

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
FEBRUARY 14, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(2) **Z2022-057 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

(3) **Z2022-059 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

(4) **Z2023-001 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Ali Abedini on behalf of John Fenianos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.20-acre parcel of land identified as Lot 16, Block C, Harborview Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 7 (SF-7) District, addressed as 310 Harborview Drive, and take any action necessary.

(5) **Z2023-002 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a Specific Use Permit (SUP) to allow a New and/or Used Indoor Motor Vehicle Dealership/Showroom on a 1.99-acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development 46 (PD-46) District for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing, and take any action necessary.

- (6) **Z2023-003 (RYAN MILLER)**
 Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.
- (7) **Z2023-004 (RYAN MILLER)**
 Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.
- (8) **Z2023-005 (HENRY LEE)**
 Hold a public hearing to discuss and consider a request by Peter and Janyce Gardner for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District on a 6.019-acre parcel of land identified as Lot 11 of the Dowell Road Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 548 Dowell Road, and take any action necessary.
- (9) **Z2023-006 (HENRY LEE)**
 Hold a public hearing to discuss and consider a request by Harold Fetty of HD Fetty Land Surveyor on behalf of Gene and Brooke Rogers for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District on a 5.41-acre parcel of land identified as a portion of Tract 4-06 and all of Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 626 Cullins Road, and take any action necessary.
- (10) **Z2023-007 (BETHANY ROSS)**
 Hold a public hearing to discuss and consider a request by Urbano Fernandez for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.27-acre parcel of land identified as Lot 905A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 124 Lynne Drive, and take any action necessary.

(V) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

- (11) **P2023-002 (BETHANY ROSS) [TABLED TO THE FEBRUARY 28, 2023 PLANNING AND ZONING COMMISSION MEETING]**
 Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of John Arnold of Quail Hollow SF, LTD for the approval of a Final Plat for the Quail Hollow Subdivision consisting of 250 single-family residential lots on an 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.
- (12) **SP2023-001 (BETHANY ROSS) [TABLED TO THE FEBRUARY 28, 2023 PLANNING AND ZONING COMMISSION MEETING]**
 Discuss and consider a request by Humberto Johnson, Jr. of the Skorburg Company on behalf of John Arnold of Quail Hollow SF, LTD for the approval of a Site Plan for the Quail Hollow Subdivision consisting of 250 single-family residential lots on an 85.63-acre tract of land identified as Tracts 2-01, 2-04, 2-05 & 2-06 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 97 (PD-97) for Single-Family 10 (SF-10) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, generally located at the southeast corner of the intersection of Hays Road and John King Boulevard, and take any action necessary.
- (13) **SP2023-003 (HENRY LEE)**
 Discuss and consider a request by Juan Vasquez of Vasquez Engineering, LLC on behalf of Donald Silverman of Rockwall 205-552, LLC for the approval of a Site Plan for a Daycare with Seven (7) or More Children on a 1.35-acre parcel of land identified as Lot 7, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3255 Dalton Road, and take any action necessary.

(14) **SP2023-004 (BETHANY ROSS)**

Discuss and consider a request by Ibrahim Kassem for the approval of an *Amended Site Plan* for a *Carwash* on a 1.6985-acre parcel of land identified as Lot 1, Block A, Horizon Carwash Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2525 Horizon Road, and take any action necessary.

(VI) DISCUSSION ITEMS

(15) *Director's Report* of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- Z2022-056: SUP for a *Detached Garage* at 835 Clem Road **(APPROVED; 2ND READING)**
- Z2022-058: PD Development Plan for the Harbor Residence Condominiums **(APPROVED; 2ND READING)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Ryan Miller, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 10, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

FEBRUARY 14, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION ITEMS

(1) **SP2023-003 (HENRY LEE)**

Discuss and consider a request by Juan Vasquez of Vasquez Engineering, LLC on behalf of Donald Silverman of Rockwall 205-552, LLC for the approval of a Site Plan for a Daycare with Seven (7) of More Children on a 1.35-acre parcel of land identified as Lot 7, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3255 Dalton Road, and take any action necessary.

(2) **SP2023-004 (BETHANY ROSS)**

Discuss and consider a request by Ibrahim Kassem for the approval of an Amended Site Plan for a Carwash on a 1.6985-acre parcel of land identified as Lot 1, Block A, Horizon Carwash Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2525 Horizon Road, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Ryan Miller, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on February 10, 2023 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Dub Douphrate; *Douphrate & Associates, Inc.*
CASE NUMBER: Z2022-057; *Zoning Change from Agricultural (AG) District to Planned Development District*

SUMMARY

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

BACKGROUND

The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. At the time of annexation the subject property was zoned Agricultural (AG) District. This designation has not changed since annexation, and the subject property has remained vacant.

PURPOSE

On December 12, 2022 the applicant -- *Dub Douphrate of Douphrate & Associates, Inc.* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for General Retail (GR) District and Single-Family 10 (SF-10) District land uses.

ADJACENT LAND USES AND ACCESS

The subject property is generally located in between N. John King Boulevard and N. Stodghill Road, south of SH-66. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is SH-66, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 55.08-acre tract of land zoned Agricultural (AG) District. Following this is a 14.219-acre tract of land zoned Agricultural (AG) District and Planned Development District 93 (PD-93) for Single-Family 10 (SF-10) District land uses.

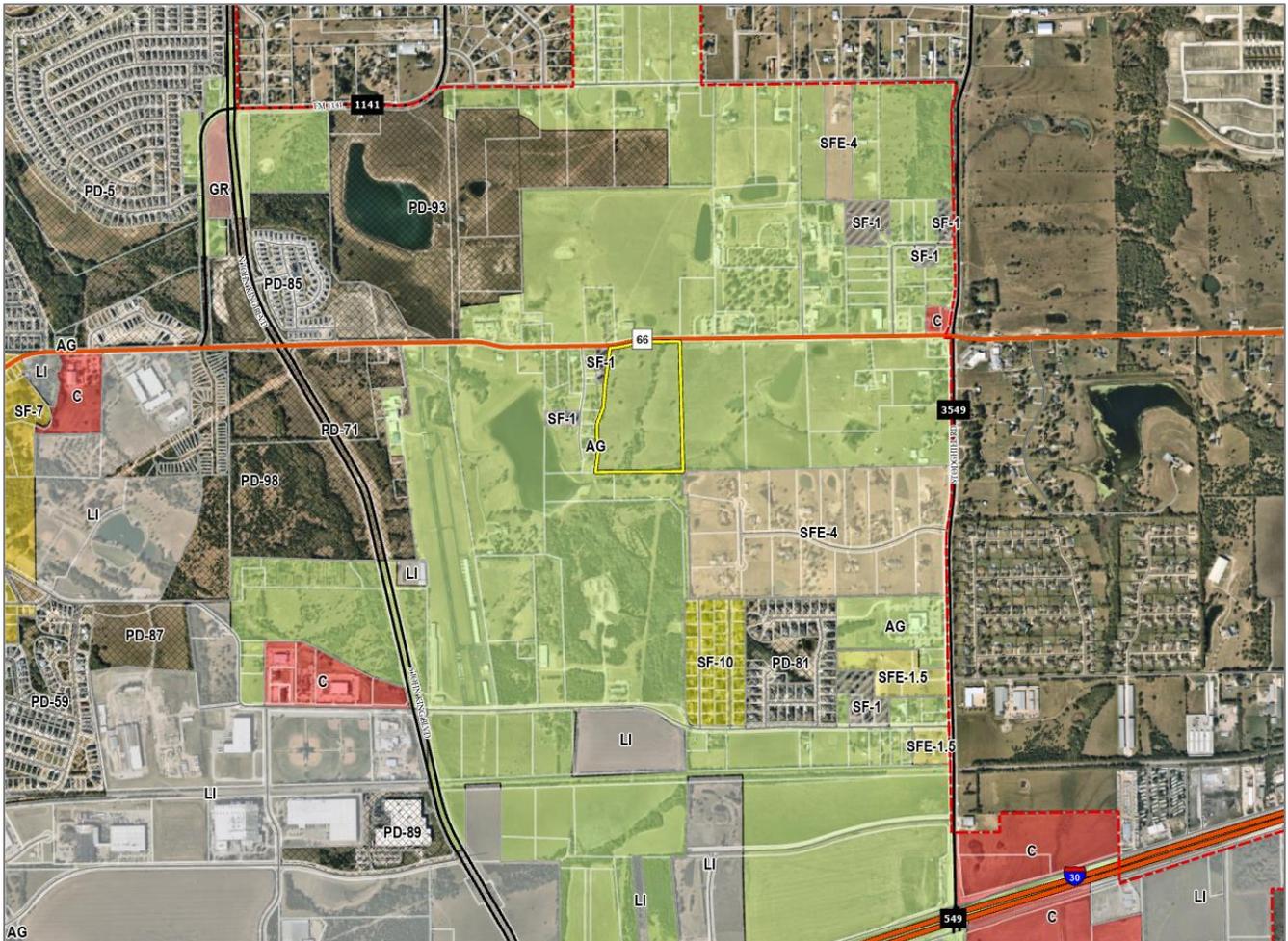
South: Directly south of the subject property are two (2) vacant tracts of land [*i.e. Tracts 17 & 17-1 of the D. H. Survey Abstract No. 102*] zoned Agricultural District. Beyond this is a 64.514-acre tract of land developed with the City of Rockwall's Animal Shelter and Gun Range, which is zoned Agricultural (AG) District.

East: Directly east of the subject property are two (2) vacant tracts of land [*i.e. Tracts 9 & 9-01 of the E. M. E. Survey Abstract No. 77*] zoned Agricultural (AG) District. Beyond this are six (6) tracts of land, four (4) of which are developed with single-family homes [*i.e. 2755 E. SH-66 and 1110 and 1226 N. Stodghill Road*], one (1) of which is vacant [*i.e. Tract 29-2 of the E. M. E. Survey Abstract 77*], and is the last tract being developed with an *Animal Clinic [i.e. 2897 E. SH-66]*. All of these properties are zoned Agricultural (AG) District.

West: Directly west of the subject property are several properties developed with single-family homes that are zoned Agricultural (AG) District and Single-Family 1 (SF-1) District. Beyond this is a 47.89-acre parcel of land developed with the Ralph M. Hall Airport, which is zoned Agricultural (AG) District.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision and non-residential tracts of land. The concept plan shows that the 25.87-acre subject property will consist of six (6) residential lots on 9.49-acres and a 1.68-acre *General Retail* lot. The applicant has submitted a letter requesting that the City Council approve *On-Site Sewage Facilities (OSSF) [or septic systems]* for all lots (i.e. both the residential lots and general retail lot). The purpose of this request is due to the proximity of the subject property to the City's existing sanitary sewer facilities, and the fact that five (5) of the six (6) lots are less than 1.50-acres in size. The proposed number of residential lots translates to a gross density of 0.23 dwelling units per gross acre (i.e. six [6] lots/25.87-acres = 0.2319 dwelling units per gross acre). The minimum dwelling unit size will be 3,000 SF (i.e. air-condition space). With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance; however, the applicant has indicated that these lots will most likely be custom homes built on an individual lot basis. With regard to the anti-monotony and masonry standards, the ordinance will require a minimum of 90% masonry, and be subject to the City's upgraded anti-monotony standards. In addition, the Planned Development District ordinance will incorporate a provision that allows up to 50.00% cementitious fiberboard utilized in a horizontal lap-siding, *board-and-batten* siding, or decorative pattern to allow a variation in the materials throughout the six (6) residential lots. The following are some of the examples showing horizontal lap-siding, *board-and-batten* siding, or decorative patterns that are contained within the Planned Development District ordinance:

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



Looking at the garage orientation proposed for the development, the garage doors will be oriented in a *J-Swing* (or a *Traditional Swing*) configuration or *Recessed Front Entry* configuration (i.e. where the garage door is situated a minimum of 20-feet behind the front façade). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] divided garage bay doors, [2] carriage style hardware and lighting, and [3] decorative wood doors or wood overlays on insulated metal doors. On the following page are some of the examples of the upgrades required in the Planned Development District ordinance.

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 1 (SF-1) District unless otherwise specified in the Planned Development District ordinance. The following

is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: RESIDENTIAL LOT DIMENSIONAL REQUIREMENTS

Minimum Lot Width ⁽¹⁾	70'
Minimum Lot Depth	100'
Minimum Lot Area (SF)	43,560 SF
Minimum Front Yard Setback ⁽²⁾	20'
Minimum Side Yard Setback	6'
Minimum Side Yard Setback (Adjacent to a Street)	20'
Minimum Length of Driveway Pavement	25'
Maximum Height ⁽³⁾	36'
Minimum Rear Yard Setback ⁽⁴⁾	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	3,000 SF
Maximum Lot Coverage	45%

General Notes:

- ^{1:} The *Minimum Lot Width* shall be measured from the *Front Yard Setback*.
- ^{2:} The location of the *Front Yard Building Setback* as measured from the front property line. The front yard building setback shall be increased to a minimum of 50-feet adjacent to homes along SH-66.
- ^{3:} The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ^{4:} The location of the *Rear Yard Building Setback* as measured from the rear property line.

The proposed concept plan shows that the development will consist of a total of 10.93-acres of open space (*i.e.* 4.78-acres outside of the floodplain and 6.15-acres situated within the floodplain), which equates to an open space percentage of 30.38% (*i.e.* $[6.15\text{-acres}/2] + 4.78\text{-acres}/25.87\text{-acres} = 0.30382$ or 30.38%). In addition, the applicant has incorporated a trail system on the concept plan that shows a six (6) foot hike and bike trail will be provided that will bisect the subject property from north to south. Staff should note that this trail is currently indicated on the City’s Master Trail Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

With regard to the proposed 1.68-acre *General Retail* lot depicted on the concept plan, this property will be subject to the density and development standards required for the General Retail (GR) District and the East SH-66 Overlay (E. SH-66 OV) District. These standards are summarized as follows:

TABLE 2: GENERAL RETAIL (GR) DISTRICT LOT DIMENSIONAL REQUIREMENTS

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>
Minimum Lot Area	6,000 SF
Minimum Lot frontage	60-Feet
Minimum Lot Depth	100-Feet
Minimum Front Yard Setback	15-Feet
Minimum Rear Yard Setback	20-Feet
Minimum Side Yard Setback	10-Feet
Maximum Building Height ⁽¹⁾	36-Feet
Max Building/Lot Coverage	40%
Minimum Landscaping Percentage	20%
Maximum Impervious Coverage	85%-90%

General Notes:

- ^{1:} The *Maximum Height* permitted through a Specific Use Permit (SUP) shall be 110-feet for a *Commercial Freestanding Antenna*.

In addition to the residential and commercial land uses proposed by the applicant, the applicant has included a proposed cell tower easement within the General Retail (GR) District lot. The applicant has requested the *Commercial Freestanding Antenna* land use be permitted through a Specific Use Permit (SUP). Staff should point out that the proposed location for the *Commercial Freestanding Antenna* has direct adjacency to an existing single-family home, which is located directly west of the subject property. Staff has included a note within the General Retail (GR) District *Density and Dimensional Requirements*, contained in the draft ordinance, that a *Commercial Freestanding Antenna* can only be approved by Specific Use Permit (SUP) and is capped at 110-feet in height. Typically, these types of facilities are discouraged from locating directly adjacent to or within the City’s

residential areas; however, this aspect of the applicant's request will be discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to be provided to adequately provide public services for the proposed development:

- (1) Roadways. According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan SH-66 is required to be a TXDOT4D (*i.e. a Texas Department of Transportation, four [4] lane, divided roadway*), which requires a 120-foot right-of-way. The applicant will be required to dedicate a minimum of 60-feet of right-of-way from the current centerline of SH-66 and provide a reserve for any additional ROW above and beyond the 120-feet for the future expansion of SH-66.
- (2) Water. The applicant will be required to construct a 12-inch waterline in the future right-of-way of SH-66.
- (3) Wastewater. Each lot will be required to be at a minimum of 1.50-acres for *On-Site Sanitary Facilities (OSSF)* unless the City Council grants the applicant's request to allow these facilities on lots less than 1.50-acres. A 20-foot wide sewer easement must be dedicated per the Master Wastewater Plan.
- (4) Drainage. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Flood Study and a Wetlands and Waters of the United States (WOTUS) Study for the existing ponds and floodplain on the subject property.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) On-Site Sewage Facility (OSSF). Section 44-243, *On-Site Sewage Facility*, of Chapter 44, *Utilities*, of the Municipal Code of Ordinances states that, "(n)o permit for the installation of an on-site sewage facility (OSSF) will be issued for property of less than 1½ acres."

Applicant's Response to (1) & (2): According to the applicant's letter they are requesting the waiver to the alleyways due to the size of the proposed lots. The applicant is also requesting to allow OSSF on lots less than 1.50-acres in size due to the availability of sewer to the subject property.

Staff Response to (1) & (2): The City Council and Planning and Zoning Commission have granted a waiver to the alleyway requirements on similar projects that have incorporated similar concessions (*i.e. conforming garage configurations, upgraded garage doors, and other improvements*) with regard to garage orientation. The City Council has granted *On-Site Sewage Facilities (OSSF)* for residential projects that have incorporated lot sizes less than 1.50-acres, but typically that are larger than one (1) acre. The City Council has not granted OSSF for any non-residential lots in a Planned Development District; however, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Central District and is designated for Low Density Residential land uses. The plan defines Low Density Residential land uses as "... residential subdivisions that are greater than two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses." In this case, the applicant is proposing a total density of 0.23 dwelling units per acre. In addition, the applicant is proposing to incorporate 10.93-acres of open space, a 50-foot landscape buffer between the proposed *General Retail* and residential land uses, and a hike and bike trail. Based on this, the applicant's request is in conformance with the Low Density Residential designation indicated for the subject property; however, the proposed *General Retail* land use will require the City Council to change the future land use map from a Low Density Residential designation to a Commercial/Retail land use designation for the 1.68-acre portion of the subject property. Based on this the applicant's request is discretionary to the City Council and Planning and Zoning Commission.

According to the *District Strategies for Suburban Residential* in the Central District, "... many of the larger tracts in this area are not large enough to support a master planned community ... any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments ..." In this case, the proposed residential lots are large lots that are comparable to the existing surrounding housing. Based on this, the applicant's request appears to be in conformance with the *District Strategies* for the Central District.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals; however, staff did identify the following non-conformities on the original concept plan. Based on these non-conformities, staff provided the below recommendations to the applicant. These recommendations are followed by the applicant's response to each recommendation.

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 7; Goal #2 | Policy #3 (Page 7-1). Continue to develop and plan for an interconnected trail and sidewalk system that promotes connectivity and access to all areas of the City.
- (2) CH. 1; Section 2.03; Goal #2 | Policy #4 (Page 1-2). Commercial developments should be constructed with logical connections and extensions to the City's existing and proposed hike and bike trail.

Staff Response: Staff requested the applicant provide a hike and bike trail to connect the commercial and residential land uses. The applicant has shown a six (6) foot hike/bike trail along the east side of the proposed subdivision that extends the entire length of the subject property.

- (3) CH. 1; Section 2.03; Goal #2 | Policy #2 (Page 1-2). Commercial/retail shopping centers should be screened from residential areas utilizing landscape buffers that are composed of berms, landscaping, and trees.

Staff Response: Staff requested that the applicant provide a 50-foot landscape buffer with a berm, ground cover, shrubs, and canopy trees. The applicant has shown a 50-foot landscape buffer that will include three (3) tiered landscaping. This includes a berm, shrubs, accent trees, and canopy trees.

Taking all of this into account, the applicant's concept plan and proposed density and development standards appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, the addition and location of the proposed *Commercial Freestanding Antenna* and the proposed changes to the *Future Land Use Map* make this request a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 14, 2022, staff mailed 36 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Rolling Meadows Estates Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign

on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Five (5) property owner notifications from three (3) property owners who are in favor of the applicant's request. Staff should note that two (2) of the notices are from the property owner of the subject property for this zoning case.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) The approval of this case will change the area of the proposed General Retail (GR) District and the *Commercial Freestanding Antenna* on the Future Land Use Map from a Low Density Residential land use designation to a Commercial/Retail land use designation.
- (3) The 50-foot landscape buffer that incorporates the three (3) tiered landscaping shall be extended along the western property line of the General Retail (GR) District lot adjacent to the adjoining residential property.
- (4) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Parcel situated in David Harr Survey Abs. 102

SUBDIVISION 25.41 Cain Revocable Trust Property

LOT _____

BLOCK _____

GENERAL LOCATION located east of W.D Boom Add. adjacent to and south of SH 66 centered between J. King Blvd. & 9549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING AG

CURRENT USE AG

PROPOSED ZONING PD

PROPOSED USE PD

ACREAGE 25.41

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Dewayne Cain

APPLICANT Douphrate & Assoc. Inc

CONTACT PERSON _____
ADDRESS 305 Stonebridge Dr

CONTACT PERSON Bob Douphrate
ADDRESS 2235 Ridge Rd

CITY, STATE & ZIP Rockwall, TX 75087

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 214.533.8641

PHONE 972.742.2210

E-MAIL dewaynecain25@outlook.com

E-MAIL wldouphrate@douphrate.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Dewayne Cain [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 581.15 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16 DAY OF December, 2012 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

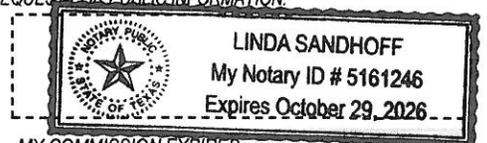
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF Dec, 2021.

OWNER'S SIGNATURE

Dewayne Cain

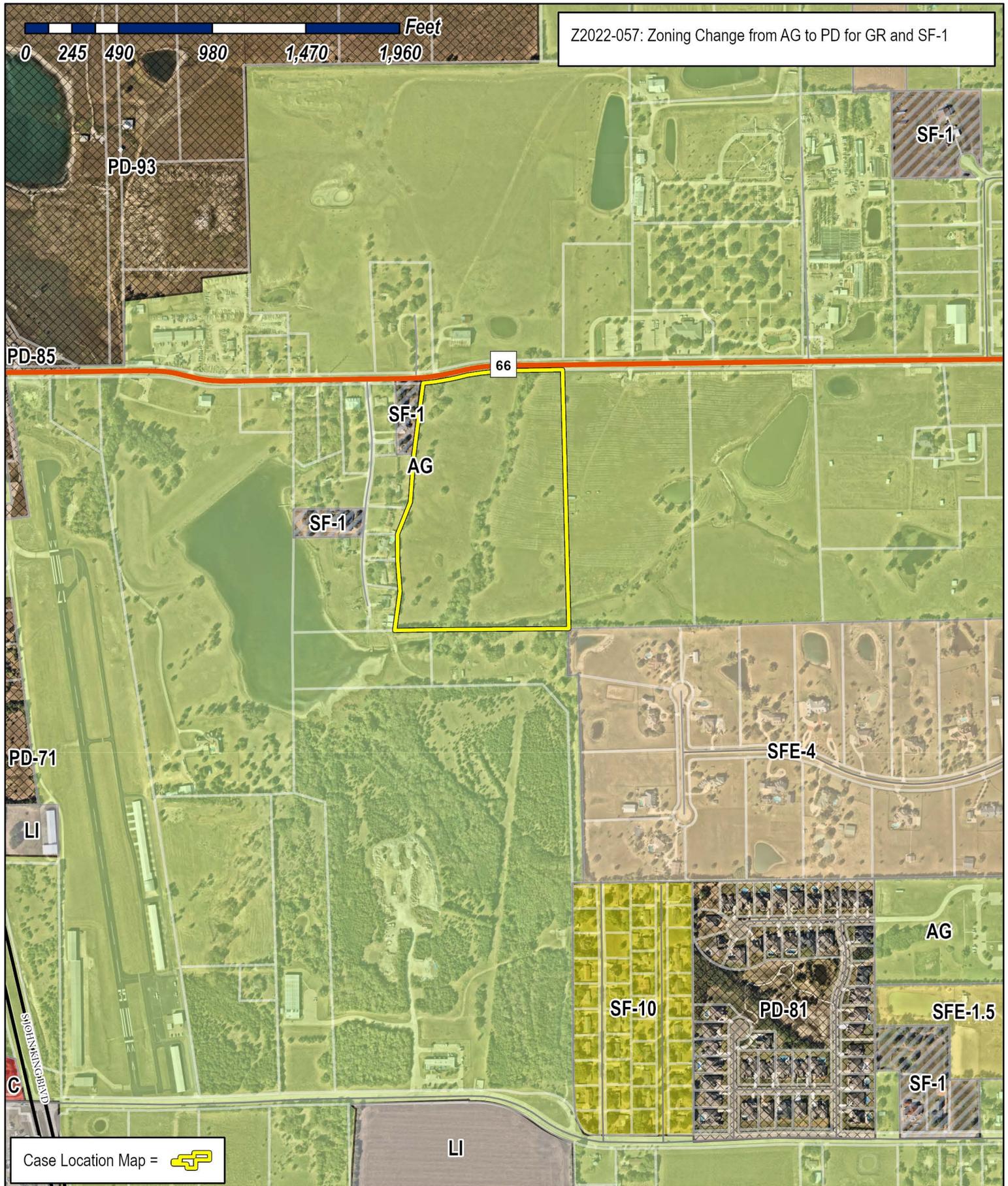
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Linda Sandhoff



MY COMMISSION EXPIRES

Z2022-057: Zoning Change from AG to PD for GR and SF-1



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

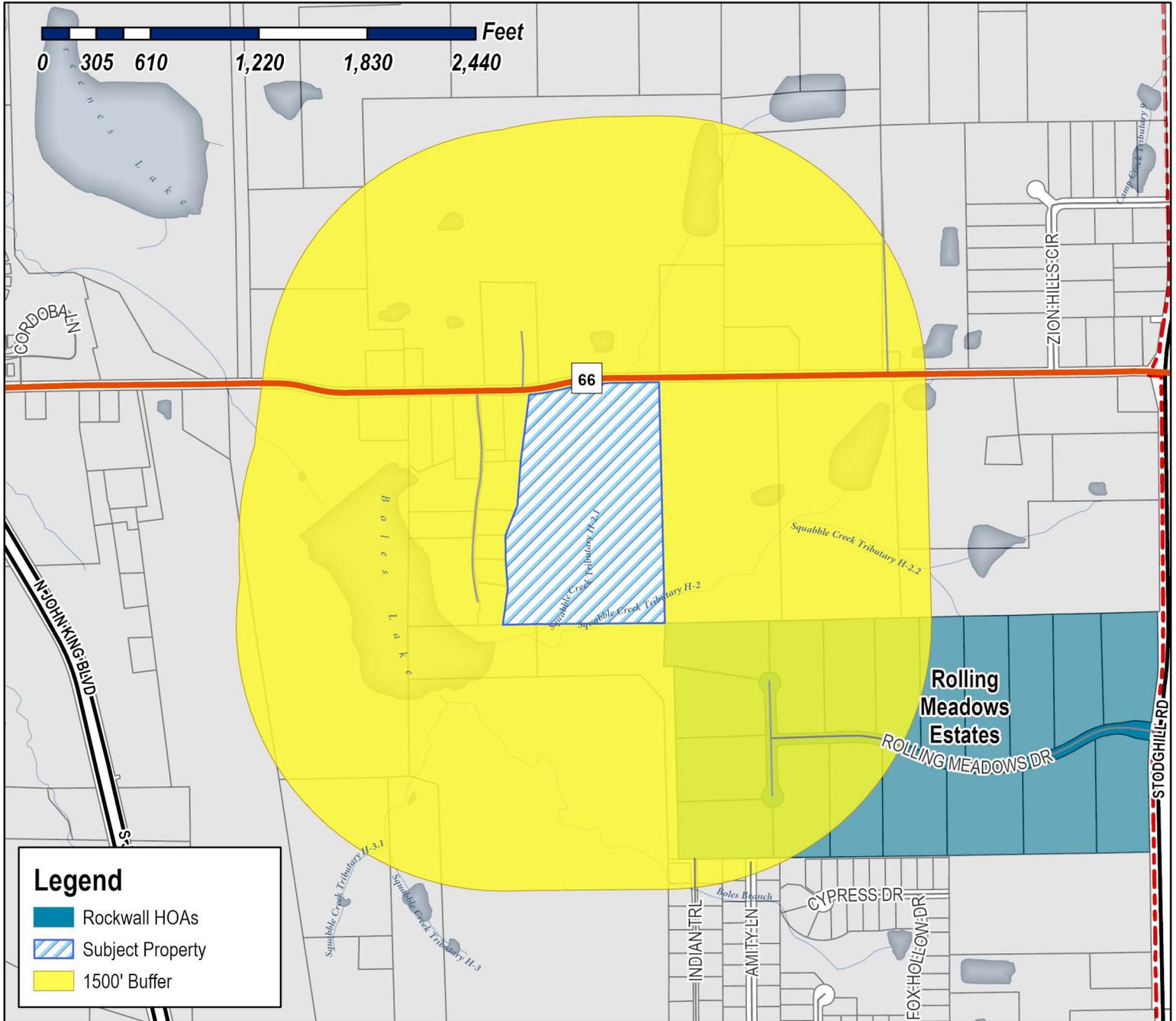




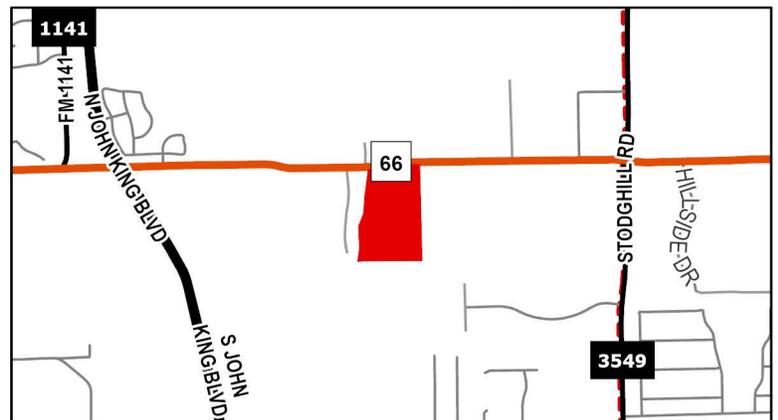
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
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Case Number: Z2022-057
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SE of HWY 66 & John King Blvd



Date Saved: 12/12/2022
 For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:02 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-057]
Attachments: Public Notice Z2022-057.pdf; HOA Map (12.12.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a *Zoning Change* from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

