 486' / 50' = 10 Trees	10 Trees	10 Trees
<b>SCREENING OF OFF-STREET LOADING DOCKS</b>		
Off-street loading docks in commercial zoning classifications must be screened from: 1. All public streets 2. Any residential district that abuts or is directly across a public street or alley from the lot.	Yes	Yes
<b>PARKING LOT LANDSCAPING</b>		
Any parking lot with more than two rows of spaces shall have a minimum of 5% or 200 SF in the interior of the parking lot in landscaping. Such landscaping shall be counted toward the total landscaping. Total Parking Area = 106,191 sf	5% (5,310 sf)	10.6% (11,293 sf)
If parking and maneuvering space exceeds 20,000 square feet, one large canopy tree for every ten required parking spaces shall be required internal to the parking lot. (268 required parking spaces / 10 = 27 trees)	27 Trees	27 Trees
No required parking space may be located more than 80 feet from the trunk of a large canopy tree.	Yes	Yes
All trees must be internal to the parking lot.	Yes	Yes
No tree shall be planted closer than 2 1/2' to the pavement.	Yes	Yes
<b>DETENTION BASINS</b>		
Detention basins shall have a minimum of one tree for each 750 square feet of dry land area OR detention areas that utilize native grasses in lieu of turf shall be exempt from the requirements stipulated by section 5.12.C. Instead, 1 shrub or ornamental grass per every 1,500 sf of dry land area shall be required to be planted on site or around the detention area. (20,813 sf / 1500 sf = 14 Shrubs)	14 Shrubs and Native Grasses	14 Shrubs and Native Grasses

DEVELOPMENT INFORMATION	
<b>ZONING - C, SCENIC OVERLAY DISTRICT</b>	
<b>BUILDING AREA 1 (HT = 60 FT)</b>	
STORY	AREA (GSF)
LL	80,236
FLOOR AREA RATIO (FAR)	0.19
FOUNDATION TYPE	REINFORCED CONCRETE STRAIGHT SHAFT DRILLED PIERS

SITE INFORMATION			
<b>OVERALL AREA</b>			
LOT 1	279,442 SF	6.42 ACRES	(66.14%)
LOT 2	96,644 SF	2.22 ACRES	(22.87%)
RIGHT OF WAY	46,402 SF	1.07 ACRES	(10.98%)
<b>TOTAL</b>	<b>422,488 SF</b>	<b>9.6990 ACRES</b>	
<b>LOT 1</b>			
PAVEMENT	106,403 SF	2.44 ACRES	(38.08%)
BUILDING COVERAGE	23,243 SF	0.53 ACRES	(8.32%)
LANDSCAPE AND OPEN SPACE	149,796 SF	3.44 ACRES	(53.61%)
<b>TOTAL</b>	<b>279,442 SF</b>	<b>6.42 ACRES</b>	

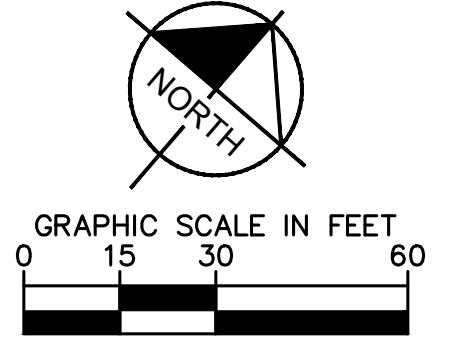
PARKING			
REQUIRED PER PD		PROVIDED	
1 PER 300 SQ. FT.	268 SPACES	PROPOSED	268 SPACES
		FUTURE	010 SPACES
<b>ACCESSIBLE SPOTS REQ.</b>		<b>ACCESSIBLE SPOTS PROV.</b>	
TOTAL (INCLUDES 2 VAN SPOTS)	7 SPACES	TOTAL (INCLUDES 2 VAN SPOTS)	7 SPACES

NOTE: AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS AND MEET THE REQUIREMENTS OF THE UDC. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED. A PERMIT FROM THE BUILDING INSPECTION DEPARTMENT IS REQUIRED FOR EACH IRRIGATION SYSTEM. IMPACT FEES MUST BE PAID TO THE DEVELOPMENT SERVICES DEPARTMENT FOR SEPARATE IRRIGATION METERS PRIOR TO ANY PERMIT RELEASE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: NO TREES TO BE PLANTED WITHIN 5' OF ANY UTILITIES

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.



**KE ANDREWS OFFICE**  
 LOTS 1 & 2  
 9.6990 ACRES, E.P. GAINS CHISM SURVEY  
 ABSTRACT NO. 64  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 OWNER/DEVELOPER: KE ANDREWS  
 1900 DALROCK ROAD  
 ROWLETT, TEXAS 75088  
 CONTACT: KEVIN LLOYD  
 EMAIL: KLLOYD@KEATX.COM  
 LANDSCAPE ARCHITECT:  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
 SUITE 700, DALLAS, TX 75240  
 TEL. NO. 972-770-1300  
 CONTACT: PAT HART, PLA

NO.
REVISIONS
DATE

13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
SUITE 700 DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928  
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.

**KE ANDREWS OFFICE**  
PREPARED FOR  
**KE ANDREWS**  
CITY OF ROCKWALL, TEXAS

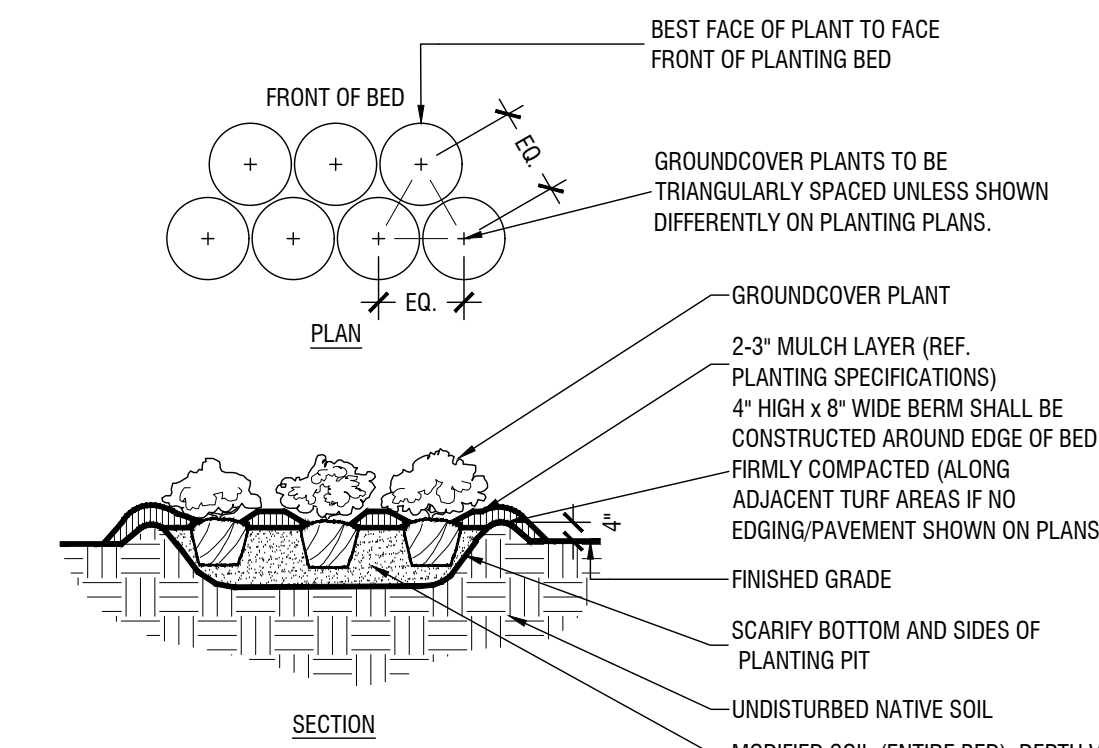
**PLANTING PLAN**

KHA PROJECT 064539200
DATE 06/14/2019
SCALE AS SHOWN
DESIGNED BY PBH
DRAWN BY BDM
CHECKED BY BDA

SHEET NUMBER
**LP 1.01**

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL.	SIZE	REMARKS
	UA	15	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	3" CAL.	12'-14' HT.	
	TO	1	TAXODIUM DISTICHUM / BALD CYPRESS	B & B	3" CAL.	14'-16' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	CM	10	ACER SACCHARUM 'CADD0' / CADD0 MAPLE	B & B	3" CAL.	12'-14' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	QC	6	QUERCUS MUEHLENBERGII / CHINKAPIN OAK	B & B	3" CAL.	14'-16' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	QV	10	QUERCUS VIRGINIANA / LIVE OAK	B & B	3" CAL.	14'-16' H.	FULL AND MATCHING
	CI	3	CARYA ILLINOENSIS / PECAN	B & B	3" CAL.	14'-16' HT.	FULL AND MATCHING
	ID	16	ILEX DECIDUA / POSSUMHAW HOLLY	B & B	3-1" CANES MIN.	8'-10' HT.	
	QS	11	QUERCUS SHUMARDI / SHUMARD RED OAK	B & B	3" CAL.	14'-16' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	IV	8	ILEX VOMITORIA / YAUPON HOLLY	CONT.	3-1.5" CANES	8'-10' HT.	MULTI-TRUNK (3-5 STEMS), FULL AND MATCHING
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
	IS	5	ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY	CONT.	36" HT.	60" O.C.	
	TS	14	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	CONT.	30" H X 24" W	48" O.C.	FULL AND MATCHING
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
	SOD	44,280 SF	CYNODON DACTYLON / BERMUDA GRASS	N/A	N/A	N/A	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS.
	WF	76,646 SF	NATIVE MIX / WILDFLOWER SEED	SEED			PREPARE SOIL AND BROADCAST AT RECOMMENDED RATE

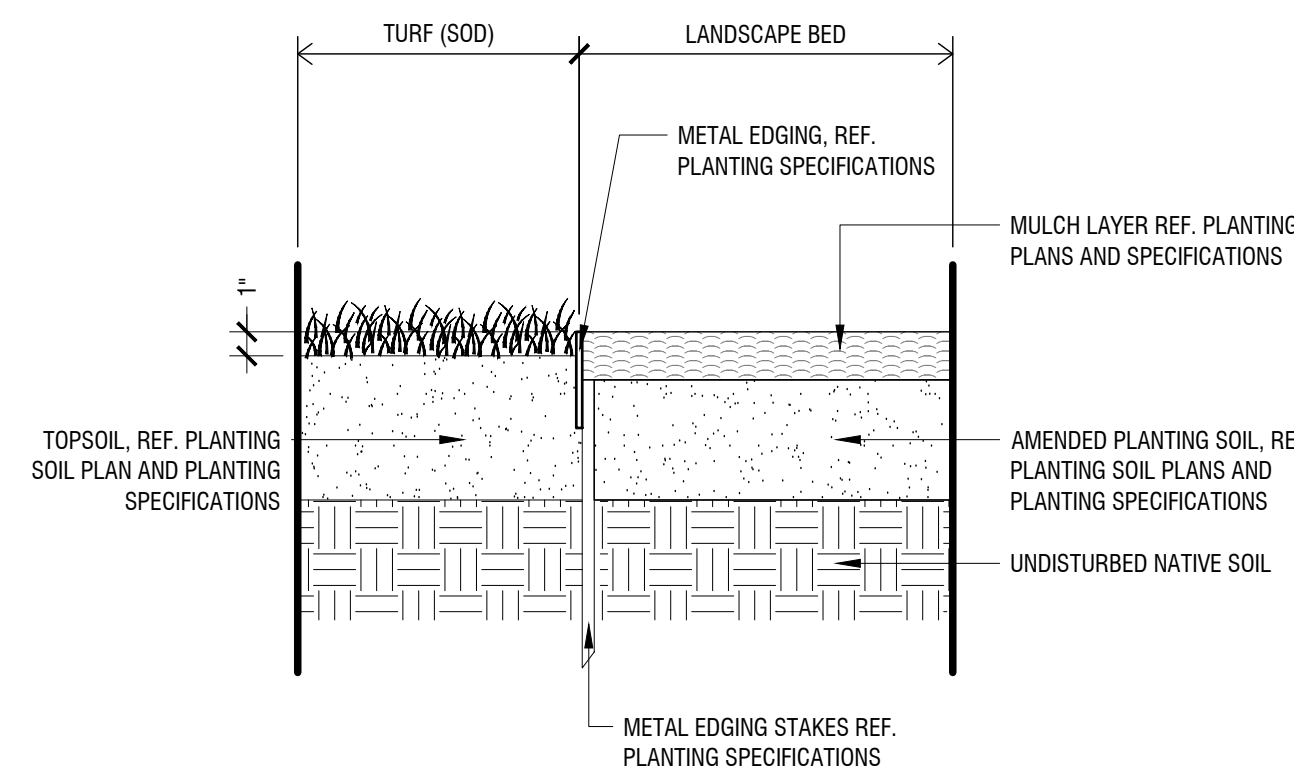


NOTES:  
 1. REF. PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 2. REF. PLANT SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.

TYPICAL GROUNDCOVER PLANTING

Scale: NTS

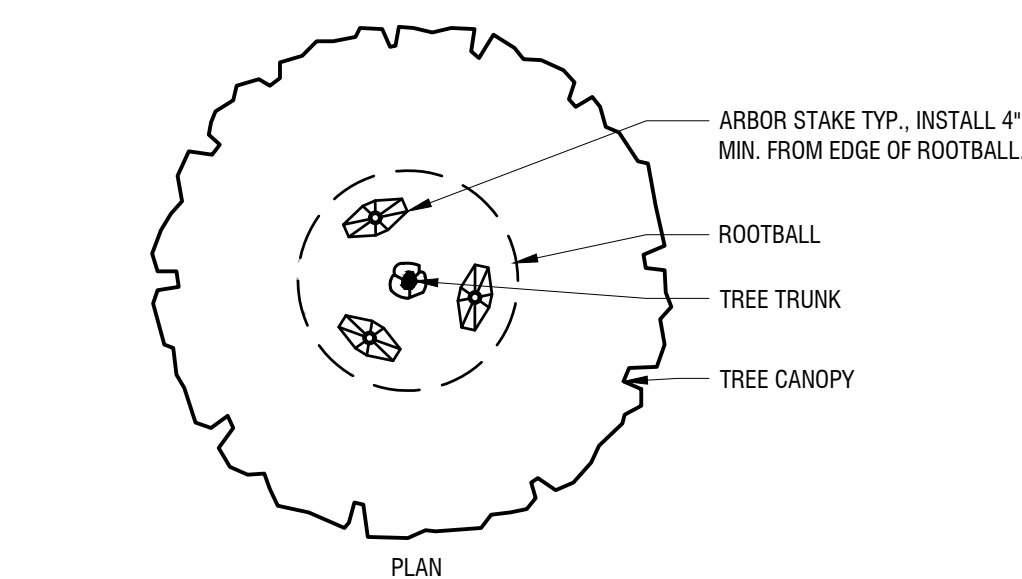
B



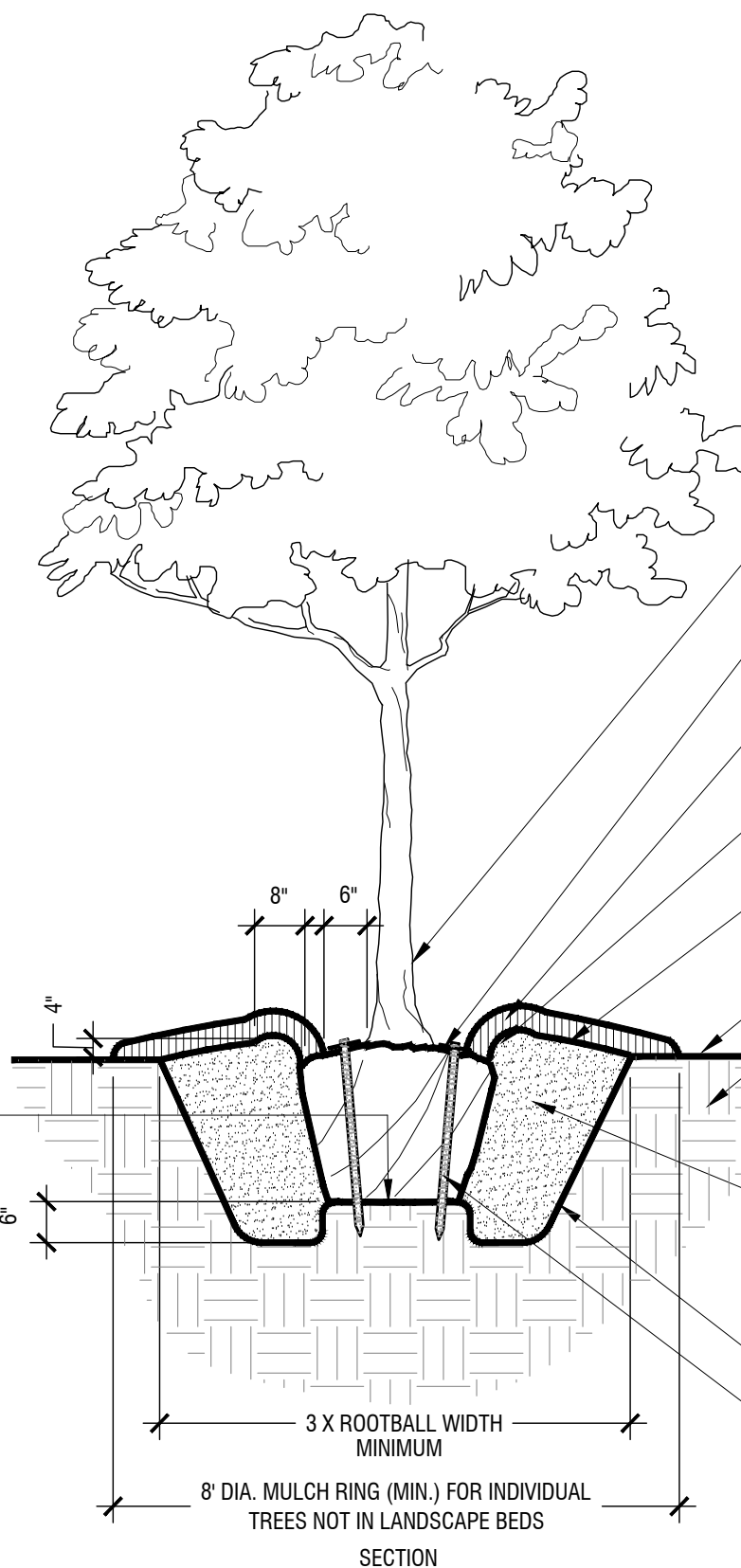
METAL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

D



NOTES:  
 1. REF. PLANTING AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 2. PERFORM PERCOLATION TEST PER PLANTING SPECIFICATIONS. IF SUBSURFACE DRAINAGE PROBLEMS ARE ENCOUNTERED, NOTIFY PROJECT LANDSCAPE ARCHITECT.