Thank you,

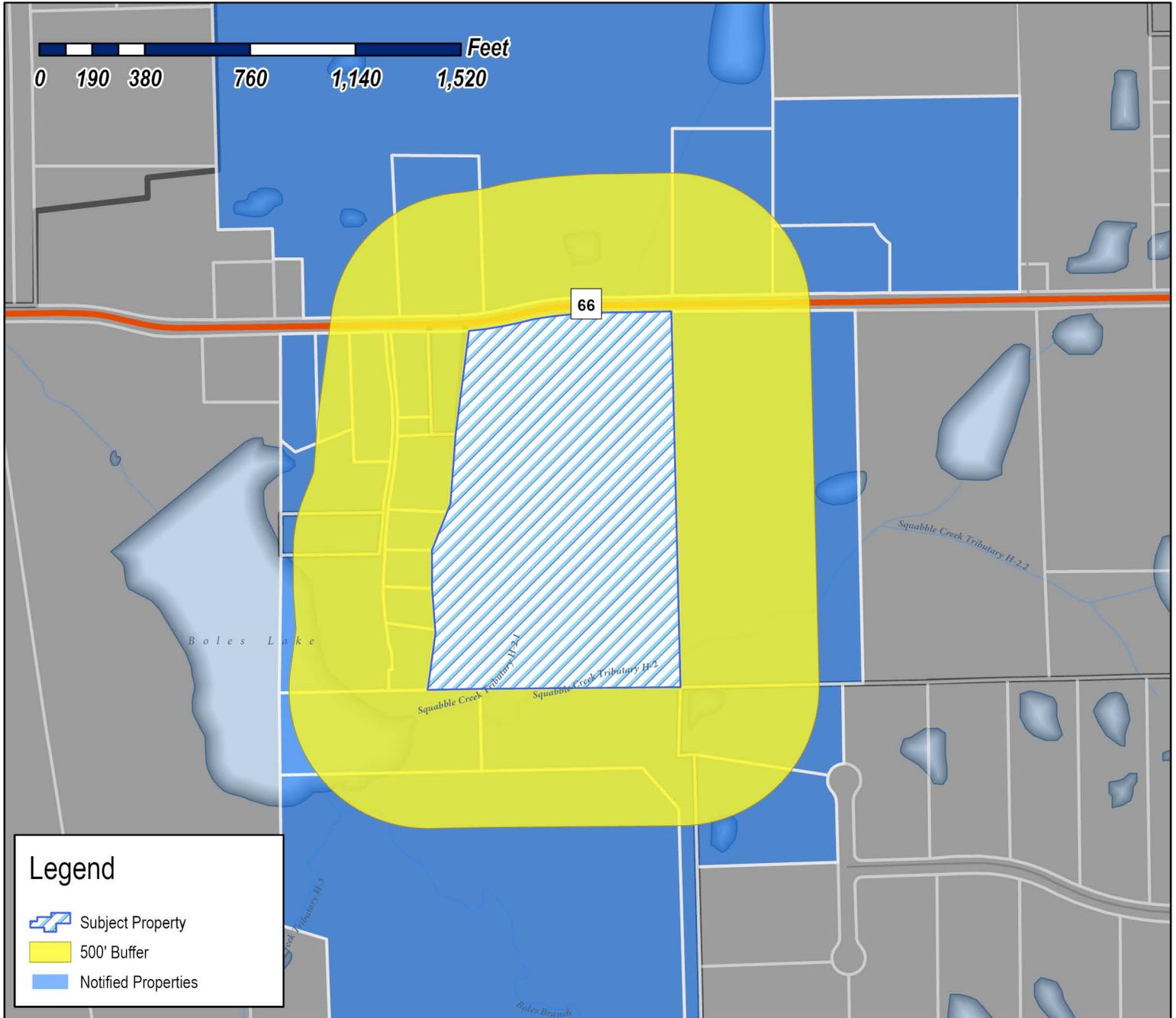
Angelica Guevara
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



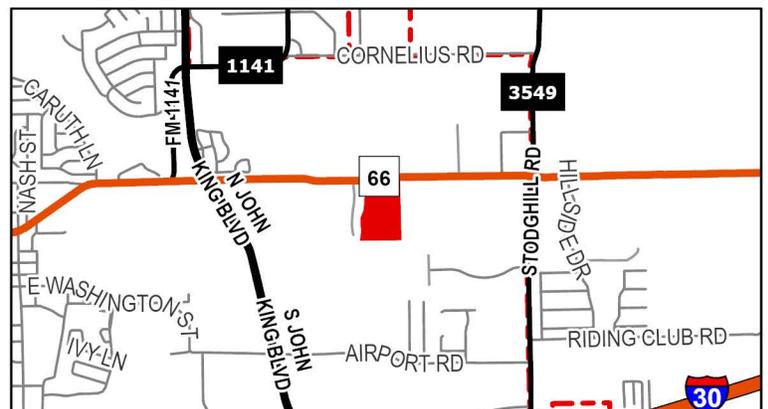
City of Rockwall

Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2022-057
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SE of HWY 66 & John King Blvd



Date Saved: 12/12/2022

For Questions on this Case Call: (972) 771-7746

NELSON MARC J & MICHELLE L
135 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

152 HILL LN
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI
1770 E HWY66
ROCKWALL, TX 75087

COLLIER JUDY KAY AND
THERESA ROBBINS
1780 WILLIAMS ST
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC
1790 WILLIAMS ST
ROCKWALL, TX 75087

RYAN BILL K
1800 WILLIAMS ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
1815 AIRPORT RD
ROCKWALL, TX 75087

SULLIVAN BRETT D & EDNA
195 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
2294 E STATE HIGHWAY 66
ROCKWALL, TX 75087

CARRIAGE MANAGEMENT INC
2500 HWY66
ROCKWALL, TX 75087

CARRIAGE MANAGEMENT INC
3040 POST OAK BLVD SUITE 300
HOUSTON, TX 77056

CARRIAGE MANAGEMENT INC
3040 POST OAK BLVD SUITE 300
HOUSTON, TX 77056

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

CAIN FAMILY PARTNERSHIP LTD
305 STONEBRIDGE DR
ROCKWALL, TX 75087

CUMMINGS JOHN & LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

RYAN BILL K
330 VZ CR 2207
CANTON, TX 75103

RYAN GARY S AND CONSTANCE E
502 WILLIAMS ST
ROCKWALL, TX 75087

MCILRATH PROPERTIES LLC
636 GRISHAM DR
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE
700 DAVIS DR
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE
700 DAVIS DR
ROCKWALL, TX 75087

SELLERS DONYA BEATRICE
700 DAVIS DR
ROCKWALL, TX 75087

RYAN GARY S AND CONSTANCE E
710 DAVIS DR
ROCKWALL, TX 75087

MOCK ALYSSA
720 DAVIS DR
ROCKWALL, TX 75087

MA MICHAEL D AND CAROLINE J G MOORE
725 DAVIS DR
ROCKWALL, TX 75087

DAILEY MARK L
730 DAVIS DR
ROCKWALL, TX 75087

SARACAY JOSELIN E LANDAVERDE AND
JOSE ANTONIO LANDAVERDE
735 DAVIS DRIVE
ROCKWALL, TX 75087

RINKEVICH FAMILY LIVING TRUST
JOSEPH W RINKEVICH- TRUSTEE
740 DAVIS DR
ROCKWALL, TX 75087

RAINES SHERYL
745 DAVIS DR
ROCKWALL, TX 75087

COOK SHERRY LYNN
760 DAVIS DRIVE
ROCKWALL, TX 75087

WIDBOOM ROBBY AND KYLIE
770 DAVIS DR
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND
CREDIT SHELTER TRUST AND SURVIVORS TRUST
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR
ROCKWALL, TX 75087

CAIN CEMETARY CORP
N/A HWY66
ROCKWALL, TX 75087

CAIN CEMETARY CORP
PO BOX 1119
ROCKWALL, TX 75087

RAINES SHERYL
PO BOX 412
ROCKWALL, TX 75087

, 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Hold a public hearing to discuss and consider a request by Dub Douphrate of Douphrate and Associates, Inc. for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development (PD) District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses on a 25.87-acre tract of land identified as parcel of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located southside of SH-66 east of the intersection of SH-66 and Davis Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

PUBLIC NOTICE



CITY OF ROCKWALL
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PLEASE RETURN THE BELOW FORM

Case No. Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Cain Family Partnership (Across St. Hwy 66 From This Zoning Change)
Address: 305 Stonebridge Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

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385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Cain Family Partnership (Property Adjacent To Zoning Change)

Address: 305 Stonebridge Dr.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Chapin, Sarah

From: Donya Sellers <donyasellers@yahoo.com>
Sent: Wednesday, January 4, 2023 11:57 AM
To: Planning
Subject: Case Z2022-057 Zoning Change

I am in favor of the request as this SF land division is the least intrusive to my property

Donya Sellers-Horton
700 Davis Dr, Rockwall TX 75087

[Sent from Yahoo Mail on Android](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Case No. Z2022-057: Zoning Change from AG to PD for GR and SF-1 District land uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: *Hesli Johnson, Rest Haven Funeral Home*

Address: *2500 State Hwy 66 Rockwall TX 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: *Lesli Johnson, Rest Haven Memorial Park*
Address: *2500 Stat Hwy Le6 Rockwall Tx 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Lee, Henry

From: Miller, Ryan
Sent: Monday, February 6, 2023 1:46 PM
To: Lee, Henry
Subject: FW: Zoning Change

For Dewayne's case. Thanks.



RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL
972.772.6441 OFFICE
RMILLER@ROCKWALL.COM
385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES:

- 1) APPOINTED AND ELECTED OFFICIALS: BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.

From: David Rakow <drakow152@sbcglobal.net>
Sent: Monday, February 6, 2023 1:43 PM
To: Miller, Ryan <RMILLER@rockwall.com>
Subject: Zoning Change

Mr. Miller,

My name is David Rakow and I live at 152 Hill LN in Rockwall. I am in favor of the proposed residential development, which includes a retail zoned area where a cell tower would be constructed, directly across the street from my personal residence. I am happy to see that the residential lots are much larger than are currently being approved in our area. My only request is that the cell tower is no higher than the Oncor transmission tower that is on my property and that proper screening is provided. The tower is needed because currently our cell reception is minimal and calls are frequently dropped in this area. It would be great if whichever company installs a cell tower would provide 5G cellular home internet. Currently, everyone in this area can only receive DSL although Spectrum ran a fiber optic line to accommodate the city court building but no one else. AT&T has fiber optic up to the funeral home then stopping and not starting up again until John King Boulevard intersection. Verizon has recently allowed some to use their 5G home cellular internet but it is limited due to the amount of towers they currently have. Needless to say I'm very frustrated that living in the city limits of Rockwall and the best internet I can get is 2 mbps on DSL.

Thanks,

David Rakow

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

November 10, 2022

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, TX 75087

Dear Sirs:

I am requesting a Planned Development on a 25.41-acre tract of land my family trust owns. The property is in the David Harr Survey Abstract #102 and is adjacent to State Highway 66. The property falls within the Rockwall City Limits. The PD will be a mixed-use development consisting of residential lots that are larger than most currently being developed in Rockwall. As a buffer, the front of the property adjacent to State Highway 66 will be zoned commercial.

Respectfully submitted,

Cain Family Revocable Trust

A handwritten signature in blue ink that reads "Dewayne Cain". The signature is written in a cursive style with a large initial "D" and "C".

Dewayne Cain, Trustee

December 5, 2022

Ryan Miller
Director of Planning
City of Rockwall, Texas

Re: Request for On-Site Sewage Facilities for the SH -66 Cain PD Zoning Case Z2022-053

Dear Ryan,

On behalf of Mr. Dewayne Cain, please allow this letter to serve as a formal request to allow on-site sewage facilities for the proposed residential and general retail lots since all the lots exceed the minimum 1.5-acre requirement. We request this waiver due to the size of the general retail and residential estate size lots proposed in this zoning application.

Should you have any questions regarding this request please let me know.

Sincerely,

W.L. Douphrate II

W.L. Douphrate II, P.E.

December 2, 2022

Ryan Miller
Director of Planning
City of Rockwall, Texas

Re: Request for Waiver of Alleys for the SH -66 Cain PD Zoning Case Z2022-053

Dear Ryan,

On behalf of Mr. Dewayne Cain, please allow this letter to serve as a formal request to waive the residential alley requirements as outlined in the City of Rockwall's Standards of Design and Construction Manual. We request this waiver due to the size of the estate size lots proposed in this zoning application.

Should you have any questions regarding this request please let me know.

Sincerely,

W.L. Douphrate II

W.L. Douphrate II, P.E.

STATE OF TEXAS:

COUNTY OF ROCKWALL:

FIELD NOTES:

BEING a 25.41 acre tract of land situated in the David Harr Survey, Abstract No. 102 and being the same tract of land as described in a Warranty Deed from J. Diane Folzenlogen to the Cain Revocable Family Trust as recorded in Volume 3537, Page 162 of the Deed Records of Rockwall, County, Texas and being more particularly described as follows:

BEGINNING at the northeast corner of the Lot 1, Block A of the Widboom Addition, an addition to the City of Rockwall as recorded in Cabinet J, Slide 375 of the Plat Records of Rockwall County, Texas, said point being on the south right-of-way line of S.H. 66 (a 60' wide right-of-way);

THENCE along the south line of said S.H. 66 and along a curve to the left having a central angle of $7^{\circ}13'52''$, a radius of 990.00' and a chord that bears North $82^{\circ}52'21''$ East a distance of 124.86';

THENCE along said curve an arc distance of 124.94' to a TXDOT concrete monument with an aluminum cap stamped "1453";

THENCE North $79^{\circ}08'41''$ East a distance of 127.20' to a TXDOT concrete monument with an aluminum cap stamped "1455", said point being the beginning of a curve to the right having a central angle of $11^{\circ}05'24''$, a radius of 905.00' and a chord that bears North $84^{\circ}41'23''$ East a distance of 174.90';

THENCE along said right-of-way line an arc distance of 175.17' to a busted TXDOT monument found;

THENCE South $89^{\circ}41'47''$ East along said right-of-way line, a distance of 323.43' to a point for a corner, said point being the northwest corner of Tract 2 of a tract of land conveyed to Cain Family Partnership, Ltd. as recorded in Rockwall File Clerk's No. 20170000009797 of the Real Property Records of Rockwall County, Texas (R.P.R.R.C.T.);

THENCE South $00^{\circ}05'21''$ West along the west line of said Tract 2, a distance of 1341.99' to a $\frac{1}{2}$ " iron rod found at the southwest base of a wood fence corner post, said point being the northwest corner of Lot 10 of the revised Final Plat of Rolling Meadows Estates addition, an addition to Rockwall County, Texas as recorded in Cabinet D, Slide 59 of the Plat Records of Rockwall, County, Texas, said point also being the easterly northeast corner of a tract of land conveyed to Donya Beatrice Sellers as recorded in Instrument No. 20170000020261 of the Real Property Records of Rockwall County, Texas;

THENCE South $89^{\circ}34'34''$ West along the north line of said Sellers Tract, a distance of 906.59' to a wooden fence corner post being an "ell" corner of said Sellers tract;

THENCE North $06^{\circ}39'29''$ East along the east line of said Sellers Tract, a distance of 220.86' to a $\frac{1}{2}$ " iron pipe found, said point being the southeast corner of a tract of land conveyed to Gary S. Ryan as recorded in Instrument No. 20170000021114 R.P.R.R.C.T.;

THENCE North $03^{\circ}25'15''$ West a distance of 153.31' to a point for a corner, said point being the northeast corner of said Ryan Tract and the southeast corner of a tract of land conveyed to Alyssa Mock as recorded in Instrument No. 20200000013993 R.P.R.R.C.T.;

THENCE North 05°32'26" East a distance of 135.26' to a point for a corner, said point being the northeast corner of said Mock Tract and the southeast corner of a tract of land conveyed to Mark Dailey as recorded in Volume 2242, Page 276 of the Deed Records of Rockwall County, Texas;

THENCE North 20°09'09" East a distance of 154.69' to a ½" iron rod found for the northeast corner of said Dailey Tract and the southeast corner of a tract of land conveyed to Joseph W. Rinkevich as recorded in Volume 6147, Page 28 of the Deed Records of Rockwall County, Texas;

THENCE North 06°55'10" East a distance of 161.51' to a ½" iron rod found for a corner;

THENCE North 06°48'25" East a distance of 112.14' to a 3/8" iron rod found for the northeast corner of said Rinkevich Tract and the southeast corner of said Widboom Addition;

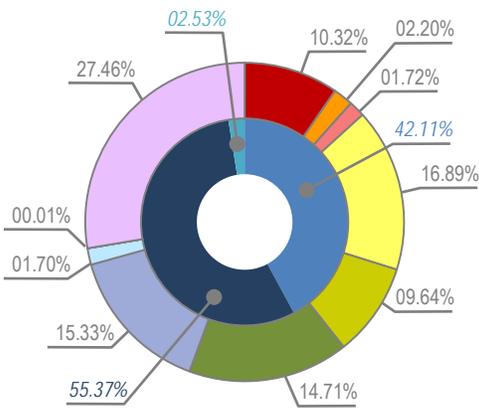
THENCE North 07°10'37" East a distance of 373.75' to the POINT OF BEGINNING and containing 25.41 acres or 1,107,008 square feet of land.

01 CENTRAL DISTRICT DISTRICT STRATEGIES

DISTRICT DESCRIPTION

The *Central District* is composed of a wide range of land uses that vary from single-family to industrial. The district's residential areas consist of suburban residential (e.g. *Park Place*), estate and rural residential (e.g. *Rolling Meadows Subdivision*), and higher density residential developments (e.g. *Evergreen Senior Living*). The *Central District* also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction. The *Ralph Hall Municipal Airport* and several other large public/school facilities are also located within the boundaries of this district.

 John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon



Line Style	Description
Thin pink line	MINOR COLLECTOR
Thick blue line	M4U
Thick orange line	M4D
Thick blue line	P6D
Thin blue line	TXDOT 4D

Dark blue square	COMMERCIAL	55.37%
Light blue square	RESIDENTIAL	42.11%
Light green square	MIXED USE	2.53%

- POINTS OF REFERENCE**
- A. Animal Adoption Center
 - B. Regional Firearms Training Center
 - C. Ralph Hall Municipal Airport
 - D. Leon Tuttle Athletic Complex
 - E. Rockwall County Courthouse
 - F. Utley Middle School
 - G. Park Place Subdivision
 - H. Rolling Meadows Subdivision

CURRENT

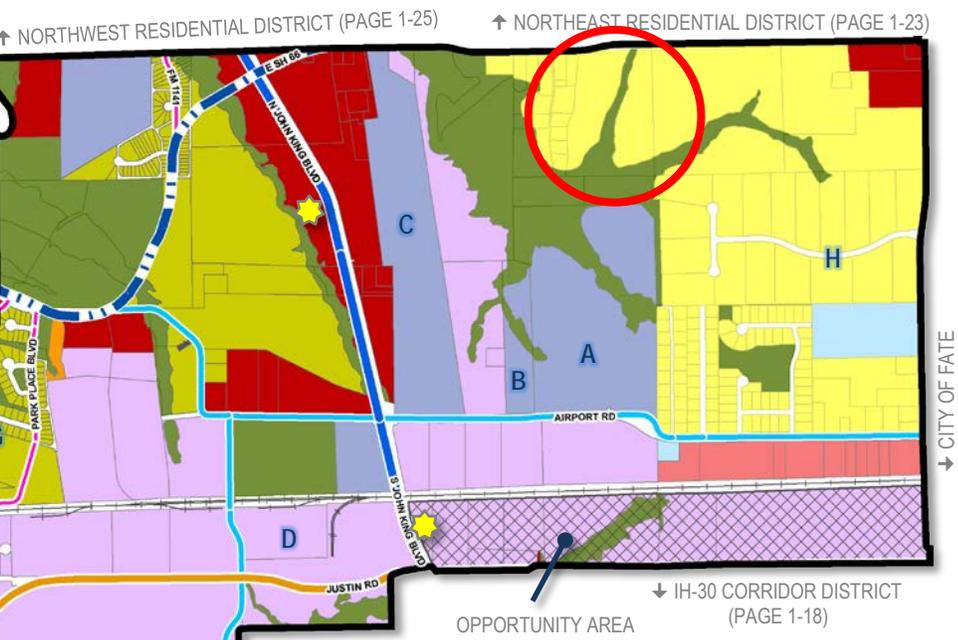
- 220
- 71
- 488

% OF ROCKWALL

- 1.10%
- 3.91%
- 0.82%

BUILD OUT

- 681
- 1,512



	CEMETERY (CEM)	0.18-ACRES
	COMMERCIAL/RETAIL (CR)	143.20-ACRES
	HIGH DENSITY RESIDENTIAL (HDR)	30.58-ACRES
	LIVE/WORK (LW)	23.85-ACRES
	LOW DENSITY RESIDENTIAL (LDR)	234.39-ACRES
	MEDIUM DENSITY RESIDENTIAL (MDR)	133.75-ACRES
	PARKS AND OPEN SPACE (OS)	204.05-ACRES
	PUBLIC (P)	212.77-ACRES
	QUASI-PUBLIC (QP)	23.65-ACRES
	SPECIAL COMMERCIAL CORRIDOR (SC)	0.08-ACRES
	TECHNOLOGY/EMPLOYMENT CENTER (TEC)	381.07-ACRES

- 1 **Live/Work.** The live/work designation in this district is intended to provide flexibility for land owners, adjacent to the railroad tracks, to transition their properties -- *when appropriate* -- to low intensity office/retail land uses that are similar in scale and scope to the adjacent residential properties.
- 2 **Suburban Residential.** While many of the larger tracts in this area are not large enough to support a master planned community (*which is characteristic of Northern Estates and Northwest Residential Districts*), any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should *not* be smaller than existing *Suburban Residential* lots in this district, but should be comparable in size to newer developments (*i.e. Ridgecrest Subdivision*). In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (*e.g. larger lots or a large landscape buffer*) adjacent to the existing subdivision.
- 3 **Commercial/Retail Centers.** The commercial/retail centers in this district are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); however, areas adjacent to John King Boulevard should be capable of accommodating mid to large-scale commercial users. All commercial developments should incorporate appropriate screening (*e.g. berms, landscaping and large buffers*) to transition uses.
- 4 **Industrial/Special Commercial Corridor Opportunity Area.** The area south of the railroad tracks that is indicated by a crosshatched pattern represents an opportunity area in the City of Rockwall. Due to its adjacency to the railroad tracks, the land is naturally suitable for *Technology/Industrial* land uses; however, due to the land's adjacency to strategically located parcels along IH-30 the land could be utilized as part of a larger development in the *Special Commercial Corridor*.
- 5 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR GENERAL RETAIL (GR) DISTRICT AND SINGLE-FAMILY 1 (SF-1) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 25.87-ACRE TRACT OF LAND IDENTIFIED AS TRACT 14 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Dub Douphrate of Douphrate and Associates, Inc. on behalf of Dewayne Cain for the approval of a zoning change from an Agricultural (AG) District to a Planned Development District for General Retail (GR) District and Single-Family 1 (SF-1) District land uses, on a 25.87-acre tract of land identified as Tract 14 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the East SH-66 Overlay (E. SH-66 OV) District, generally located on the southside of SH-66 east of the intersection of SH-66 and Davis Drive, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*,

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'B'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) *Master Parks and Open Space Plan (Residential Only)*
 - (2) *Master Plat (Residential Only)*
 - (3) *Preliminary Plat (Residential Only)*
 - (4) *PD Development Plan (Non-Residential Only)*
 - (5) *PD Site Plan*
 - (6) *Final Plat*
- (c) *Master Parks and Open Space Plan*. A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat*. A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat*. A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan*. A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'B'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks,

trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

- (g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A':
Survey

BEING a 25.41 acre tract of land situated in the David Harr Survey, Abstract No. 102 and being the same tract of land as described in a Warranty Deed from J. Diane Folzenlogen to the Cain Revocable Family Trust as recorded in Volume 3537, Page 162 of the Deed Records of Rockwall, County, Texas and being more particularly described as follows:

BEGINNING at the northeast corner of the Lot 1, Block A of the Widboom Addition, an addition to the City of Rockwall as recorded in Cabinet J, Slide 375 of the Plat Records of Rockwall County, Texas, said point being on the south right-of-way line of S.H. 66 (a 60' wide right-of-way);

THENCE along the south line of said S.H. 66 and along a curve to the left having a central angle of $7^{\circ}13'52''$, a radius of 990.00' and a chord that bears North $82^{\circ}52'21''$ East a distance of 124.86';

THENCE along said curve an arc distance of 124.94' to a TXDOT concrete monument with an aluminum cap stamped "1453";

THENCE North $79^{\circ}08'41''$ East a distance of 127.20' to a TXDOT concrete monument with an aluminum cap stamped "1455", said point being the beginning of a curve to the right having a central angle of $11^{\circ}05'24''$, a radius of 905.00' and a chord that bears North $84^{\circ}41'23''$ East a distance of 174.90';

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THENCE North $06^{\circ}39'29''$ East along the east line of said Sellers Tract, a distance of 220.86' to a $\frac{1}{2}$ " iron pipe found, said point being the southeast corner of a tract of land conveyed to Gary S. Ryan as recorded in Instrument No. 20170000021114 R.P.R.R.C.T.;

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THENCE North $05^{\circ}32'26''$ East a distance of 135.26' to a point for a corner, said point being the northeast corner of said Mock Tract and the southeast corner of a tract of land conveyed to Mark Dailey as recorded in Volume 2242, Page 276 of the Deed Records of Rockwall County, Texas;

THENCE North $20^{\circ}09'09''$ East a distance of 154.69' to a $\frac{1}{2}$ " iron rod found for the northeast corner of said Dailey Tract and the southeast corner of a tract of land conveyed to Joseph W. Rinkevich as recorded in Volume 6147, Page 28 of the Deed Records of Rockwall County, Texas;

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THENCE North $06^{\circ}48'25''$ East a distance of 112.14' to a $\frac{3}{8}$ " iron rod found for the northeast corner of said Rinkevich Tract and the southeast corner of said Widboom Addition;

THENCE North $07^{\circ}10'37''$ East a distance of 373.75' to the *POINT OF BEGINNING* and containing 25.41 acres or 1,107,008 square feet of land.

Exhibit 'B': Concept Plan

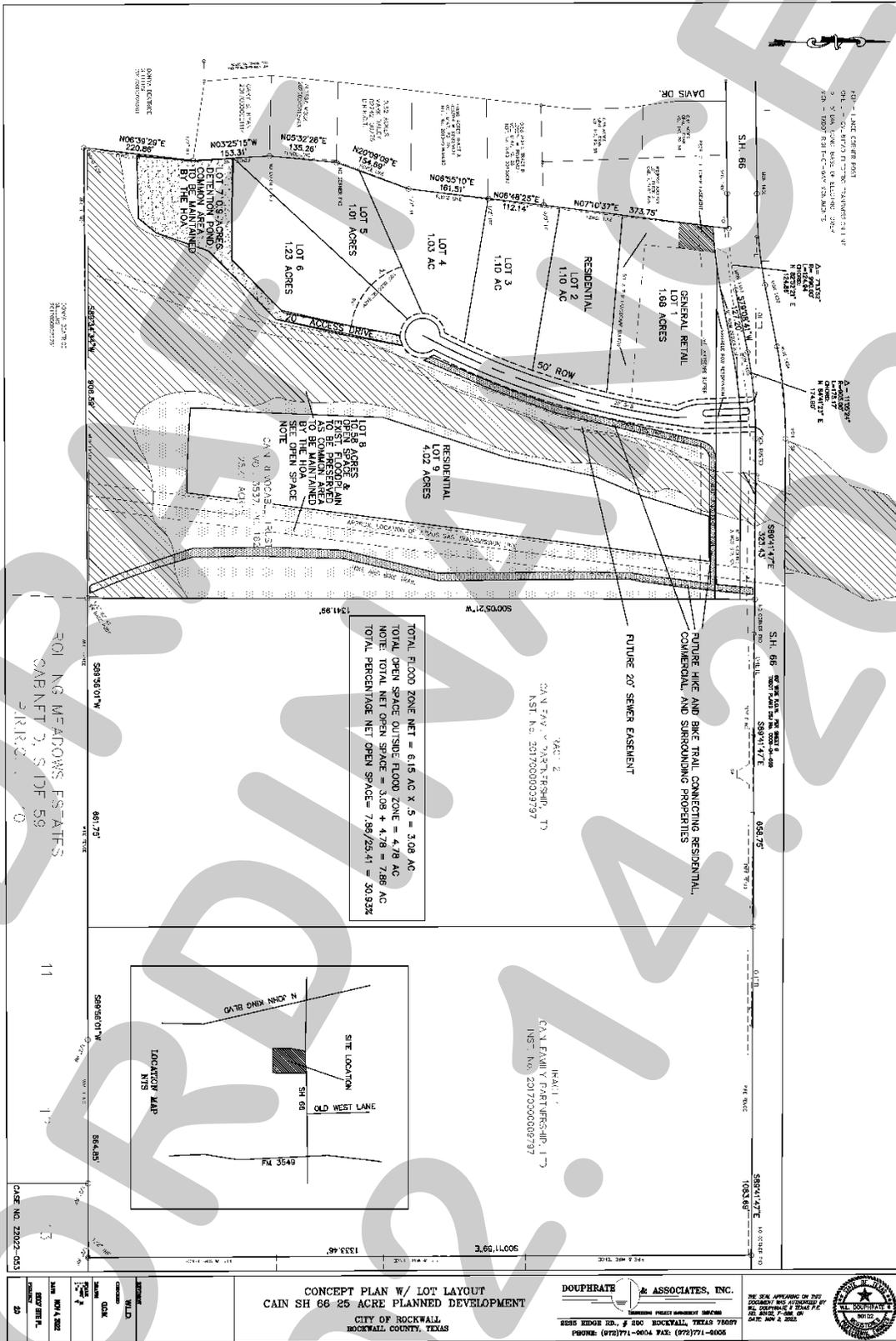


Exhibit 'C':
Density and Development Standards

DENSITY AND DEVELOPMENT STANDARDS.

(1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the General Retail (GR) District and Single-Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.

(a) Residential Land Uses. Residential land uses shall be allowed only within the area designated for residential lots as depicted on the *Concept Plan* in *Exhibit 'B'* of this ordinance. These areas are limited to those uses permit by-right or by Specific Use Permit (SUP) for the Single-Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

(b) Non-Residential Land Uses. Non-residential land uses shall be allowed only within the area designated for *General Retail* land uses as depicted on the *Concept Plan* in *Exhibit 'B'* of this ordinance. These areas are limited to those uses permitted *by-right* or by Specific Use Permit (SUP) for the General Retail (GR) District as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) and subject to the approval of a *PD Development Plan* and *PD Site Plan* in accordance with the Planned Development District regulations contained in Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC); however, the subject property shall be subject to the following:

(1) The following land uses shall be allowed through a Specific Use Permit (SUP):

- Freestanding Commercial Antenna (*a Maximum of 110-Feet in Total Height*)

(2) The following land uses shall be expressly prohibited:

- Animal Boarding/Kennel without Outside Pens
- Animal Hospital or Clinic
- Convent, Monastery, or Temple
- Commercial Parking Garage
- Limited-Service, Full-Service, and/or Residence Hotel
- Motel
- Cemetery/Mausoleum
- Church/House of Worship
- Congregate Care Facility/Elderly Housing
- Emergency Ground Ambulance Services
- Hospital
- Mortuary or Funeral Chapel
- Financial Institution with Drive-Through
- Temporary Carnival, Circus, or Amusement
- Outdoor Commercial Amusement/Recreation
- Private Country Club
- Golf-Driving Range
- Temporary Fundraising Events by Non-Profit
- Indoor Gun Club with Skeet or Target Range
- Private Club, Lodge or Fraternal Organization
- Tennis Courts
- Banquet Facility/Event Hall

Exhibit 'C':
Density and Development Standards

- Brew Pub
- Private Sports Arena, Stadium, and or Track
- Portable Beverage Service Facility
- Temporary Christmas Tree Sales Lot and/or Similar Uses
- Copy Center
- Incidental Display
- Food Trucks/Trailers
- Garden Supply/Plant Nursery
- Self Service Laundromat
- Night Club, Discotheque, or Dance Hall
- Pawn Shop
- Restaurant with less/more than 2,000 SF with a Drive-Through or Drive-In
- Rental Store without Outside Storage and/or Display
- Retail Store with Gasoline Sales that has less/more than Two (2) Dispensers
- Trade School
- Minor Auto Repair Garage
- Full Service Car Wash and Auto Detail
- Self Service Car Wash
- Non-Commercial Parking Lot
- Service Station
- Temporary Asphalt or Concrete Batch Plant
- Mining and Extraction of Sand, Gravel, Oil and/or Other Materials
- Helipad
- Railroad Yard or Shop
- Transit Passenger Facility

(2) *Density and Dimensional Requirements.* Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the *Subject Property* shall be as follows:

(a) *Residential.* Except as provided by this Planned Development District ordinance, the residential land uses on the *Subject Property* shall be required to meet the development standards for the Single-Family 1 (SF-1) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC). The maximum permissible density for the *Subject Property* shall not exceed 0.23 dwelling units per gross acre of land; however, in no case should the proposed development exceed 6 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

<i>Lot Type (see Concept Plan) ▶</i>	
<i>Minimum Lot Width ⁽¹⁾</i>	70'
<i>Minimum Lot Depth</i>	100'
<i>Minimum Lot Area</i>	43,560 SF
<i>Minimum Front Yard Setback ⁽²⁾</i>	20'
<i>Minimum Side Yard Setback</i>	6'
<i>Minimum Length of Driveway Pavement</i>	25'
<i>Maximum Height ⁽³⁾</i>	36'
<i>Minimum Rear Yard Setback ⁽⁴⁾</i>	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	3,000 SF
<i>Maximum Lot Coverage</i>	45%

General Notes:

- ¹: The *Minimum Lot Width* shall be measured from the *Front Yard Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line. The front yard building setback shall be increased to a minimum of 50-feet adjacent to homes along SH-66.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.