TYPICAL TREE PLANTING

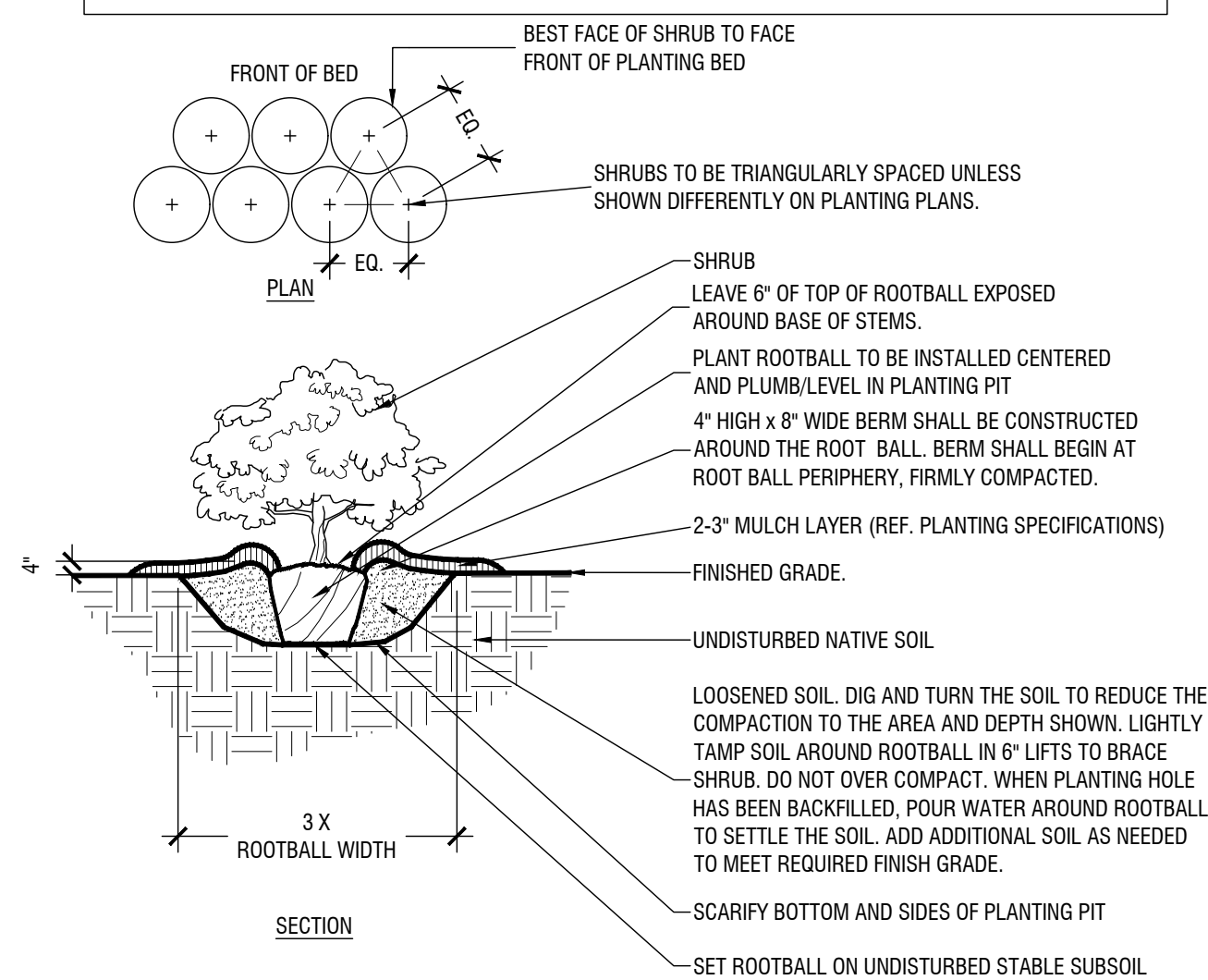
Scale: NTS

A

PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PERMITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION AND MUST BE REPLACED WITHIN 30 DAYS WITH PLANT MATERIAL OF THE SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. ALL PLANT QUANTITIES ARE LISTED FOR INFORMATION PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SHOWN ON THE PLANS AND SPECIFIED IN THE PLANT SCHEDULE.
- CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS GIVEN IN THE PLANT SCHEDULE, PLANTING DETAILS, AND PLANTING SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL MEET INDUSTRY STANDARDS AS INDICATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL PLANTING AREAS SHALL RECEIVE SOIL AMENDMENTS AS NOTED ON THE PLANTING SOIL PLANS, DETAILS, AND SPECIFICATIONS.
- PLANT MATERIAL SHALL BE PRUNED PER PLANTING SPECIFICATIONS UNLESS OTHERWISE NOTED ON DRAWINGS.
- PLANTING AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL AND INORGANIC SELECT FILL FOR BUILDING OR PAVING CONSTRUCTION SHALL BE REMOVED FROM ALL PLANTING BEDS TO A MINIMUM DEPTH OF 24" UNLESS OTHERWISE NOTED ON PLANTING SOILS PLANS. REPLACE MATERIAL REMOVED WITH IMPORTED TOPSOIL.
- TREES OVERHANGING PEDESTRIAN WALKS SHALL BE LIMBED TO A HEIGHT OF SEVEN FEET (7'). TREE OVERHANGING PUBLIC STREETS AND FIRELANES SHALL BE LIMBED TO A HEIGHT OF FOURTEEN FEET (14').
- TREES PLANTED NEXT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL BE LIMBED TO 76" (80" MIN.) AFF.
- ALL PROPOSED TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM AS SHOWN IN THE PLANTING DETAILS AND SPECIFICATIONS. NO ABOVE-GROUND STAKING SYSTEMS, CUY WIRES/WIRES, HOSES, STRAPS, POSTS (METAL OR WOOD) SHALL BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.

NOTES:  
 1. REF. PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 2. WHEN SHRUBS MASSES TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)  
 3. WHEN SHRUBS ARE USED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.  
 4. REF. TO PLANT SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.



TYPICAL SHRUB PLANTING

Scale: NTS

C

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-236-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.

**Kimley»Horn**  
 R.L.A. PATRICK B. HUBST  
 L.A. No. 2833 Date: 05/20/19

KHA PROJECT	064539200
DATE	06/14/2019
SCALE	AS SHOWN
DESIGNED BY	PBH
DRAWN BY	BDM
CHECKED BY	BDA

KE ANDREWS OFFICE  
 PREPARED FOR  
**KE ANDREWS**  
 CITY OF ROCKWALL, TEXAS

PLANTING DETAILS

SECTION 32 9210: LAWNS AND GRASSES

PART 1 - GENERAL

1.1 SECTION INCLUDES

- A. FURNISH ALL LABOR, MATERIAL, EQUIPMENT RELATED SERVICES AND SUPERVISION NECESSARY FOR OR INCIDENTAL TO THE INSTALLATION OF THE LAWNS AND GRASSES AS SHOWN OR INDICATED ON THE DRAWINGS AND/OR AS SPECIFIED.
B. WORK INCLUDED:
1. SOIL PREPARATION AND FINE GRADING.
2. FERTILIZATION.
3. GRASS SODDING

1.2 SUBMITTALS

- A. DELIVERY RECEIPTS AND INVOICES: SUBMIT ORIGINAL DELIVERY RECEIPTS AND INVOICES FOR MATERIALS USED.
B. PRODUCT DATA: SUBMIT SAMPLE LABEL OR SPECIFICATION OF FERTILIZER.
C. CERTIFICATE: SUBMIT STATE CERTIFICATE STATING VARIETY AND PURITY OF GRASS SOD.
D. SOIL FERTILITY TEST REPORTS:
1. SUBMIT ANALYSIS, TEST RESULTS AND CORRECTIVE RECOMMENDATIONS TO THE OWNER'S REPRESENTATIVE.
2. ONE TEST PER MEDIAN IS REQUIRED OF EXISTING SOIL TAKEN AT DIFFERENT LOCATIONS ON THE PROJECT SITE AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

1.3 PROTECTION

- A. PROTECT PAVING SURFACES, CURBS, UTILITIES, PLANT MATERIALS, AND OTHER EXISTING IMPROVEMENTS FROM DAMAGE BY HEAVY EQUIPMENT.
B. LOCATE AND STAKE IRRIGATION HEADS, VALVE RISERS AND EQUIPMENT PRIOR TO BEGINNING SOIL PREPARATION WORK.
C. DURING WORK AND MAINTENANCE PERIOD, MAINTAIN TOPSOIL IN PLACE AT ESTABLISHED GRADES. REPLACE TOPSOIL AND GRASS LOSSES DUE TO EROSION.
D. PROTECT IN PLACE WORK FROM DAMAGE BY HEAVY EQUIPMENT. PREPARE, GRADE, LEVEL, AND REPLANT DAMAGED AREAS.

1.4 SUBSTANTIAL COMPLETION & PROJECT CLOSEOUT

- A. A CERTIFICATE OF SUBSTANTIAL COMPLETION WILL BE ISSUED WHEN THE WORK PERFORMED UNDER THE CONTRACT HAS BEEN REVIEWED AND FOUND, TO THE OWNER'S REPRESENTATIVE'S BEST KNOWLEDGE, INFORMATION, AND BELIEF, TO BE SUBSTANTIALLY COMPLETE.
B. A LIST OF ITEMS TO BE COMPLETED OR CORRECTED WILL BE ATTACHED TO THE CERTIFICATE OR SUBSTANTIAL COMPLETION.
C. THE CONTRACTOR WILL COMPLETE OR CORRECT THE WORK ON THE LIST OF ITEMS WITHIN A SPECIFIC NUMBER OF DAYS AS SHOWN ON THE CERTIFICATE OF SUBSTANTIAL COMPLETION.
D. UPON COMPLETION AND RE-INSPECTION OF ALL CORRECTED ITEMS LISTED, THE OWNER'S REPRESENTATIVE WILL RECOMMEND TO THE OWNER THAT THE WORK OF THIS SECTION IS READY FOR FINAL ACCEPTANCE.

1.5 QUALITY ASSURANCE

- A. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.
B. PERSONNEL: EMPLOY ONLY EXPERIENCED PERSONNEL WHO ARE FAMILIAR WITH THE REQUIRED WORK. PROVIDE SUPERVISION BY A QUALIFIED FOREMAN.

1.6 GUARANTEE

- A. GUARANTEE LAWNS AND GRASSES FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE AT THE END OF THIS GUARANTEE PERIOD, ALL LAWN AND GRASS AREAS WILL HAVE ACHIEVED COVERAGE OF THE SPECIFIED GRASS AT A DENSITY OF 100% COVERAGE.
B. REPLACE LAWNS AND GRASSES WITH SAME KIND AS ORIGINALLY PLANTED, AT NO COST TO THE OWNER.

1.7 JOB CONDITIONS

- A. DO NOT INSTALL SOD ON SATURATED OR FROZEN SOIL.
B. SOD INSTALLATION SHALL BE SUBJECT TO SUITABILITY OF THE WEATHER AND OTHER CONDITIONS AFFECTING SOD GROWTH.

1.8 PROGRESS MEETINGS

- A. CONTRACTOR SHALL ATTEND ALL PROGRESS MEETINGS AS REQUESTED BY THE OWNER'S REPRESENTATIVE DURING INSTALLATION.

1.9 QUANTITY VERIFICATION

- A. THE BIDDING CONTRACTOR IS RESPONSIBLE FOR THE INCLUSION OF ALL MATERIALS, LABOR AND EQUIPMENT AS OUTLINED IN THE PLANS AND SPECIFICATION. VERIFICATION OF ALL QUANTITIES IS THE SOLE RESPONSIBILITY OF THE BIDDING CONTRACTOR.

PART 2 PRODUCTS

2.1 GRASS

- A. GENERAL:
1. SOD SHALL BE NURSERY GROWN ON CULTIVATED AGRICULTURAL SOILS.
2. SOD SHALL BE OF SPECIES INDICATED.
3. THICKNESS OF CUT: SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH AND LENGTH.
4. BROKEN STRIPS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTED.
5. STRENGTH OF SOD STRIPS: SOD STRIPS SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT.
6. MOISTURE CONTENT: SOD SHALL NOT BE HARVESTED OR TRANSPANTED WHEN MOISTURE CONTENT IS EXCESSIVELY WET OR DRY.
7. TIME LIMITATIONS: SOD SHALL BE HARVESTED, DELIVERED, AND TRANSPANTED WITHIN A 30-HOUR PERIOD.
8. THATCH: SOD SHALL BE FREE OF THATCH.
9. DISEASES, NEMATODES AND INSECTS: SOD SHALL BE FREE OF DISEASES, NEMATODES, AND SOIL-BORNE INSECTS.
10. WEEDS: SOD SHALL BE FREE OF OBJECTIONABLE GRASSY AND BROADLEAF WEEDS.
B. SOD:
1. CYNODON DACTYLON (COMMON BERMUDA GRASS)

2.2 FERTILIZER

- A. GENERAL:
1. FERTILIZER SHALL BE COMMERCIAL PRODUCT, UNIFORM IN COMPOSITION, FREE FLOWING, AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT.
2. DELIVER FERTILIZER TO SITE IN FULLY LABELED ORIGINAL CONTAINERS.
3. FERTILIZER WHICH HAS BEEN EXPOSED TO HIGH HUMIDITY AND MOISTURE HAS BECOME CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL NOT BE ACCEPTABLE.
B. INITIAL APPLICATION:
1. 17% NITROGEN
2. 17% PHOSPHORIC ACID
3. 17% POTASH
C. SECOND APPLICATION:
1. 21% NITROGEN
2. 0% PHOSPHORIC ACID
3. 0% POTASH

PART 3 EXECUTION

3.1 GENERAL

- A. EXECUTE GRASS PLANTING OPERATIONS ACROSS SLOPE AND PARALLEL TO FINISHED GRADE CONTOURS.

3.2 PRE-PLANT WEED CONTROL

- A. IRRIGATED AND NON-IRRIGATED GRASS AREAS:
1. IF GRASSY OR BROADLEAF WEEDS EXIST ON SITE AT THE BEGINNING OF WORK, SPRAY WITH A NON-SELECTIVE SYSTEMIC CONTACT HERBICIDE.
2. CLEAR AND REMOVE THESE EXISTING WEEDS BY MOWING OR GRUBBING OFF ALL PLANT PARTS AT LEAST 0.25 INCHES BELOW THE SURFACE OF THE SOIL OVER THE ENTIRE AREA TO BE PLANTED.
B. IRRIGATED GRASS AREAS ONLY:
1. AFTER IRRIGATION SYSTEM IS OPERATIONAL, APPLY WATER FOR 5 TO 10 DAYS AS NEEDED TO ACHIEVE WEED GERMINATION.
2. MAINTAIN LAWN AND GRASS AREAS WEED FREE UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE UTILIZING MECHANICAL AND CHEMICAL TREATMENT.

3.3 SOIL PREPARATION

- A. TILLAGE:
1. TILLAGE SHALL BE ACCOMPLISHED TO LOOSEN ALL AREAS OF COMPACTED SOIL.
2. TILL WITH HEAVY DUTY DISC, ROTOTILLER, OR CHISEL-TYPE BREAKING PLOW.
3. INITIAL TILLAGE SHALL BE DONE IN CROSSING PATTERN FOR DOUBLE COVERAGE THEN FOLLOWED BY A DISC HARROW.
B. CLEANING:
1. REMOVE DEBRIS, BUILDING MATERIALS, RUBBISH, WEEDS, AND STONES LARGER THAN 1 INCH IN DIAMETER.
2. USE ROCK PICK OR OTHER MACHINERY TO GATHER SURFACE STONES LARGER THAN 1 INCH IN DIAMETER.
C. FINE GRADING:
1. AFTER TILLAGE AND PLACEMENT OF TOPSOIL, LEVEL, FINE GRADE, AND DRAG WITH A WEIGHTED SPIKE HARROW OR FLOAT DRAG.
2. ELIMINATE RUTS, DEPRESSIONS, HUMPS, AND OBJECTIONABLE SOIL CLOUDS.

3.4 FERTILIZING

- A. THE FERTILIZER TYPES AND RATES SPECIFIED HEREIN ARE APPLICABLE UNLESS COUNTERMANDED BY THE SOIL FERTILITY TEST CORRECTIVE RECOMMENDATIONS.
B. BERMUDA SODDING:
1. INITIAL APPLICATION: APPLY NO MORE THAN 5 DAYS PRIOR TO COMMENCEMENT OF SODDING OPERATIONS AT A RATE OF 20 POUNDS PER 1,000 SQUARE FEET.
2. SECOND AND THIRD APPLICATIONS: APPLY EVERY 25 DAYS AFTER SODDING AT A RATE OF 10 POUNDS PER 1,000 SQUARE FEET.
3. IRRIGATE THE AREA WITH A MINIMUM OF .25 INCHES OF WATER TO PROPERLY INCORPORATE THE FERTILIZER INTO THE TURF.

3.5 PLANTING SOD

- A. WEATHER CONDITIONS:
1. SCHEDULE WORK FOR PERIODS OF FAVORABLE WEATHER.
2. SOD PLACEMENT ON DAYS WHICH, IN THE JUDGMENT OF THE OWNER'S REPRESENTATIVE, ARE TOO HOT, COLD, SUNNY, DRY, OR WINDY FOR OPTIMAL INSTALLATION MAY BE PROHIBITED.
B. PLACEMENT PATTERN:
1. THE FIRST ROW SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PARALLEL TO THE FIRST ROW AND TIGHTLY BUTTING EACH OTHER.
2. LATERAL JOINTS SHALL BE STAGGERED. CARE SHALL BE EXERCISED TO ENSURE THAT THE SOD IS NEITHER STRETCHED NOR OVERLAPPED.
3. IMMEDIATELY AFTER PLACING, SOD SHALL BE PRESSED FIRMLY INTO CONTACT WITH BED BY TAMPING OR ROLLING TO ELIMINATE AIR POCKETS.
4. ON SLOPES STEEPER THAN 3 TO 1, SOD SHALL BE SECURED BY GALVANIZED PINS, WOOD PEGS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.
5. IMMEDIATELY AFTER SODDING OPERATIONS HAVE BEEN COMPLETED, THE ENTIRE SURFACE SHALL BE COMPACTED WITH A ROLLER OR OTHER APPROVED EQUIPMENT.
C. WATERING:
1. INITIAL INSTALLATION: WATER MUST BE APPLIED WITHIN 2 HOURS OF EXPOSURE OF THE SOD TO SUN OR WIND.
2. AFTER 7 TO 10 DAYS: CHECK FOR NEW ROOT GROWTH BY LIFTING CORNERS OF SOD BLOCKS.
3. AFTER 12 TO 14 DAYS: RECHECK FOR ADDITIONAL ROOTING.

3.6 GRADING

- A. MAINTAIN EXISTING ESTABLISHED GRADES, PROTECT TRUE AND EVEN DURING OPERATIONS.

3.7 EROSION CONTROL

- A. DURING WORK AND MAINTENANCE PERIOD, MAINTAIN TOPSOIL IN PLACE AT ESTABLISHED GRADES. REPLACE TOPSOIL AND TURF GRASS LOSSES DUE TO EROSION.

3.8 CLEAN-UP

- A. REMOVE EXCESS MATERIAL AND DEBRIS FROM SITE.

3.9 MAINTENANCE

- A. UNTIL FINAL ACCEPTANCE, MAINTAIN LAWN AND GRASS AREAS BY WATERING, MOWING, WEEDING, SPRAYING, CLEANING AND REPLACING AS NECESSARY TO KEEP THE TURF AND GRASS IN A VIGOROUS, HEALTHY CONDITION.
1. WATERING: AS NECESSARY.
2. MOWING:
a) MOW NEWLY PLANTED GRASS AREAS WEEKLY AFTER INITIAL GROWTH REACHES 1.5 TO 2 INCHES.
3. WEEDING: REMOVE WEEDS AND FOREIGN GRASS OVER LAWN AND GRASS AREAS AT LEAST ONCE A WEEK. HERBICIDES MAY BE USED ONLY WHEN APPROVED BY THE OWNER'S REPRESENTATIVE.

END OF SECTION 329210

02/08/19 10:00:00 AM
PLOT BY: KE ANDREWS
DRAWN BY: KE ANDREWS

This document, together with the complete and design presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Review of and approval hereon does not constitute an endorsement or approval by Kimley-Horn and Associates, Inc. of any material or equipment mentioned herein, nor does it constitute a warranty, expressed or implied, for any material or equipment mentioned herein.

KE ANDREWS OFFICE
LOTS 1 & 2
9.6990 ACRES, E.P. GAINS CHISM SURVEY
ABSTRACT NO. 64
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
OWNER/DEVELOPER: KE ANDREWS
LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.

Table with columns for No., REVISIONS, and DATE.

Kimley-Horn logo and contact information: 13455 NOEL RD, TWO GALLERIA OFFICE TOWER, SUITE 700 DALLAS, TX 75240

Kimley-Horn logo and contact information: R.L.A. PATRICK B. HART

Table with columns for KHA PROJECT, DATE, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY.

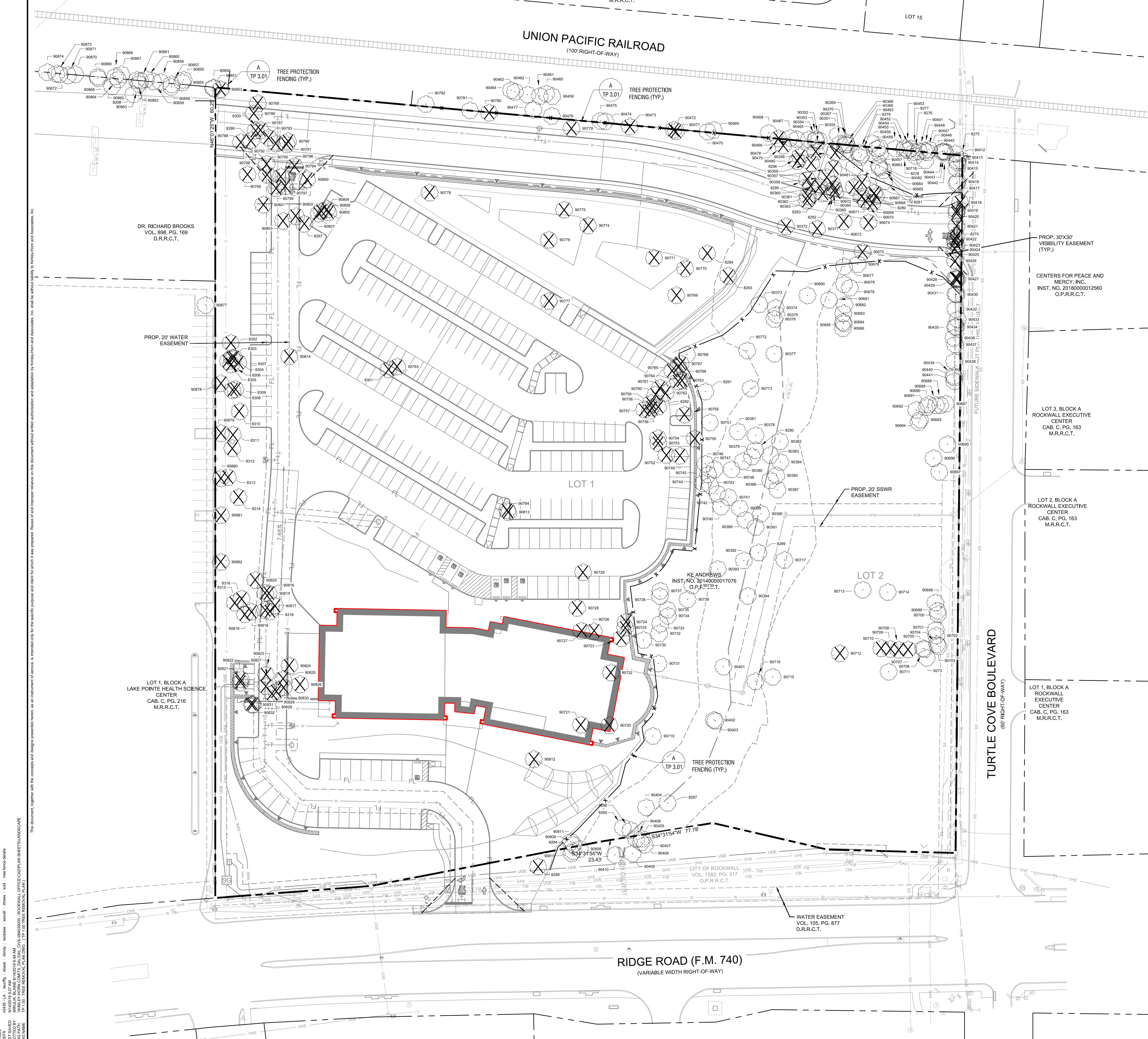
KE ANDREWS OFFICE
PREPARED FOR KE ANDREWS
CITY OF ROCKWALL, TEXAS

LAWN & GRASSES SPECIFICATION
SHEET NUMBER LP 4.02









**DEVELOPMENT INFORMATION**

<b>ZONING - C, SCENIC OVERLAY DISTRICT</b>	
<b>BUILDING AREA 1 (HT = 60 FT)</b>	
STORY	AREA (GSF)
LL	80,236
<b>FLOOR AREA RATIO (FAR) 0.19</b>	
<b>FOUNDATION TYPE REINFORCED CONCRETE STRAIGHT SHAFT DRILLED PIERS</b>	

**SITE INFORMATION**

OVERALL AREA			
LOT 1	279,442 SF	6.42 ACRES	(66.14%)
LOT 2	96,644 SF	2.22 ACRES	(22.87%)
RIGHT OF WAY	46,402 SF	1.07 ACRES	(10.98%)
<b>TOTAL</b>	<b>422,488 SF</b>	<b>9.6990 ACRES</b>	

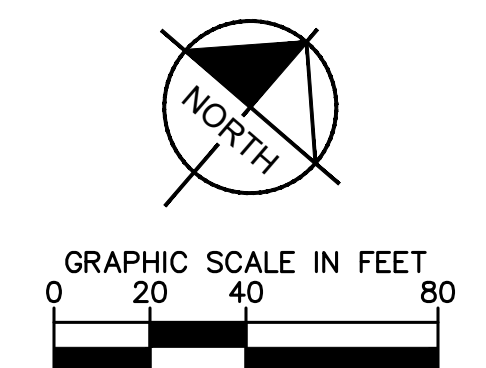
LOT 1			
PAVEMENT	106,403 SF	2.44 ACRES	(38.08%)
BUILDING COVERAGE	22,866 SF	0.52 ACRES	(8.18%)
LANDSCAPE AND OPEN SPACE	150,173 SF	3.45 ACRES	(53.74%)
<b>TOTAL</b>	<b>279,442 SF</b>	<b>6.42 ACRES</b>	

LOT 2			
PAVEMENT	00 SF	0.00 ACRES	(0.00%)
BUILDING COVERAGE	00 SF	0.00 ACRES	(0.00%)
LANDSCAPE AND OPEN SPACE	96,644 SF	2.22 ACRES	(100.00%)
<b>TOTAL</b>	<b>96,644 SF</b>	<b>2.22 ACRES</b>	

RIGHT OF WAY			
PAVEMENT	26,952 SF	0.62 ACRES	(58.09%)
BUILDING COVERAGE	00 SF	0.00 ACRES	(0.00%)
LANDSCAPE AND OPEN SPACE	19,449 SF	0.45 ACRES	(41.91%)
<b>TOTAL</b>	<b>46,402 SF</b>	<b>1.07 ACRES</b>	



**KE ANDREWS OFFICE**  
LOT 1 & 2  
9.6990 ACRES, E.P. GAINS CHISM SURVEY  
ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER/DEVELOPER:** KE ANDREWS  
1900 DALROCK ROAD  
ROWLETT, TEXAS 75088  
CONTACT: KEVIN LLOYD  
EMAIL: KLLOYD@KEATX.COM

**LANDSCAPE ARCHITECT:** KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
SUITE 700, DALLAS, TX 75240  
TEL. NO. 972-770-1300  
CONTACT: PAT HART, P.L.A.

No.	REVISIONS	DATE	BY

**Kimley Horn**

13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
SUITE 700 DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928

© 2019 KIMLEY-HORN AND ASSOCIATES, INC.

**Kimley Horn**

FOR REVIEW ONLY  
Not for construction or permit purposes.

R.L.A. PATRICK B. HART  
L.A. No. 2832 Date: 05/20/19

KHA PROJECT 064539200

DATE	06/14/2019
SCALE	AS SHOWN
DESIGNED BY	PBH
DRAWN BY	BDM
CHECKED BY	BDA

**KE ANDREWS OFFICE**  
PREPARED FOR  
**KE ANDREWS**  
CITY OF ROCKWALL, TEXAS

**TREE REMOVAL PLAN**

SHEET NUMBER  
**TP 1.00**

IMAGES: 06/14/19 10:45:15 AM  
PLOTTER: 06/14/19 10:45:15 AM  
DRAWING: 06/14/19 10:45:15 AM  
DRAWING: 06/14/19 10:45:15 AM  
DRAWING: 06/14/19 10:45:15 AM



Tree #	DBH	COMMON NAME	SCIENTIFIC NAME	CONDITION	TYPE	ACTION	RATIO	MITIGATION REQUIRED
90805	8.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90806	6.4	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90807	6.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90808	15.2	Eastern Cottonwood	<i>Populus deltoides</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90809	10.7	American Elm	<i>Ulmus americana</i>	Healthy	Forked	PROTECT	1:1	0.0
90810	8.7	American Elm	<i>Ulmus americana</i>	Healthy	Forked	PROTECT	1:1	0.0
90811	7.4	American Elm	<i>Ulmus americana</i>	Healthy	Single	PROTECT	1:1	0.0
90812	12.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Forked	REMOVE	.5:1	6.3
90813	7.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90814	18.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Forked	REMOVE	.5:1	9.3
90815	6.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90816	7.2	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90817	7.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90818	7.6	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90819	8.4	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90820	13.5	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Multi	REMOVE	NON-PROTECTED	0.0
90821	7.8	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90822	6.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90823	7.9	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90824	6.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90825	7.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90826	6.7	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90827	6.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90828	5.6	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90829	6.7	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90830	7.3	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90831	7.0	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90832	6.9	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90851	6.0	Hercules-club	<i>Zanthoxylum clava-herculis</i>	Declining	Single	PROTECT	NON-PROTECTED	0.0
90852	13.8	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	.5:1	6.9
90853	7.7	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	REMOVE	NON-PROTECTED	0.0
90854	11.7	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	.5:1	0.0
90855	7.5	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90856	9.6	Eastern Redcedar	<i>Juniperus virginiana</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90857	6.2	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90858	9.7	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90859	11.5	Hackberry	<i>Celtis laevigata</i>	Healthy	Forked	PROTECT	.5:1	0.0
90860	10.7	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90861	11.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	.5:1	0.0
90862	8.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90863	8.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90864	10.6	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90865	11.5	Osage-Orange	<i>Maclura pomifera</i>	Healthy	Multi	PROTECT	NON-PROTECTED	0.0
90866	9.5	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90867	7.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90868	7.6	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	PROTECT	1:1	0.0
90869	10.8	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90870	9.6	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	PROTECT	1:1	0.0
90871	6.3	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	PROTECT	1:1	0.0
90872	6.4	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	NON-PROTECTED	0.0
90873	9.4	Persimmon	<i>Diospyros virginiana</i>	Healthy	Single	PROTECT	1:1	0.0
90874	12.2	Hackberry	<i>Celtis laevigata</i>	Healthy	Single	PROTECT	.5:1	0.0
90878	9.5	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	9.5
90879	12.0	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	12.0
90880	10.8	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	10.8
90881	12.0	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	12.0
90882	14.2	Cedar Elm	<i>Ulmus crassifolia</i>	Healthy	Single	REMOVE	1:1	14.2

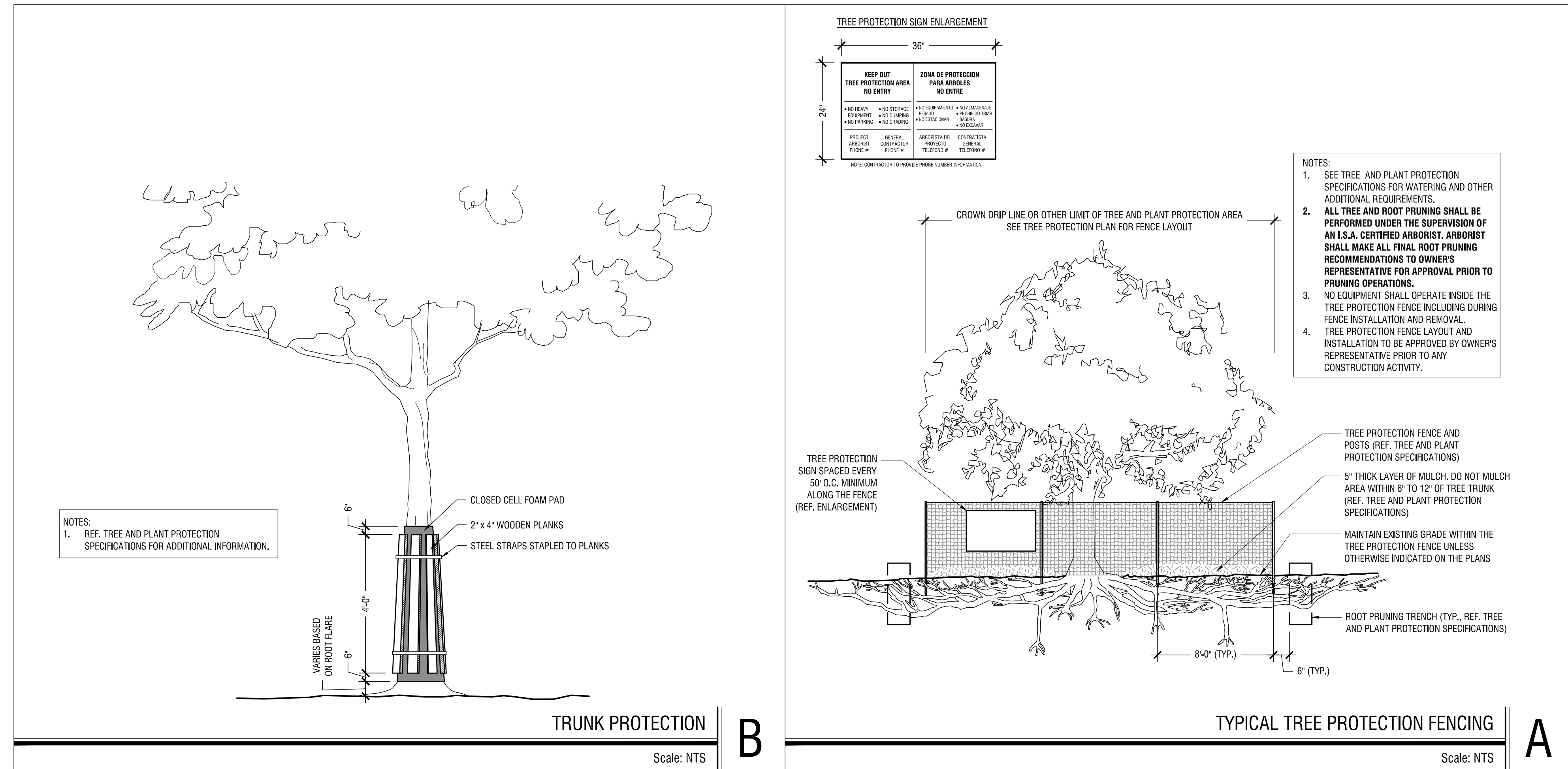
All trees 4-inches and larger at DBH were tagged.  
Kimley-Horn red tree tag (series 8273-8318) and SCI green tree tags were used.