Exhibit 'C':
Density and Development Standards

- (b) *Non-Residential.* Except as modified by this Planned Development District ordinance, the non-residential land uses on the *Subject Property* shall be required to meet the development standards stipulated by the *General Overlay District Standards*, *General Commercial District Standards*, and the standards required for the General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC). In addition, the *Commercial* area shall be designed to be pedestrian-oriented and easily accessible to the adjacent residential neighborhoods, and be constructed to be integrated with the adjacent uses, not be separated from them by screening walls or other physical barriers. This will be accomplished by creating paths from the adjacent development into the *Commercial* area and through the use of landscaping buffers utilizing a berm and three (3) tiered screening (*i.e.* [1] *a small to mid-sized shrub*, [2] *large shrubs or accent trees*, and [3] *canopy trees on 20-foot centers*), and building design and other urban design elements to create compatibility with the surrounding residential neighborhood.
- (3) *Building Standards for Residential.* All development shall adhere to the following building standards:
- (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardyBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) may be used for up to 20.00% of the total exterior of the home; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 20.00% of the masonry requirement on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



Continued on Next Page ...

Exhibit 'C':
Density and Development Standards

FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



- (b) **Roof Pitch.** A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.
- (c) **Garage Orientation and Garage Doors.** Garages shall be oriented in a traditional swing (or j-swing) or recessed front entry (i.e. the garage door may be oriented toward the street as long as it is setback a minimum of 20-feet behind the front façade of the primary structure). All garage doors shall be required to have upgraded finishes (e.g. divided garage bay doors, carriage style hardware and lighting elements, cedar clad garage doors, or a similar alternative -- to be approved by staff):

Continued on Next Page ...

Exhibit 'C':
Density and Development Standards

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



FIGURE 6: EXAMPLES OF UPGRADED GARAGES



- (4) Anti-Monotony Restrictions. The development shall adhere to the following *Anti-Monotony* standards:
- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on

Exhibit 'C':
Density and Development Standards

the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

- (b) Front building elevations shall not repeat along any block face. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (1) Number of Stories
 - (2) Roof Type and Layout
 - (3) Articulation of the Front Façade
 - (c) The subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).
- (5) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
- (a) Wrought Iron/Tubular Steel. All lots shall utilize fencing materials that shall be open in nature and not to exceed six (6) feet in height. Fences that extend beyond the front building line of any structure shall be required to be pipe-rail or similar fencing. No chain-link or wooden fencing shall be allowed.
 - (b) Lots with Floodplain. No fences shall be permitted within the floodplain.
- (6) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. All shrubs shall be a minimum of five (5) gallons in size. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall be required to plant an additional row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs'] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffer and Sidewalks (State Highway 66). A minimum of a 30-foot landscape buffer shall be provided along SH-66 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-linear feet of frontage. A meandering six (6) foot trail shall be constructed within the 30-foot landscape buffer.
 - (c) Landscape Buffer (Adjacent to Residential Properties). A minimum of a 50-landscape buffer with a minimum of a 48-inch berm and three (3) tiered screening (*i.e. [1] a small to mid-sized shrub, [2] large shrubs or accent trees, and [3] canopy trees on 20-foot centers*) along the entire adjacency.

Exhibit 'C':
Density and Development Standards

- (d) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.
- (e) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'B'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- (f) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (g) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (7) Street. All streets (excluding drives, fire lanes and private parking areas) shall be built according to the City's standards.
- (8) Lighting. Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (9) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.
- (10) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (11) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.

Exhibit 'C':
Density and Development Standards

- (12) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (*including drainage facilities*), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (13) On-Site Sewage Facilities. Septic Systems are permitted on all lots within this subdivision pending conformance to the following standards:
- (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (e.g. *licensed engineer, sanitarian, and etcetera*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.
 - (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
- (14) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Dwayne Zinn; Cross Engineering Consultants, Inc.
CASE NUMBER: Z2022-059; *SUP for a Smoothie King at 150 Pecan Valley Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed on February 3, 1961 by *Ordinance No. 61-02 [i.e. Case No. A1960-002]*. According to the City's historic zoning maps, the subject property was zoned Single-Family 10 (SF-10) District on May 16, 1983. On January 3, 2006, the subject property was rezoned to Planned Development District 65 (PD-65) for limited General Retail (GR) District land uses by *Ordinance No. 06-02*. Since the time of annexation the subject property has remained vacant.

Staff should note that the same request for a *Restaurant with a Drive-Through or Drive-In* has previously been submitted twice (2) by the owner of the subject property. On July 19, 2019, Jake Fears, PE of Weir & Associates, Inc., submit an application for a Specific Use Permit (SUP) [i.e. *Case No. Z2019-014*] for a *Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In*. The applicant of this case ultimately requested to withdraw the request after failing to address staff comments. This withdraw request was granted by the Planning and Zoning Commission on August 13, 2019 by a vote of 7-0. Following this request, on June 19, 2020, Jake Fears, PE of Weir & Associates, Inc. submitted a subsequent application for a Specific Use Permit (SUP) [i.e. *Case No. Z2020-026*] for a *Restaurant, Less than 2,000 SF, with a Drive-Through or Drive-In*. On July 14, 2020, the Planning and Zoning Commission recommended denial by a vote of 5-1, with Commissioner Welch dissenting and Commissioner Moeller absent. The Planning and Zoning Commission based the recommendation for denial on: [1] traffic concerns, [2] concerns about access to the property, and [3] public opposition. Ultimately the applicant requested that the City Council withdraw the case, and the City Council granted this request on July 20, 2020.

PURPOSE

On December 12, 2022, the applicant -- *Dewayne Zinn of Cross Engineering Consultants, Inc.* -- submitted an application requesting approval of a Specific Use Permit (SUP) for the purpose of constructing a *Restaurant with a Drive-Through or Drive-In* on the subject property. The site is subject to the requirements and land uses stipulated for the General Retail (GR) District as stated in Planned Development District 65 (PD-65) and the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a ~10,900 SF multi-tenant retail facility on a ~1.96-acre parcel of land. Beyond this land use is the Children's Lighthouse Daycare, which is located on a 3.543-acre parcel of land. Both parcels are zoned Planned Development District 65 (PD-65), with a portion of the Children's Lighthouse being zoned Agricultural (AG) District. Continuing north from these properties are additional single-family residential homes zoned Single-Family Estate 1.5 (SFE-1.5) District, Single-Family 16 (SF-16) District, and Agricultural (AG) District.

South: Directly south of the subject property is Pecan Valley Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is Walgreens Pharmacy, which is situated on a 1.9894-acre parcel of land zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses. Beyond this is North Lakeshore Drive, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is N. Goliad Street [SH-205], which is identified as a P6D (*principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is CVS Pharmacy, which is situated on a 2.519-acre parcel of land zoned Planned Development District 5 (PD-5) for General Retail (GR) District land uses. East of the pharmacy is a 62.484-acre vacant tract of land, which is zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses.

West: Directly west of the subject property is W. Quail Run Road, which is designated as a R2U (*residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Follow this is an 11.723-acre vacant tract of land zoned Planned Development District 65 (PD-65) for Single-Family 10 (SF-10) District and General Retail (GR) District land uses. In addition, there are five (5) single-family homes zoned Single-Family 10 (SF-10) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow for *Restaurant with less than 2,000 SF with a Drive-Through or Drive-In* on a 0.579-acre portion of a larger 2.542-acre parcel of land. If approved, the development will be located on the northern portion of the parcel where the existing floodplain is located. The concept plan submitted by the applicant indicates that the floodplain on the subject property, that is part Squabble Creek tributary, will be piped across the property.

CONFORMANCE WITH THE CITY'S CODES AND STAFF ANALYSIS

According to Planned Development District 65 (PD-65) the subject property is subject to the land uses permitted for the General Retail (GR) District, and according to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Restaurant with less than 2,000 SF with a Drive-Through or Drive-In* requires a Specific Use Permit (SUP) in the General Retail (GR) District. In addition, the conditional use section of this article requires the following additional requirements for this land use:

- (1) Drive-through lanes shall not have access to a local residential street.
- (2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair visibility and impact of headlights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
- (3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles.

The concept plan provided by the applicant shows that the proposed drive-through lane will be able to accommodate exactly six (6) standard sized motor vehicles from the point of order, which conforms to the above requirements. To access the proposed development the applicant is proposing taking access off of an existing drive constructed with *retail center* located north of the subject property. The concept plan also indicates a landscape buffer along N Goliad Street, Pecan Valley Drive, and Quail Run Road, where a note indicates the proper headlight screening will be provided.

Looking at the City's parking requirements, the proposed land use would be considered a full-service restaurant (*i.e. provides indoor or on-site dining facilities*). Based on this designation, the minimum parking requirement would be one (1) parking space per 100 SF of building area, which would translate to a minimum parking requirement of 22 parking spaces. Currently, the concept plan also shows a retail tenant as well. According to the concept plan the retail tenant will require an additional nine (9) parking spaces; for a total of 31 required parking spaces. The proposed concept plan indicates that 27 parking spaces will be provided, with the note that a shared parking agreement will be acquired between the subject property and the retail center to the north. Staff reviewed the parking for the adjacent property to the north and determined that with the shared parking agreement both properties will meet the parking requirements.

With this being said, this request does require a Specific Use Permit (SUP), granting the City Council discretion pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 13, 2022, staff mailed 20 notices to property owners and residents within 500-feet of the subject property. Staff also notified The Shores on Lake Ray Hubbard, Random Oaks/Shores, Stone Creek, Quail Run Valley, and Lakeview Summit Homeowners Associations (HOA's), which are the only Homeowners Associations (HOA's) or Neighborhood Organizations located within 1,500-feet of the subject property. Additionally, staff posted a sign on the subject property as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in opposition to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to allow for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) That the development and operation of a *Restaurant with 2,000 SF or more with Drive-Through or Drive-In* land use shall generally conform to the Concept Plan as depicted in *Exhibit 'B'* of the draft ordinance; and,
 - (b) That the development and operation of the proposed drive-through restaurant meet the minimum staking lane requirement of six (6) vehicle for each lane from the service window; and,
 - (c) That the development and operation of the proposed drive-through restaurant provide additional landscape screening to impair the visibility of headlights from motor vehicles.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	150 Pecan Valley Drive			
SUBDIVISION	Pecan Valley Retail	LOT	2	BLOCK A
GENERAL LOCATION	NW corner of Pecan Valley Drive and SH 205			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-65	CURRENT USE	Vacant	
PROPOSED ZONING	PD-65	PROPOSED USE	Retail/Restaurant	
ACREAGE	0.579	LOTS [CURRENT]	1	LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	JCDB Goliad Holdings, LLC	<input checked="" type="checkbox"/> APPLICANT	Cross Engineering Consultants, Inc.
CONTACT PERSON	Chad Dubose	CONTACT PERSON	Dwayne Zinn
ADDRESS	8350 N. Central Expressway Suite 1300	ADDRESS	1720 W. Virginia St.
CITY, STATE & ZIP	Dallas, TX 75206	CITY, STATE & ZIP	McKinney, TX 75069
PHONE	214-561-6522	PHONE	972-562-4409
E-MAIL	chad@foremark.com	E-MAIL	Dwayne@crossengineering.biz

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chad Dubose [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

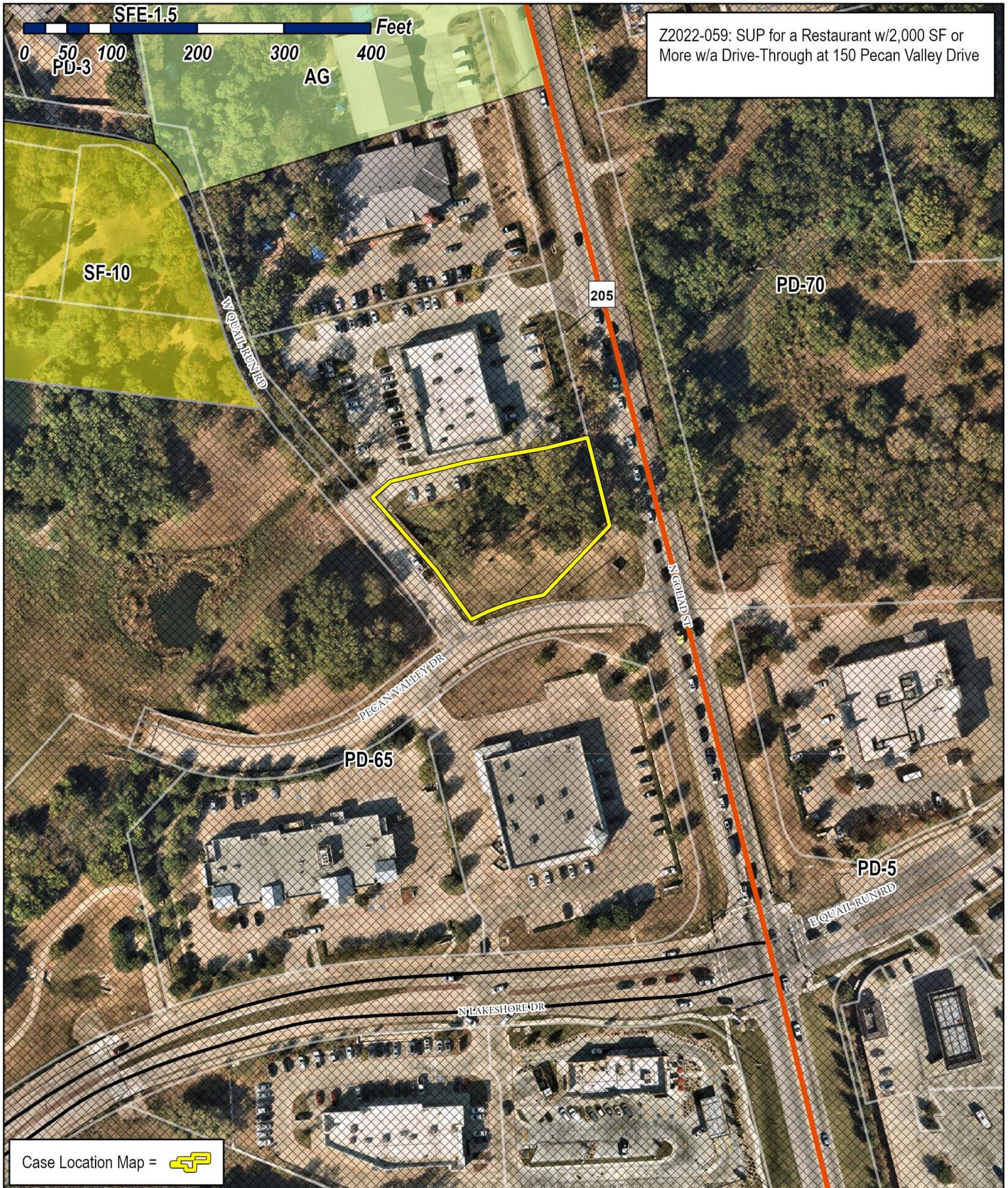
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2022. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF December 2022
OWNER'S SIGNATURE Chad Dubose

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]





Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through at 150 Pecan Valley Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

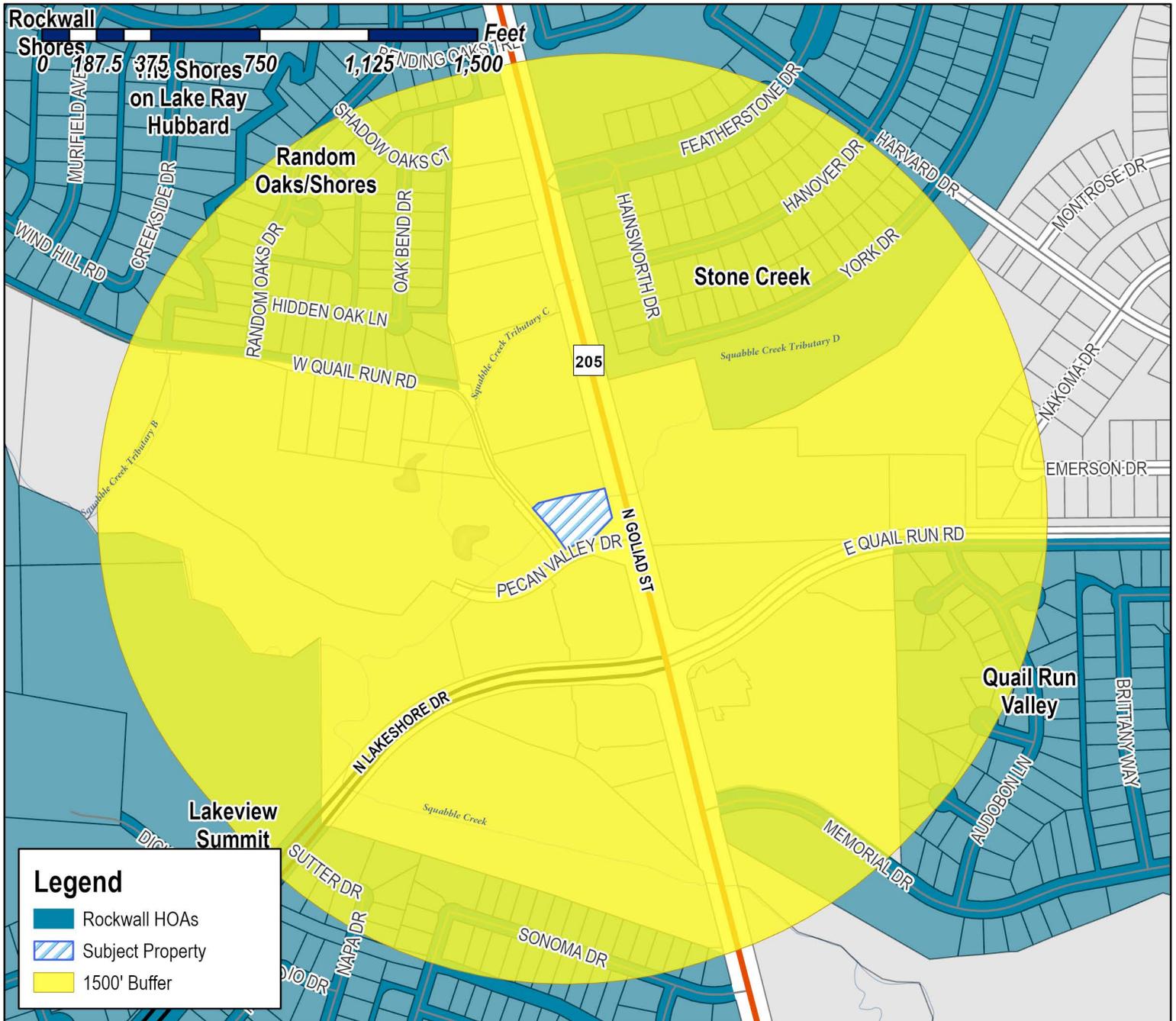




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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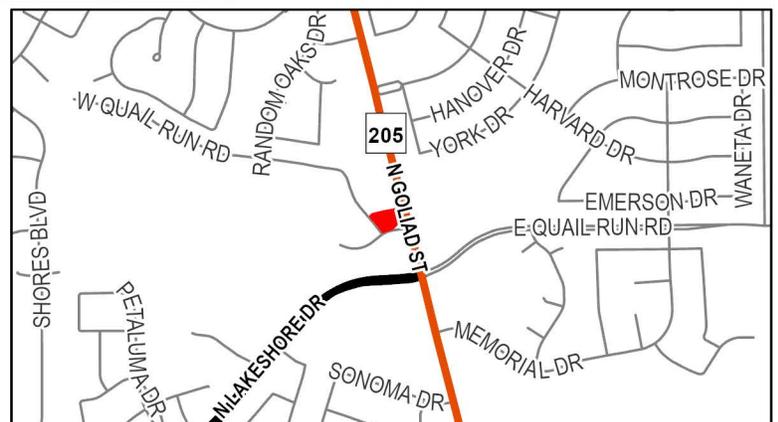
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Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Guevara, Angelica
Sent: Wednesday, December 14, 2022 3:03 PM
Cc: Miller, Ryan; Ross, Bethany; Chapin, Sarah; Lee, Henry
Subject: Neighborhood Notification Program [Z2022-059]
Attachments: Public Notice Z2022-059.pdf; HOA Map (12.13.2022).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 16, 2022*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 10, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 17, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/a Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King)* on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

Thank you,

Angelica Guevara

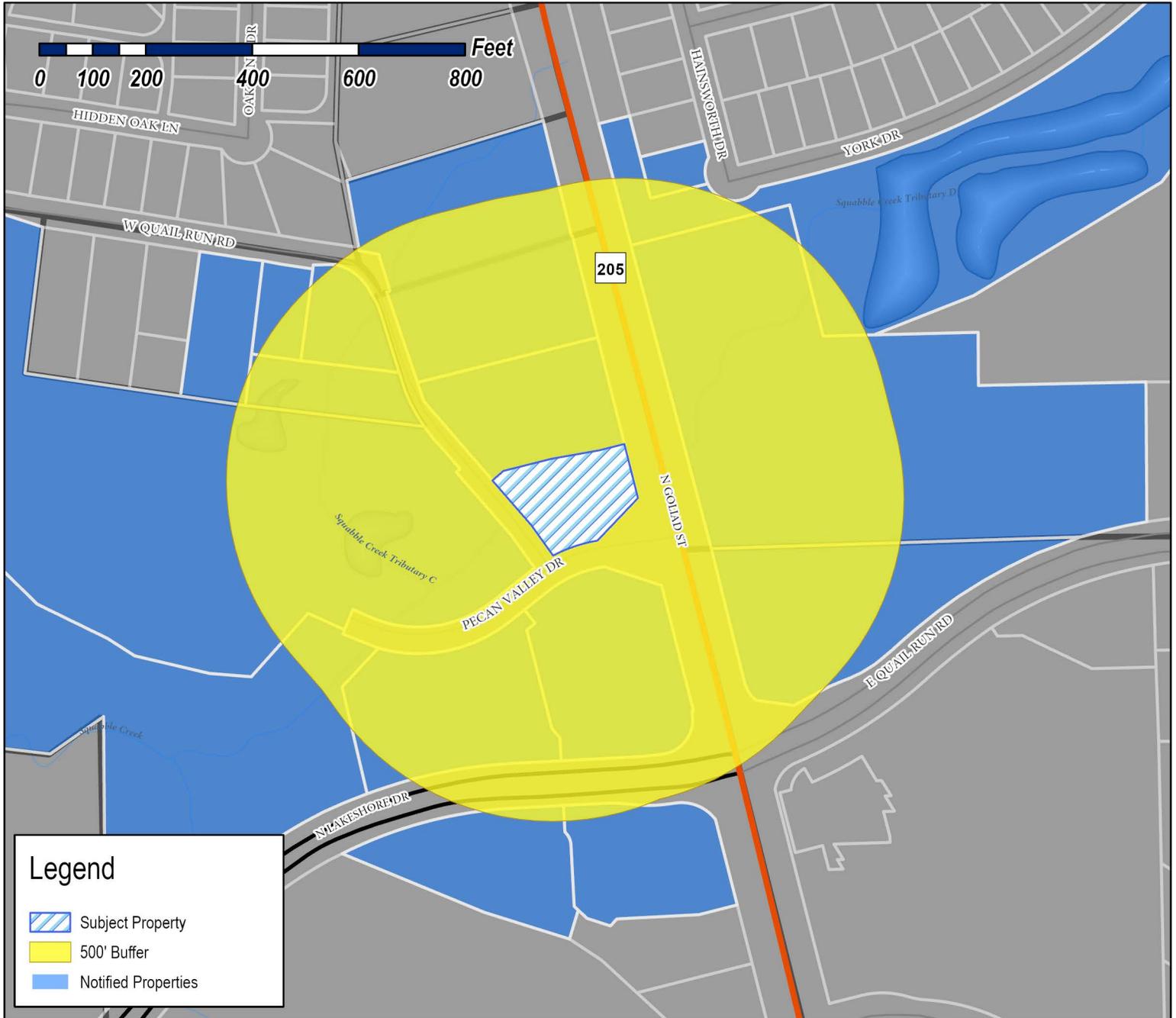
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2022-059
Case Name: SUP for Restaurant w/2,000 SF or More w/a Drive-Through
Case Type: Zoning
Zoning: Planned Development District 65 (PD-65)
Case Address: 150 Pecan Valley Drive

Date Saved: 12/13/2022

For Questions on this Case Call: (972) 771-7746



ROCKWALL STONE CREEK ESTATES
HOMEOWNERS ASSOCIATION INC
C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
165 E QUAIL RUN RD
ROCKWALL, TX 75087

CHAPMAN BOBBY E II AND AMY L CHAMPMAN
1821 HAINSWORTH DRIVE
ROCKWALL, TX 75087

RESIDENT
1979 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2004 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
2007 N GOLIAD
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2265 NORTH LAKESHORE DR
ROCKWALL, TX 75087

RESIDENT
2268 N Lakeshore
ROCKWALL, TX 75087

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

COLE HC ROCKWALL TX LLC
C/O ROCKWALL REGIONAL HOSPITAL, LLC; ATTN
LEGAL DEPT.
3150 HORIZON RD
ROCKWALL, TX 75032

CH RETAIL FUN II/DALLAS LAKESHORE LP
3819 MAPLE AVENUE
DALLAS, TX 75219

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

JAVKER REALTY CORP
42 BOND ST
NEW YORK, NY 10012

ROCKWALL BROXY LLC
C/O KABATECK LLP
633 WEST FIFTH STREET SUITE 3200
LOS ANGELES, CA 90071

STONE CREEK BALANCE LTD
8214 WESTCHESTER STE 900
DALLAS, TX 75225

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD
PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

MOORE WORTH INVESTMENTS LLC
8445 FREEPORT PKWY SUITE 175
IRVING, TX 75063

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Hold a public hearing to discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant with 2,000 SF or more with a Drive-Through (i.e. Smoothie King) on a 0.579-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, located at the northwest corner of the intersection of Pecan Valley Drive and N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 10, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2022-059: SUP for a Restaurant w/2,000 SF or More w/ A Drive-Through

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



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Ryan Miller, AICP
Director of Planning & Zoning



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- I am opposed to the request for the reasons listed below.

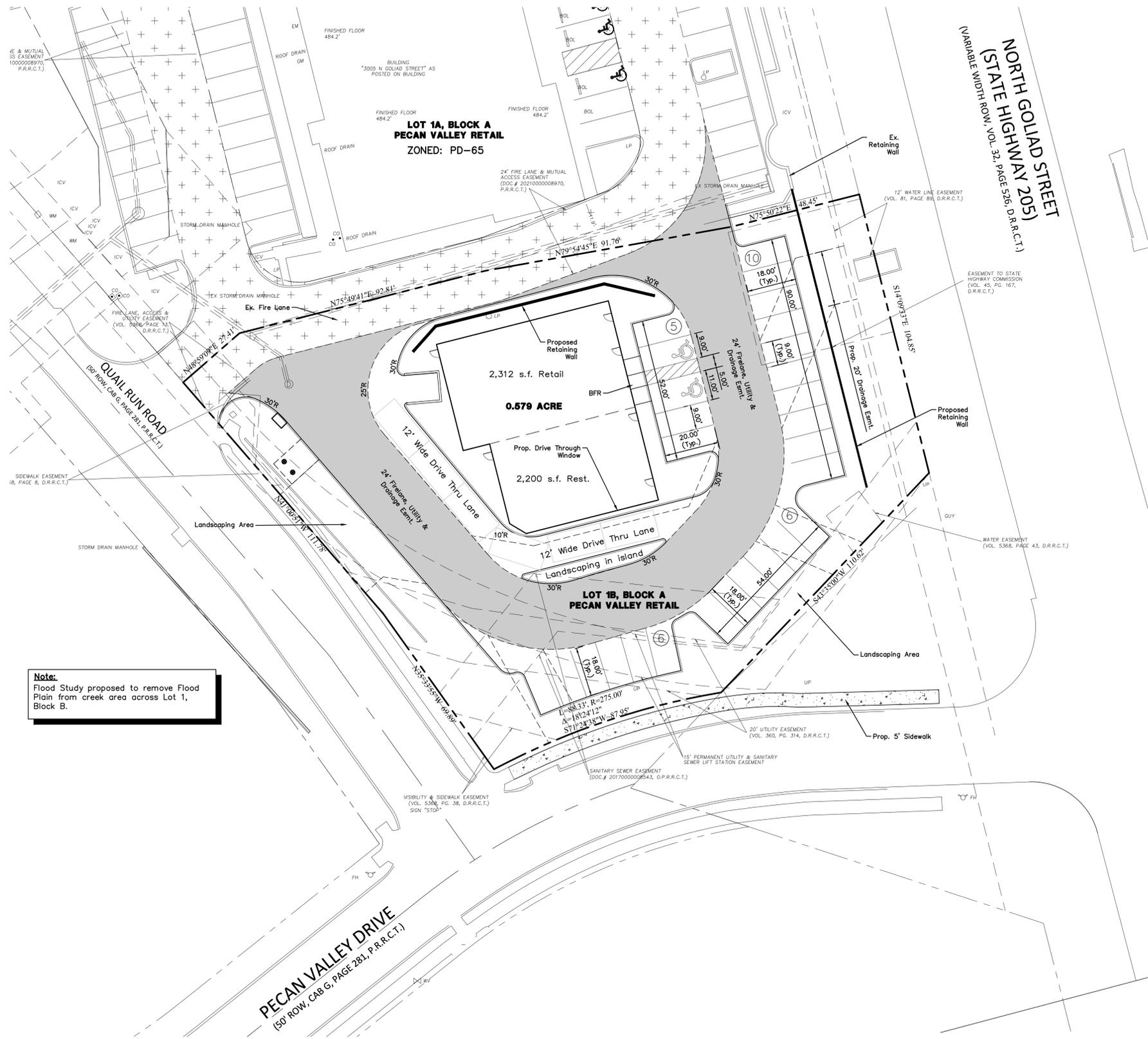
*too much traffic - dangerous! going in or coming out - will be dangerous!
not much green area left in Rockwall and this is a small lot that will destroy area*

Name: *MARY F. and LANTY DEAN*

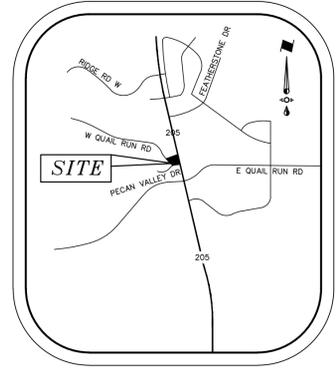
Address: *216 W. Quail Run Rd.*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

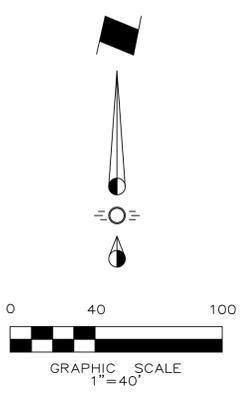
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



VICINITY MAP
NTS



LEGEND

- Proposed Firelane
- Proposed Sidewalk
- Ex. Firelane
- Proposed Retaining Wall
- Proposed Wheel Stop Typical
- Existing Fire Hydrant
- Proposed Fire Hydrant
- Barrier Free Ramp

SYNOPSIS

Zoning: PD-65 w/ N. SH 205 Overlay
 Proposed Use: Retail/Restaurant
 Lot Area: 0.7621 Acres (33,198 sf)
 Building Areas: Building 4,512 sf
 Lot Coverage: 13.59% (Total Bldg Area 4,512 sf)
 Floor Area Ratio: 0.14 : 1
 Building Height: 25'

Required Parking: Retail 1:250 (2,312/250) = 9 Spcs.
 Restaurant 1:100 (2200/100) = 22 Spcs

Parking Required Total:	31 Parking Spaces
Parking Provided Total:	27 Parking Spaces (2 HC)

Note: 4 Parking Spaces to be provided by Lot 1A, Block A, via a shared parking agreement, to be effective after plat has been recorded.

Note:
Proposed grades on site at location of parking stalls, facing the adjacent streets, will be on average 2-3 feet below the adjacent streets, except at the intersection of Pecan Valley and Quail Run. The areas that are lower will provide evergreen shrubs for screening headlights, with no berm needed. Where the parking is level with the adjacent grades, excess fill material to create a berm is not allowed by Engineering, due to the depth of the existing sanitary sewer. Evergreen shrubs will be planted as high as allowed, and planted as densely as feasible for proper growth.