TREE INCHES BEING REMOVED	TREE INCHES	REQ. MITIGATION INCHES
TOTAL TREE INCHES BEING REMOVED (PRIMARY PROTECTED TREES, 4"-24" - 1:1 RATIO)	230.7	230.7
TOTAL TREE INCHES BEING REMOVED (SECONDARY PROTECTED TREES, 11"-25" - 1:0.5 RATIO)	198	99
TOTAL TREE INCHES BEING REMOVED (FEATURED TREES, GREATER THAN 25" - 1:2 RATIO)	0	0
TOTAL TREE INCHES BEING REMOVED	428.7	329.7
TREE PRESERVATION CREDITS (EACH SAVED OAK, PECAN, OR ELM > 25" - 1:1 RATIO)	90	90
MITIGATION BALANCE (REQ. MITIGATION INCHES - TREE PRESERVATION CREDITS)		239.7
TOTAL REPLACEMENT TREE INCHES		240
NET TOTAL TREE INCHES AFTER MITIGATION		0.3

TREE INVENTORY CONDUCTED BY AND/OR UNDER THE SUPERVISION OF:  
Alex Brown  
ISA Certified Arborist TX-4383A  
Kimley-Horn and Associates

THE FOLLOWING TREE HEALTH DESCRIPTIONS ARE BASED ON A RAPID VISUAL ASSESSMENT OF INDICATORS WHICH ARE EASILY IDENTIFIABLE FROM GROUND LEVEL AND WITH THE UNAIDED EYE. FOR TREE INVENTORY PURPOSES ONLY.

**HEALTHY:** TREE SHOWS SIGNS OF GROWTH. INDICATORS OF DISEASE OR DIEBACK NOT OBSERVED.  
**DECLINING:** TREE SHOWS VISIBLE SIGNS OF DISEASE (SUCH AS FUNGUS, SLIME FUX, OR BARK SLOUGHING) OR DIEBACK.  
**HAZARD:** TREE SHOWS VISIBLE SIGNS OF DECAY, LIMB FAILURE AND/OR INSTABILITY.



No.	REVISIONS	DATE	BY

**Kimley-Horn**  
13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
SUITE 700 DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928  
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.

**Kimley-Horn**  
FOR REVIEW ONLY  
Not for construction or permit purposes.  
R.L.A. PATRICK B. HART  
U.A. No. 28332 Date: 05/2019

KHA PROJECT  
064539200  
DATE  
06/14/2019  
SCALE AS SHOWN  
DESIGNED BY KE ANDREWS  
DRAWN BY BDM  
CHECKED BY BDA

KE ANDREWS OFFICE  
PREPARED FOR KE ANDREWS  
CITY OF ROCKWALL, TEXAS

TREE MITIGATION  
REFERENCE DATA  
AND DETAILS

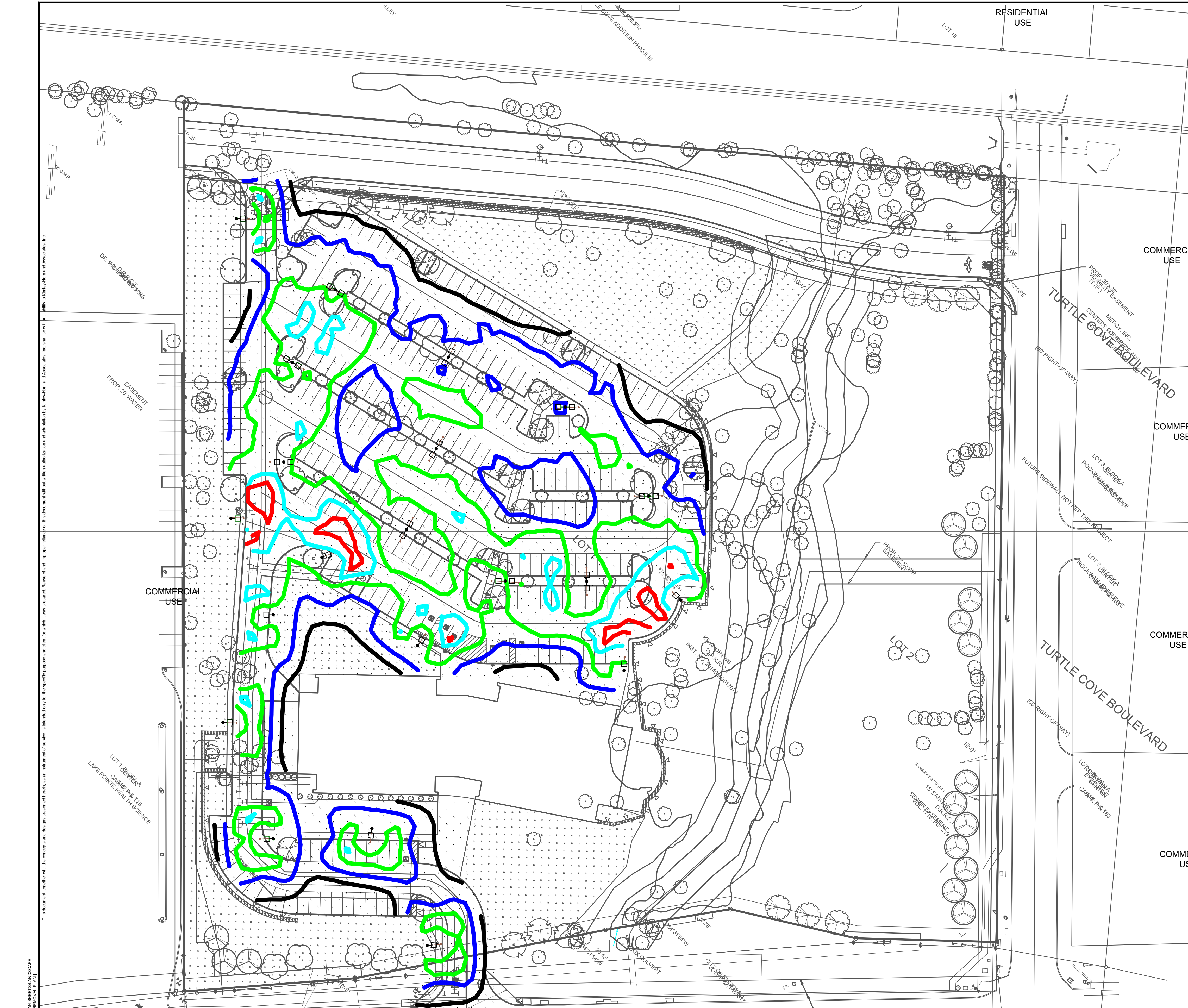
SHEET NUMBER  
TP 3.01

**KE ANDREWS OFFICE**  
LOTS 1 & 2  
9.6990 ACRES, E.P. GAINS CHISM SURVEY  
ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER: KE ANDREWS  
1900 DALROCK ROAD  
ROWLETT, TEXAS 75088  
CONTACT: KEVIN LLOYD  
EMAIL: KLLOYD@KEATX.COM

LANDSCAPE ARCHITECT:  
KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
SUITE 700, DALLAS, TX 75240  
TEL. NO. 972-770-1300  
CONTACT: PAT HART, PLA

IMAGES: ©2019 A.S. Landscaping - photos; ©2019 Kimley-Horn and Associates - aerial; ©2019 Kimley-Horn and Associates - tree from details.  
PLOTTER: EPL 5000-2424-01  
PLOT FILE: E:\2019\06\14\20190614\_064539200\_TREEMITIGATION\_REFERENCE\_DATA\_AND\_DETAILS.dwg  
DWM NAME: TP 3.01 - TREE MITIGATION\_REFERENCE\_DATA\_AND\_DETAILS.dwg  
This document, together with the concepts and designs presented herein, is an instrument of service. It is intended only for the specific purpose and client for which it was prepared. Release of and reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



DEVELOPMENT INFORMATION	
ZONING - C, SCENIC OVERLAY DISTRICT	
BUILDING AREA 1 (HT = 60 FT)	
STORY	AREA (GSF)
LL	80,236
FLOOR AREA RATIO (FAR) 0.19	
FOUNDATION TYPE REINFORCED CONCRETE STRAIGHT SHAFT DRILLED PIERS	

SITE INFORMATION		
OVERALL AREA	279,442 SF	6.42 ACRES (66.14%)
LOT 1	96,644 SF	2.22 ACRES (22.87%)
LOT 2	46,402 SF	1.07 ACRES (10.98%)
RIGHT OF WAY	422,488 SF	9.6990 ACRES
TOTAL		
LOT 1		
PAVEMENT	106,403 SF	2.44 ACRES (38.08%)
BUILDING COVERAGE	23,243 SF	0.53 ACRES (8.32%)
LANDSCAPE AND OPEN SPACE	149,796 SF	3.44 ACRES (53.61%)
TOTAL	279,442 SF	6.42 ACRES

Luminaire Legend		
Symbol	Description	#
◼	VMX-T-T1-64LC-7-4K-UNV-SINGLE	11
◻	VMX-T-T1-64LC-7-4K-UNV-DUAL	10

- NOTES**
- VALUES REPORTED HERE ARE CALCULATED AVERAGE MAINTAINED ILLUMINANCE LEVELS AT GRADE.
  - CALCULATIONS ACCOUNT ONLY FOR POLE-MOUNTED AND WALL MOUNTED LUMINAIRES.
  - PHOTOMETRIC DATA FOR ALL LUMINAIRES IS SOURCED FROM THE LUMINAIRE MANUFACTURER.
  - LIGHTING CALCULATIONS DO NOT TAKE INTO CONSIDERATION ADDITIONAL LANDSCAPE OR HARDSCAPE ITEMS THAT MAY IMPACT ILLUMINANCE LEVELS.
  - FIXTURES ARE MOUNTED 24' IN HEIGHT
  - FIXTURES ARE 140 WATTS

### VMX LED Specifications

**Project Name:**  
**Catalog Number:**  
**Type:**

The VMX LED Series offers clean, functional styling that is defined by its sleek low profile design and rugged construction. It combines the latest LED technology, advanced LED thermal management and provides outdoor lighting that is both energy efficient and aesthetically pleasing.

The LED's performance and the driver's life are maximized by enclosing them in two separate cast aluminum housings. Easy toolless access for mounting and maintenance.

The LED light assemblies come with 48 to 96 LEDs. Eight optical distribution patterns are available. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable polyester powder coat finish is guaranteed for five years, and is available in standard or custom colors.

The VMX LED series is an exceptional choice for commercial parking lots, office complexes, architectural projects, and other general lighting projects.

### Ordering Information

MODEL	OPTICS	LEDs	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS	OPTIONS
VMX-1	T1	48LC	3	3K	UNV	AM	BZ	PCR-120	RPP3
	T2	64LC	5	4K	8	WM	BK	PCR-208	RPP4
	T3	80LC	7	5K	5	WH	CC	PCR-240	RPP5
	T4	96LC	10	5000K	5	SWH	GP	PCR-277	RPP6
	T5					WH	GP	PCR-480	UPMA-S
	TSW					SWH	GP	UPMA-R	UPMA-S
	TSWR					SWH	GP	UPMA-S	UPMA-S

**VISIONAIRE LIGHTING**

36

### Features & Specifications

**Heatsink**  
• Cast aluminum heatsink with integral cooling fins for thermal management.

**Mounting Arm/Driver Compartment**  
• Durable two-piece die cast aluminum driver compartment utilizes a toolless push button latch for ease of maintenance and sealed with a one-piece silicone gasket.  
• Meets ANSI C136.31-2010 1.5G Vibration Standards.

**Thermal Management**  
• The VMX series provides excellent thermal management by mounting the LEDs to the substantial heat sink of the housing. This enables the Luminaire to withstand higher ambient temperatures and driver currents without degrading LED life.  
• The L70 test determines the point in an LEDs life when it reaches 70 percent of its initial output. The VMX series LEDs have been determined to last 100,000+ hours in 25° C environments when driven at 350 mA.

**Optical System**  
• The highest lumen output. LEDs are utilized in the VMX series. IES distribution Types I, II, III, IV and V are available. The optical system qualifies as IES full cutoff to restrict light trespass, glare and light pollution.  
• CRI values are 70+.

**Quali-Guard® Finish**  
• The finish is a Quali-Guard® textured, chemically pretreated through a multiple-stage washer, electrostatically applied, thermoset polyester powder coat finish, with a minimum of 3-5 millimeter thickness. Finish is oven-baked at 400° F to promote maximum adhesion and finish hardness. All finishes are available in standard and custom colors.  
• Finish is guaranteed for five (5) years.

**Electrical Assembly**  
• The VMX LED series is supplied with a choice of 350, 530, 700 or 1000 mA high-performance LED drivers that accept 120v thru 480v, 50 Hz to 60 Hz, input. Power factor of 90%. Rated for -40°C operations.  
• 10 KV surge protector supplied as standard.  
• Terminal block supplied as standard.

**Warranty**  
• Five (5) year Limited Warranty on entire system, including finish. For full warranty information, please visit [visionairelighting.com](http://visionairelighting.com).

**Options**  
• Photocell & receptacle  
• Photo receptacle  
• Round pole plate adaptor  
• Cast Wall Plate  
• 0-10v Dimming Driver  
• Motion Sensor  
• Wireless Control  
• Universal Pole Mount Adaptor  
• Cut-Off Louver Shield  
• Emergency Battery Pack

**Listings**  
• The VMX Series is cUL Listed  
• IP65 Rated  
• Powder Coated Tough  
• DLC Listed  
• ICA Certification

**Logos:** ETL, ANS, UL, IP65 RATED, DLC, ICA

**Scale:** GRAPHIC SCALE IN FEET 0 20 40 80

**North Arrow:** NORTH

**KE ANDREWS OFFICE**  
LOTS 1 & 2  
9.6990 ACRES, E.P. GAINS CHISM SURVEY  
ABSTRACT NO. 64  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER/DEVELOPER:** KE ANDREWS  
1900 DALROCK ROAD  
ROWLETT, TEXAS 75088  
CONTACT: KEVIN LLOYD  
EMAIL: KLLOYD@KEATX.COM

**LANDSCAPE ARCHITECT:** KIMLEY-HORN AND ASSOCIATES, INC.  
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,  
SUITE 700, DALLAS, TX 75240  
TEL. NO. 972-770-1300  
CONTACT: PAT HART, PLA

**Kimley»Horn**  
13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
SUITE 700 DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-238-3820  
WWW.KIMLEY-HORN.COM TX F-928  
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.

**PHOTOMETRIC PLAN**  
SHEET NUMBER TP 1.00

**KE ANDREWS OFFICE PREPARED FOR KE ANDREWS**  
CITY OF ROCKWALL, TEXAS

**REVISIONS**

No.	DATE	BY

**DATE**

**BY**

**PROPOSED BUILDING MATERIAL LEGEND**

ST-1 : BUFF LIMESTONE, VENEER  
 ST-2 : ROCKED LIMESTONE, VENEER  
 SS : SINTERED STONE TILE  
 MP-1 : ALUMINUM COMPOSITE PANEL  
 MP-2 : METAL FLUSH PANEL (VERTICAL JOINTS)  
 RF : WHITE SINGLE PLAY ROOFING MEMBRANE

**PROPOSED BUILDING MATERIAL LEGEND CONT.**

CW : GLAZING / CURTAIN WALL  
 CN-1 : CANOPY, ALUMINUM BLADES  
 CN-2 : CANOPY, ACM WOOD -LIKE PANEL INFILL  
 MR : PAINTED STEEL GUARDRAIL W/ VERTICAL CABLES  
 CLM : COLUMN W/ WOOD CLADDING  
 WL : WOOD LATTICEWORK

**Primary & Secondary Material Calculations**

**North Façade**

Primary Material	SF	% of Primary
ST-1	3,054 SF	62%
ST-2	1,196 SF	23%
PT	750 SF	15%
<b>Total</b>	<b>4,940 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
<b>Total</b>	<b>0 SF</b>	<b>0%</b>

**Total** 4,940 SF 100%

**East Façade**

Primary Material	SF	% of Primary
ST-1	175 SF	8%
ST-2	2,075 SF	92%
PT	0 SF	0%
<b>Total</b>	<b>2,250 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
<b>Total</b>	<b>0 SF</b>	<b>0%</b>

**Total** 2,250 SF 100%

**South Façade**

Primary Material	SF	% of Primary
ST-1	2,466 SF	61%
ST-2	831 SF	21%
PT	750 SF	19%
<b>Total</b>	<b>4,047 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
<b>Total</b>	<b>0 SF</b>	<b>0%</b>

**Total** 4,047 SF 100%

**West Façade**

Primary Material	SF	% of Primary
ST-1	150 SF	8%
ST-2	1,764 SF	92%
PT	0 SF	0%
<b>Total</b>	<b>1,914 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
<b>Total</b>	<b>0 SF</b>	<b>0%</b>

**Total** 1,914 SF 100%

**Overall Material Calculations**

**North Façade**

Material	SF	% of Overall Façade
CW	9,354 SF	52%
MP-1	1,201 SF	7%
MP-2	1,785 SF	10%
CN	790 SF	4%
ST-1	3,054 SF	17%
ST-2	1,196 SF	6%
PT	750 SF	4%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>18,069 SF</b>	<b>100%</b>

**East Façade**

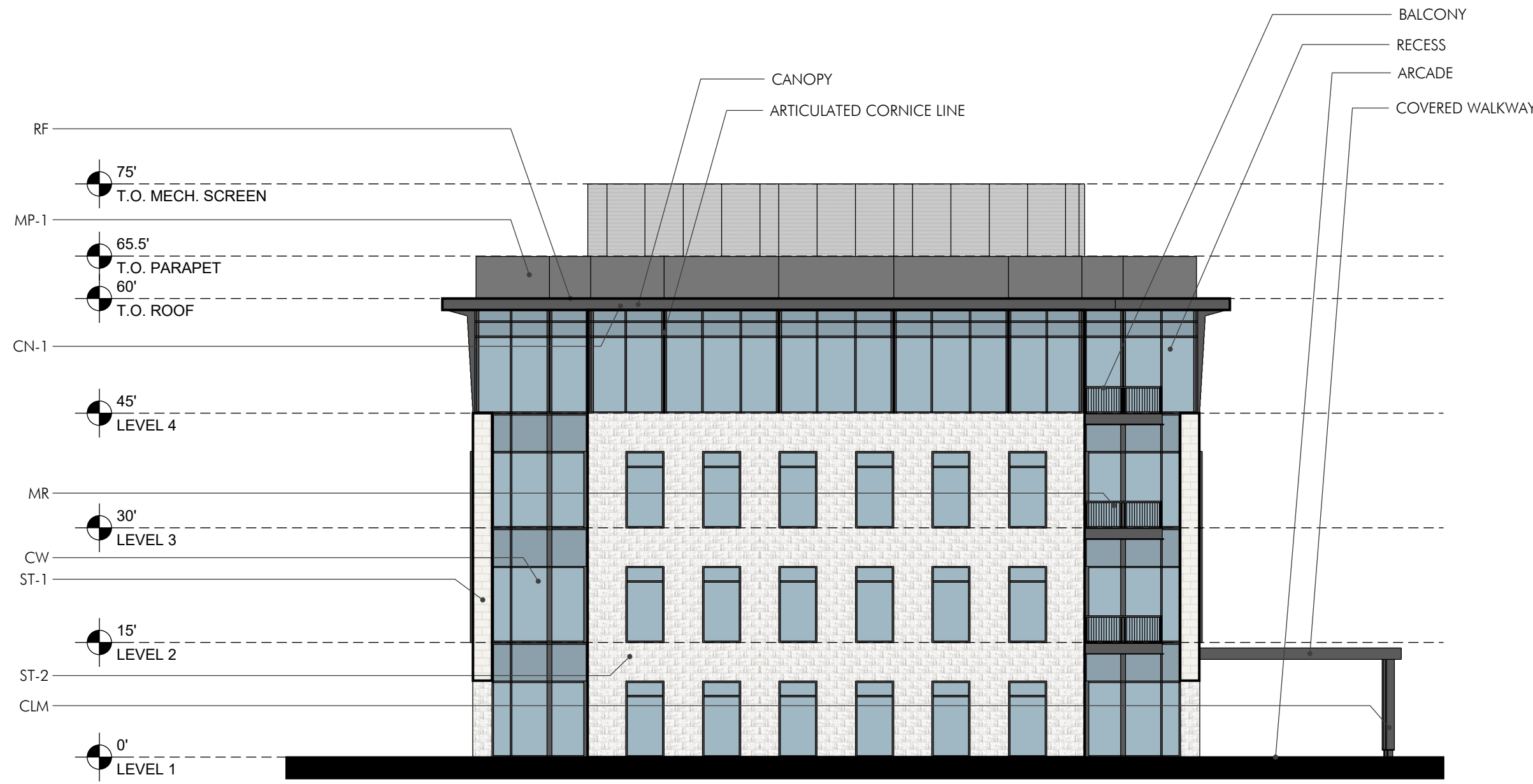
Material	SF	% of Overall Façade
CW	3,261 SF	43%
MP-1	518 SF	7%
MP-2	600 SF	8%
CN	241 SF	3%
ST-1	175 SF	2%
ST-2	2,075 SF	27%
PT	750 SF	10%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>7,619 SF</b>	<b>100%</b>

**South Façade**

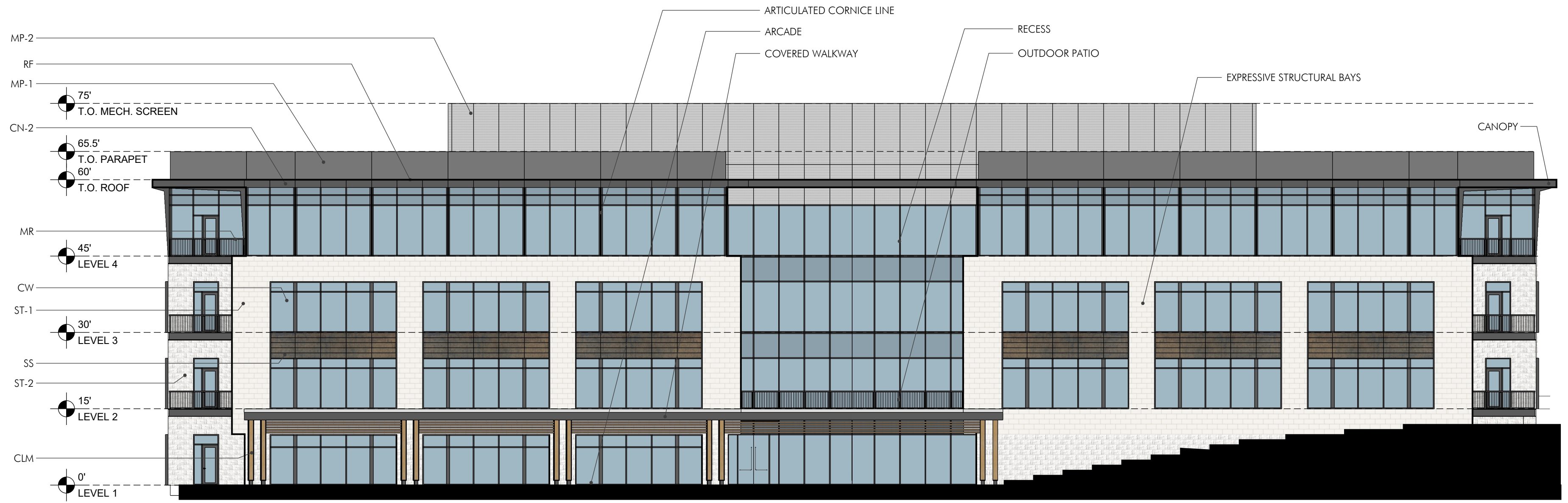
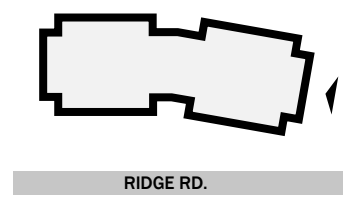
Material	SF	% of Overall Façade
CW	7,667 SF	51%
MP-1	1,205 SF	8%
MP-2	1,609 SF	11%
CN	421 SF	3%
ST-1	2,466 SF	16%
ST-2	831 SF	6%
PT	750 SF	5%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>14,950 SF</b>	<b>100%</b>

**West Façade**

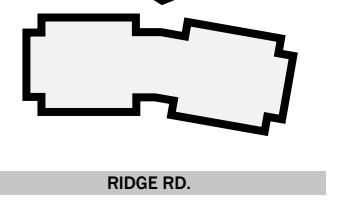
Material	SF	% of Overall Façade
CW	2,131 SF	40%
MP-1	518 SF	10%
MP-2	600 SF	11%
CN	210 SF	4%
ST-1	150 SF	3%
ST-2	1,764 SF	33%
PT	0 SF	0%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>5,373 SF</b>	<b>100%</b>



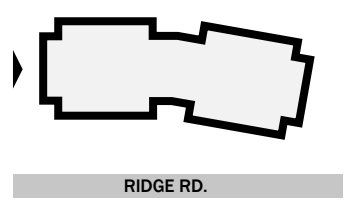
**3 EAST ELEVATION**  
Scale: 1/16" = 1'



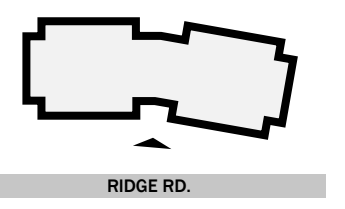
**1 NORTH ELEVATION**  
Scale: 1/16" = 1'



**4 WEST ELEVATION**  
Scale: 1/16" = 1'



**2 SOUTH ELEVATION**  
Scale: 1/16" = 1'



**PROPOSED BUILDING MATERIAL LEGEND**

ST-1 : BUFF LIMESTONE, VENEER  
 ST-2 : ROCKED LIMESTONE, VENEER  
 SS : SINTERED STONE TILE  
 MP-1 : ALUMINUM COMPOSITE PANEL  
 MP-2 : METAL FLUSH PANEL (VERTICAL JOINTS)  
 RF : WHITE SINGLE PLY ROOFING MEMBRANE

**PROPOSED BUILDING MATERIAL LEGEND CONT.**

CW : GLAZING / CURTAIN WALL  
 CN-1 : CANOPY, ALUMINUM BLADES  
 CN-2 : CANOPY, ACM WOOD -LIKE PANEL INFILL  
 MR : PAINTED STEEL GUARDRAIL W/ VERTICAL CABLES  
 CLM : COLUMN W/ WOOD CLADDING  
 WL : WOOD LATTICEWORK

**Primary & Secondary Material Calculations**

**North Façade**

Primary Material	SF	% of Primary
ST-1	3,054 SF	62%
ST-2	1,136 SF	23%
PT	750 SF	15%
<b>Total</b>	<b>4,940 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
Total	0 SF	0%
<b>Total</b>	<b>4,940 SF</b>	<b>100%</b>

**East Façade**

Primary Material	SF	% of Primary
ST-1	175 SF	8%
ST-2	2,075 SF	92%
PT	0 SF	0%
<b>Total</b>	<b>2,250 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
Total	0 SF	0%
<b>Total</b>	<b>2,250 SF</b>	<b>100%</b>

**South Façade**

Primary Material	SF	% of Primary
ST-1	2,466 SF	61%
ST-2	831 SF	21%
PT	750 SF	19%
<b>Total</b>	<b>4,047 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
Total	0 SF	0%
<b>Total</b>	<b>4,047 SF</b>	<b>100%</b>

**West Façade**

Primary Material	SF	% of Primary
ST-1	150 SF	8%
ST-2	1,764 SF	92%
PT	0 SF	0%
<b>Total</b>	<b>1,914 SF</b>	<b>100%</b>

Secondary Material	SF	% of Secondary
Total	0 SF	0%
<b>Total</b>	<b>1,914 SF</b>	<b>100%</b>

**Overall Material Calculations**

**North Façade**

Material	SF	% of Overall Façade
CW	9,354 SF	52%
MP-1	1,201 SF	7%
MP-2	1,785 SF	10%
CN	790 SF	4%
ST-1	3,054 SF	17%
ST-2	1,136 SF	6%
PT	750 SF	4%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>18,069 SF</b>	<b>100%</b>

**East Façade**

Material	SF	% of Overall Façade
CW	3,261 SF	43%
MP-1	518 SF	7%
MP-2	600 SF	8%
CN	241 SF	3%
ST-1	175 SF	2%
ST-2	2,075 SF	27%
PT	750 SF	10%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>7,619 SF</b>	<b>100%</b>

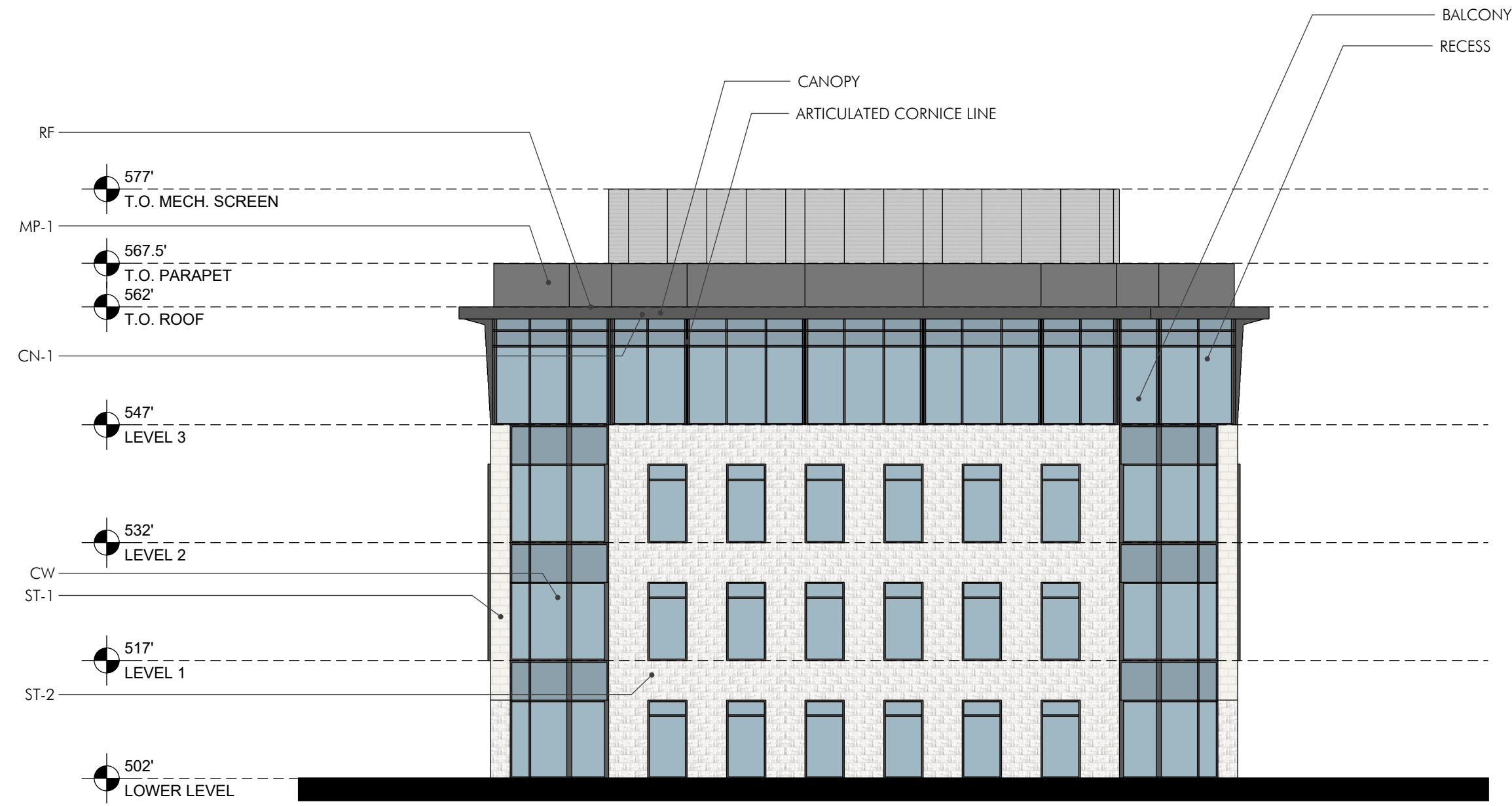
**South Façade**

Material	SF	% of Overall Façade
CW	7,667 SF	51%
MP-1	1,205 SF	8%
MP-2	1,609 SF	11%
CN	421 SF	3%
ST-1	2,466 SF	16%
ST-2	831 SF	6%
PT	750 SF	5%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>14,950 SF</b>	<b>100%</b>

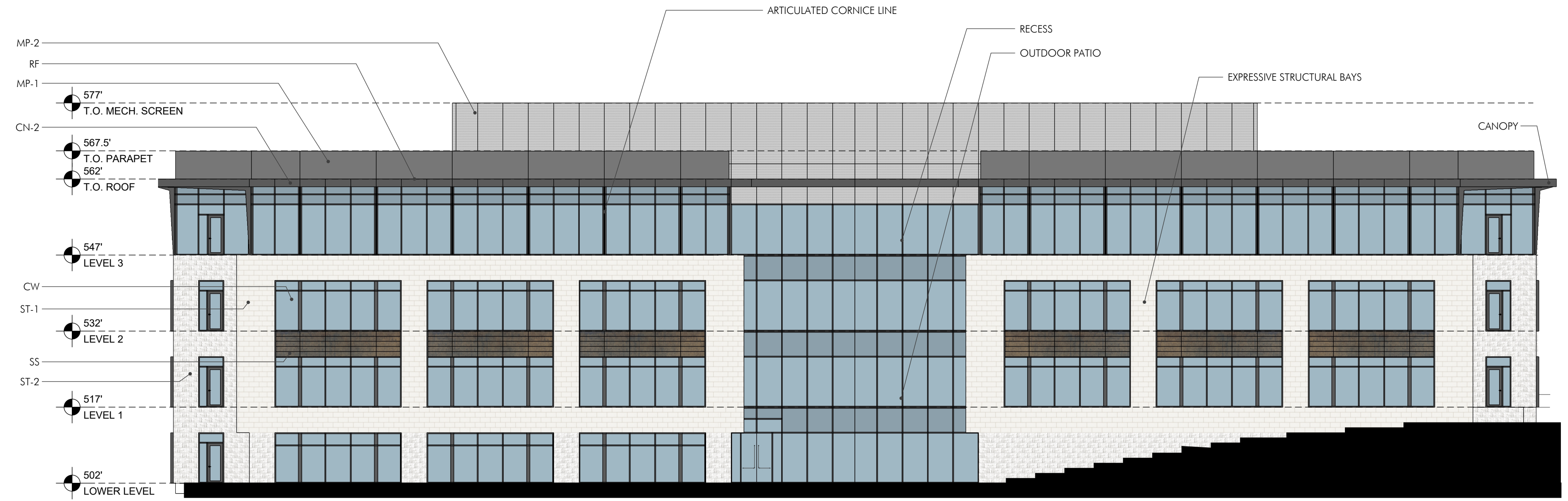
**West Façade**

Material	SF	% of Overall Façade
CW	2,131 SF	40%
MP-1	518 SF	10%
MP-2	600 SF	11%
CN	210 SF	4%
ST-1	150 SF	3%
ST-2	1,764 SF	33%
PT	0 SF	0%
<b>OVERALL FAÇADE SURFACE AREA</b>	<b>5,373 SF</b>	<b>100%</b>