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.

ARCHITECT:
Matt King Architect
4308 Cherry Lane
Melissa, TX 75454
Phone (469) 742-0678
Contact: Matt King

SURVEYOR:
Barton Chapa Surveying
5200 SH 121
Colleyville, TX. 76034
Phone (817) 864-1957
Contact: Jack Barton

NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

CASE NO. Z2022-059

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS

1720 W. Virginia Street McKinney, Texas 75069
972.562.4409 Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=40'

Sheet No.	
SUP	
Project No. 20089	
CITY OF ROCKWALL, TEXAS	

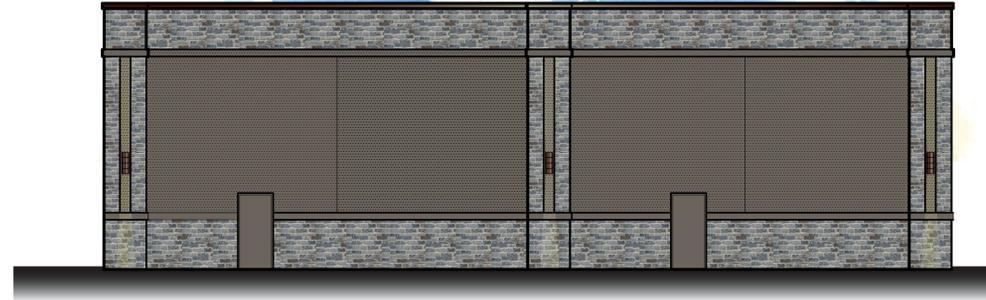
SMOOTHIE KING ROCKWALL

PRELIMINARY NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. FOR INTERIM REVIEW ONLY.
 MATTHEW P. KING ARCHITECT
 TX REGISTRATION NO. 17957
 9-15-22

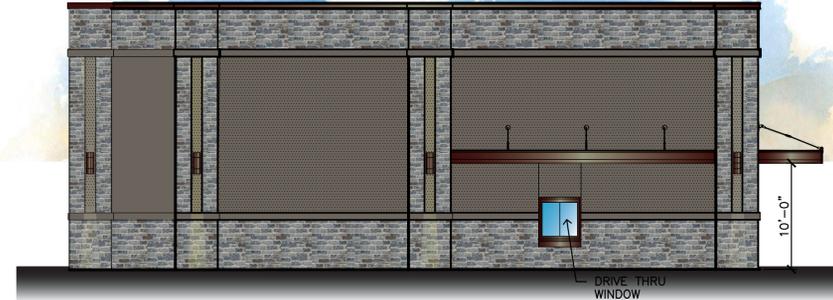
DO NOT SCALE THESE PLANS



1 east elevation
 scale: 3/16" = 1'-0"



2 west elevation
 scale: 1/8" = 1'-0"



3 south elevation
 scale: 1/8" = 1'-0"



4 north elevation
 scale: 1/8" = 1'-0"

EXTERIOR MATERIALS:
 1. STOREFRONT, AWNINGS & ROOFING; DARK BRONZE ANODIZED ALUMINUM.
 2. THREE STEP STUCCO COLOR: SW 7047 PORPOISE
 3. STONE: 1 1/2" THICK SILVER MIST LIMESTONE; RANDOM ASHLAR PATTERN. CALL CARTER LYON AT SPECIFIED PRODUCTS MITERED OUTSIDE CORNER RETURNS
 SUBMIT SAMPLES TO OWNER TO CONFIRM

Owner:
 DA 3009 Goliad Partners, LP
 14114 Dallas Parkway #670
 Dallas, Texas 75254

Project:
Shell Building
 3005 N. Goliad
 Rockwall, Texas 75087

Scale: as noted
 Issue For:
 submittal 9-15-22

Sheet Number:

A1

Exterior Elevations

LANDSCAPE NOTES:

- ALL LANDSCAPE REQUIREMENTS AND UNDERGROUND IRRIGATION SYSTEM WILL CONFORM TO THE LOCAL CITY ORDINANCE AND DESIGN STANDARDS AND ANY REQUIREMENTS OF THE STATE, IF APPLICABLE.
- NO PLANT MATERIAL SHALL BE PLANTED UNTIL THE LANDSCAPE IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERATING WITH 100% COVERAGE OF PROPOSED LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, CABLES, STRUCTURES AND LINE RUNS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES BASED ON THE DRAWING(S) AND ACTUAL FIELD DIMENSIONS. PLANT QUANTITIES HAVE BEEN PROVIDED AS A CONVENIENCE ONLY TO THE OWNER(S) AND SHALL NOT BE CONSIDERED ABSOLUTE. CONTRACTOR SHALL FOLLOW DESIGN INTENT.
- NOTIFY THE OWNER OF ANY DISCREPANCIES THAT ARISE DURING THE CONSTRUCTION PERIOD. FAILURE TO MAKE SUCH DISCREPANCIES KNOWN TO OWNER WILL RESULT IN THE CONTRACTOR'S LIABILITY TO REDO WORK AS NECESSARY TO ACHIEVE THE DESIGN INTENT.
- PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE PROJECT SITE AND ON ADJACENT PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. ALL AREAS DISTURBED BY DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AND RESTORED TO THEIR PRE-CONSTRUCTION CONDITION INCLUDING: PAVEMENTS, LANDSCAPE AREAS, IRRIGATION AND LIGHTING.
- PROVIDE MEASURES AS REQUIRED TO PREVENT EROSION AND DISCHARGE OF SOIL-BEARING RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND ADJACENT PROPERTIES, SIDEWALKS, STREETS, AND OTHER PAVED SURFACES.
- ALL PROPOSED SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR INSTALLATION.
- NOTIFY THE LANDSCAPE ARCHITECT IF LAYOUT OF TREES, BEDS AND/OR PLANTS REQUIRE ALTERATION FROM THE LANDSCAPE PLAN. NOTIFICATION WILL BE REQUIRED PRIOR TO ALTERING THE LAYOUT.
- TREES SHALL BE HANDLED BY ROOT BALLS ONLY. DO NOT DAMAGE BALL, TRUNK, OR LOOSEN TRUNK FROM BALL. TREE TRUNKS ARE TO BE PLANTED STRAIGHT AND MAY BE REQUIRED BY THE OWNER AND/OR THE LANDSCAPE ARCHITECT TO BE STAKED.
- WHERE NEWLY PLANTED TREES ARE NOT ABLE TO STAND ON THEIR OWN, TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM. THE SYSTEM SHALL SECURELY ANCHOR THE ROOT BALL, WHILE ALLOWING THE TRUNK AND CROWN TO MOVE NATURALLY. THE SYSTEM SHALL NOT USE MATERIALS AND METHODS THAT PENETRATE OR DAMAGE THE ROOT BALL. ABOVE GRADE STAKING SYSTEMS SUCH AS "T" POSTS WITH WIRES, HOSES, STRAPS, OR GUY WIRES WRAPPED AROUND THE TREE TRUNK SHALL NOT BE ALLOWED UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL TREES TO BE UNIFORM BY SPECIES WITH STRAIGHT TRUNKS AND MATCHING CHARACTER AND BRANCHING STRUCTURE.
- ALL TREE LOCATIONS SHALL BE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
- FINAL LOCATIONS OF PLANT MATERIAL IS SUBJECT FOR REVIEW AND APPROVAL BY OWNER PRIOR TO PLANTING.
- PROVIDE POSITIVE DRAINAGE THROUGHOUT THE PROJECT AREA. NO PONDING OR STANDING WATER IS ACCEPTABLE.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL BUILDINGS.
- AT NO TIME WILL ANY PLANT MATERIAL BE ALLOWED TO SETTLE BEYOND THE TOP OF THE ROOT FLARE OR POTTED SOIL LINE. SHOULD PLANT MATERIAL SETTLE, THE PLANT(S) WILL BE REPLANTED AT THE PROPER HEIGHT AND/OR REPLACED IF NECESSARY AT THE CONTRACTOR'S COST.
- ALL PROPOSED BED AREAS SHALL BE TILLED TO A DEPTH OF SIX INCHES (6"), ADDING A THREE INCH (3") MINIMUM LAYER OF ORGANIC COMPOST DURING THE PROCESS. THE LEVEL OF THE BED AREAS SHOULD BE LEFT THREE INCHES (3") ABOVE THE PROPOSED FINISHED GRADE TO ALLOW FOR COMPACTION AND SETTLEMENT.
- ALL BED AREAS SHALL BE SEPARATED FROM TURF AREAS USING 1/8" X 4" STEEL EDGING, PAINTED GREEN. ALL ENDS OF STEEL EDGE RUNS SHALL HAVE A RADIUS OR 45 DEGREE ANGLE TO ELIMINATE SHARP EDGES. HAND FILING MAY BE REQUIRED TO ACHIEVE A SMOOTH EDGE.
- TRIM STEEL EDGING AT A 45 DEGREE ANGLE WHEN EDGING INTERSECTS WITH A WALK OR CURB. DO NOT INSTALL EDGING ALONG CURBS OR WALKS.
- ALL LANDSCAPE BEDS SHALL RECEIVE A TWO INCH (2") TOP DRESS LAYER OF HARDWOOD MULCH AND ALL TREE WELLS SHALL RECEIVE A THREE INCH (3") LAYER OF SHREDDED HARDWOOD MULCH. DO NOT COVER ROOT FLARE.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- TURF AREAS SHALL BE CLEAN OF DEBRIS AND RAKED (GRADED) SMOOTH PRIOR TO HYDROMULCH OR SOD INSTALLATION. LANDSCAPE CONTRACTOR TO RECEIVE GRADE WITHIN APPROX. 1/10th OF FINAL GRADE.
- OWNER RESPONSIBLE TO PROVIDE ELECTRICAL SERVICE FOR THE IRRIGATION SYSTEM, WHICH INCLUDES A HARDWARE OF 110 VOLTS AT MINIMUM FOR THE CONTROLLER.
- ALL LANDSCAPING LOCATED WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS PER THE CITY STANDARDS.
- ALL LIGHT POLES MAY NOT BE SHOWN ON THE PROJECT SITE OR ADJACENT PROPERTIES. IF A PROPOSED TREE IS IN CONFLICT WITH ANY LIGHT OR UTILITY POLE, THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT, TO DETERMINE OPTIONS, PRIOR TO PLANTING.
- ALL PLANTS AND TREES ARE TO CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN AND TEXAS ASSOCIATION OF NURSERYMEN STANDARDS.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY LANDSCAPE MATERIAL ON SITE.

EXISTING TREE SCHEDULE

NUMBER	SIZE & TYPE	STATUS
2561	22" PECAN	MITIGATE
2562	16" PECAN	MITIGATE
2563	24" PECAN	MITIGATE
2596	8" PECAN	MITIGATE
2597	24" PECAN	UTILITY
2598	20" PECAN	UTILITY
2599	24" PECAN	MITIGATE
2655	6" CHINABERRY	NOT PROTECTED
2656	9" CHINABERRY (MT)	OFF PROPERTY
2676	5" CHINABERRY	OFF PROPERTY
2677	15" CHINABERRY (MT)	OFF PROPERTY
2701	19" PECAN	OFF PROPERTY
2707	24" PECAN	OFF PROPERTY
2708	16" PECAN	OFF PROPERTY
2709	24" PECAN	OFF PROPERTY
2710	7" PECAN	OFF PROPERTY
2714	17" PECAN	MITIGATE
2716	27" BOIS D'ARC (MT)	NOT PROTECTED
2750	12" ELM	UTILITY
2751	16" ELM	UTILITY
2752	16" ELM	UTILITY
2753	16" ELM	UTILITY
2806	40" ELM (MT)	MITIGATE 2:1
2834	48" ELM	UTILITY

(7) PROTECTED TREES TO MITIGATE- TOTAL = 191 INCHES

(17) 5" NEW TREES TO PLANT- TOTAL = 85 INCHES
106 INCHES

106" x 20% = 21" x \$200 = \$4,200 PAID INTO TREE FUND.

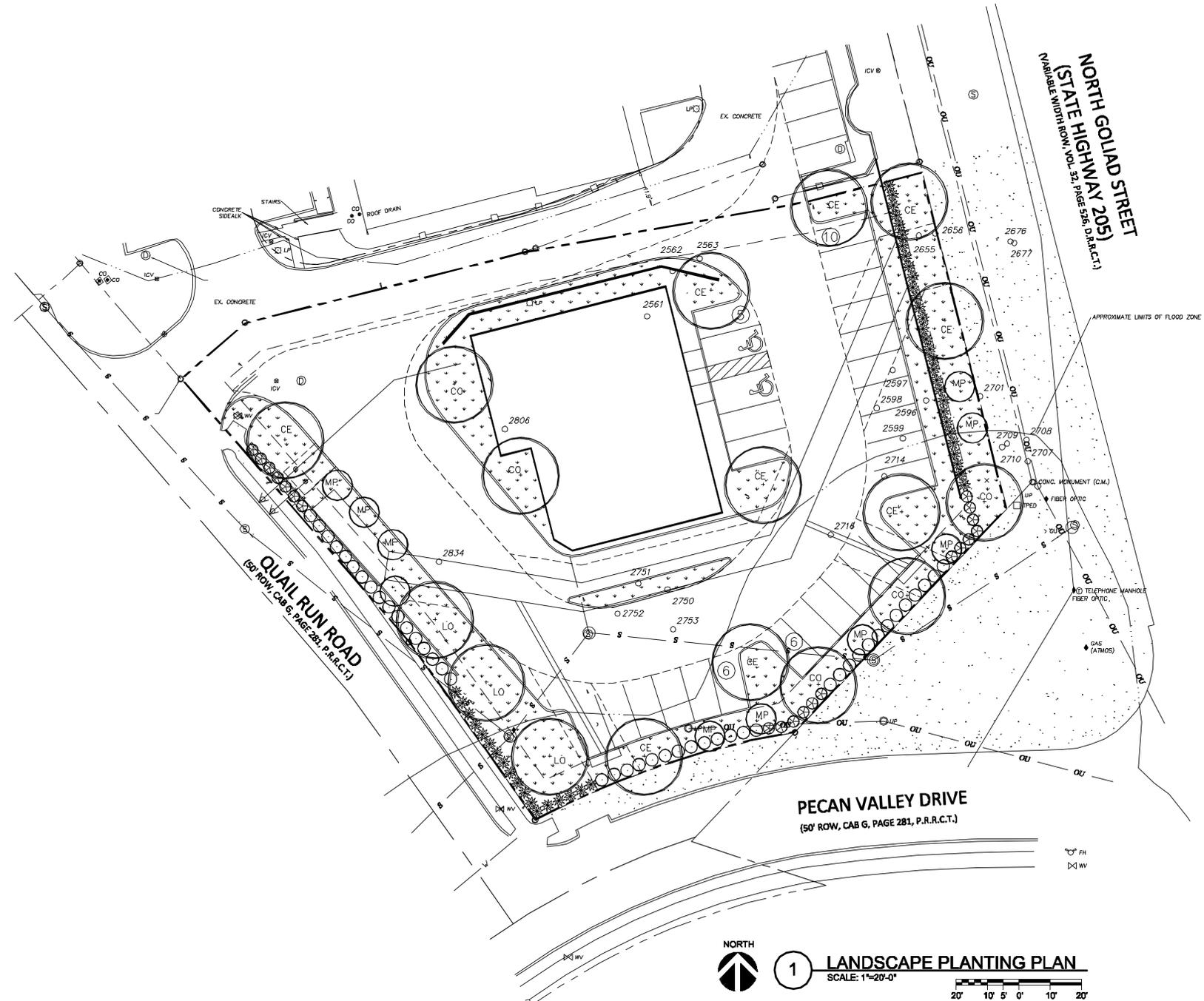
REMAINING INCHES TO MITIGATE = 85

LANDSCAPE CALCULATIONS

ZONING - COMM (20%) LANDSCAPE AREA REQUIRED.
LOT AREA = 32,676 SF
20% = 6,535 SF
LANDSCAPE AREA PROVIDED = 9,308 SF = 28.4%
WITH 7,513 SF = IN FRONT YARD.

LANDSCAPE BUFFER AT STREET R.O.W. =
10' WITH 1-CANOPY TREE & 1-ACCENT TREE/50'
AND A ROW OF SHRUBS.
QUAIL RUN = 180' 180'/50' = 4+4
PECAN VALLEY = 185' 185'/50' = 4+4
N. GOLIAD ST. = 110' 110'/50' = 2+2

10 CANOPY TREES REQUIRED. 10-PROVIDED.
10 ACCENT TREES REQUIRED. 10-PROVIDED.
111 SHRUBS PROVIDED.
INTERIOR PARKING LOT LANDSCAPING:
4,374 SF PARKING LOT AREA
1,120 SF LANDSCAPE AREA PROVIDED = 25%



KEY	QUAN.	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
CANOPY TREES				
CE	9	CEDAR ELM	Ulmus crassifolia	5" cal. 10'-12' tall, b&b.
CO	5	CHINQUAPIN OAK	Quercus muhlenbergi	5" cal. 10'-12' tall, b&b.
LO	3	LIVE OAK	Quercus virginiana	5" cal. 10'-12' tall, b&b.
ORNAMENTAL TREES				
MP	10	MEXICAN PLUM	Prunus mexicana	2" cal., 6'-8' tall, container
SHRUBS				
CTS	43	COMPACT TEXAS SAGE	Leucophyllum frutescens "Compacta"	5 gallon, 48" on center.
RM	20	ROSEMARY	Rosemary officinalis	5 gallon, 48" on center.
RY	48	RED YUCCA	Hesperaloe parvifolia	5 gallon, 48" on center.
GROUND COVER				
PW	-	PURPLE WINTERCREEPER	Euonymus fortunei 'Coloratus'	1 gallon, 18" on center.
TURF GRASS				
BG	-	BERMUDA GRASS	Cynodon dactylon	solid sod

REVISION	No.	DATE	<p>Don C. Wheeler Landscape Architect Planning Irrigation Design P.O. Box 470865 Office 817.335.1405 Fort Worth, Texas 76147 don@dcwla.com</p>	<p>FOR REVIEW ONLY</p> <p>THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR REGULATORY PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.</p> <p>DON C. WHEELER - TEXAS LANDSCAPE ARCHITECT # 787</p>	<p>CONCEPT LANDSCAPE PLAN</p> <p>SMOOTHIE KING ROCKWALL</p> <p>DA Goliad Partners. L.P.</p> <p>CITY OF ROCKWALL, TEXAS</p>	<p>Sheet No.</p> <p>L1</p>
PROJECT NO.	DATE:	<p>2K22-45</p> <p>11/15/22</p>				

PLAN PREPARED BY:
DON C. WHEELER, RLA
PO BOX 470865
FT. WORTH, TX 76147
817.335.1405
don@dcwla.com

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 65 (PD-65) [ORDINANCE NO. 17-03] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A RESTAURANT WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN ON A 0.579-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, PECAN VALLEY RETAIL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Dewayne Zinn of Cross Engineering Consultants, Inc. for the approval of a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* for the purpose of constructing a restaurant on a 0.579-acre parcel of land described as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) [Ordinance No. 17-03] for General Retail (GR) District land uses, addressed as 150 Pecan Valley Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 65 (PD-65) [Ordinance No. 17-03] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 65 (PD-65) [Ordinance No. 17-03] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*, and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 65 (PD-65) [*Ordinance No. 17-03*]; and, Subsection 04.01, *General Commercial Districts Standards*, and Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these conditions is required for continued operation:

- 1) The development of the *Subject Property* shall generally conform to the *Concept Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Additional landscaping and a berm or masonry wall shall be required along *Pecan Valley Drive* and *N. Goliad Street* at the time of site plan to provide headlight screening for vehicles traveling along *N. Goliad Street* from vehicles in the drive-through and cueing lanes of the proposed *Restaurant with 2,000 SF or more with a Drive-Through or Drive-In*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL,
TEXAS, THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 150 Pecan Valley Drive

Legal Description: Lot 1, Block A, Pecan Valley Retail Addition



Exhibit 'A'
Location Map and Legal Description

BEING A TRACT OF LAND LOCATED IN THE SAMUEL KING SURVEY, ABSTRACT NO. 131, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A TRACT OF LAND DESCRIBED IN A DEED TO JCDB GOLIAD HOLDINGS, LLC, RECORDED IN INSTRUMENT NUMBER 20190000009184, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS (O.P.R.R.C.T.), AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND WITH CAP STAMPED "STOVALL", BEING THE SOUTH CORNER OF SAID JCDB GOLIAD TRACT AND BEING THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF PECAN VALLEY DRIVE (A 50' RIGHT-OF-WAY) WITH THE EAST RIGHT-OF-WAY LINE OF QUAIL RUN ROAD (A 50' RIGHT-OF-WAY);

ALONG THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD AS FOLLOWS:

- (1) N 35°33'55" W, 69.89 FEET TO A 1/2" IRON ROD FOUND WITH A CAP STAMPED "STOVALL";
- (2) N 41°00'51" W, 69.59 FEET TO A POINT, FROM WHICH A 5/8" IRON ROD FOUND BEARS N 41°00'51" W, 95.11 FEET, SAID IRON ROD BEING THE NORTHEAST CORNER OF A RIGHT-OF-WAY DEDICATION FOR QUAIL RUN ROAD AS SHOWN ON THE PLAT RECORDED IN CABINET G, PAGE 281, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.);

THENCE N 48°59'09" E, DEPARTING THE WEST LINE OF SAID JCDB GOLIAD TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID QUAIL RUN ROAD, 20.79 FEET TO A POINT;

THENCE N 75°49'41" E, 102.18 FEET TO A POINT; THENCE N 49°16'23" E, 59.99 FEET TO A POINT;

THENCE 75°50'22" E, 51.98 FEET TO A POINT;

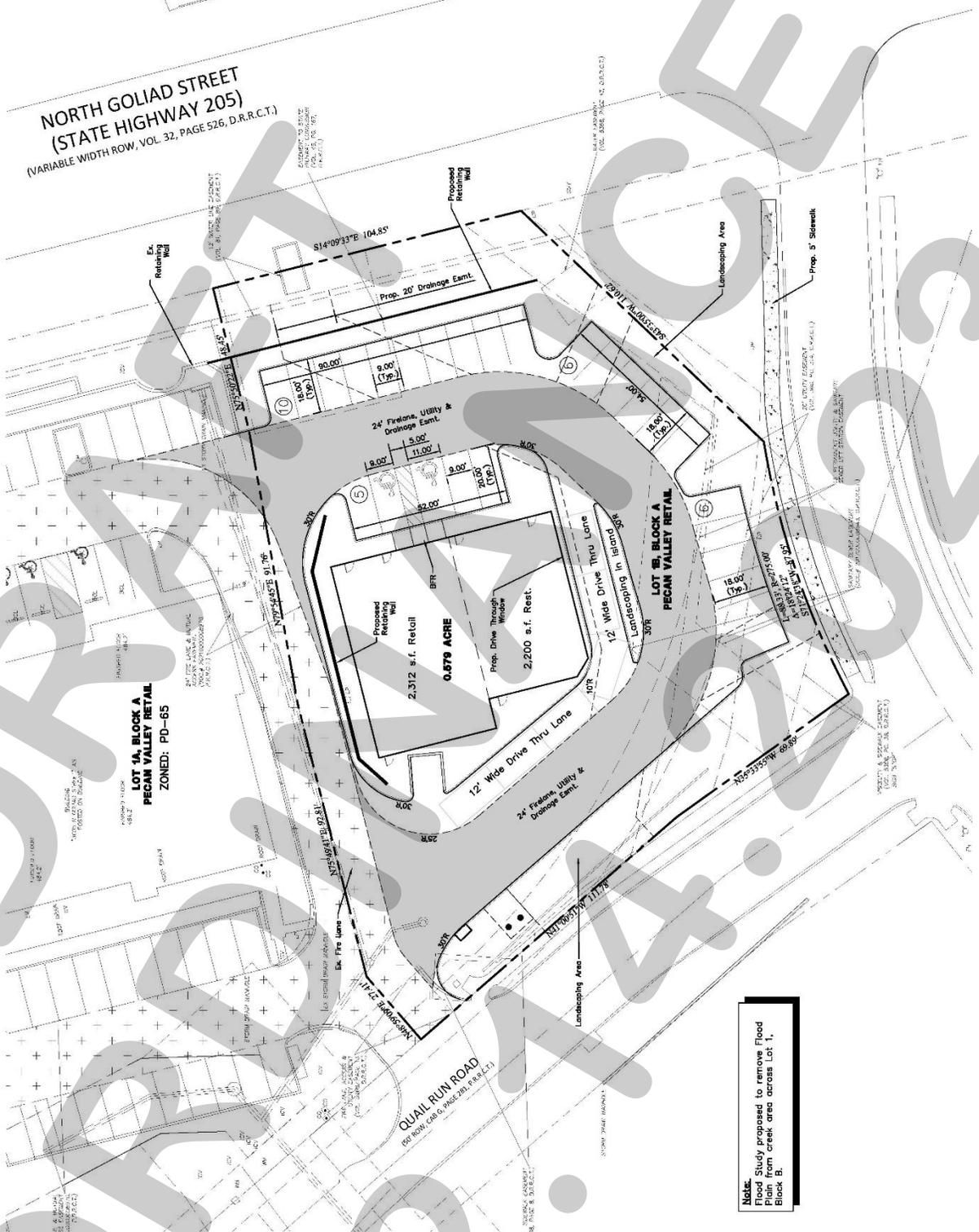
THENCE S 14°09'38" E, 100.31 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF NORTH GOLIAD STREET (STATE HIGHWAY NO. 205) (A VARIABLE WIDTH RIGHT-OF-WAY), FROM WHICH A CONCRETE MONUMENT FOUND BEARS N 43°35'00" E, 11.82 FEET;

THENCE S 43°35'00" W, ALONG THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET, 110.62 FEET TO A POINT, BEING THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF SAID NORTH GOLIAD STREET WITH THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTERLY, AN ARC LENGTH OF 88.33 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID PECAN VALLEY DRIVE AND SAID CURVE TO THE LEFT, HAVING A RADIUS OF 275.00 FEET, A DELTA ANGLE OF 18°24'13", AND A CHORD BEARING S 71°24'37" W, 87.95 FEET TO THE PLACE OF BEGINNING, AND CONTAINING 0.579 ACRES (25,233 SQUARE FEET) OF LAND, MORE OR LESS.

**Exhibit 'B':
Concept Plan**

**NORTH GOLIAD STREET
(STATE HIGHWAY 205)**
(VARIABLE WIDTH ROW, VOL. 32, PAGE 526, D.R.R.C.T.)



**LOT 1A, BLOCK A
PECAN VALLEY RETAIL**
ZONED: PD-65

**LOT 1B, BLOCK A
PECAN VALLEY RETAIL**

Note:
Flood Study proposed to remove Flood Plain from creek area across Lot 1, Block B.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Ali Abedini
CASE NUMBER: Z2023-001; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Ali Abedini on behalf of John Fenianos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.20-acre parcel of land identified as Lot 16, Block C, Harborview Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 7 (SF-7) District, addressed as 310 Harborview Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973, by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. The subject property remains zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant, Ali Abedini, is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 310 Harborview Drive. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property is the rest of Phase 2 of Harbor Landing, which was established on June 15, 1987, and consists of 32 residential lots. North of this is Phase 1 of Harbor Landing, which was established on December 22, 1986, and consists of 38 residential lots. Beyond that is an open space area owned and maintained by the Chandler's Landing Community Homeowner's Association. All of these properties are zoned Planned Development District 8 (PD-8).
- South: Directly south of the subject property is the rest of Phase 2 of Harbor Landing. Beyond this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.
- East: Directly east of the subject property is Henry M. Chandler Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Spyglass Hill Phase 3, which was established on January 15, 1985, and consists of 47 residential lots. All of these

properties are zoned Planned Development District 8 (PD-8). Beyond that is corporate limits of the City of Rockwall followed by several residential homes situated within the City of Heath.

West: Directly west of the subject property is Cutter Hill Phase 2, which was established on November 11, 1977, and consists of 27 residential lots. West of this is Cutter Hill Phase 3, which was established on June 15, 1981 and consists of 16 residential lots. All of these properties are zoned Planned Development District 8 (PD-8). Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard which is owned and maintained by the City of Dallas.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 70 residential lots (*five [5] of which are vacant*), and is considered to be more than 90% developed (*i.e. 92.86% developed*). The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Harborview Drive, Harbor Landing Drive, and Portview Place compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive, Harbor Landing Drive, and Portview Place	Proposed Housing
Building Height	One (1) & Two (2) Story.	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	1988-2017	N/A
Building SF on Property	2,021 SF – 5,343 SF	4,896 SF
Building Architecture	Townhomes & Traditional Brick Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	7.9-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	Brick, Stone, Stucco	Stucco, Hardi-Board Siding
Paint and Color	Blue, Red, Tan, Brown, Grey	Brown, White
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front with the orientations being <i>flat front entry</i> , <i>side entry</i> , and <i>'J' or traditional swing entry</i> .	The garage is proposed to be situated 12' 9" beyond the front façade of the home. [VARIANCE REQUESTED]

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant’s proposed garage is oriented 12-feet, nine (9) inches beyond the front façade of the

home. Staff should point out that since the construction for housing in this area ranges from 1988-2017, the houses already have several garage configurations that would be deemed to be legally non-conforming (*i.e. they were conforming when they were constructed; however, due to changes in the code they are no longer conforming and would not be permitted to be built in this configuration today*). A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the City Council will be waiving the garage orientation requirement. With this being said, staff should point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 8 (PD-8) [*Ordinance No. 73-48*] and the Unified Development Code (UDC).

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive, Harbor Landing Drive, and Portview Place and the proposed building elevations in the attached packet.

NOTIFICATIONS

On January 27, 2023, staff mailed 86 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler's Landing, The Cabana at Chandler's Landing, Match Point Homes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22023-001

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **310 Harborview Dr., Rockwall, TX 75032**

SUBDIVISION **Harbor Landing Phase 2**

LOT **16** BLOCK **C**

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-8**

CURRENT USE **Residential**

PROPOSED ZONING

PROPOSED USE **Residential**

ACREAGE **0.2**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **John Fenianos**

APPLICANT

CONTACT PERSON

CONTACT PERSON **Ali Abedini**

ADDRESS **1314 Wendell way,**

ADDRESS **6363 San Felipe St.**

CITY, STATE & ZIP **Garland, TX 75043**

CITY, STATE & ZIP **Houston, TX, 77057**

PHONE **321-246-2431**

PHONE **832-938-3133**

E-MAIL **john@jrhbuidler.com**

E-MAIL **aabedini@buildengllc.com**

NOTARY VERIFICATION [REQUIRED]

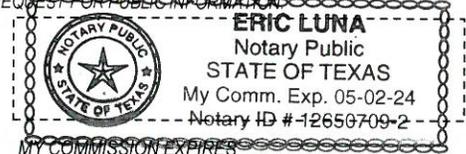
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Fenianos [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11/7/2023 DAY OF _____, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



Z2023-001: SUP for Residential Infill at 310 Harborview Drive

0 40 80 160 240 320 Feet



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

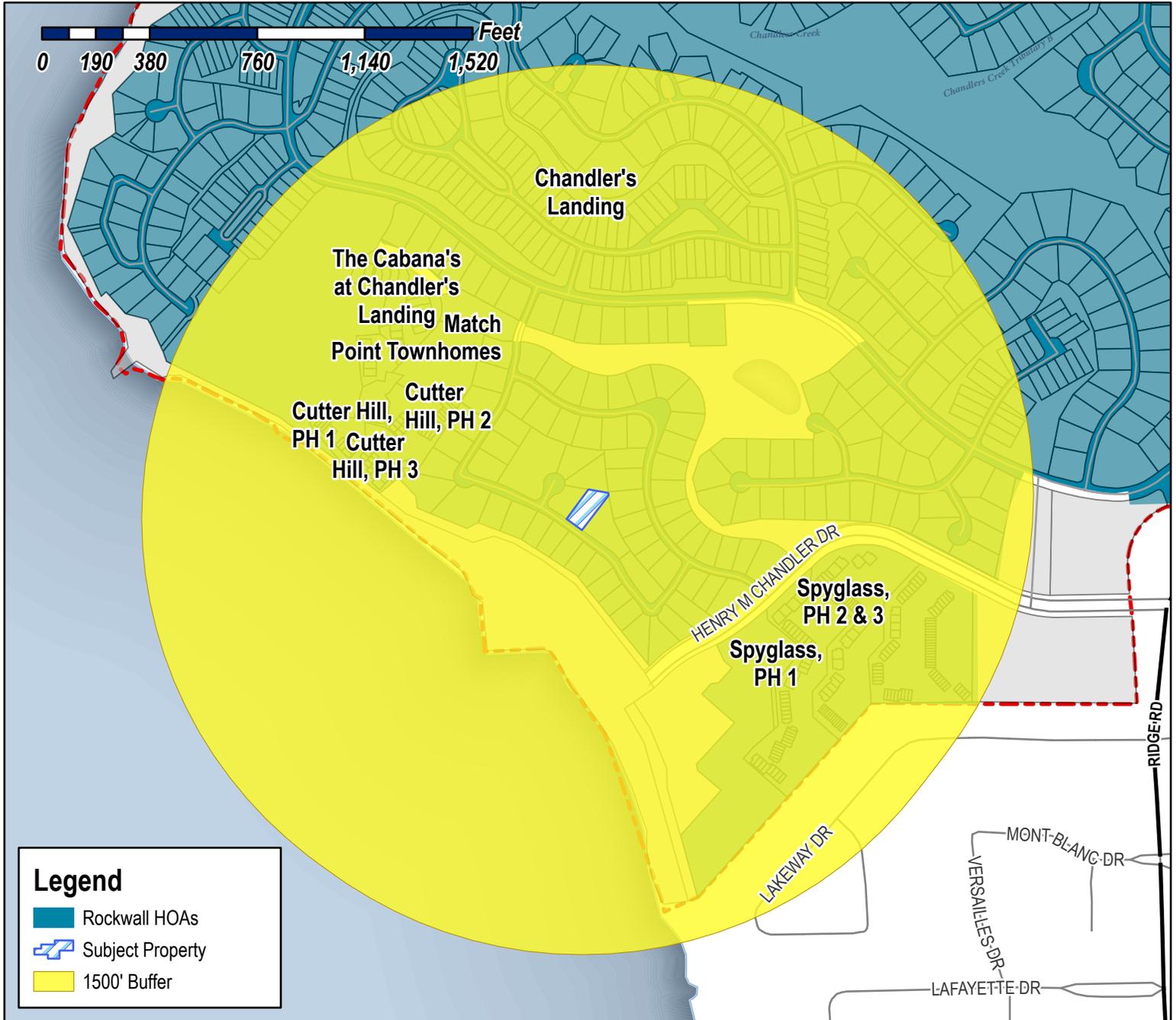




City of Rockwall

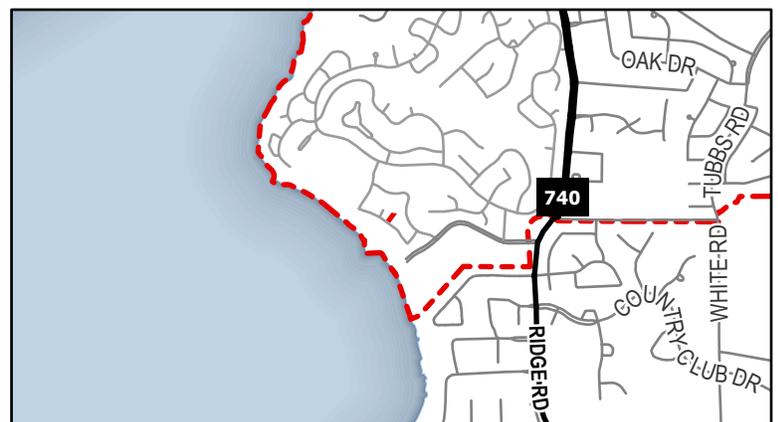
Planning & Zoning Department
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Case Number: Z2023-001
Case Name: SUP for Residential Infill in an Established Subdivision
Case Type: Zoning
Zoning: Planned Development 08 (PD-08)
Case Address: 310 Harborview Drive

Date Saved: 1/18/2023
 For Questions on this Case Call (972) 771-7745



Ross, Bethany

From: Chapin, Sarah
Sent: Thursday, January 26, 2023 12:24 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2023-001]
Attachments: HOA Map (01.21.2023).pdf; Public Notice Z2023-001.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *January 27, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, February 14, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, February 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-001: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Ali Abedini on behalf of John Fenianos for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 0.20-acre parcel of land identified as Lot 16, Block C, Harborview Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 7 (SF-7) District, addressed as 310 Harborview Drive, and take any action necessary.

Thank you,

Sarah Chapin

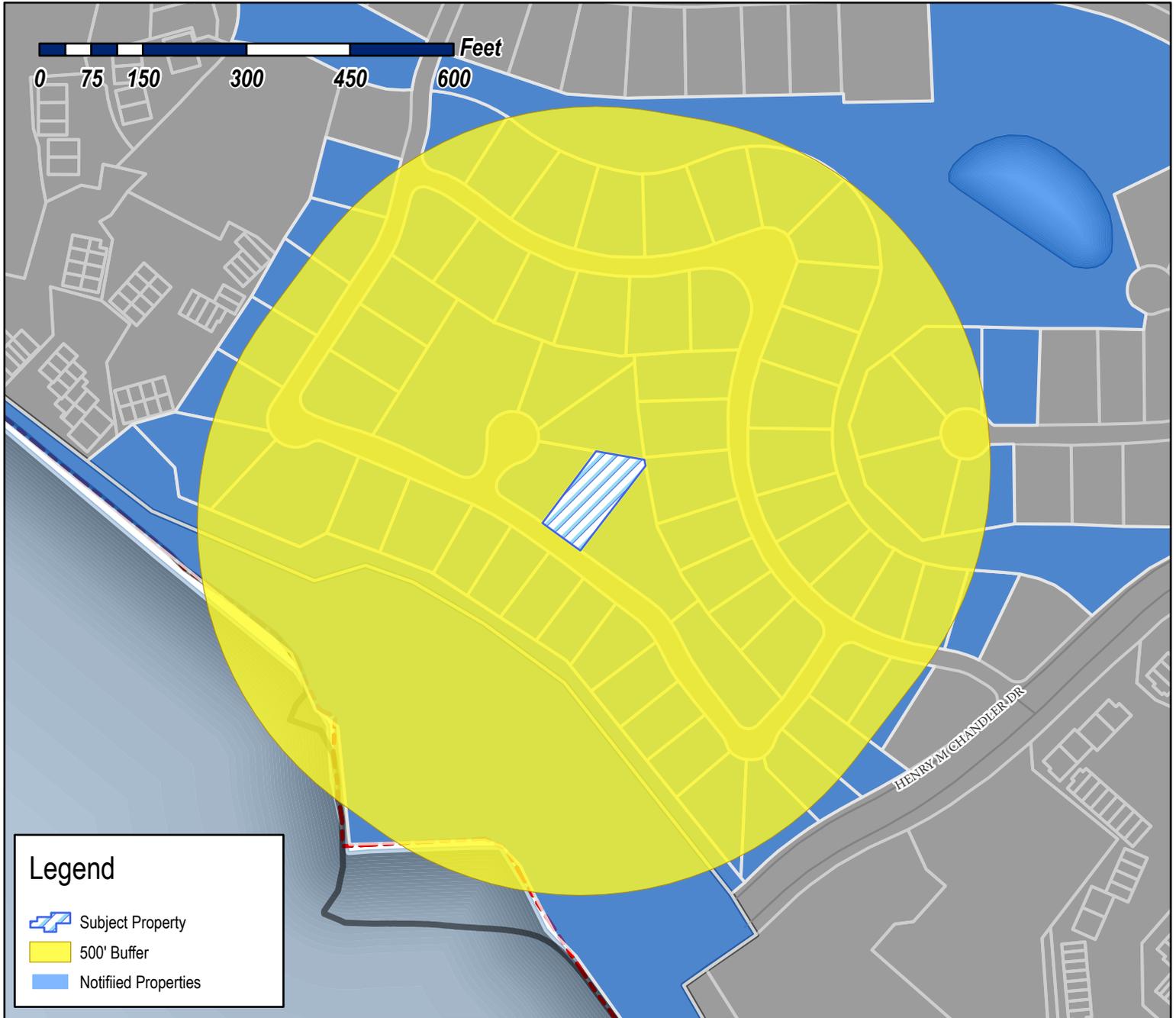
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-001
Case Name: SUP for Residential Infill within an established Subdivision
Case Type: Zoning
Zoning: Planned Development 08 (PD-08)
Case Address: 310 Harborview Drive

Date Saved: 1/18/2023

For Questions on this Case Call: (972) 771-7746



DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

OCCUPANT
324 HARBOR LANDING DR
ROCKWALL, TX 75032

BRADSHAW MARCKUS LEWIS AND
VANESSA RIZZARI
1857 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

OCCUPANT
316 HARBOR LANDING DR
ROCKWALL, TX 75032

JUDD MANO
508 MARIAH BAY DR
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

OCCUPANT
313 HARBOR LANDING DR
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR M/R
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARBORVIEW DR
ROCKWALL, TX 75032

OCCUPANT
305 HARBORVIEW DR
ROCKWALL, TX 75032

OCCUPANT
303 HARBORVIEW DR
ROCKWALL, TX 75032

NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

OCCUPANT
301 HARBORVIEW DR
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DR
ROCKWALL, TX 75032

BAILEY WAYNE & JACQUELINE
319 HARBOR LANDING DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING DR
ROCKWALL, TX 75032

TURCHI ARLENE S
314 HARBOR LANDING DR
ROCKWALL, TX 75032

OCCUPANT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

OIWA TAKAAKI
C/O OPEN HOUSE CO LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

NADEAU JESSICA & STEPHEN
318 HARBOR LANDING DR
ROCKWALL, TX 75032

MAZUR MELISSA
6112 VOLUNTEER PL
ROCKWALL, TX 75032

OCCUPANT
313 HARBORVIEW DR
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
204 HARBOR LANDING DR
ROCKWALL, TX 75032

OCCUPANT
CARLOS AUGUSTO MOSQUERA
329 HARBORVIEW DR
ROCKWALL, TX 75032

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

MARSH ELIZABETH AND JACK
6109 VOLUNTEER PL
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

OCCUPANT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BROWN BRYAN K
6111 VOLUNTEER PL
ROCKWALL, TX 75032

HENDRICKSON PATSY A
317 HARBOR LANDING DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

MARTIN AND LISA MANASCO LIVING TRUST
335 HARBORVIEW DR
ROCKWALL, TX 75032

TMCC TRUST
333 HARBORVIEW DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

NEAL RYAN & ALLYSON
6110 VOLUNTEER PL
ROCKWALL, TX 75032

DRAPER CHARLES E & JANICE M
6108 VOLUNTEER PL
ROCKWALL, TX 75032

LOHR JAMES A & MARGARET P
320 HARBOR LANDING DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

OCCUPANT
297 HARBORVIEW DR
ROCKWALL, TX 75032

ARA MANAGEMENT LLC
9906 LINCOLNSHIRE LN
ROCKWALL, TX 75087

OCCUPANT
295 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

LUCIA LODEMA S TRUSTEE
326 HARBORVIEW DR
ROCKWALL, TX 75032

OCCUPANT
328 HARBORVIEW DR
ROCKWALL, TX 75032

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

MARTIN SERGIO ROBLEDO AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

SELF BILLY & KATIE
C/O PRO SOAP
321 HARBORVIEW DR
ROCKWALL, TX 75032

OCCUPANT
317 HARBORVIEW DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

SELF JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

OCCUPANT
7 GREENBELT <Null>
ROCKWALL, TX 75032

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

MARTIN TREVOR ANDREW AND PAULA
JEANNETTE
310 HARBORVIEW DR
ROCKWALL, TX 75032

OCCUPANT
308 HARBORVIEW DR
ROCKWALL, TX 75032

FRONTERA JOSE ANTONIO & CAROLINE
4241 BUENA VISTA #18
DALLAS, TX 75205

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DR
ROCKWALL, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PL
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-001: Specific Use Permit for a Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Ali Abedini on behalf of John Fenianos for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.20-acre parcel of land identified as Lot 16, Block C, Harborview Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 7 (SF-7) District, addressed as 310 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-001: Specific Use Permit for a Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Ross, Bethany

From: jacqui bailey <baileyjac3@gmail.com>
Sent: Wednesday, February 8, 2023 7:59 AM
To: Planning
Cc: baileywf11
Subject: Case #Z2023-001: Specific Use Permit for a Residential Infill in an Established Subdivision

Hello Ms. Ross,

My husband Wayne Bailey and I are the owners at 319 Harbor Landing Dr, Rockwall TX 75032. We have received the public notice for case #Z2023-001 regarding Specific Use Permit for a Residential Infill in an Established Subdivision for Lot 16, Block C, Harborview Landing (310 Harborview Dr.). Our response to this request is that we are OPPOSED to the request for the following reasons:

- 1) This proposed house will completely block any view that we currently have of Lake Ray Hubbard which was one of the main reasons for purchasing in the development.
- 2) Should the time come that we wish to sell our property, having the view blocked would significantly reduce the value of the property.

We hope that our comments and opposition to this request will be heard at the February 14th Planning & Zoning meeting along with the February 21st City Council meeting.

Thank you for your time and submission of this opposition response.

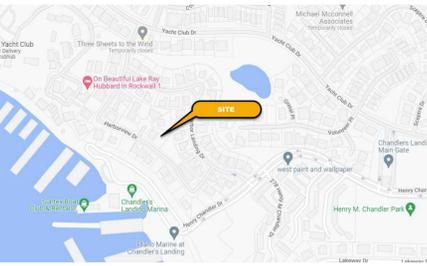
Sincerely,
Wayne & Jacqueline Bailey
319 Harbor Landing Dr.
Rockwall, TX 75032

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

PLOTTED 2/9/2023

X-22-011-GRADING.DWG

CREATED 2/9/2023



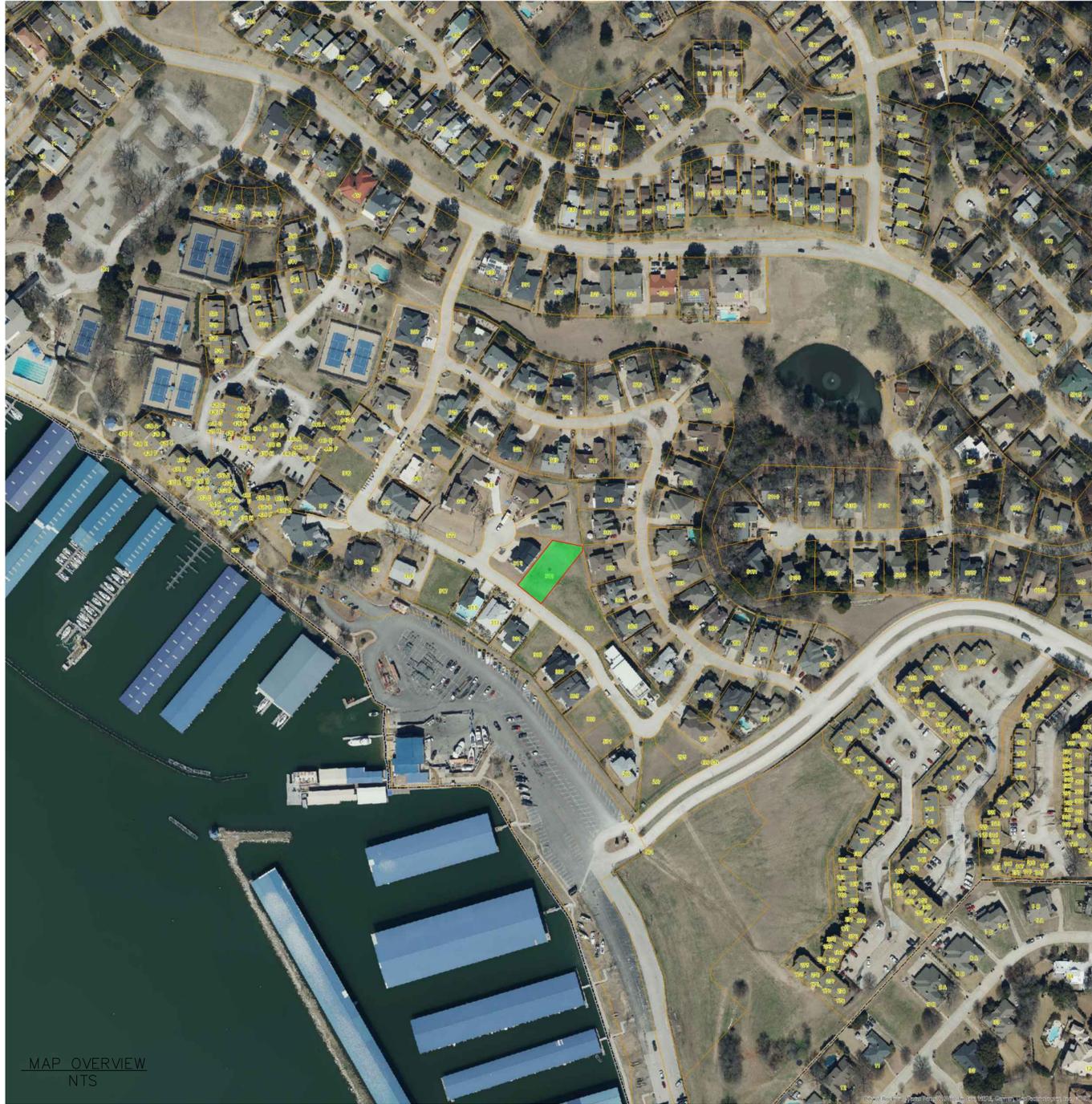
LOCATION MAP
NTS

SITE DEVELOPMENT PLAN FOR RESIDENTIAL HOUSE

310 HARBORVIEW DR, ROCKWALL, TX 75032



CITY ZONING MAP
NTS



MAP OVERVIEW
NTS

SHEET INDEX	
C000	COVER SHEET
C100	SITE PLAN
C200	LANDSCAPE PLAN
C300	GRADING AND DRAINAGE PLAN



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

LOCATES (2 WORKING DAYS NOTICE REQUIRED PRIOR TO EXCAVATION)
LOCAL CALLING NUMBERS
ROCKWALL COUNTY

8-1-1



DATE: 2/9/2023					
SCALED: AS NOTED					
DRAWN: ---					
DESIGN: ---					
ENGINEER: ---					
MANAGER: ---	NO	BY	DATE	REVISIONS	



WWW.BUILDENGLLC.COM
INFO@BUILDENGLLC.COM
TEL: 713 623 1827
TX F# 20409



APN: ---

CITY OF ROCKWALL

COVER SHEET

ROCKWALL COUNTY

310 HARBORVIEW DR, ROCKWALL, TX 75032

TEXAS

SHEET NO.

C000

1 of 4 SHEETS

PLOTTED 2/9/2023

X-22-011-SITE.DWG

CREATED 2/9/2023

BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, NAD83 NORTH ZONE.

SUBTOP

DATE: 2/9/2023					
SCALED: AS NOTED					
DRAWN: ---					
DESIGN: ---					
ENGINEER: ---					
MANAGER: ---	NO	BY	DATE	REVISIONS	



WWW.BUILDENGLLC.COM
 INFO@BUILDENGLLC.COM
 TEL: 713 623 1827
 TX F# 20409



APN: ----

CITY OF ROCKWALL

ROCKWALL COUNTY

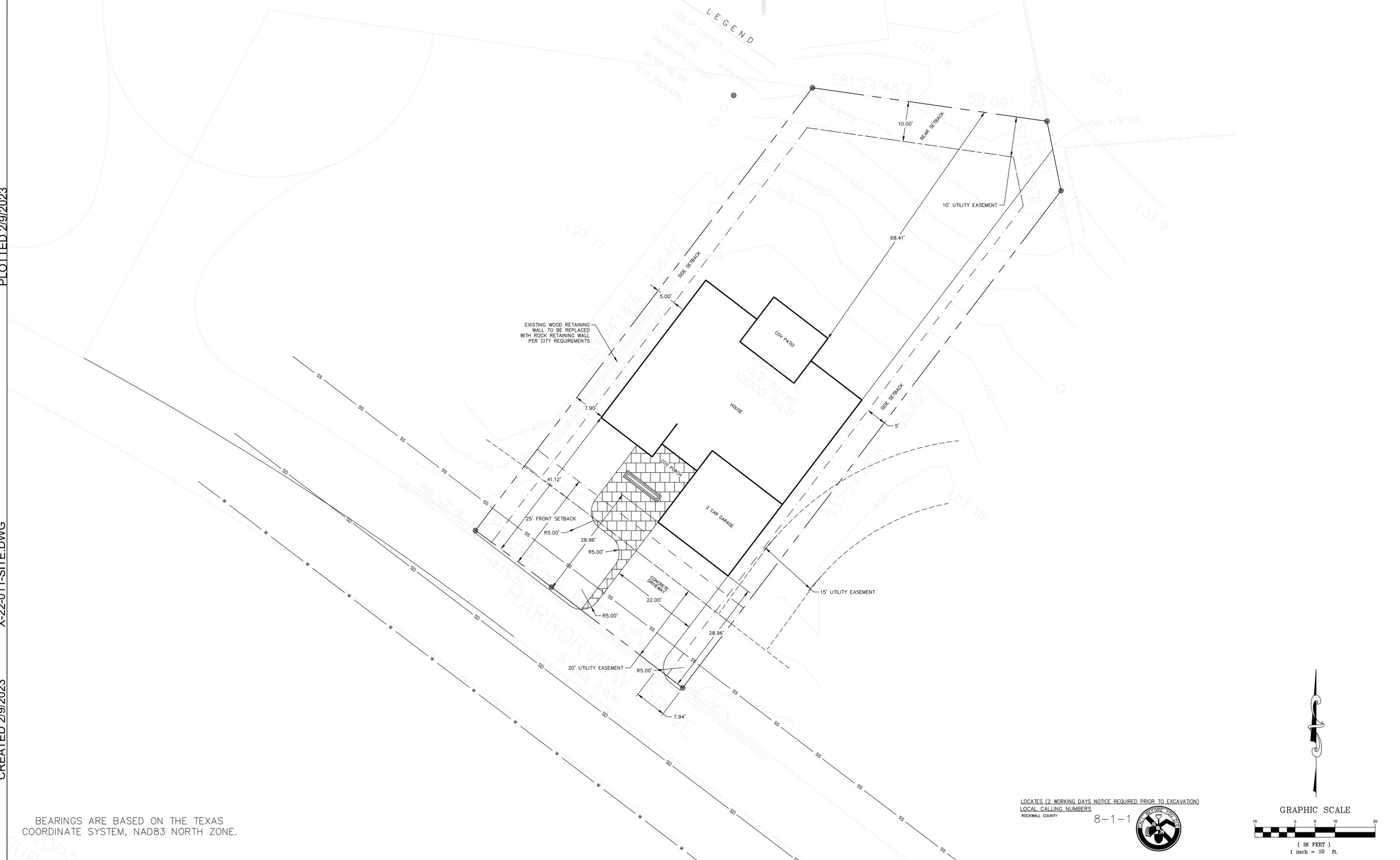
310 HARBORVIEW DR, ROCKWALL, TX 75032

SITE PLAN

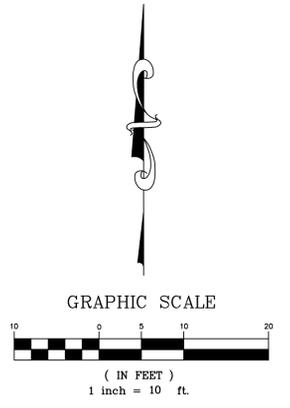
SHEET NO.

C100

2 of 4 SHEETS

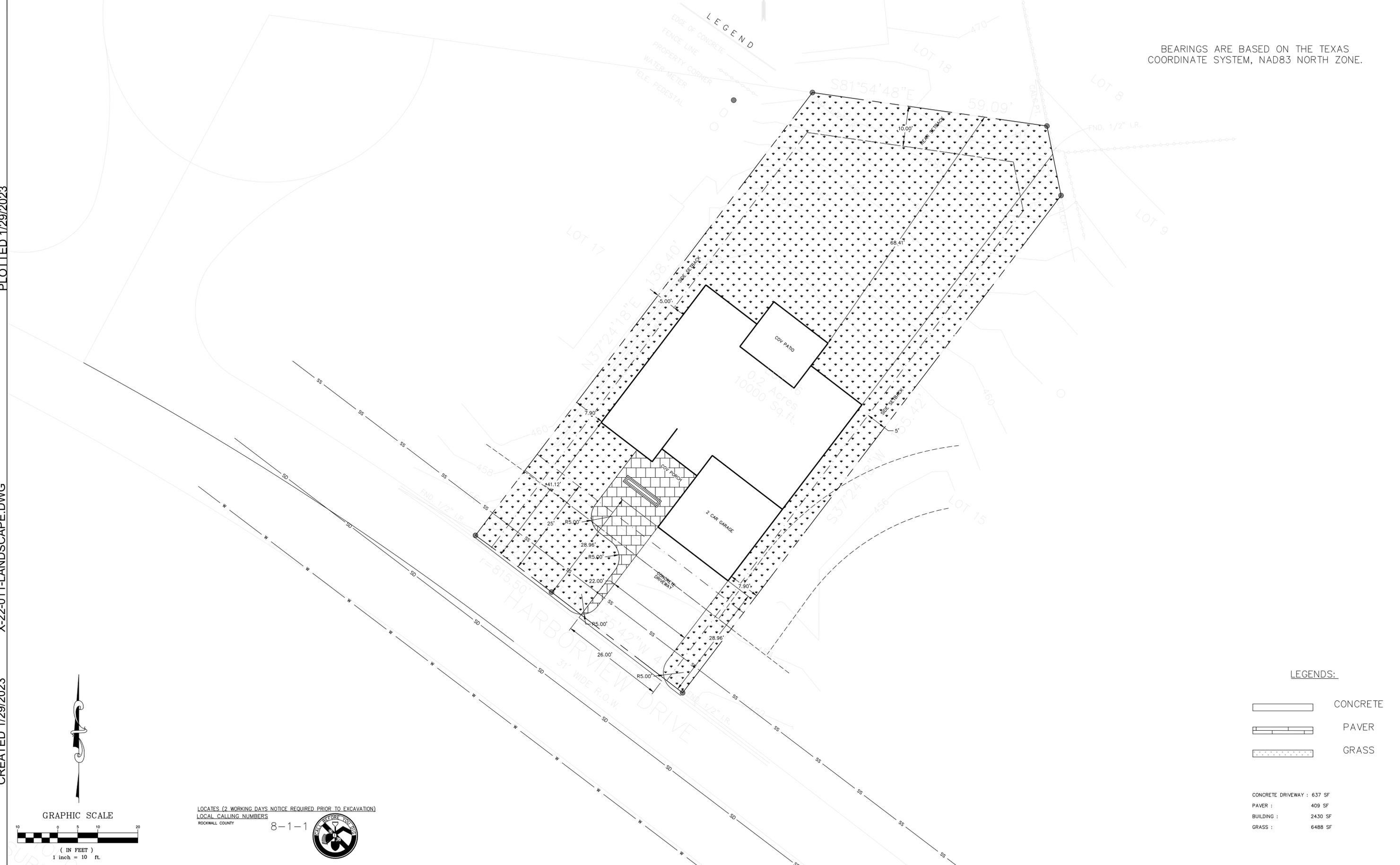


LOCATES (2 WORKING DAYS NOTICE REQUIRED PRIOR TO EXCAVATION)
 LOCAL CALLING NUMBERS 8-1-1
 ROCKWALL COUNTY



PLOTTED 1/29/2023
X-22-011-LANDSCAPE.DWG
CREATED 1/29/2023

BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, NAD83 NORTH ZONE.

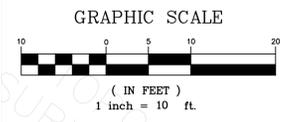


LEGEND

LEGENDS:

-  CONCRETE
-  PAVER
-  GRASS

CONCRETE DRIVEWAY : 637 SF
PAVER : 409 SF
BUILDING : 2430 SF
GRASS : 6488 SF



LOCATES (2 WORKING DAYS NOTICE REQUIRED PRIOR TO EXCAVATION)
LOCAL CALLING NUMBERS
ROCKWALL COUNTY

8-1-1



WWW.BUILDENGLLC.COM
INFO@BUILDENGLLC.COM
TEL: 713 623 1827
TX F# 20409



APN: ----

310 HARBORVIEW DR, ROCKWALL, TX 75032

SHEET NO.