**ELEVATIONS WITH BALCONIES, CANOPIES, TRELLIS, & LATTICE WORK NOT SHOWN**



**3 EAST ELEVATION BUILDING STRUCTURE**  
Scale: 1/16" = 1'



**1 NORTH ELEVATION BUILDING STRUCTURE**  
Scale: 1/16" = 1'



**4 WEST ELEVATION BUILDING STRUCTURE**  
Scale: 1/16" = 1'



**2 SOUTH ELEVATION BUILDING STRUCTURE**  
Scale: 1/16" = 1'





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION MEMORANDUM

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**FROM:** Ryan Miller, *Director of Planning and Zoning*  
**DATE:** June 25, 2019  
**SUBJECT:** MIS2019-001; *Land Use Assumptions Report*

---

At the last Capital Improvements Advisory Committee (CIAC) meeting on May 28, 2019, the CIAC was presented with preliminary information from the City's consultants concerning the pending *2019 Impact Fee Update*. One aspect of the update is the *Land Use Assumptions Report*, which was prepared *in-house* by City staff. This report serves as the basis for all decision making regarding the preparation of impact fees and the capital improvement plan for water, wastewater and roadway facilities. As was presented in the meeting, staff projects the City's growth rate at a Compound Annual Growth Rate (CAGR) of three (3) percent, which is lower than the previous four (4) percent used by the *Land Use Assumptions Report* approved with the *2014 Impact Fee Update*. Staff decided to use this more conservative estimate based on an examination of the City's growth rates over a period from 2000-2018. Contained in this report is the methodology used by staff to make projections for population and employment over the next ten (10) years and at ultimate build out.

At the meeting on June 25, 2019, staff will present the methodology for the attached report, the ten-year growth projections, and the build out analysis contained in the report. Based on this information and the projected three (3) percent CAGR used by staff, the CIAC will be asked to make a motion concerning the acceptance of the *Land Use Assumptions Report*. The growth rate and the acceptance of the report are discretionary decisions for the CIAC; however, staff is confident in the accuracy of the report and would recommend the CIAC consider adopting the report as drafted and with the three (3) percent CAGR. In preparation for this meeting, please review the attached *Land Use Assumptions for Impact Fees Report*, and be prepared to discuss and make comments regarding the assumptions contained in the report.



---

# Land Use Assumptions For Impact Fees

2019 ROADWAY &  
WATER/WASTEWATER  
FEE UPDATE

CITY OF ROCKWALL  
PLANNING & ZONING DEPARTMENT

JANUARY 2019

---

# ACKNOWLEDGEMENTS

## CITY COUNCIL

- JIM PRUITT, *MAYOR*
- KEVIN FOWLER, *MAYOR PRO-TEM*
- JOHN HOHENSHELT
- BENNIE DANIELS
- DANA MACALIK
- TRACE JOHANNESSEN
- PATRICK TROWBRIDGE

## CAPITAL IMPROVEMENT ADVISORY COMMITTEE

### [PLANNING AND ZONING COMMISSION]

- JOHNNY LYONS, *CHAIRMAN*
- ERIC CHODUN, *VICE-CHAIRMAN*
- ANNIE FISHMAN
- MARK MOELLER
- JERRY WELCH
- TRACEY LOGAN
- JOHN WOMBLE

## STAFF MEMBERS BY DEPARTMENT/DIVISION

### PLANNING AND ZONING DIVISION

- RYAN MILLER, AICP, *DIRECTOR OF PLANNING AND ZONING*
- DAVID GONZALES, AICP, *PLANNING MANAGER*
- KOREY BROOKS, AICP, *SENIOR PLANNER*

### GIS DIVISION

- LANCE SINGLETON, *GIS SUPERVISOR*
- LINDSAY HICKS, *GIS ANALYST*
- JORGE RUIZ, *GIS TECHNICIAN*

### ENGINEERING DEPARTMENT

- AMY WILLIAMS, PE, *CITY ENGINEER/DIRECTOR OF PUBLIC WORKS*
- JEREMY WHITE, PE, *ENGINEER*
- SARAH HAGER, *EIT*

### BUILDING INSPECTIONS DEPARTMENT

- JEFFERY WIDMER, *CHIEF BUILDING OFFICIAL*

## ADDITIONAL ACKNOWLEDGEMENTS

- BIRKHOFF, HENDRICKS & CARTER, LLP
- FREESE & NICHOLS, INC.



# TABLE OF CONTENTS

FOREWORD.....	2
PURPOSE.....	2
Elements of the Land Use Assumptions Report.....	2
METHODOLOGY.....	3
Land Use Assumptions Report Methodology.....	3
DATA COLLECTION ZONES AND SERVICE AREAS.....	4-6
Data Collection Zones.....	4
Service Areas.....	5
Summary of Data.....	5
BASE YEAR DATA.....	7
Households.....	7
Population.....	7
Employment.....	7
TEN-YEAR GROWTH PROJECTIONS.....	8-10
Growth Assumptions.....	8
Population Growth Rate Analysis.....	8
Projected Population for 2029.....	9
Projected Employment for 2029.....	10
BUILD OUT ANALYSIS.....	11-12
Establishing Households and Population at the City's Build Out.....	11
Establishing Employment at the City's Build Out.....	12
SUMMARY.....	13
APPENDIX A.....	14
Housing, Population, & Employment Data By Roadway Fee Service Area.....	14
APPENDIX B.....	15
Housing, Population, & Employment Data By Water/Wastewater Impact Fee Service Area.....	15
APPENDIX C.....	16
Employment Breakdown Data By Roadway Impact Fee Service Areas.....	16
APPENDIX D.....	17
Employment Breakdown Data By Roadway Impact Fee Service Areas.....	17





## FORWARD

What are *Impact Fees*? *Impact Fees* are charges that are imposed by local governments against new development for the purpose of generating revenue for or to recoup the cost of capital facilities (*i.e. infrastructure*) that are necessitated by and attributable to new development. These fees are generally implemented to reduce the economic burden of a municipality and its taxpayers when addressing the need for adequate capital improvements to accommodate growth. Impact fees are typically paid to a municipality in advance of the completion of a particular development project, and are based on a defined methodology and calculation that is derived from the cost of the facility and the scope/impact of the development.

## PURPOSE

Chapter 395, *Financing Capital Improvements Required by New Development in Municipalities, Counties, and Certain Other Local Governments*, of the Texas Local Government Code outlines the process for adopting and updating impact fees for political subdivisions. On October 20, 2014, the City of Rockwall adopted roadway and water/wastewater impact fees through *Ordinance No. 14-47*. According to the statutory requirements stipulated by the Texas Local Government Code impact fees are required to be updated at a minimum of every five (5) years [§395.052].

In approaching an update to existing impact fees it is important for a city to assess its growth and employment potential, and establish land use assumptions that will guide development for a ten (10) year planning period (*i.e. 2019-2029*) [§395.001(5)]. These land use assumptions form the basis for the preparation of the *Impact Fee Capital Improvement Plan* for water, wastewater, and roadway facilities.

In order to determine the need and timing of capital improvements to serve future development, a rational estimate of the future growth of the City is required. The purpose of this report is to formulate growth and employment projections based upon assumptions pertaining to the type, location, quantity and timing of future development within the City, and to establish and document the methodology used for preparing these land use assumptions.

## ELEMENTS OF THE LAND USE ASSUMPTIONS REPORT

This report contains the following components:

- Methodology: This component of the report contains the systematic and theoretical analysis of the methods and

principals used to prepare the projections and land use assumptions contain within this report.

- Data Collection Zones and Service Areas: This component provides an explanation of the data collection zones (*i.e. Land Use Districts established in the OURHometown 2040 Comprehensive Plan*) and the Roadway, Water and Wastewater Impact Fee Service Areas for capital facilities.
- Base Year Data: This component provides information on population, housing and employment in the City of Rockwall as of January 1, 2019 for each capital facility service area.
- Ten-Year Growth Projections: This component provides assumptions with respect to the population, housing and employment data for the City of Rockwall in ten (10) years (*i.e. 2029*). This information is broken out by the capital facility service area.
- Build Out Analysis: This component provides projections for population, housing and employment under the assumption that the City and its Extraterritorial Jurisdiction (ETJ) are developed to their carrying capacity, or their *Built Out*.
- Summary: This component provides a synopsis of the land use assumptions contained within this report.
- Appendices: This component contains information that was important in deriving the population, housing and employment projections for 2019-2029.



## METHODOLOGY

Building off the base year and build out projections contained in the OURHometown Vision 2040 Comprehensive Plan, and the growth assumptions and capital improvement needs estimated to support future growth, it is possible to develop an impact fee structure that fairly allocates improvement cost to growing areas of the City with relation to the growths' potential impact on the entire infrastructure system. The data contained in this report has been formulated using reasonable and generally accepted planning principles.

These land use assumptions and future growth projections take into consideration several factors influencing development patterns, including:

- The character, type, density and quantity of existing development.
- The current zoning patterns as documented on the City's zoning map and the anticipated future land uses as established in the OURHometown Vision 2040 Comprehensive Plan, which contains the City's Future Land Use Plan.
- The availability of land and infrastructure to support future expansion of development.
- The current and historical growth trends of both population and employment within the City.
- The location and configuration of vacant parcels of land and their ability to support development.
- The growth of employment utilizing previously established and generally accepted data from ESRI's *ArcGIS Business Analyst*.
- Local knowledge concerning future development projects or anticipated development within the city.

## LAND USE ASSUMPTIONS REPORT METHODOLOGY

The following is the general methodology that was used for the preparation of this report:

- (1) Population, housing and employment data was collected from the United States Census Bureau, North Central Texas Council of Governments (NCTCOG), the City of Rockwall's Geographic Information Systems (GIS) Division, the City of Rockwall's Building Inspection Department and other acceptable sources. This information was then analyzed and used to provide base information for all service areas from which projections

could be extrapolated [see *Service Areas and Data Collection Zones*].

- (2) The base year (*i.e. January 1, 2019*) estimates for housing, population and employment were calculated based on the information collected [see *Base Year Data*].
- (3) From the base year and the information gathered from various sources a growth rate was established by examining recent growth trends experienced by the City over the last ten (10) years. This growth rate was then applied to each of the impact fee service areas to project the base year data over the ten (10) year planning period (*i.e. 2019-2029*) [see *Ten Year Growth Assumptions*].
- (4) After the projections for housing, population and employment were prepared for the ten (10) year planning period, city staff made adjustments to account for known or anticipated development activity within the planning periods. In making these adjustments city staff took into consideration the recommendations made within the newly adopted OURHometown Vision 2040 Comprehensive Plan, existing public works data, and demographic information provided by the GIS Division and the Building Inspections Department.
- (5) Finally, the City's *Build Out* projections for housing, population and employment were calculated by establishing the City's carrying capacity in terms of developable acres and projecting population forward using the previously established Compound Annual Growth Rate (CAGR) to establish a *Build Out Year*. The housing and employment information were then projected to the *Build Out Year* [see *Build Out Projections*].



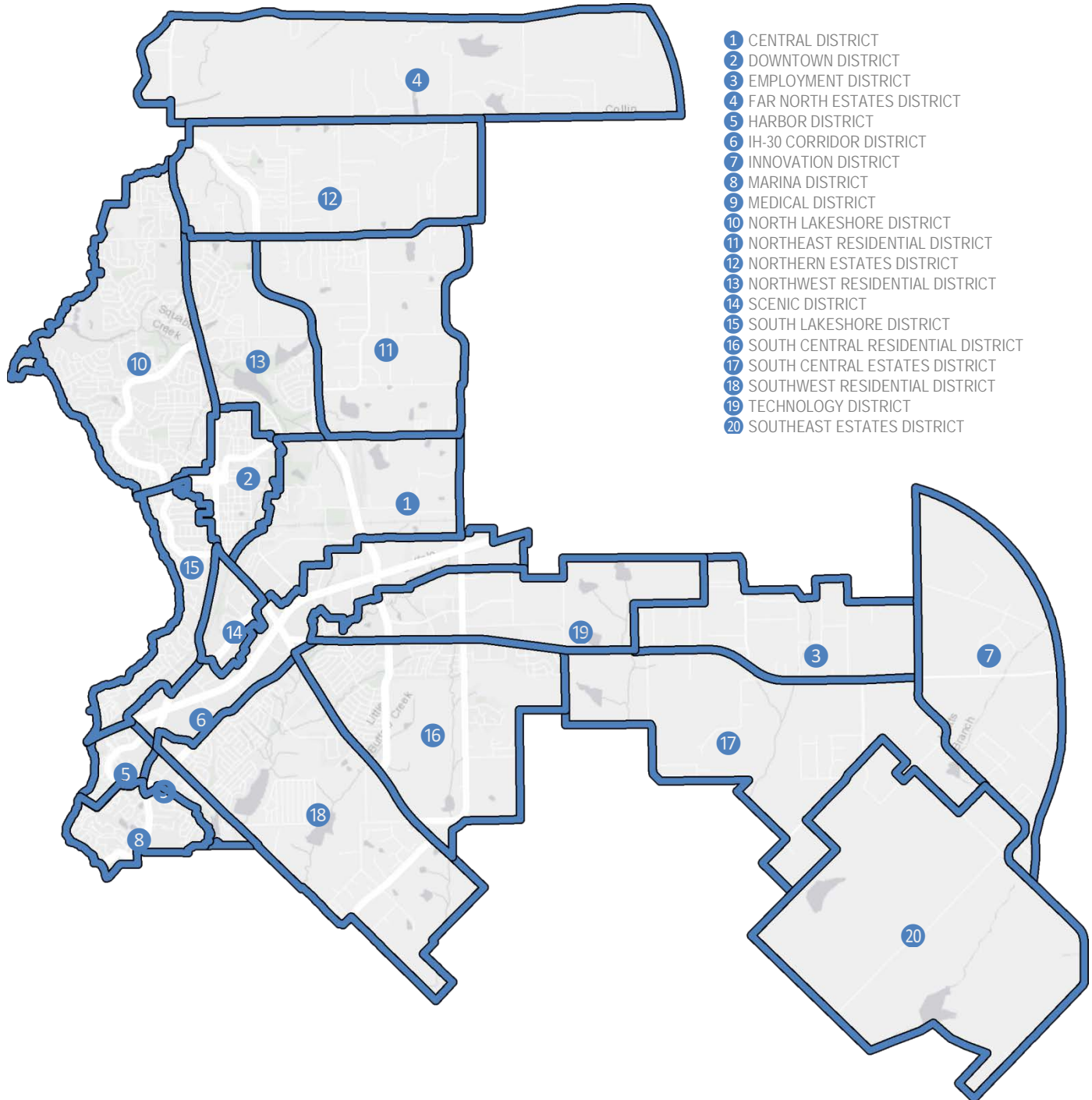
# DATA COLLECTION ZONES AND SERVICE AREAS

## DATA COLLECTION ZONES

The *Data Collection Zones* used for this study were taken from the OURHometown Vision 2040 Comprehensive Plan, which breaks the City down into 20 *Land Use Districts* (see Figure 1). These districts were created as a way of breaking down the overall *Future Land Use Plan* to create strategies to help manage growth and land uses in the future. They were also intended to be used as a tool by the City's various boards, commissions and the City Council when contemplating policy changes that could affect certain areas of the City.

**FIGURE 1: DATA COLLECTION ZONES**

*NOTE: The Data Collection Zones are the Land Use Districts contained in the OURHometown Vision 2040 Comprehensive Plan.*







## SERVICE AREAS

The Texas Local Government Code (TLGC) requires that service areas be established within the corporate boundaries of a political subdivision for the purpose of ensuring that capital improvements service the areas generating need. The boundaries for impact fees are defined as follows:

- Roadway Impact Fees refers to a service area that is limited to the corporate boundaries of a political subdivision or city, and cannot extend into the Extraterritorial Jurisdiction (ETJ) or for a distance exceeding more than six (6) miles. The City of Rockwall is divided into four (4) service areas that are depicted in Figure 3.
- Water and Wastewater Impact Fees refers to a service area that includes a city's corporate boundaries and Extraterritorial Jurisdiction (ETJ), which is depicted in Figure 2. This service area is depicted in Figure 4.

## SUMMARY OF DATA

As opposed to the databases calculated in 2007 and 2013 -- which utilized Traffic Survey Zones (TSZ) as the data collection zones -- the current database utilizes the following geographic areas:

- Land Use Districts from the OURHometown Vision 2040 Comprehensive Plan. These geographic areas better conformed to the City's corporate boundaries, and were drafted with the OURHometown Vision 2040 Comprehensive Plan as the geographic regions intended to be used for all future long-range planning/data collection exercises.
- Service Areas. The Service Areas correlate to the Water, Wastewater and Roadway Service Areas identified in Figures 3 & 4. As previously stated, the corporate boundaries of the City of Rockwall serve as the limits for the Roadway Service Areas and the Water and Waste Water Service Areas include the corporate boundaries and the Extraterritorial Jurisdiction (ETJ) of the City.