LANDSCAPE PLAN

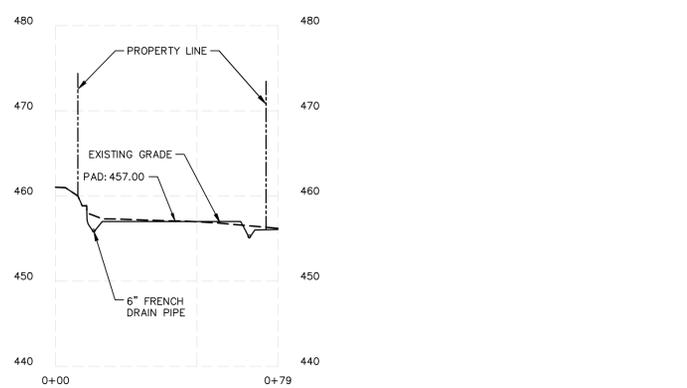
C200

3 of 4 SHEETS

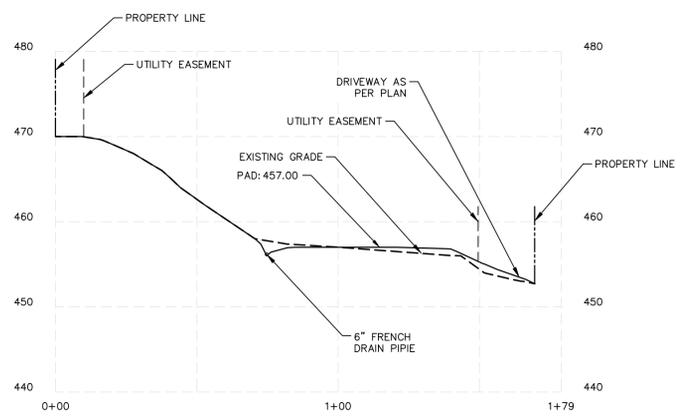
DATE:	NO	BY	DATE	REVISIONS
1/29/2023				
SCALED: AS NOTED				
DRAWN: ---				
DESIGN: ---				
ENGINEER: ---				
MANAGER: ---				

LEGENDS:

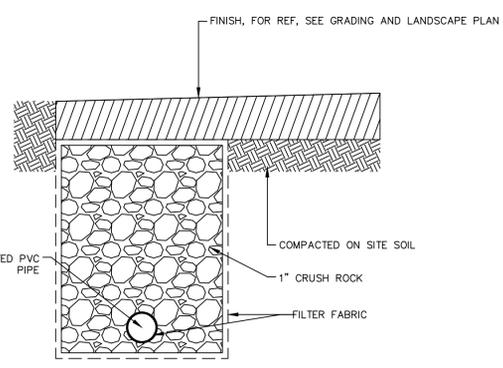
- 457 — PROPOSED CONTOURS
- - - 466 - - - EXISTING CONTOURS
- ▲ 457 FINISHED GRADE ELEVATION



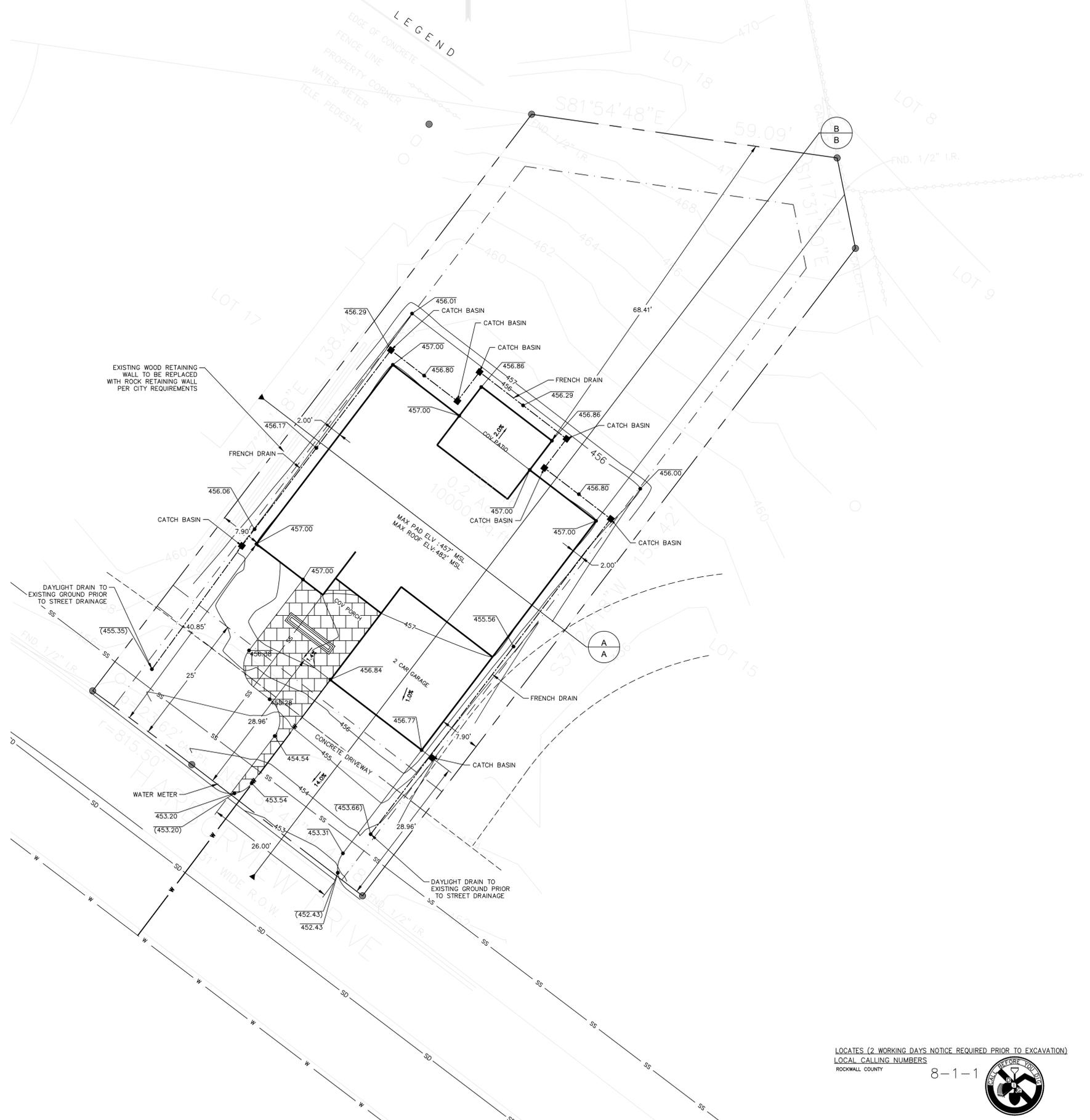
SEC A-A
HORIZ. SCALE 1" = 30'
VERT. SCALE 1" = 10'



SEC B-B
HORIZ. SCALE 1" = 30'
VERT. SCALE 1" = 10'



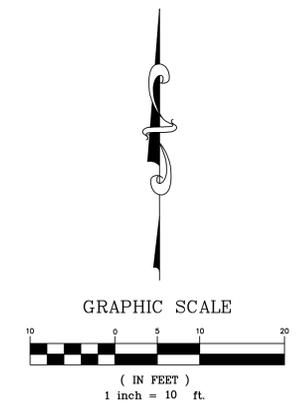
TYPICAL FRENCH DRAIN



BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, NAD83 NORTH ZONE.

LOCATES (2 WORKING DAYS NOTICE REQUIRED PRIOR TO EXCAVATION)
LOCAL CALLING NUMBERS
ROCKWALL COUNTY

8-1-1



PLOTTED 2/9/2023

X-22-011-GRADING.DWG

CREATED 2/9/2023

DATE: 2/9/2023					
SCALED: AS NOTED					
DRAWN: ---					
DESIGN: ---					
ENGINEER: ---					
MANAGER: ---	NO	BY	DATE	REVISIONS	

BuildEng
WWW.BUILDENGLLC.COM
INFO@BUILDENGLLC.COM
 TEL: 713 623 1827
 TX F# 20409

STATE OF TEXAS
 MOHAMMAD SEDAGHEIAN
 136277
 LICENSED PROFESSIONAL ENGINEER
 02/10/2023

APN: ---
 310 HARBORVIEW DR, ROCKWALL, TX 75032
GRADING AND DRAINAGE PLAN
 CITY OF ROCKWALL
 ROCKWALL COUNTY
 TEXAS

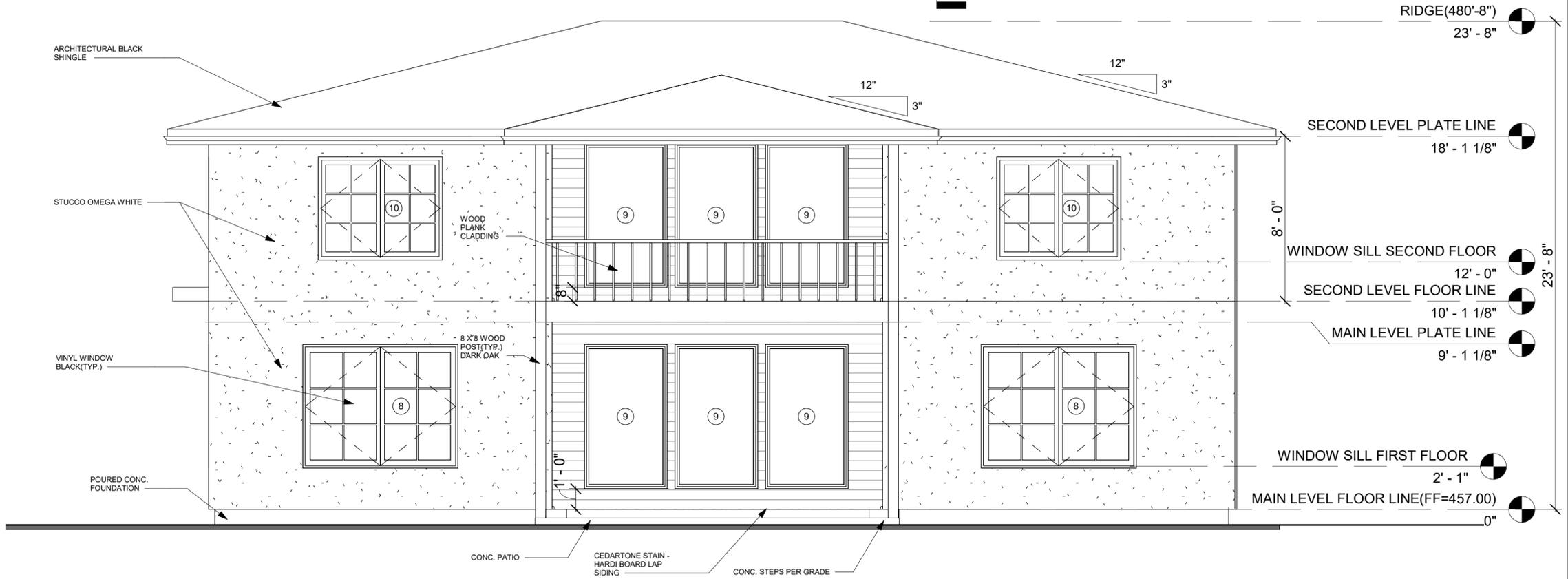
SHEET NO.
C300
 4 of 4 SHEETS



EXTERIOR MATERIAL SCHEDULE						
MATERIAL / MFG.	COLOR / NO.	AREA(SF) / PERCENTAGE(%)				TOTAL (2,832 SF)
		FRONT	REAR	RIGHT	LEFT	
WOOD PLANK CLADDING - LAP SIDING	THERMOASH	217 / 37%	109 / 20%	45 / 5%	137 / 16%	508 / 18%
STUCCO	OMEGA WHITE	287 / 49%	415 / 80%	822 / 95%	675 / 79%	2324 / 82%



1 Front Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"

310 HARBORVIEW DR,
ROCKWALL, TX 75032



WWW.BUILDINGLLC.COM
INFO@BUILDINGLLC.COM
TEL: 512-537-6364
TX F# 20409

Seal:

Project Number:	
Drawn By:	AA
Checked By:	SLP

NO	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

Project: Harborview Drive Residence

A 201

SCALE:

310 HARBORVIEW DR,
ROCKWALL, TX 75032



WWW.BUILDINGLLC.COM
INFO@BUILDINGLLC.COM
TEL: 512-537-6364
TX F# 20409

Seal:

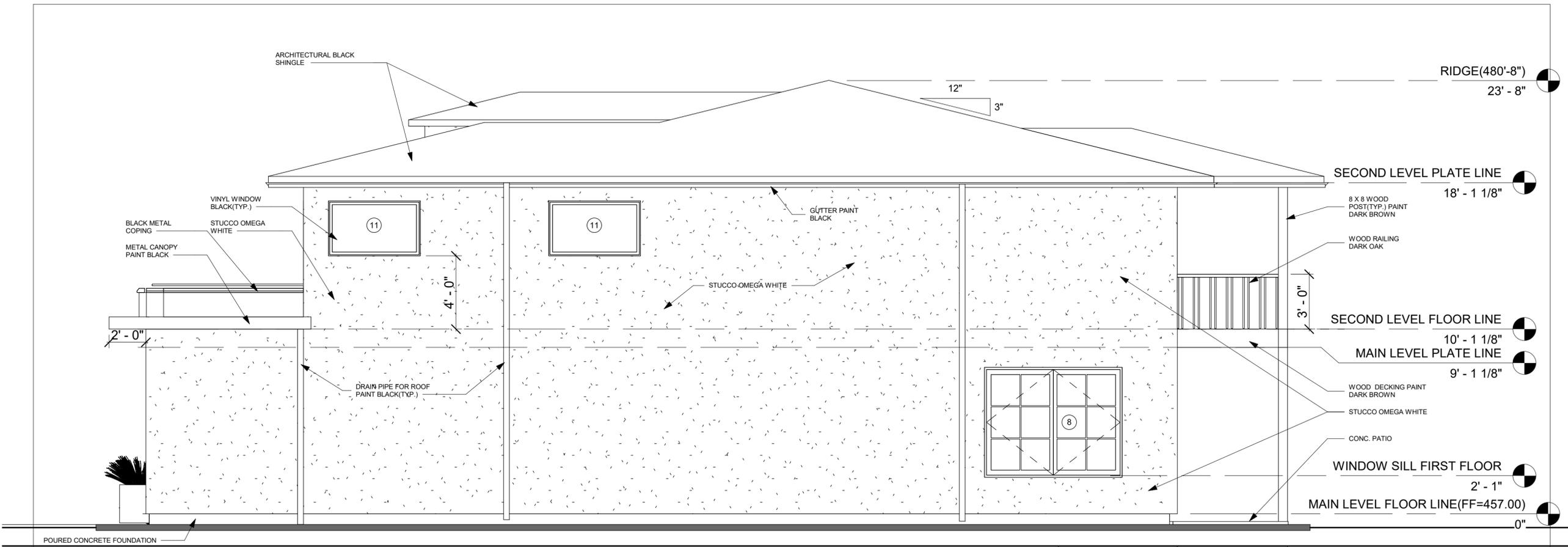
Project Number:
Drawn By: AA
Checked By: SLP

NO	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		

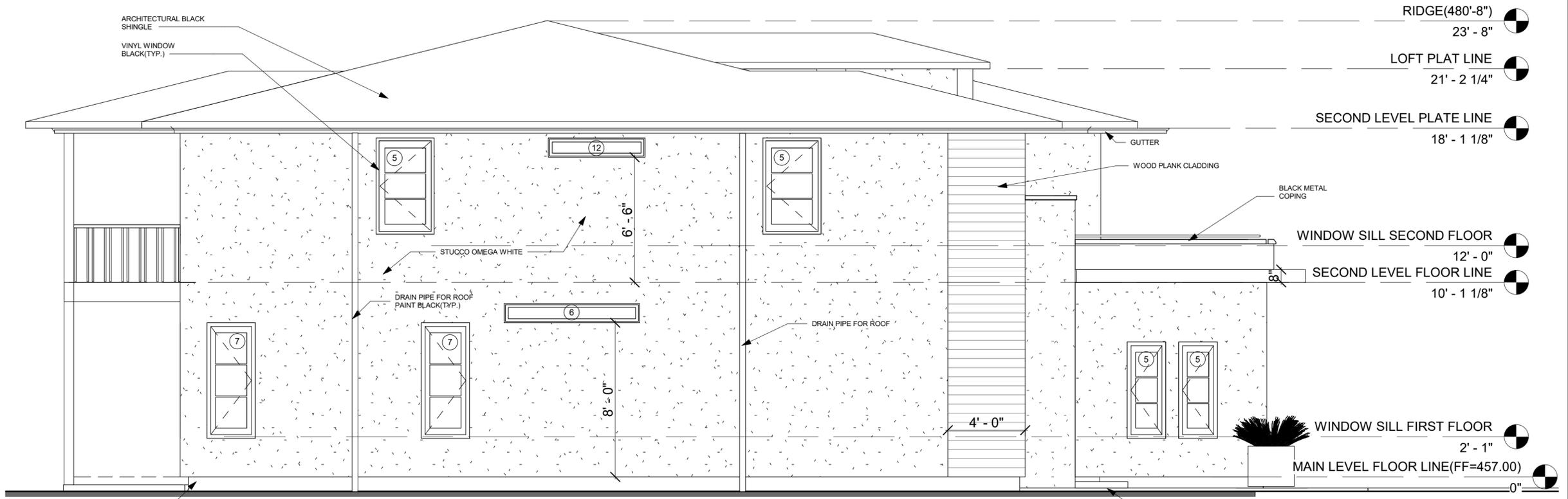
Project:
Harborview Drive
Residence

A 202

SCALE:



1 Right Elevation
1/4" = 1'-0"



2 Left Elavation
1/4" = 1'-0"



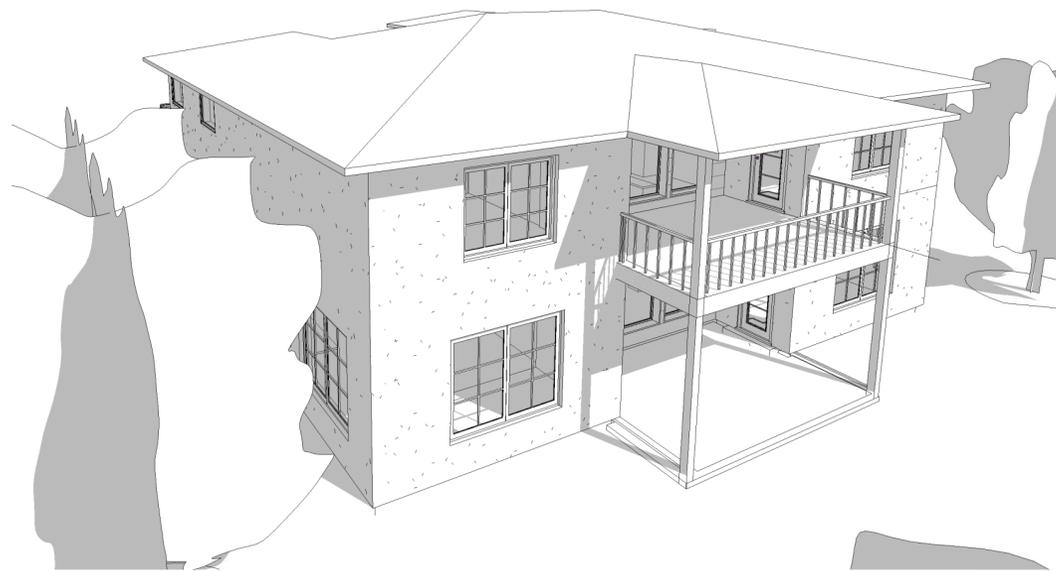
MATERIAL / MFG.	COLOR / NO.	AREA(SF) / PERCENTAGE(%)				TOTAL (2,632 SF)
		FRONT	REAR	RIGHT	LEFT	
WOOD PLANK CLADDING - LAP SIDING	THERMOASH	217 / 37%	109 / 20%	45 / 5%	137 / 16%	508 / 18%
STUCCO	OMEGA WHITE	287 / 49%	415 / 80%	822 / 95%	675 / 79%	2324 / 82%



2 3D View 1



1 3D View 2



3 3D View 3



4 3D View 4

310 HARBORVIEW DR,
ROCKWALL, TX 75032



WWW.BUILDINGLLC.COM
INFO@BUILDINGLLC.COM
TEL: 512-537-6364
TX F# 20409

Seal:

Project Number:
Drawn By: AA
Checked By: SLP

NO	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

Project: Harborview Drive Residence

A 000

SCALE:



310 HARBORVIEW DR,
ROCKWALL, TX 75032



WWW.BUILDINGLLC.COM
INFO@BUILDINGLLC.COM
TEL: 512-537-6364
TX F# 20409

Seal:

Project Number:
Drawn By: AA
Checked By: SLP

NO	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		

Project:
Harborview Drive
Residence

A 001

SCALE:

310 HARBORVIEW DR,
ROCKWALL, TX 75032



WWW.BUILDINGLLC.COM
INFO@BUILDINGLLC.COM
TEL: 512-537-6364
TX F# 20409

Seal:

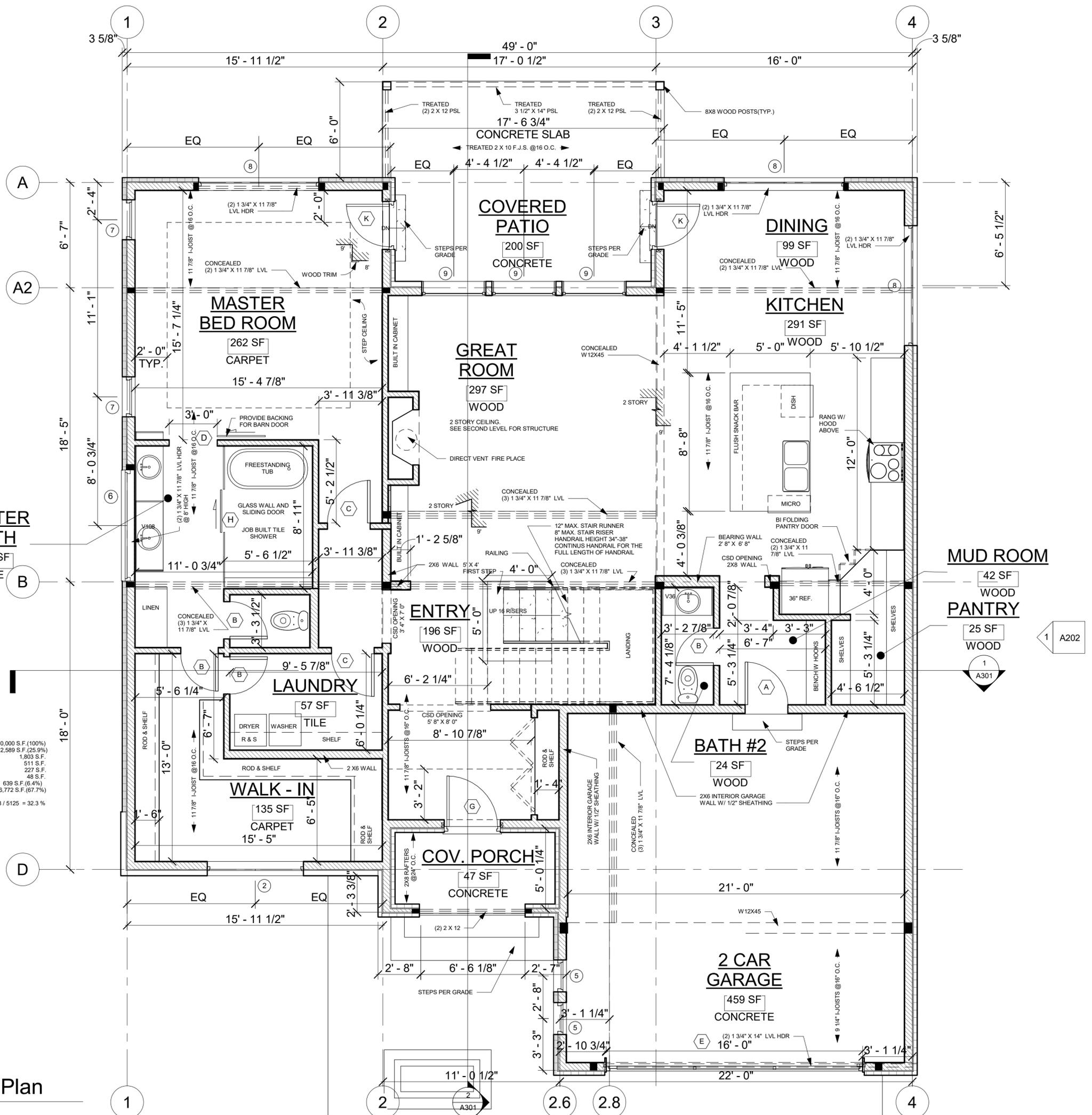
Project Number:
Drawn By: AA
Checked By: SLP

NO	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		

Project:
Harborview Drive
Residence

A 101

SCALE:



LOT AREA 10,000 S.F. (100%)
 BUILDING FOOTPRINT 2,589 S.F. (25.9%)
 CONDITIONED AREA FIRST FLOOR 1,803 S.F.
 GARAGE AREA 511 S.F.
 PORCH 227 S.F.
 ENTRANCE 48 S.F.
 DRIVEWAY 639 S.F. (6.4%)
 GREEN AREA (FRONT AND BACK YARD) 6,772 S.F. (67.7%)
 LOT COVERAGE (2,589 + 639) / 10,000 = 32.3%

BUILDING AREA 4,896 S.F.
 FIRST FLOOR 2,589 S.F.
 SECOND FLOOR 2,307 S.F.

CONDITIONED AREA 3,890 S.F.
 FIRST FLOOR 1,803 S.F.
 SECOND FLOOR 2,087 S.F.

First Floor Plan

1/4" = 1'-0"



WWW.BUILDINGLLC.COM
INFO@BUILDINGLLC.COM
TEL: 512-537-6364
TX F# 20409

Seal:

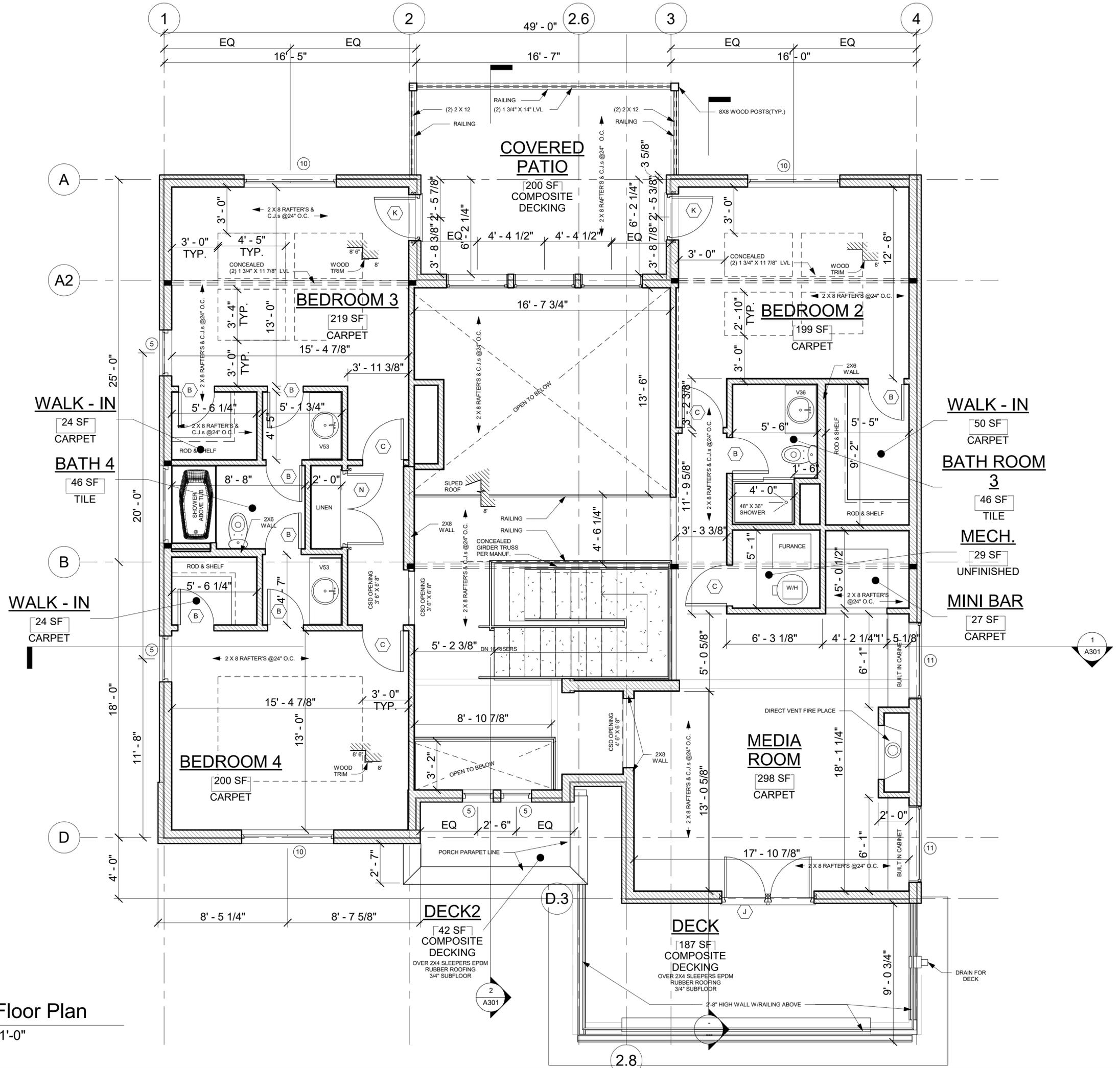
Project Number:
Drawn By: AA
Checked By: SLP

NO	DATE	REVISION
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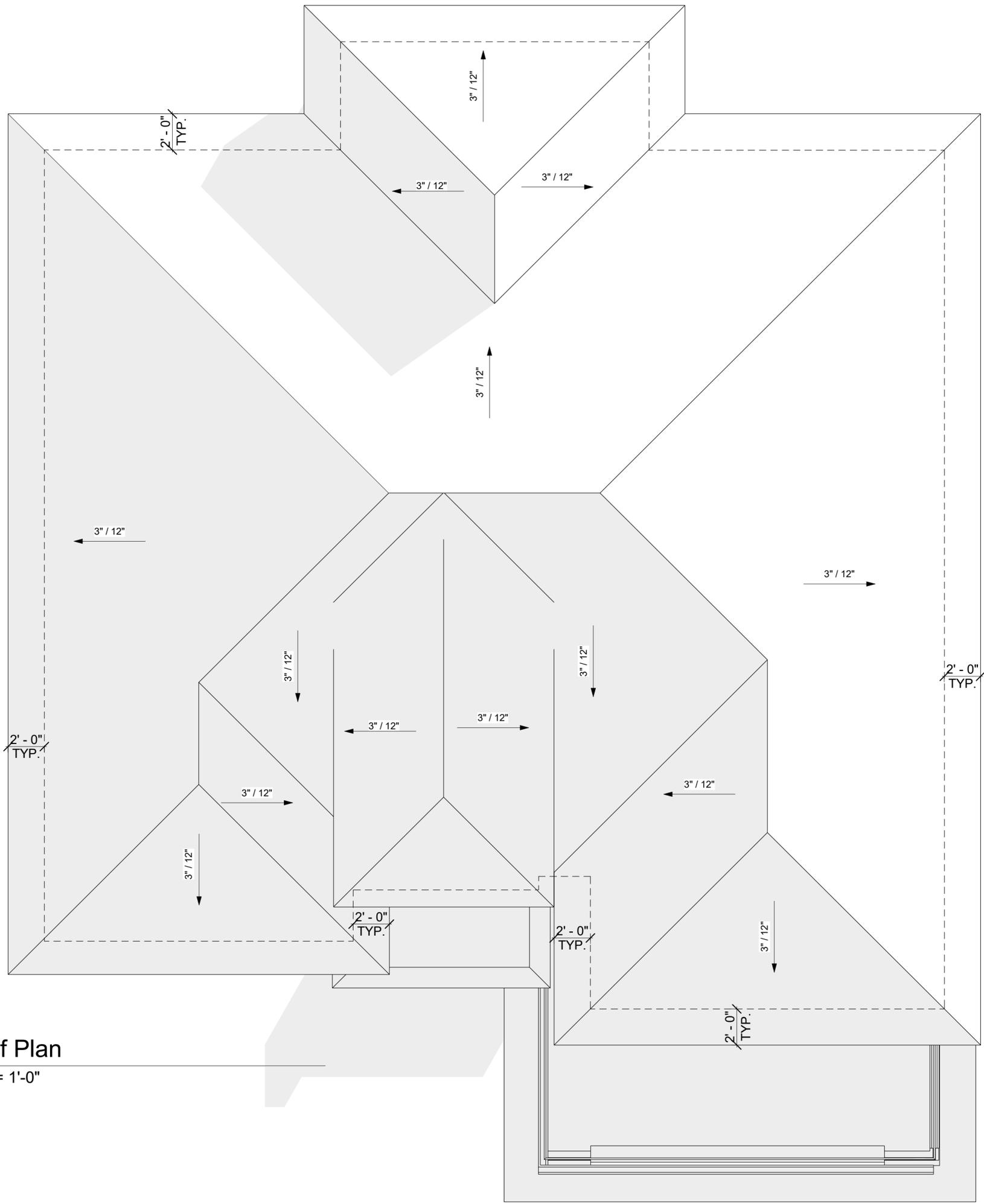
Project: Harborview Drive Residence

A 102

SCALE:



1 2nd Floor Plan
1/4" = 1'-0"



1 Roof Plan
 1/4" = 1'-0"

BED ROOM2
 BED ROOM1

310 HARBORVIEW DR,
 ROCKWALL, TX 75032



WWW.BUILDINGLLC.COM
 INFO@BUILDINGLLC.COM
 TEL: 512-537-6364
 TX F# 20409

Seal:

Project Number:
 Drawn By: AA
 Checked By: SLP

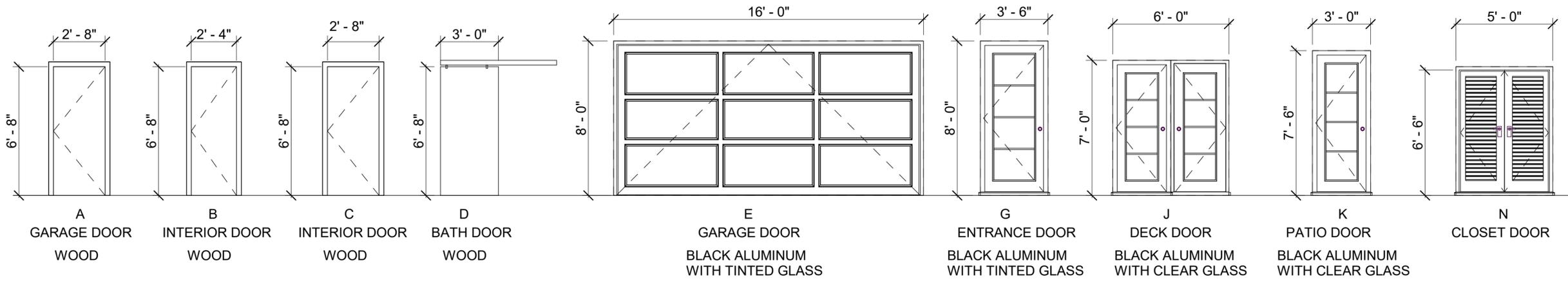
NO	REVISION	DATE
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Project: Harborview Drive Residence