Additionally, all databases and projections utilized the following variables:

- Households (2019). The *Residential Address Point* feature class in the City's Geographic Information Systems (GIS) software includes all residential addresses (i.e. *single-family, duplex, multi-family, group home/quarters, etc.*) existing as of January 1, 2019. The total number of residential address points (i.e. *households*) was queried from this layer to establish the base years' numbers.

FIGURE 2: CITY OF ROCKWALL CITY LIMITS AND EXTRATERRITORIAL JURISDICTION (ETJ)  
NOTE: The City Limits of Rockwall are depicted in RED. The Extraterritorial Jurisdiction (ETJ) is depicted in BLUE.

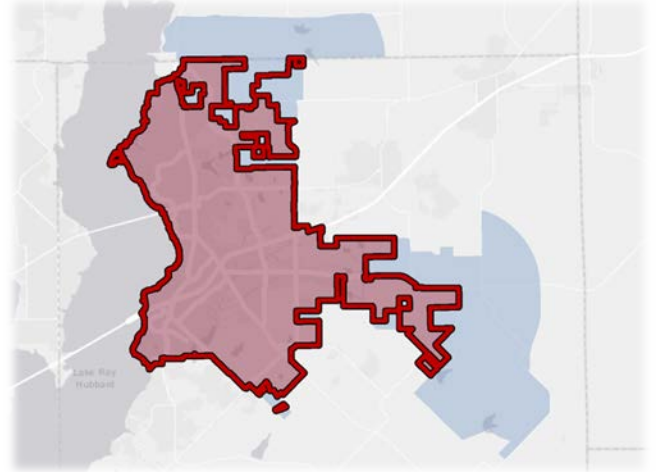


FIGURE 3: ROADWAY SERVICE AREAS  
*This is the derived service area structure for roadway facilities. These service areas conform to the current city limits of the City of Rockwall and are divided by John King Boulevard and Interstate Highway 30.*  
NOTE: RED: Service Area 1; BLUE: Service Area 2; GREEN: Service Area 3; YELLOW: Service Area 4

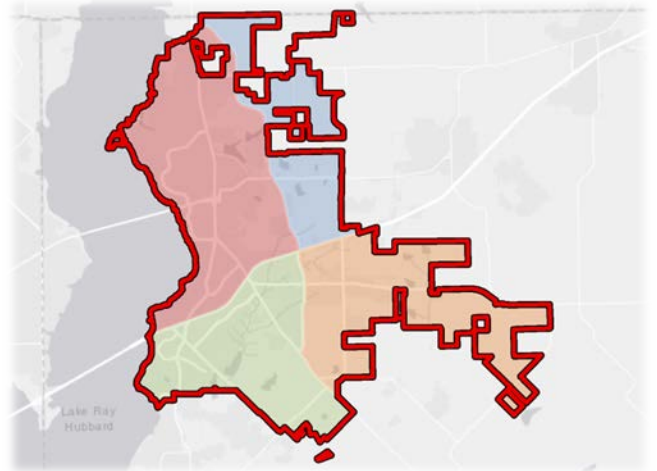
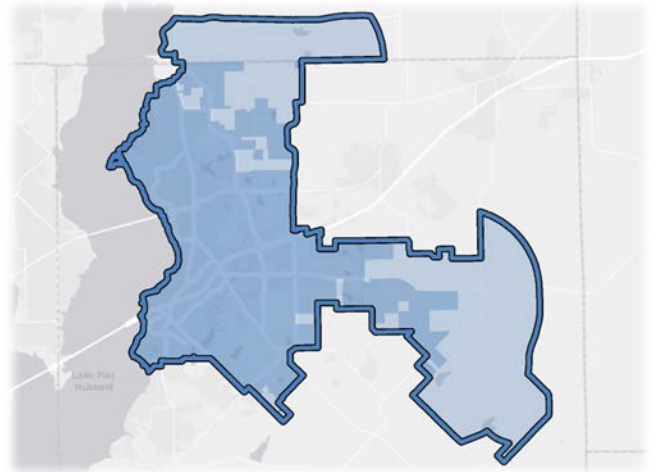


FIGURE 4: WATER/WASTE WATER SERVICE AREAS  
*This is the derived service area structure for water/wastewater facilities. These service areas conform to the current city limits and Extraterritorial Jurisdiction (ETJ).*  
NOTE: BLUE: Service Area





- *Households (2029)*. This is the projected household data by service area for the year 2029, which represents a ten (10) year growth projection. This information was derived by staff using the stated databases and proper projection techniques.
- *Population (2019)*. This is the existing population for the base year (i.e. 2019). This information was calculated utilizing the number of households existing as of January 1, 2019, the occupancy, rate and the average household size as established by the United States Census Bureau for each Census Block.
- *Population (2029)*. This is the projected population by service area for the year 2029, which represents a ten (10) year growth projection. This information was derived by staff using the stated databases and proper projection techniques.
- *Employment (2019)*. Employment data was aggregated to three (3) employment sectors, which include *Basic*, *Retail* and *Service* as provided by the Business Analyst tool available from ESRI (*the City's provider for its geospatial database software*). These service sectors serve as the basis for non-residential trip generation. The following is a summary of these employment sectors followed by corresponding North American Industry Classification System (NAICS) code:
  - *Basic*. Land use activities that produce goods and services such as those that are exported outside the local economy. These include manufacturing, construction, transportation, wholesale trade, warehousing and other industrial uses (NAICS Code: #210000 - #422999).
  - *Retail*. Land use activities that provide for the retail sale of goods that primarily serve households and whose location choice is oriented toward the residential sector. These include uses such as grocery stores, restaurants, etc. (NAICS Code: #440000 - #454390).
  - *Service*. Land use activities that provide personal and professional services. These include such uses as financial, insurance, government, and other professional and administrative offices (NAICS Code #520000 - #928199).
- *Employment (2029)*. The projected employment data was aggregated to three (3) employment sectors, which include *Basic*, *Retail* and *Service* as provided by the Business Analyst tool available from ESRI. These service sectors were then projected by service

area to the year 2029, which represents a ten (10) year growth projection. This information was derived by staff using the stated databases and proper projection techniques.



## BASE YEAR DATA

This section documents the methods used to derive the base year data for the City of Rockwall as of January 1, 2019. This *benchmark* information provides data for the corporate limits and Extraterritorial Jurisdiction (ETJ) of the City, and creates a starting point in which to extrapolate the ten (10) year growth projections that are depicted in the following section (see *Ten-Year Growth Projections*). This information was initially developed with the OURHometown Vision 2040 Comprehensive Plan, but has been updated to include the additional growth that has taken place since the original numbers were derived and the numbers for January 1, 2019.

### HOUSEHOLDS

Utilizing the City's Geographic Information System (GIS) software, the residential addresses for each data collection zone (*i.e. Land Use Districts*) were queried. This provided the raw housing data that was then reviewed to remove any vacant lots or anomalies in the data set. Based on this process, the City of Rockwall was shown to have 16,690 households inside the City's corporate limits and 1,700 households in the City's Extraterritorial Jurisdiction (ETJ) as of January 1, 2019. The total number of households is 18,390. Staff should note that this query included all residential housing types (*i.e. multi-family, single-family, and group homes*) from the data sets.

### POPULATION

The City of Rockwall generally uses the North Central Texas Council of Government's (NCTCOG) population estimates as the City's official population; however, for the purposes of this planning study it was necessary to calculate a baseline population that was specific to January 1, 2019. This was also necessary in order to estimate the population of the City's Extraterritorial Jurisdiction (ETJ).

To calculate the population as of January 1, 2019, the City's Geographic Information Systems (GIS) Division utilized the following formula to derive the population estimate for each of the data collection zones:

$$\sum_{d=1}^{20} POP = ((a * o) * f)$$

Where:

POP = Population as of January 1, 2019

d = Land Use District

a = Number of Residential Address Points in Each District

o = Occupancy Rate [per U.S. Census Bureau]

f = Density Factor per Census Block [U.S. Census Bureau]

Using this methodology the base year population as of January 1, 2019 was established to be 44,575 residents inside the corporate limits and 5,041 people residing in the Extraterritorial Jurisdiction (ETJ).

### EMPLOYMENT

The base employment data was calculated using ArcGIS *Business Analyst*, which is software that provides location-based market information. Utilizing this tool, the City's Geographic Information Systems (GIS) Division was able to query employment and business information relating to each data collection zone (*i.e. Land Use District*). This information was then broken down into one (1) of the three (3) employment categories (*i.e. Basic, Service, or Retail*). Based on the analysis, the City's corporate limits were shown to have a total employment of 24,083 jobs on January 1, 2019. Of the total employment 2,505 jobs were classified as *Basic*, 12,403 jobs were classified as *Service*, and 9,175 jobs were classified as *Retail*. The Extraterritorial Jurisdiction (ETJ) was shown to have an additional 643 jobs, with 535 jobs being classified as *Service* and 108 jobs being classified as *Retail*. In addition, the GIS Division calculated the total non-residential building square footages (*i.e. improvements*) relating to all of these employment types at ~14,444,596 SF inside the City's corporate boundaries and Extraterritorial Jurisdiction (ETJ), with ~3,209,401 SF being classified as *Basic*, ~5,374,068 SF being classified as *Service*, and ~5,861,127 SF being classified as *Retail*. The total non-residential square footage of land area 139,424,433.67 (or 3,200.74-acres), with 11,967,581.81 SF being classified as *Basic*, 58,451,896.18 SF being classified as *Service*, and 69,004,955.68 SF being classified as *Retail*.



# TEN-YEAR GROWTH PROJECTIONS

## GROWTH ASSUMPTIONS

In this planning study, growth is characterized in two (2) forms: 1) Population (*i.e. residential land use*), and 2) Employment (*i.e. non-residential land use*). To calculate a reasonable growth rate for population and employment it was necessary for staff to make a series of assumptions on which to base the ten (10) year growth projections. These assumptions are summarized as follows:

- Future growth identified within this study will conform to the *Future Land Use Plan* depicted in the OURHometown Vision 2040 Comprehensive Plan.
- Infrastructure will continue to be development driven, and the City will continue to be able to finance any other necessary improvements needed to accommodate future growth.
- School facilities will continue to be sufficient to accommodate any increases in population.
- Densities will generally conform to the land classifications and *District Strategies* identified within the OURHometown Vision 2040 Comprehensive Plan, and as depicted on the Future Land Use Map.
- The residential and non-residential carrying capacity for the City or its *build out* will occur simultaneously.

The ten (10) year projections for population are based on the growth rate, which was previously discussed and staff's consideration of past development trends. The ten (10) year projections for employment are based on the overall carrying capacity for non-residential development compared to the current non-residential development in the City. *Tables 1 & 2* detail the ten (10) year projections for households, population and employment for the service areas associated with roadway and water/wastewater impact fees.

## POPULATION GROWTH RATE ANALYSIS

The City of Rockwall has experienced steady residential population growth (*see Figure 5*) over the last 18-years and -- *with the City being ~48.29% vacant and taking into account the City's current availability of water and wastewater infrastructure* -- staff anticipates that the population growth will continue to be fairly steady. It should be noted, however, that the City has seen a slight decline in the population growth percentage over the last five (5) years. From 2000 to 2018, the population growth percentage was 5.08%, but when looking at the last five (5) years this number drops to 1.79% (*see Table 3*).

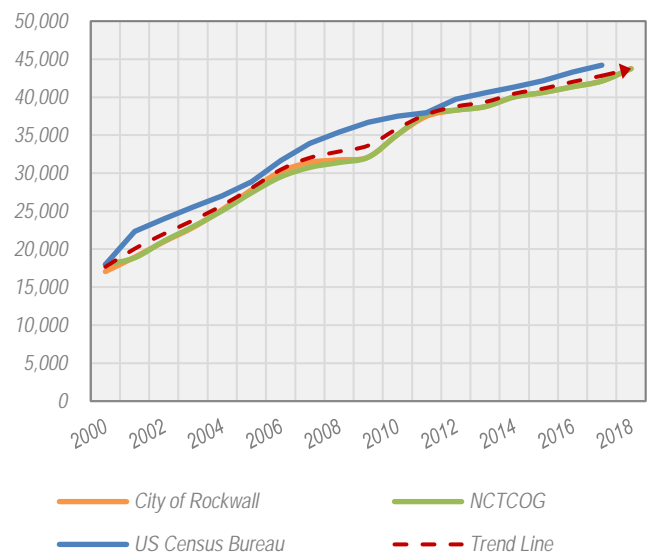
TABLE 1: SUMMARY OF TEN-YEAR GROWTH (ALL ROADWAY SERVICE AREAS)

	2019	2029	Increase
Households	16,690	22,135	24.60%
Population	44,575	59,898	25.58%
Total Employment	24,083	32,366	25.59%
Basic	2,505	3,367	25.60%
Service	12,403	16,669	25.59%
Retail	9,175	12,330	25.59%

TABLE 2: SUMMARY OF TEN-YEAR GROWTH (WATER/WASTE WATER SERVICE AREA)

	2019	2029	Increase
Households	18,390	26,609	30.89%
Population	49,616	73,228	32.24%
Total Employment	25,369	34,065	25.53%
Basic	2,505	3,367	25.60%
Service	13,473	18,082	25.49%
Retail	9,391	12,616	25.56%

FIGURE 5: POPULATION BY AGENCY, 2000-2018



To calculate the ten (10) year population projections, City staff utilized the *Compound Annual Growth Rate (CAGR)* method. CAGR allows for a general assessment of growth when considering periodic increases and decreases in residential



population growths that coincide with changing economic conditions. The formula for CAGR is as follows:

$$CAGR = \left(\frac{x}{y}\right)^{\left(\frac{1}{n}\right)} - 1$$

Where:

CAGR = Compound Annual Growth Rate

x = End Value

y = Beginning Value

n = Number of Years

In 2007, a CAGR of four (4) percent was used to calculate the ten (10) year population projections; however, based on the five (5) year annual growth rate and the number depicted in Table 3, staff utilized a more conservative three (3) percent annual growth rate. In assessing the past growth rates, staff used several sources including the North Central Texas Council of Governments (NCTCOG), the U.S. Census Bureau, and the City of Rockwall. Based on a three (3) percent CAGR, the following chart shows the anticipated population growth over the next ten (10) years:

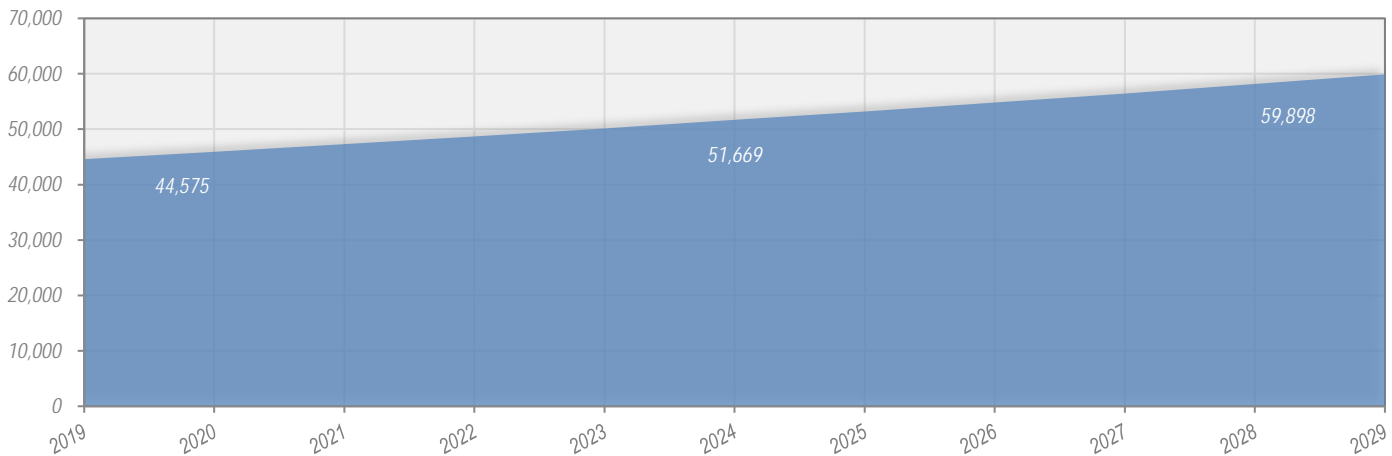
**TABLE 4: TEN (10) YEAR POPULATION GROWTH**

This table shows the projected ten (10) year population growth at a three (3) percent Compound Annual Growth Rate (CAGR).

Year	Population
2019	44,575
2020	45,907
2021	47,284
2022	48,703
2023	50,164
2024	51,669
2025	53,219
2026	54,815
2027	56,460
2028	58,154
2029	59,898

**FIGURE 6: TEN (10) YEAR POPULATION GROWTH**

This chart shows the projected ten (10) year population growth at a three (3) percent Compound Annual Growth Rate (CAGR).



**TABLE 3: CITY OF ROCKWALL GROWTH RATES**

Data Source	Growth Rate
2014 – 2017 US Census	1.70%
2010 – 2017 US Census	2.08%
2000 – 2017 US Census	5.13%
2014 – 2018 Single Family Permits	1.82%
2010 – 2018 Single Family Permits	4.80%
2000 – 2018 Single Family Permits	-2.93%
Future Growth Projection	3.0%

## PROJECTED POPULATION FOR 2029

Utilizing the three (3) percent Compound Annual Growth Rate (CAGR) established in the previous section, staff projects that the population for the City will be 59,898 in 2029 (see Table 4 and Figure 6). This estimate does appear to be consistent with trends that have been observed at the county and regional level (see Figure 7 for a comparison of the City's population growth versus the County's population growth). Although, the growth rate has slowed over the last five (5) years this is seen as a temporary trend and not a sign indicative of the City's future growth trend.

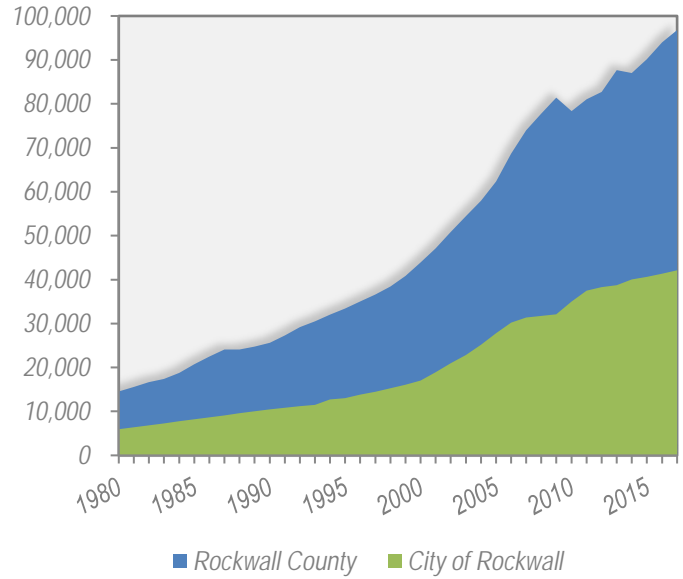
In determining this population projection, staff observed how this projection would relate to the City's projected building permits, and the additional population added to the City on an annual basis (see Table 5). Taking this into consideration, the estimated average annual building permits anticipated over this time period is approximately 522. This represents a decrease of approximately 121 permits annually from the estimates completed in 2014. This estimate -- while still likely high in some years due to shifts in market demand -- is a more conservative estimate than what was used in 2014. It should be noted that this estimate takes into consideration the type of development likely to occur in a given area (i.e. single-family or multi-family).



**TABLE 5: PROJECTED BUILDING PERMITS**

Year	Population	New Residents	New Building Permits
2019	44,575	825	294
2020	45,907	1,332	474
2021	47,284	1,377	490
2022	48,703	1,419	505
2023	50,164	1,461	520
2024	51,669	1,505	536
2025	53,219	1,550	552
2026	54,815	1,597	568
2027	56,460	1,644	585
2028	58,154	1,694	603
2029	59,898	1,745	621
Average Number of Annual Permits:			522

**FIGURE 7: CITY POPULATION VS COUNTY POPULATION, 1980-2017**



### PROJECTED EMPLOYMENT FOR 2029

Employment data for the year 2029 was calculated by taking the information established in the base year analysis -- which was obtained through the ArcGIS Business Analyst tool -- and the corresponding ratio of employment to population, and extrapolating this information out to January 1, 2029. These estimates are summarized in Appendix C, *Employment Breakdown by Roadway Service Area*, and Appendix D, *Employment Breakdown by Water/Wastewater Service Area*.



## BUILD OUT ANALYSIS

A *Build Out Projection* for a city (also referred to as the city's *Carrying Capacity*) is an estimate of the location and density of all potential development, employment and population that a city can support within its future corporate boundaries.

### ESTABLISHING HOUSEHOLDS AND POPULATION AT THE CITY'S BUILD OUT

As part of the newly adopted OURHometown Vision 2040 Comprehensive Plan, City staff calculated the number of households and residents at *Build Out*. In establishing the City's households and population at *Build Out* staff made the following assumptions:

- All vacant or undeveloped land within the City's corporate boundaries will develop with the maximum density permitted for the current zoning per the Unified Development Code (UDC).
- All Agricultural (AG) District property is assumed to be vacant or undeveloped and will develop at the maximum density permitted in accordance to the property's designation on the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan.
- All property within the Extraterritorial Jurisdiction (ETJ) is assumed to be vacant and will be developed in conformance with the Future Land Use Map at the maximum density permitted by the OURHometown Vision 2040 Comprehensive Plan.
- The City's ETJ is fixed and will not increase in the future.

Taking these assumptions into consideration, staff utilized Geographical Information Systems (GIS) software to calculate all the undeveloped land within the city's corporate boundaries, including the ETJ. Once calculated the acreages were broken down by land use and multiplied by the maximum density permitted for each of the land uses as established within the Unified Development Code (UDC) and the Comprehensive Plan. These totals were then multiplied by the average people per household [*i.e.* 2.81 per the US Census Bureau] to establish the unadjusted population at *Build Out*. Staff then reviewed the projected densities coupled with current land use patterns, and adjusted the numbers to account for known or anticipated development activity. Based on the final *Build Out* population (*i.e.* 149,525), staff projected the population forward using the previously established three (3) percent Compound Annual Growth Rate (CAGR) [*see the Ten-Year Growth Assumptions section*] until the build out population was reached (*see Table 6*). This established a build out year of 2060. The following formula lays out the methodology used to calculate these numbers:

**TABLE 6: PROJECTED POPULATION @ 3% COMPOUND ANNUAL GROWTH (CAGR)**

Year	Population	New Residents
2018	43,750	1,630
2019	44,570	820
2020	45,907	1,337
2021	47,284	1,377
2022	48,703	1,419
2023	50,164	1,461
2024	51,669	1,505
2025	53,219	1,550
2026	54,815	1,597
2027	56,460	1,644
2028	58,154	1,694
2029	59,898	1,745
2030	61,695	1,797
2031	63,546	1,851
2032	65,453	1,906
2033	67,416	1,964
2034	69,439	2,022
2035	71,522	2,083
2036	73,667	2,146
2037	75,877	2,210
2038	78,154	2,276
2039	80,498	2,345
2040	82,913	2,415
2041	85,401	2,487
2042	87,963	2,562
2043	90,602	2,639
2044	93,320	2,718
2045	96,119	2,800
2046	99,003	2,884
2047	101,973	2,970
2048	105,032	3,059
2049	108,183	3,151
2050	111,429	3,245
2051	114,771	3,343
2052	118,215	3,443
2053	121,761	3,546
2054	125,414	3,653
2055	129,176	3,762
2056	133,052	3,875
2057	137,043	3,992
2058	141,154	4,111
2059	145,389	4,235
2060	149,751	BO: 149,525



$$BO = P + CP + EP$$

$$CP = \left( \sum [(LU_1 \times D_1) \dots (LU_x \times D_x)] \right) \times AHS$$

$$EP = (LDR \times 2.5) + (MDR \times 3.5) + (HDR \times 5)$$

Where:

*BO* = Build Out Population

*P* = Population as of January 1, 2019

*CP* = Population of Vacant or Undeveloped Land in the City Limits

*EP* = Population of Vacant or Undeveloped Land in the ETJ

*LU* = Vacant Available Land Inside the City Limits for a Land Use

*D* = Maximum Density Permitted for a Land Use per UDC

*AHS* = Average Household Size [2.81185 per US Census Bureau]

*LDR* = Low Density Residential Acreage Available in ETJ

*MDR* = Medium Density Residential Acreage Available in ETJ

*HDR* = High Density Residential Acreage Available in ETJ

## ESTABLISHING EMPLOYMENT AT THE CITY'S BUILD OUT

To calculate employment at *Build Out*, staff utilized the employment numbers calculated with the base year analysis, and -- based on the estimated current year population -- calculated ratios between employment and population for the City and its Extraterritorial Jurisdiction (ETJ). These ratios were then used to extrapolate the number of employees for basic, service and retail sectors for the ten (10) year and build out projections.





## SUMMARY

The following is a summary of staff's findings when preparing the *Land Use Assumption Report* in preparation for the update of the Roadway, Water and Wastewater Impact Fees for 2019:

- The average annual growth rate as calculated by staff is three (3) percent. This growth rate was established based on data from the US Census, North Texas Council of Governments (NCTCOG), the City and County of Rockwall. Using this growth rate staff projected the following population numbers:
  - The population of the City of Rockwall as of January 1, 2019 was 44,691. This is expected to increase by 25.39% in the next ten (10) years to an estimated 59,898 by January 1, 2029.
  - The population for the City of Rockwall and its Extraterritorial Jurisdiction (ETJ) as of January 1, 2019 was 49,743. This is expected to increase by 32.07% in the next ten (10) years to an estimated 73,228 by January 1, 2029.
- The estimated employment for the City of Rockwall as of January 1, 2019 was 24,083 jobs, with another 1,286 jobs existing within its Extraterritorial Jurisdiction (ETJ). Staff estimates this number to climb to 32,366 jobs within the current city limits, and another 1,699 jobs within the current Extraterritorial Jurisdiction (ETJ) by January 1, 2029.
- Staff has established that there are currently 8,204.17 undeveloped acres of land within the city limits. This represents ~48.29% of the current land in the City. Additionally, the City of Rockwall has access to another 14,083.24-acres of land within its current Extraterritorial Jurisdiction (ETJ). Approximately 75.11% (10,577.67-acres) of the land within this area is vacant.
- According to staff's estimate, the City of Rockwall is expected to be built out in the year 2060, with a total population of 149,525.



# APPENDIX A: SUMMARY OF ROADWAY SERVICE AREAS

## SERVICE AREA 1

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
Central District	216	455	2,332	427	899	3,134	816	1,714	4,331
Downtown District	971	2,332	3,105	1,056	2,519	4,173	1,060	2,531	5,767
IH-30 Corridor District	-	-	2,825	-	-	3,797	-	-	5,247
North Lakeshore District	3,884	11,081	944	4,318	12,324	1,269	4,326	12,350	1,753
Northern Estates District	3	9	4	12	34	5	184	513	7
Northwest Residential District	1,422	3,974	667	2,291	6,401	896	2,324	6,493	1,239
Scenic District	1,084	2,280	1,161	1,217	2,559	1,560	1,248	2,624	2,156
South Lakeshore District	1,578	3,317	968	1,578	3,317	1,301	1,595	3,352	1,798
	9,158	23,448	12,006	10,898	28,053	16,135	11,553	29,577	22,298

## SERVICE AREA 2

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
IH-30 Corridor District	1	3	205	-	-	276	-	-	381
South Central Estates District	37	112	122	148	448	164	2,504	7,611	227
South Central Residential District	795	2,417	-	1,487	4,522	-	2,399	7,293	-
Technology District	47	100	824	162	367	1,107	1,748	4,760	1,530
	880	2,632	1,151	1,797	5,336	1,547	6,651	19,664	2,138

## SERVICE AREA 3

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
Harbor District	552	1,255	2,766	1,040	2,364	3,717	1,713	3,893	5,137
IH-30 Corridor District	-	-	2,613	-	-	3,512	-	-	4,853
Marina District	1,423	3,441	630	1,525	3,702	847	1,537	3,734	1,170
Medical District	-	-	1,897	-	-	2,549	-	-	3,523
South Central Residential District	1,089	3,310	371	1,089	3,310	499	1,089	3,310	689
Southwest Residential District	2,257	7,260	1,900	3,695	11,847	2,553	3,943	12,509	3,529
Technology District	615	1,292	63	618	1,298	85	658	1,383	117
	5,936	16,558	10,240	7,966	22,520	13,762	8,940	24,829	19,018

## SERVICE AREA 4

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
Central District	92	193	167	182	382	224	349	735	310
IH-30 Corridor District	-	-	71	-	-	95	-	-	132
Northeast Residential	361	1,009	438	762	2,129	589	1,786	4,988	813
Northern Estates District	263	735	10	529	1,478	13	1,066	2,984	19
	716	1,937	686	1,473	3,990	922	3,201	8,707	1,274
GRAND TOTAL	16,690	44,575	24,083	22,135	59,898	32,366	30,345	82,777	44,728



## APPENDIX B: SUMMARY OF WATER/WASTEWATER SERVICE AREA

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	HU	POP	EMP	HU	POP	EMP	HU	POP	EMP
Central District	308	648	2,499	609	1,281	3,358	1,165	2,449	4,641
Downtown District	971	2,332	3,105	1,056	2,519	4,173	1,060	2,531	5,767
Employment District	314	971	880	532	1,645	1,162	630	1,952	5,538
Far North Estates District	230	674	96	676	1,980	127	4,426	12,950	-
Harbor District	552	1,255	2,766	1,040	2,364	3,717	1,713	3,893	5,741
IH-30 Corridor District	1	3	5,714	-	-	7,679	-	-	10,612
Innovation District	268	822	66	794	2,438	87	5,323	16,407	415
Marina District	1,423	3,441	630	1,525	3,701	847	1,537	3,734	1,170
Medical District	-	-	1,897	-	-	2,549	-	-	3,523
North Lakeshore District	3,884	11,081	944	4,317	12,324	1,269	4,326	12,350	1,753
Northeast Residential District	629	1,758	438	1,244	3,476	589	2,384	6,658	813
Northern Estates District	512	1,439	14	1,090	3,065	19	2,626	7,390	26
Northwest Residential District	1,422	3,974	667	2,291	6,401	896	2,324	6,493	1,239
Scenic District	1,084	2,280	1,161	1,217	2,558	1,560	1,248	2,624	2,156
South Lakeshore District	1,578	3,317	968	1,578	3,317	1,301	1,595	3,352	1,798
South Central Residential District	1,970	5,987	371	3,265	9,923	499	3,618	10,998	689
South Central Estates District	315	956	366	824	2,502	486	3,760	11,428	1,762
Southwest Residential District	2,267	7,286	1,900	3,772	12,068	2,553	4,229	13,344	3,529
Technology District	662	1,392	887	780	1,665	1,192	2,406	6,143	1,647
Southeast Estates District	-	-	-	-	-	-	8,168	24,829	441
	18,390	49,616	25,369	26,609	73,228	34,064	52,538	149,525	53,262



# APPENDIX C: EMPLOYMENT BREAKDOWN BY ROADWAY SERVICE AREAS

## SERVICE AREA 1

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
Central District	973	633	726	1,308	851	976	1,807	1,176	1,348
Downtown District	608	1,104	1,393	817	1,484	1,872	1,129	2,050	2,587
IH-30 Corridor District	599	916	1,310	805	1,231	1,761	1,112	1,701	2,433
North Lakeshore District	-	608	336	-	817	452	-	1,129	624
Northern Estates District	-	4	-	-	5	-	-	7	-
Northwest Residential District	-	531	136	-	714	183	-	986	253
Scenic District	-	650	511	-	874	687	-	1,207	949
South Lakeshore District	-	572	396	-	769	532	-	1,062	735
	2,180	5,018	4,808	2,930	6,744	6,462	4,049	9,320	8,930

## SERVICE AREA 2

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
IH-30 Corridor District	-	-	205	-	-	276	-	-	381
South Central Estates District	-	94	28	-	126	38	-	175	52
South Central Residential District	-	-	-	-	-	-	-	-	-
Technology District	298	283	243	400	380	327	553	526	451
	298	377	476	400	507	640	553	700	884

## SERVICE AREA 3

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
Harbor District	27	2,456	283	36	3,301	380	50	4,561	526
IH-30 Corridor District	-	845	1,768	-	1,136	2,376	-	1,569	3,284
Marina District	-	267	363	-	359	488	-	496	674
Medical District	-	1,651	246	-	2,219	331	-	3,066	457
South Central Residential District	-	331	40	-	445	54	-	615	74
Southwest Residential District	-	924	976	-	1,242	1,312	-	1,716	1,813
Technology District	-	44	19	-	59	26	-	82	35
	27	6,518	3,695	36	8,760	4,966	50	12,105	6,862

## SERVICE AREA 4

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			PROJECTIONS (JANUARY 1, 2029)			BUILD OUT PROJECTIONS (2060)		
	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
Central District	-	167	-	-	224	-	-	310	-
IH-30 Corridor District	-	-	71	-	-	95	-	-	132
Northeast Residential	-	313	125	-	421	168	-	581	232
Northern Estates District	-	10	-	-	13	-	-	19	-
	-	490	196	-	659	263	-	910	364
<b>GRAND TOTAL</b>	<b>2,505</b>	<b>12,403</b>	<b>9,175</b>	<b>3,367</b>	<b>16,669</b>	<b>12,330</b>	<b>4,652</b>	<b>23,035</b>	<b>17,040</b>



## APPENDIX D: EMPLOYMENT BREAKDOWN BY WATER/WASTEWATER SERVICE AREA

DISTRICTS	ESTIMATES (JANUARY 1, 2019)			ESTIMATES (JANUARY 1, 2029)			BUILD OUT (2060)		
	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL	BASIC	SERVICE	RETAIL
Central District	973	800	726	1,308	1,075	976	1,807	1,486	1,348
Downtown District	608	1,104	1,393	817	1,484	1,872	1,129	2,050	2,587
Employment District	-	742	138	-	980	182	-	4,670	869
Far North Estates District	-	86	10	-	114	13	-	-	-
Harbor District	27	2,456	283	36	3,301	380	50	5,103	589
IH-30 Corridor District	599	1,761	3,354	805	2,367	4,507	1,112	3,271	6,229
Innovation District	-	54	12	-	71	16	-	340	76
Marina District	-	267	363	-	359	488	-	496	674
Medical District	-	1,651	246	-	2,219	331	-	3,066	457
North Lakeshore District	-	608	336	-	817	452	-	1,129	624
Northeast Residential District	-	313	125	-	421	168	-	581	232
Northern Estates District	-	14	-	-	19	-	-	26	-
Northwest Residential District	-	531	136	-	714	183	-	986	253
Scenic District	-	650	511	-	874	687	-	1,207	949
South Lakeshore District	-	572	396	-	769	532	-	1,062	735
South Central Residential District	-	331	40	-	445	54	-	615	74
South Central Estates District	-	282	84	-	375	112	-	1,358	404
Southwest Residential District	-	924	976	-	1,242	1,312	-	1,716	1,813
Technology District	298	327	262	400	439	352	553	607	487
Southeast Estates District	-	-	-	-	-	-	-	189	252
	2,505	13,473	9,391	3,367	18,082	12,616	4,652	29,958	18,651