A 103

SCALE:

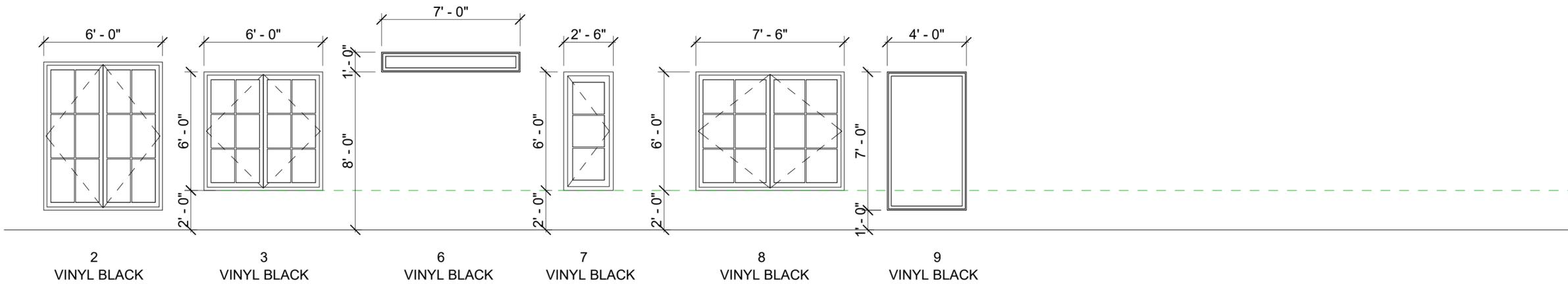
DOOR SCHEDULE



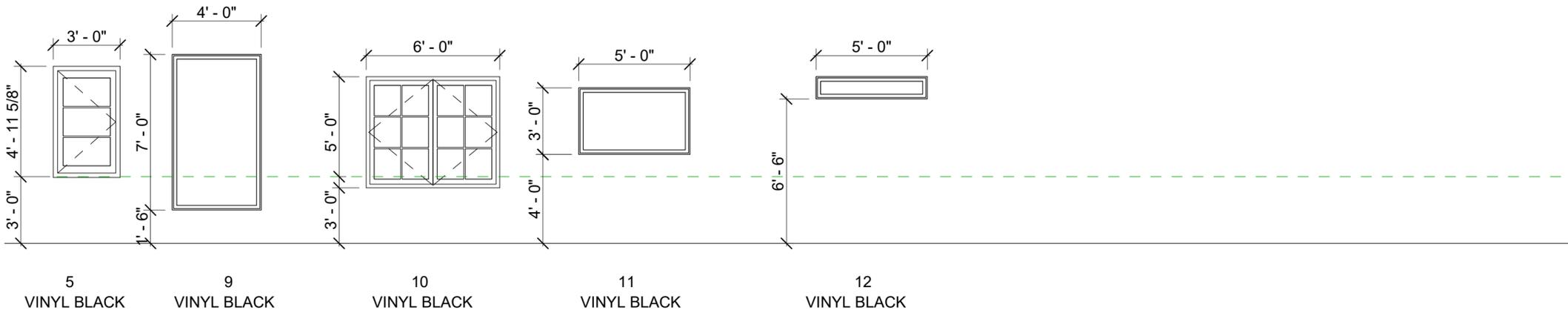
WINDOW SCHEDULE

FIRST FLOOR

MAX. U FACTOR : 0.3
 MAX. SHGC : 0.32
 MAX. VT: 0.51
 FRAME MATERIAL : WOOD



SECOND FLOOR



310 HARBORVIEW DR,
 ROCKWALL, TX 75032



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 TEL: 512-537-6364
 TX F# 20409

Seal:

Project Number:
 Drawn By: AA
 Checked By: SLP

NO	REVISION	DATE
1		
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Project: Harborview Drive Residence

A 601

SCALE:



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	EXTERIOR MATERIALS	ACCESSORY BUILDING
325 Harbor Landing Drive	Single-Family Home	1994	2934	Stucco	N/A
313 Harbor Landing Drive	Single-Family Home	2001	5343	Brick	N/A
315 Harbor Landing Drive	Single-Family Home	1994	2253	Brick	N/A
319 Harbor Landing Drive	Single-Family Home	1993	3265	Brick	N/A
311 Harbor Landing Drive	Single-Family Home	1995	2866	Stucco	N/A
323 Harbor Landing Drive	Single-Family Home	1994	3301	Brick	N/A
321 Harbor Landing Drive	Single-Family Home	1998	2982	Brick, Stone	N/A
303 Harbor Landing Drive	Single-Family Home	1994	2548	Brick	N/A
317 Harbor Landing Drive	Single-Family Home	1995	2974	Brick	N/A
307 Harbor Landing Drive	Single-Family Home	1993	2021	Brick	N/A
309 Harbor Landing Drive	Single-Family Home	1993	2936	Brick	168 SF ; 24 SF
326 Harbor Landing Drive	Single-Family Home	1994	2737	Hardi-Board	96 SF
328 Harbor Landing Drive	Single-Family Home	1994	3521	Wood Paneling, Stucco, and Stone	N/A
330 Harborview Drive	Single-Family Home	1994	2252	Brick, Stone	N/A
306 Harborview Drive	Single-Family Home	1994	2035	Wood Paneling, Stucco, and Tile	N/A
312 Portview Place	Single-Family Home	2017	2919	Stone, Hardi-Board	253 SF
310 Harborview Drive	Subject Property	N/A	N/A	N/A	N/A
308 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
301 Harbor Landing Drive	Single-Family Home	1994	2676	Brick	N/A
314 Portview Place	Single-Family Home	2017	2629	Stone	N/A
316 Portview Place	Single-Family Home	2009	3128	Stone, Stucco	N/A
305 Harbor Landing Drive	Single-Family Home	1988	2060	Brick	N/A
320 Portview Place	Single-Family Home	2012	3616	Brick	N/A
Averages		1998	2916		135



CITY OF ROCKWALL

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325 Harbor Landing Drive



313 Harbor Landing Drive



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

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315 Harbor Landing Drive



319 Harbor Landing Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

PLANNING AND ZONING DEPARTMENT

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311 Harbor Landing Drive



323 Harbor Landing Drive



CITY OF ROCKWALL

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321 Harbor Landing Drive



303 Harbor Landing Drive



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317 Harbor Landing Drive



307 Harbor Landing Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

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309 Harbor Landing Drive



326 Harbor Landing Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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328 Harbor Landing Drive



330 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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306 Harborview Drive



312 Portview Place



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

PLANNING AND ZONING DEPARTMENT

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310 Harborview Drive



308 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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301 Harbor Landing Drive



314 Portview Place



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

PLANNING AND ZONING DEPARTMENT

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316 Portview Place



305 Harbor Landing Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-001

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PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



320 Portview Place

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 84-30*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.20-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 16, BLOCK C, HARBORVIEW LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ali Abedini on behalf of John Fenianos for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.20-acre parcel of land identified as Lot 16, Block C, Harborview Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 7 (SF-7) District land uses, addressed as 310 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 84-30*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 84-30*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 84-30*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A':
Legal Description

Address: 310 Harborview Drive

Legal Description: Lot 16, Block C, Harborview Landing, Phase 2 Addition



**Exhibit 'B':
Residential Plot Plan**

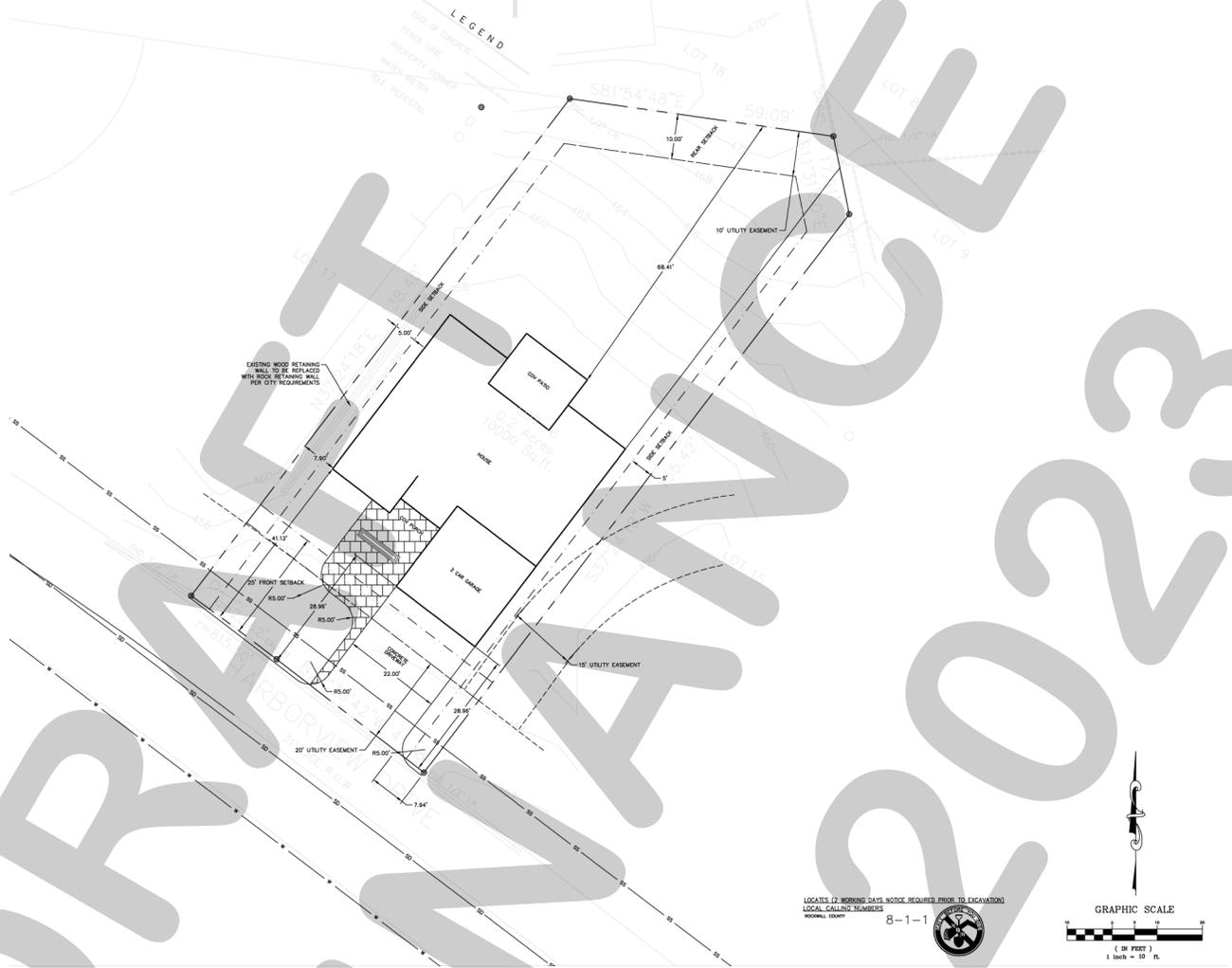
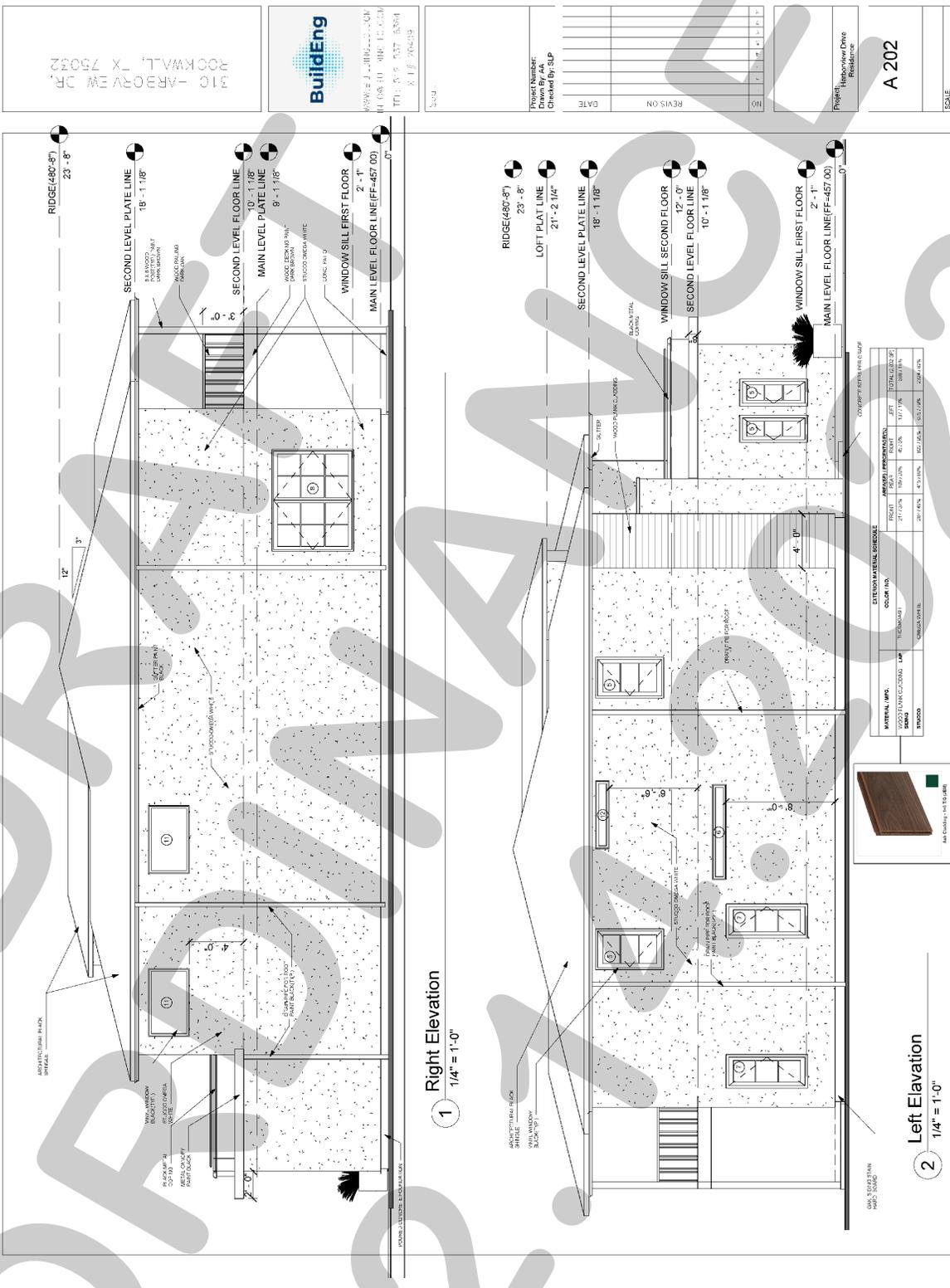


Exhibit 'C': Building Elevations



310 - ARBORVIEW DR.
ROCKWALL, TX 75087

BuildEng
 DRAWN BY: J. J. JONES
 CHECKED BY: SUP
 DATE: 3/12/2023

NO.	1	2	3	4	5	6	7	8	9	10
DATE										
REVISION										

Project: Harborview Drive Residence
 Scale: A 202

NO.	1	2	3	4	5	6	7	8	9	10
DATE										
REVISION										



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: February 14, 2023

APPLICANT: Matthew Peterson; *DB Constructors*

CASE NUMBER: Z2023-002; *Specific Use Permit for New and/or Used Indoor Motor Vehicle Dealership/Showroom*

SUMMARY

Hold a public hearing to discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a Specific Use Permit (SUP) to allow a New and/or Used Indoor Motor Vehicle Dealership/Showroom on a 1.99- acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development 46 (PD-46) District for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on July 21, 1997 by *Ordinance No. 97-14*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On March 1, 1999, the City Council approved a zoning change [*Case No. PZ1998-087-01; Ordinance No. 99-05*] for the subject property changing the zoning from an Agricultural (AG) District to Planned Development District 46 (PD-46) for Commercial (C) District land uses. On August 2, 2021, the City Council amended Planned Development District 46 (PD-46) [*Case No. Z2020-024; Ordinance No. 21-32*]; however, the approved amendment did not affect the subject property. The subject property has remained vacant since the time of annexation.

PURPOSE

The applicant -- *Matthew J. Peterson of DB Constructors* -- is requesting the approval of a Specific Use Permit (SUP) to allow the *New and/or Used Indoor Motor Vehicle Dealership/Showroom* in a Commercial (C) District for the purpose of constructing a 22,726 SF *Office and Indoor Motor Vehicle Dealership/Showroom* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of Corporate Crossing and Springer Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Springer Road, which is classified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land, one (1) parcel is vacant (*i.e. Lot 1, Block B, Rockwall Technology Park Phase 2 Addition*), and the other parcel (*i.e. Lot 3, Block B, Rockwall Technology Park Phase 2 Addition*) is developed with an industrial building. Both properties are zoned Light Industrial (LI) District. Following this is Discovery Boulevard, which is classified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a vacant 1.836-acre tract of land (*i.e. Tract 2-11, Abstract 186 of the J. A. Ramsey Survey*) that is zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

Beyond this is SH-276, which is classified as a TXDOT6D (i.e. a Texas Department of Transportation, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are two (2) vacant tracks of land (i.e. Tracts 2-12 & 2-14, Abstract 186 of the J. A. Ramsey Survey) that are zoned Commercial (C) District. Beyond this is the Sterling Farms Subdivision, which consists 48 single-family residential lots on 77.74-acres. This subdivision was established on April 28, 1997 and is zoned Single-Family Estates 1.5 (SFE-1.5) District.

East: Directly east of the subject property is a five (5) acre tract of land (i.e. Tract 2-6, Abstract 186 of the J. A. Ramsey Survey) developed with a *Mini-Warehouse Facility*. Beyond this is a 2.50-acre tract of land (i.e. Tract 2-3, Abstract 186 of the J. A. Ramsey Survey) developed with an *Office Building*. Following this is a 1.095-acre parcel of land (i.e. Lot 4, Block A, Sharp Addition) developed with two (2) *Office Buildings*. Following this is a vacant 1.914-acre parcel of land (i.e. Lot 5, Block A, Sharp Addition). All of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

West: Directly west of the subject property is a two (2) acre parcel of land (i.e. Lot 1, Block A, Pannell Subdivision) that is zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Beyond this is Corporate Crossing, which is classified as a TXDOT4D (i.e. a Texas Department of Transportation, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 8.405-acre parcel of land (i.e. Lot 8, Block A, Rockwall Technology Park Addition) that is zoned Light Industrial (LI) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, letter, and a zoning exhibit requesting a Specific Use Permit (SUP) for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the subject property. According to the applicant's letter, the

proposed 22,726 SF facility will be used as "...a car showroom, office pertaining to Mr. Fleming's [*the owner*] businesses, and a separate area for storage outside of the showroom." The applicant has included a floor plan showing how the business will be laid out, and staff has included this in the attached packet for the Planning and Zoning Commission and City Council's review.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* as "(t)he indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage." In this case, the applicant's proposed use -- *which is to store a private car collection*-- falls under this classification. According to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that not all car dealerships are appropriate within the City's commercial areas, and that the City Council should have discretionary oversight with regard to car dealerships and their impacts within these types of districts. In addition, Section 02, *Conditional Land Use Standards and Definitions*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) also requires the following *Conditional Land Use Standards* as part of the establishment of this land use [*for reference staff has provided a summary of the applicant's proposal adjacent to the standards and its compliance to the requirements*]:

TABLE 1: CONDITIONAL LAND USE STANDARDS FOR THE NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM LAND USE

CONDITIONAL LAND USED REQUIREMENTS	PROPOSED CONCEPT PLAN	COMPLIANCE TO THE REQUIREMENTS
THE SALES/STORAGE FACILITY MUST BE A COMPLETELY ENCLOSED BUILDING.	ALL OPERATIONS WILL BE COMPLETELY ENCLOSED WITHIN THE BUILDING.	IN CONFORMANCE
OUTSIDE DISPLAY OR STORAGE OF VEHICLES SHALL BE PROHIBITED. THIS INCLUDES STORING VEHICLES UNDER CANOPIES, AWNINGS OR SIMILAR COVERED STRUCTURES/	THERE SHALL BE NO OUTSIDE STORAGE OR DISPLAY.	IN CONFORMANCE
ALL ACTIVITIES SHALL REMAIN INSIDE THE BUILDING.	ALL OPERATIONS WILL BE COMPLETELY ENCLOSED WITHIN THE BUILDING.	IN CONFORMANCE

STAFF ANALYSIS

In this case, the proposed concept plan shows conformance with the *Conditional Land Use Standards*, density and dimensional requirements, and *General Overlay District Standards* for the *New and/or Used Indoor Motor Vehicle Dealership/Showroom* land use in Planned Development District 46 (PD-46) as stipulated by the Unified Development Code (UDC). According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), the proposed building should be parked to accommodate the indicated *Office* and *Warehouse* land uses. Based on the provided concept plan the applicant is required to provide 34 parking spaces ($5,003/300 + 17,723/1,000 = 34$); however, the concept plan indicates 29 parking space will be provided. At the time of site plan staff will work with the applicant to ensure the proposed development is parked in conformance with the UDC. Based on the requested land use, concept plan, and conceptual building elevations the applicant's request does not appear to create a negative impact on any adjacent properties; however, approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject is situated within the *Technology District* and is designated for *Commercial/Retail* land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." That being said, the subject property is between the Rockwall Technology Park to the north and several transitional light industrial properties -- that are designated for *Commercial/Retail* land uses -- to the south,

with no direct residential adjacency. Additionally, the *District Strategies* state that the properties near SH-276 are transitioning and should "...transition to neighborhood/convenience centers in the future." In this case, the proposed *New and/or Used Indoor Motor Vehicle Dealership/Showroom* provides a transition between the industrial land uses in the Rockwall Technology Park north of Springer Road and the transitional land uses along SH-276.

NOTIFICATIONS

On January 27, 2023, staff mailed 27 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lofland Farms Homeowner's Association (HOA), which is the only HOA/Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). Staff has received no notices in favor or opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* within a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The development and operation of a New and/or Used Indoor Motor Vehicle Dealership/Showroom shall generally conform to the Concept Plan depicted in Exhibit 'B' and Concept Building Elevations depicted in Exhibit 'C' of this ordinance.
 - (b) The sales/storage facility must be in a completely enclosed building; and,
 - (c) Outside display and/or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures; and,
 - (d) All activities shall remain inside the building (i.e. no detailing, washing, sales activities, etcetera shall be performed outside the building); and,
 - (e) Accessory uses may be allowed in compliance with the Land Use Schedule contained in Article 04, Permissible Uses, of the Unified Development Code (UDC); and,
 - (f) The New and/or Used Indoor Motor Vehicle Dealership/Showroom shall be restricted to the sale of motor vehicles only (i.e. cars and/or light trucks); and,
 - (g) The subject property shall comply with all standard of the City of Rockwall Fire Department for such use.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

22023-002

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **CORPORATE CROSSING**

SUBDIVISION **REMAINDER OF MAK SPOT REAL ESTATE LLC** LOT BLOCK

GENERAL LOCATION **LOT ON SPRINGER ROAD JUST EAST OF THE INTERSECTION AT CORPORATE CROSSING**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-46** CURRENT USE **VACANT LOT**

PROPOSED ZONING PROPOSED USE **OFFICE + INDOOR VEHICLE SHOWROOM**

ACREAGE **1.99 ACRES** LOTS [CURRENT] LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER APPLICANT **DB CONSTRUCTORS, INC**

CONTACT PERSON CONTACT PERSON **MATTHEW J PETERSON, AIA**

ADDRESS ADDRESS **2400 GREAT SOUTHWEST PARKWAY**

CITY, STATE & ZIP CITY, STATE & ZIP **FORT WORTH, TX 76106**

PHONE PHONE **972.837.6244**

E-MAIL E-MAIL **MATTHEW@DBCONSTRUCTORS.COM**

NOTARY VERIFICATION [REQUIRED]

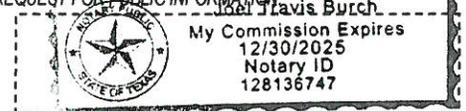
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEFF R FLEMING [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2300 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF JAN, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 12/30/25



Z2023-002: SUP for a New and/or Used Indoor Motor Vehicle Dealership/Showroom

CORPORATE CROSSING

LI

SPRINGER RD

PD-46

276

C

SFE-1.5

PD-45

Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

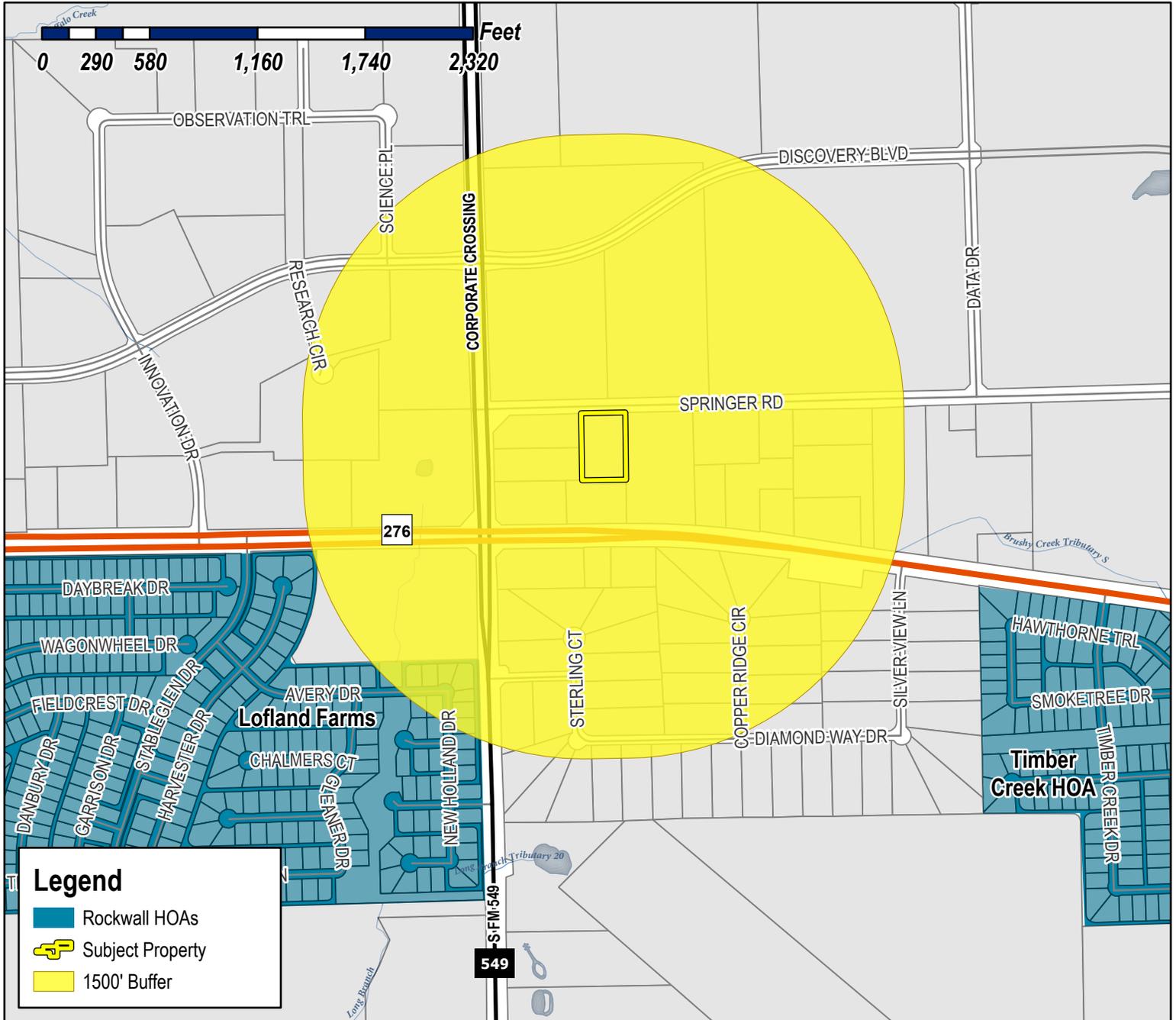




City of Rockwall

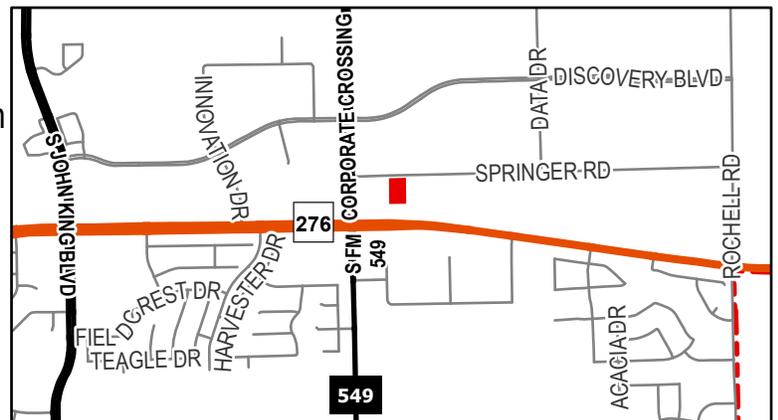
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Case Number: Z2023-002
Case Name: SUP for a New and/or Used Indoor Motor Vehicle Dealership/Showroom
Case Type: Zoning
Zoning: Planned Development 46 (PD-46)
Case Address: East of the Intersection of Springer Road and Corporate Crossing

Date Saved: 1/19/2023
 For Questions on this Case Call (972) 771-7745



Lee, Henry

From: Chapin, Sarah
Sent: Thursday, January 26, 2023 12:24 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-002]
Attachments: HOA Map (01.20.2023).pdf; Public Notice Z2023-002.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *January 27, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, February 14, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, February 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-002: SUP for a New and/or Used Motor Vehicle Dealership/Showroom

Hold a public hearing to discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a *Specific Use Permit (SUP)* to allow a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on a 1.99-acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing, and take any action necessary.

Thank you,

Sarah Chapin

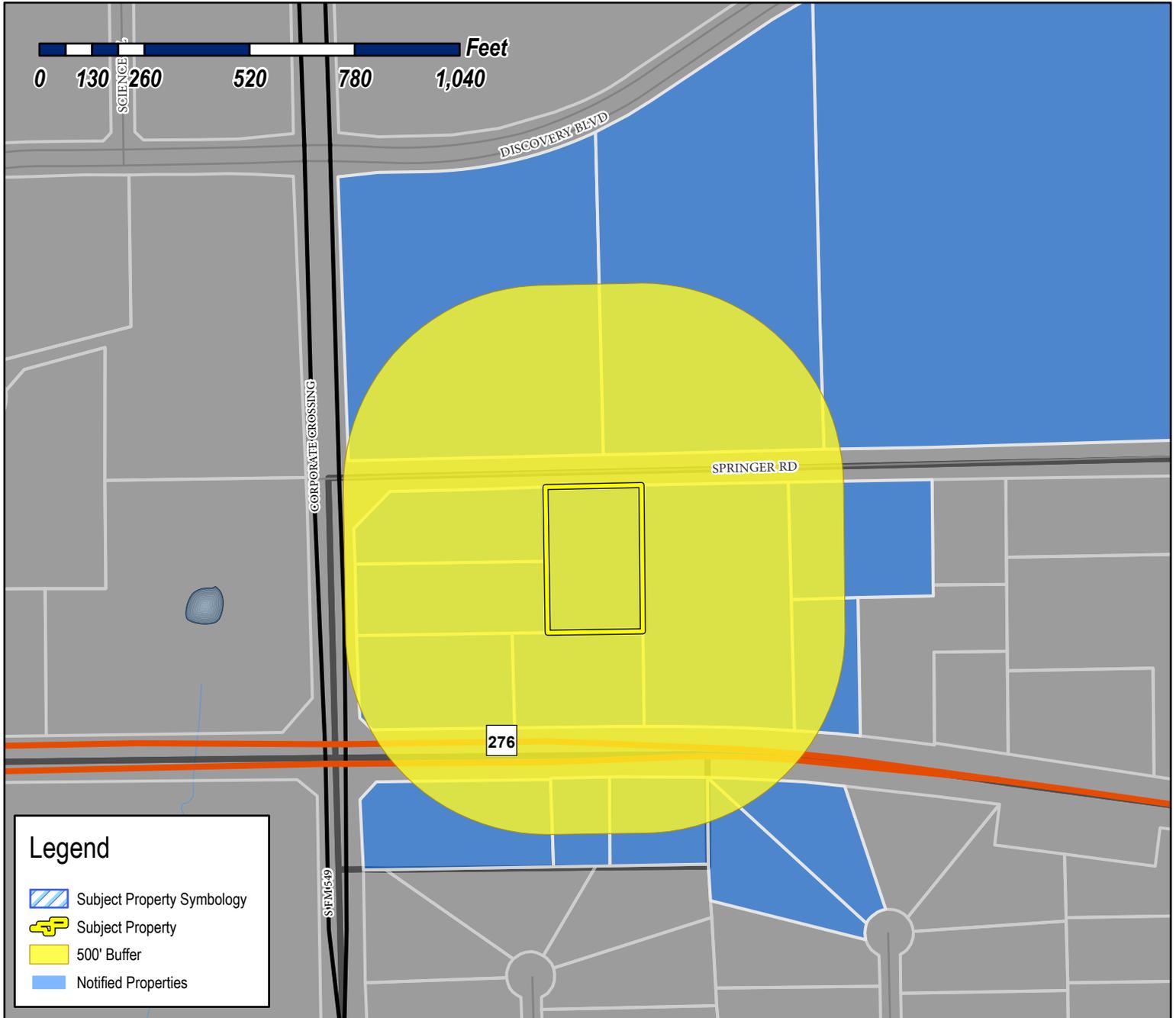
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-002
Case Name: SUP for a New and/or Used Indoor Motor Vehicle Dealership/Showroom
Case Type: Zoning
Zoning: Planned Development 46 (PD-46)
Case Address: East of the Intersection of Springer Road and Corporate Crossing

Date Saved: 1/19/2023

For Questions on this Case Call: (972) 771-7746



OCCUPANT
2210 STATE HWY 276
ROCKWALL, TX 75032

DFW DISTRIBUTOR,
PETROLEUM INC.
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

OCCUPANT
HWY276
ROCKWALL, TX 75032

XCELON DEVELOPEMENT LLC
3225 MCLEOD DR SUITE 100
LAS VEGAS, NV 89121

OCCUPANT
HWY276
ROCKWALL, TX 75032

DFW DISTRIBUTOR PETROLEUM INC
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

OCCUPANT
2205 HWY 276
ROCKWALL, TX 75032

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

OCCUPANT
1275 CORPORATE CROSSING
ROCKWALL, TX 75032

KELLER JACQUELYN
8522 GARLAND RD
DALLAS, TX 75218

OCCUPANT
2301 HWY276
ROCKWALL, TX 75032

PRISM LEASING LTD
A TEXAS LIMITED PTNRSHIP
625 SUNSET HILL DR
ROCKWALL, TX 75087

CONNOLLY SQUARED LLC
2305 HWY276
ROCKWALL, TX 75032

OCCUPANT
3225 SPRINGER LN
ROCKWALL, TX 75032

NBN COMMERCIAL GROUP LLC
2040 N BELT LINE RD STE 400
MESQUITE, TX 75150

OCCUPANT
CORPORATE CROSSING
ROCKWALL, TX 75032

MAK SPOT REAL ESTATE LLC
PO BOX 496585
GARLAND, TX 75049

OCCUPANT
2245 HWY276
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

OCCUPANT
3055 DISCOVERY BLVD
ROCKWALL, TX 75032

ALLEN FOODS INC
C/O RYAN LLC
AGENT FOR BIMBO BAKERIES USA 13155 NOEL
RD #100 LB73
DALLAS, TX 75240

OCCUPANT
DISCOVERY BLVD
ROCKWALL, TX 75032

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

OCCUPANT
2975 DISCOVERY BLVD
ROCKWALL, TX 75032

EXETER 2975 DISCOVERY, LP
101 WEST ELM STREET SUITE 600
CONSHOHOCKEN, PA 19428

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-002: SUP for a New and/or Used Motor Vehicle Dealership/Showroom

Hold a public hearing to discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a Specific Use Permit (SUP) to allow a New and/or Used Indoor Motor Vehicle Dealership/Showroom on a 1.99-acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-002: SUP for a New and/or Used Motor Vehicle Dealership/Showroom

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Bethany Ross
Planner
City of Rockwall

15 Jan 2023

RE : Interstate Classic Cars, Springer Road, Rockwall, TX | SUP

Ms. Ross,

Pursuant to our communication concerning the property on Springer Road (referred to as J. A. Ramsey Survey Lot : 1.99 acres of Tract 2-09 Block : Abstract No. 186), we are requesting an SUP on behalf of Jeff Fleming with JR Fleming Investments, LLC for a ground up new construction building on that vacant parcel.

The uses of the building are essentially a car showroom, offices pertaining to Mr. Fleming's businesses, and a separate area for storage outside of the showroom. We have included a floor plan illustrating size and allocation of spaces.

We understand that Conditional Land use standards for New and/or Used Indoor Motor Vehicle Dealership/Showroom is the closest "use" to this request and as such we will complete with the those standards. As we have discussed, those standards are :

- a. The sales/storage facility must be a completely enclosed building.
- b. Outside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies / awnings or similar covered structures.
- c. All activities shall remain inside the building (i.e. no detailing, sales activities, etcetera shall be performed outside the building).
- d. Accessory used may be allowed in compliance with Land Use Schedule.

We have worked with Mr. Fleming and our design team to put together a building that we feel meets the needs of our Client and will be a good addition to the City of Rockwall. We look forward to the hearings and we are here to answer any and all questions you all have for us.

Thank you for all the time you have taken to help us with this submittal and we thank you in advance for next steps. We look forward to another successful project in Rockwall!

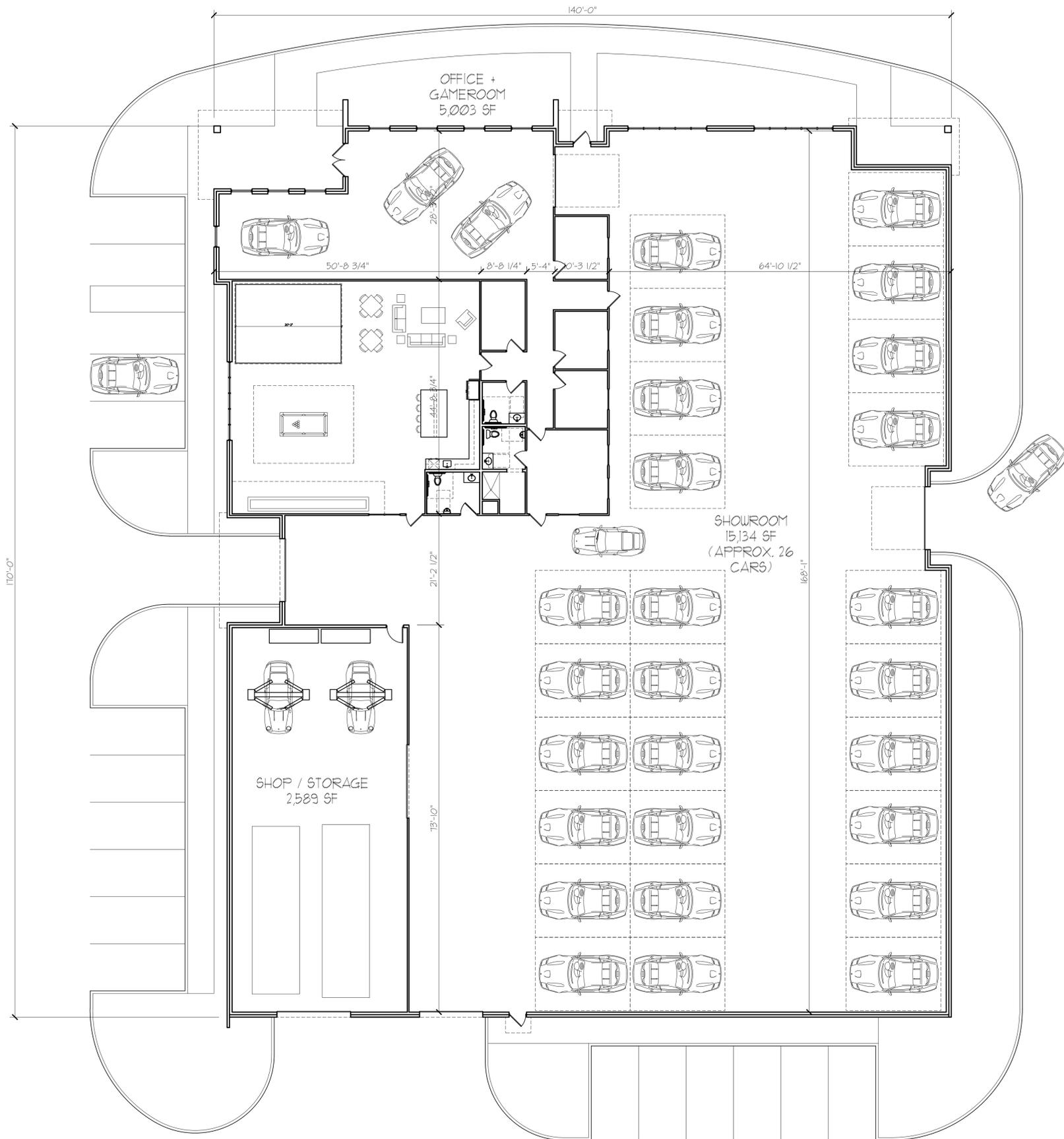
Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew J Peterson', with a long horizontal flourish extending to the right.

Matthew J Peterson, AIA
Vice-President of Design and Development

STORM WATER
MANAGEMENT

OVERALL BUILDING : 22,126 SF
CANOPIES : 655 SF



1 PROPOSED BUILDING + SITE PLAN

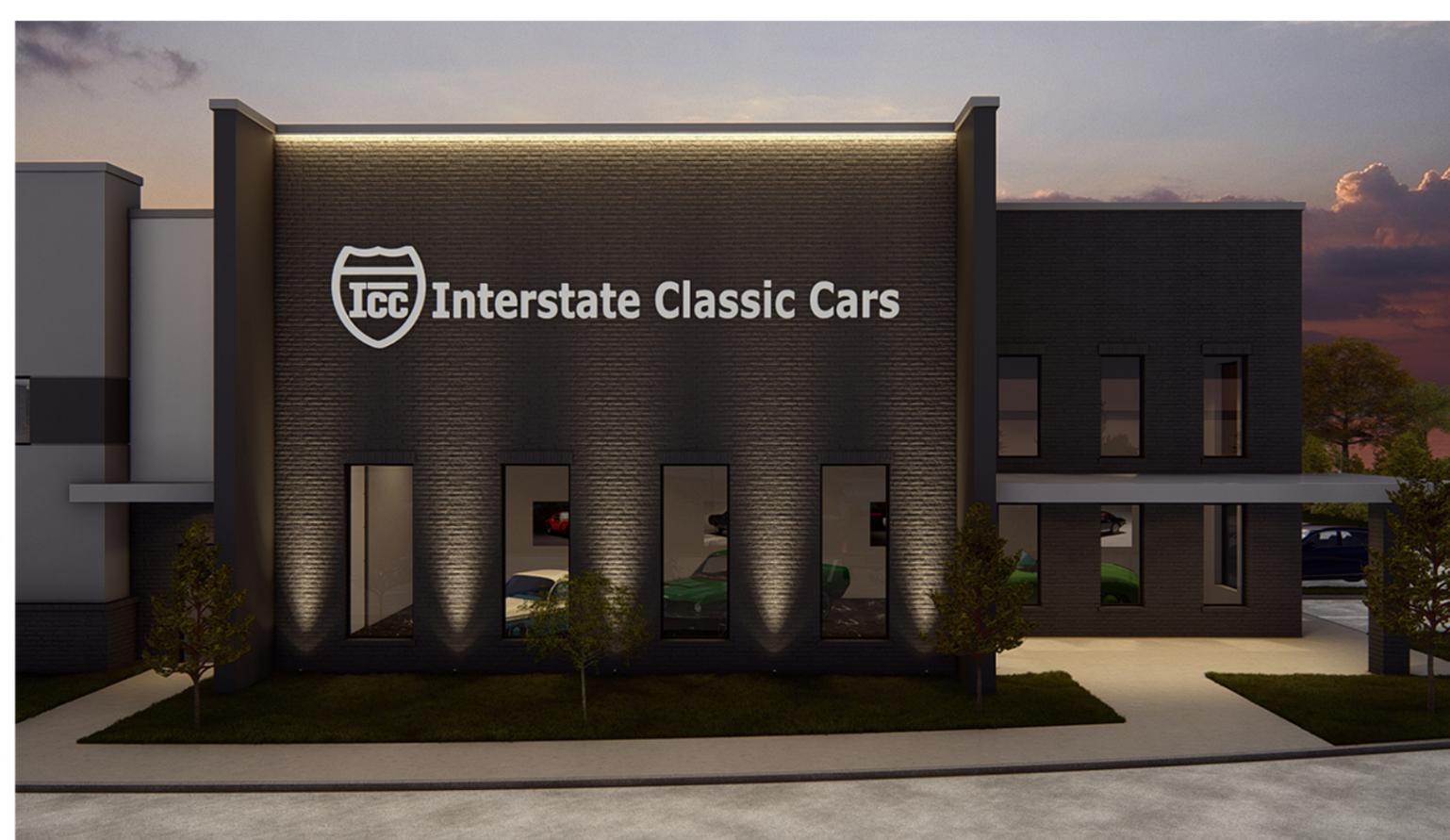
SCALE: 3/32" = 1'-0"



db constructors, inc.

0 8' 16' 24'
Scale: 3/32" = 1'-0"





CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [*ORDINANCE NO. 21-32*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM* ON A 1.99-ACRE PORTION OF A LARGER 3.853-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-09 OF THE J. A. RAMSEY SURVEY, ABSTRACT NO 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Matthew J. Peterson of DB Constructors on behalf of Jeff Fleming for the approval of a *Specific Use Permit (SUP)* for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on a 1.99-acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing, and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth

in Planned Development District 46 (PD-46) [*Ordinance No. 21-32*] and Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*; Subsection 04.05, *Commercial (C) District*, and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The development and operation of a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* and *Concept Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 2) The sales/storage facility must be in a completely enclosed building; and,
- 3) Outside display and/or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures; and,
- 4) All activities shall remain inside the building (*i.e. no detailing, washing, sales activities, etcetera shall be performed outside the building*); and,
- 5) Accessory uses may be allowed in compliance with the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC); and,
- 6) The *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall be restricted to the sale of motor vehicles only (*i.e. cars and/or light trucks*); and,
- 7) The subject property shall comply with all standard of the City of Rockwall Fire Department for such use.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

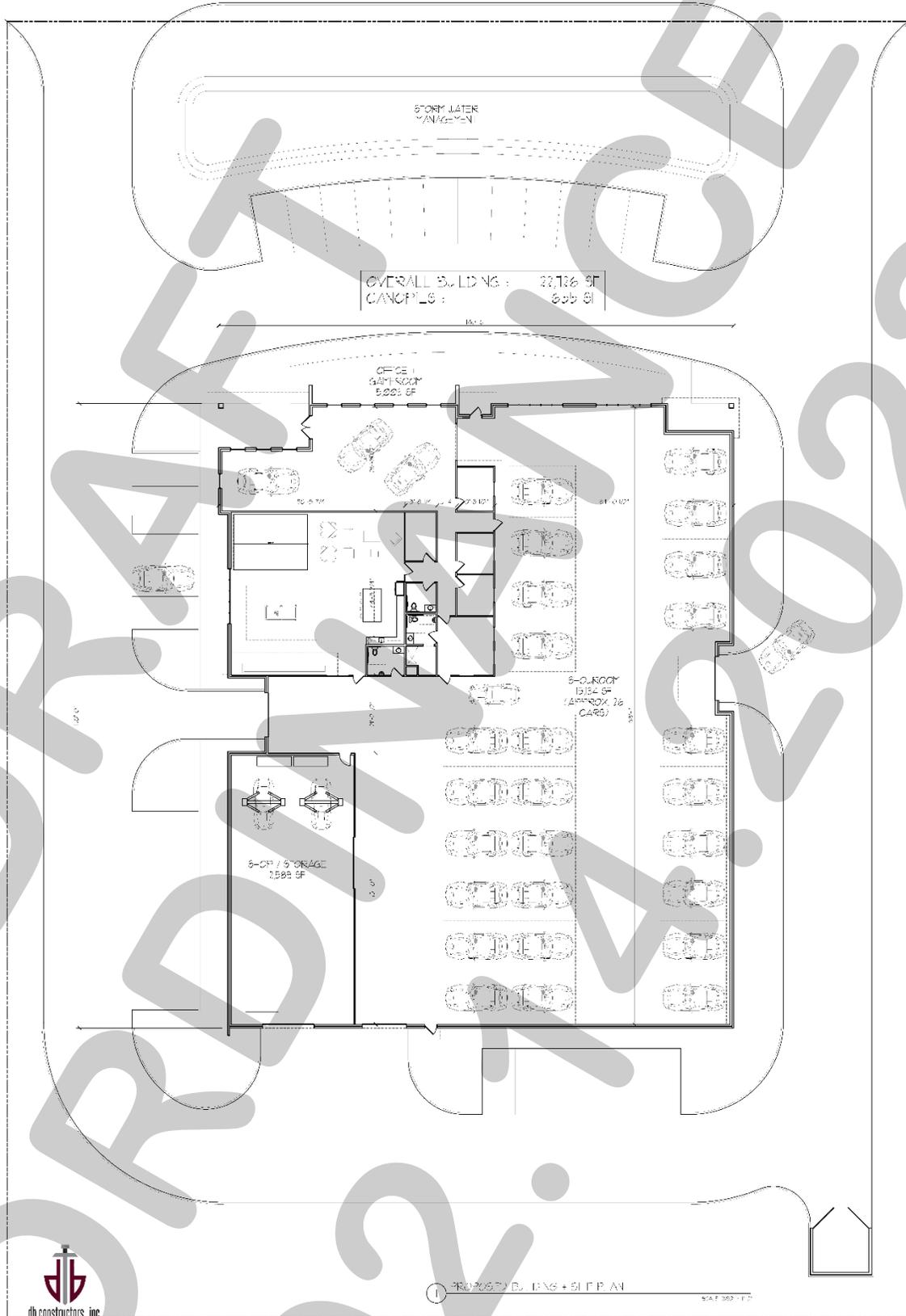
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

**Exhibit 'B':
Concept Plan**

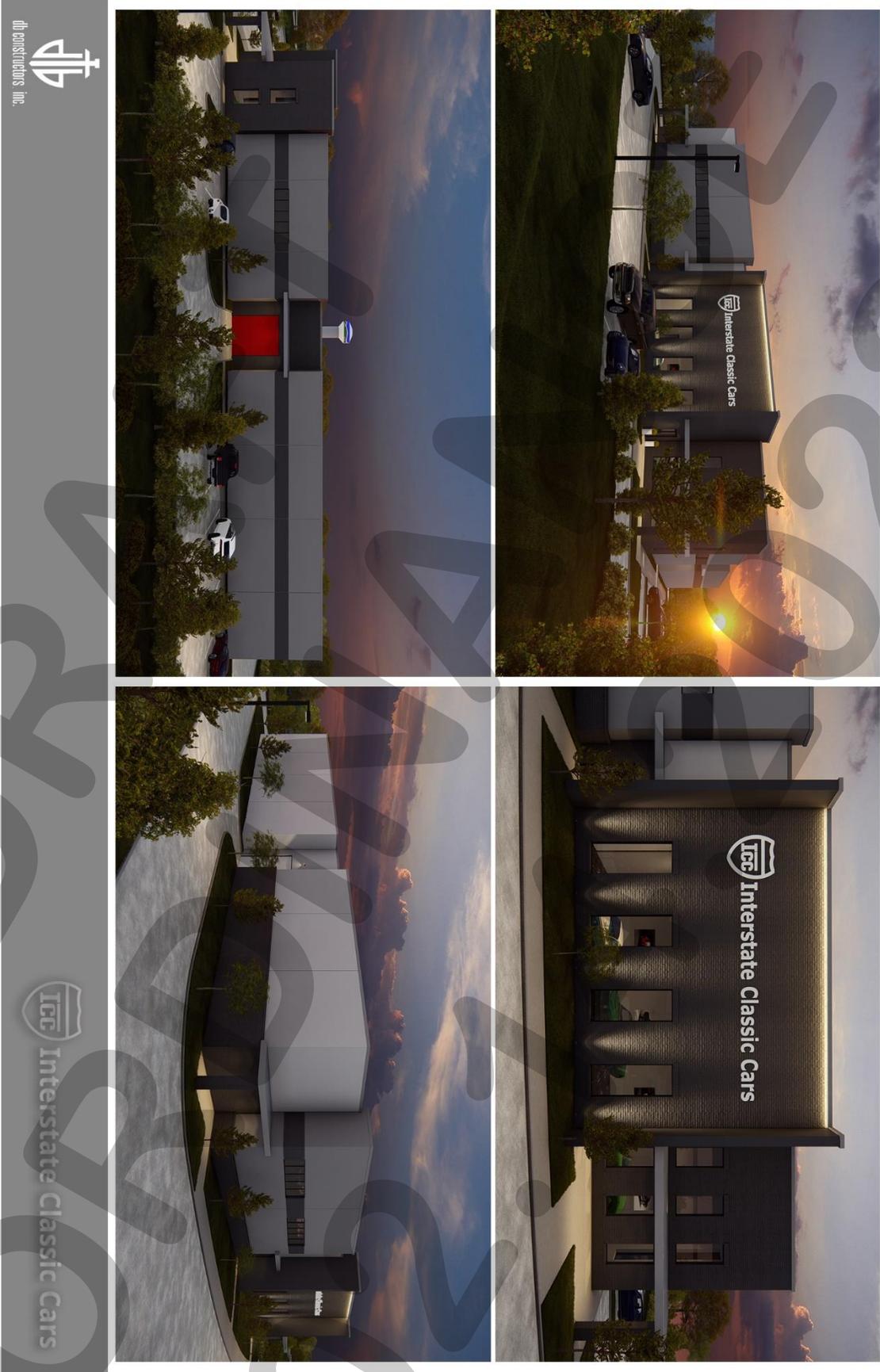


ICC 2

Exhibit 'C':
Concept Building Elevations



Exhibit 'C':
Concept Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Ryan Joyce; *Michael Joyce Properties*
CASE NUMBER: Z2023-003; *Zoning Change (AG to PD) for the Peachtree Meadows Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on December 20, 1999 through the adoption of *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. This designation has not changed and the subject property has remained vacant since annexation.

PURPOSE

On January 20, 2023 the applicant -- *Ryan Joyce of Michael Joyce Properties* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 292-lot single-family, residential subdivision that will consist of four (4) lot sizes (*i.e. [A] 32, 82' x 120' lots; [B] 98, 72' x 120' lots; [C] 105, 62' x 120' lots; and [D] 57, 52' x 120' lots*).

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Mims Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 58.72-acre tract of land (*i.e. Tract 3 of the W. H. Barnes Survey, Abstract No. 26*) that is zoned Heavy Commercial (HC) District.

South: Directly south of the subject property is Phase 2 of the Lake Rockwall Estates Subdivision, which consists of 156.18-acres and was established on June 15, 1956. This subdivision is zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. Beyond this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

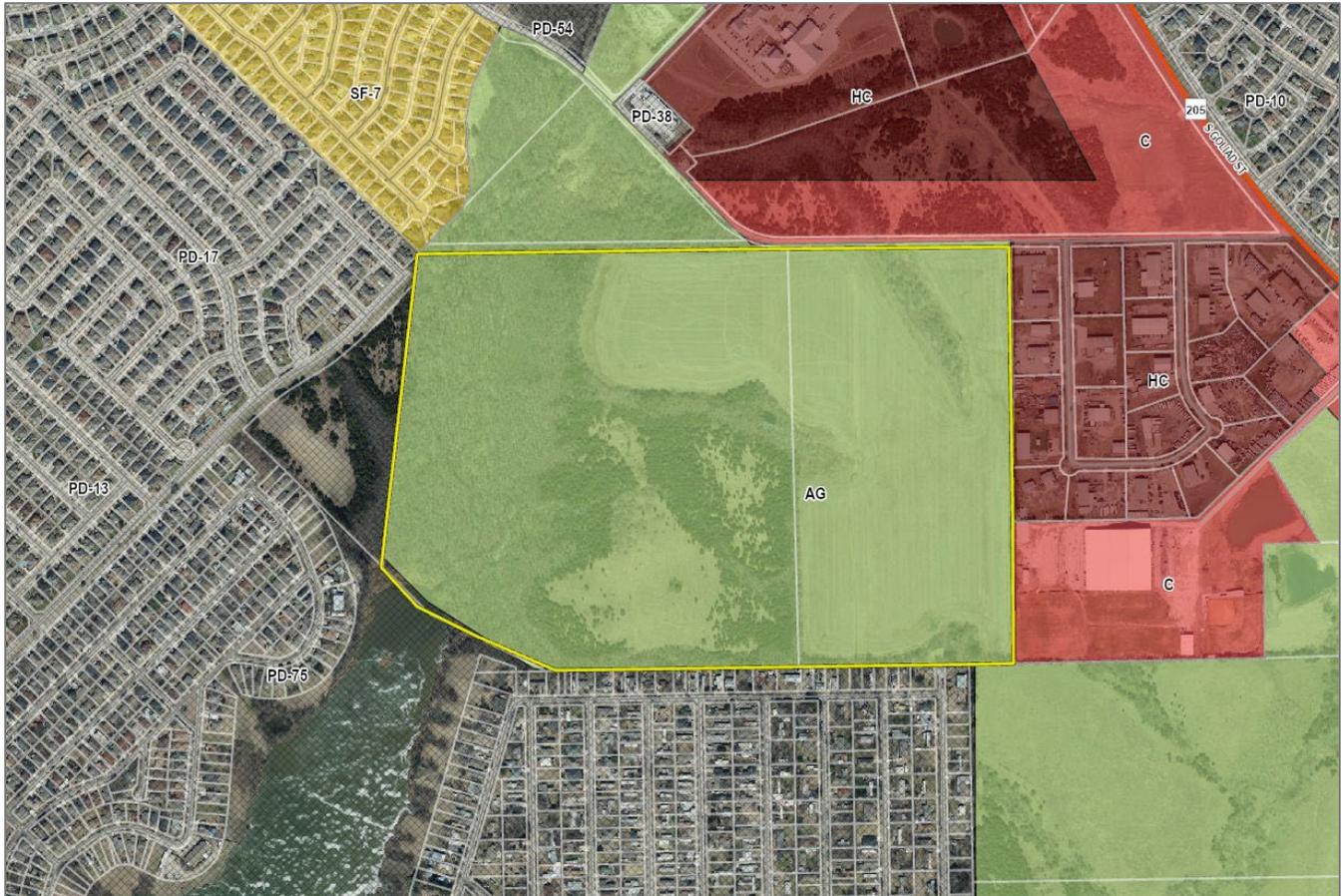
East: Directly east of the subject property are multiple parcels of land with industrial land uses that are zoned Heavy Commercial (HC) District. Also, east of the subject property is a 23.27-acre tract of land (*i.e. Tract 2-28 of the J. R. Johnson Survey, Abstract No. 128*) that currently has a *Recreation Facility (i.e. the RISE)* situated on it. This property is zoned Commercial (C) District. Beyond these land uses is S. Goliad Street [*SH-205*], which is identified as a P6D

(i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Phase 4 of the Lynden Park Estates Subdivision, which consists of 84 single-family residential lots on 34.90-acres. This phase of the Lynden Park Estates Subdivision was established on January 5, 2004. Beyond this is Phase 3 of the Lynden Park Estates Subdivision, which consists of 71 single-family residential lots on 18.13-acres. This phase of the Lynden Park Estates Subdivision was established on December 28, 2001. Both of these phases of the subdivision are zoned Planned Development District 17 (PD-17) for single-detached residential land uses.

MAP 1: LOCATION MAP

YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 140.50-acre subject property will consist of 292 residential lots. These lots will consist of four (4) lot types: [1] 32, Type 'A' lots that are a minimum of 82' x 120' (or 9,000 SF), [2] 98, Type 'B' lots that are a minimum of 72' x 120' (or 8,400 SF), [3] 105, Type 'C' lots that are a minimum of 62' x 120' (or 7,200 SF), and [4] 57, Type 'D' lots that are a minimum of 52' x 120' (or 6,000 SF). This translates to a gross density of 2.08 dwelling units per gross acre (i.e. 292 lots/140.50-acres = 2.078 dwelling units per gross acre). The minimum dwelling unit size (i.e. air-condition space) will range from 2,000 SF to 2,500 SF. With regard to the proposed housing product, staff has incorporated anti-monotony and masonry standards into the proposed Planned Development District ordinance. Specifically, the ordinance will require a minimum of 90% masonry materials be used on the exterior façade, and be subject to the City's upgraded anti-monotony standards; however, the Planned Development District ordinance will also incorporate provisions that allow up to 80% cementitious fiberboard utilized in a horizontal lap-siding, board-and-batten siding, or decorative pattern to allow a variation of materials throughout the subdivision; however, the approval of the ability to use over 20% cementitious materials will be an administrative approval from the Director

of Planning and Zoning. The following are some of the examples provided by the applicant showing horizontal lap-siding, *board-and-batten* siding, or decorative patterns that are contained within the Planned Development District ordinance:

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



Looking at the garage orientation proposed for the development, the applicant is requesting to allow all of the *Type 'D'* lots (*i.e. the 52' x 120' lots*) or a total of 19.59% of the 292 lots (*equating to a total of 57 lots*) to be orientated toward the street in a *Front Entry* garage configuration; however, the applicant is proposing to require an additional five (5) foot setback from the front façade of the home for *Front Entry* garage configurations, which will create a 25-foot separation from the garage to the front property line. The applicant has stated that this is necessary due to the inability to provide a *J-Swing* or *Traditional Swing* garage orientation on a 52' x 120' lot. In addition, the applicant has stated that setting the garage back 20-feet behind the front façade of the home would shrink the building pad, and is making the request for *Front Entry* garages based on this rationale. The remaining garage doors will be oriented in a *J-Swing* (*or a Traditional Swing*) configuration or *Recessed Entry* configuration (*i.e. where the garage door is situated a minimum of 20-feet behind the front façade*). In addition, the applicant is proposing to incorporate upgraded finishes on all garage doors that include: [1] coach lighting, [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways that are constructed with ornamental stamped concrete brick pavers, stained finish, or salt finished. The following are some of the examples of the upgrades required in the Planned Development District ordinance:

FIGURE 4: EXAMPLES OF ENHANCED WOOD GARAGE DOOR



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS



CARRIAGE HARDWARE



CEDAR CLADDING



ORNAMENTAL PAVING

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



The proposed subdivision will be subject to the land uses and density and dimensional requirements stipulated for properties within a Single-Family 10 (SF-10) District unless otherwise specified in the Planned Development District ordinance. The

following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C	D
<i>Minimum Lot Width (1)</i>	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback (2), (5) & (6)</i>	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street) (2) & (5)</i>	20'	20'	20'	20'
<i>Minimum Length of Driveway Pavement (7)</i>	20'	20'	20'	20'
<i>Maximum Height (3)</i>	35'	35'	35'	35'
<i>Minimum Rear Yard Setback (4)</i>	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

The proposed concept plan shows that the development will consist of a total of 65.90-acres of open space that includes a 0.90-acre amenity site, 21.10-acres of private open space, and 43.90-acres of floodplain. This translates to an open space percentage of 31.28% (*i.e.* 21.10-acres of private open space + 0.90-acre amenity site + [43.90-acres of floodplain/2]/140.50-acres gross = 43.95-acres or 31.2811%). In addition, the applicant has incorporated a trail system on the concept plan that shows an eight (8) foot trail will be provided throughout the proposed subdivision. These trails will also provide access into the *Recreational Facility (i.e. the RISE)*, which is situated east of the proposed subdivision.

INFRASTRUCTURE

Based on the applicant’s concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) **Roadways.** According to the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan Mims Road is required to be a M4D (*i.e. major collector, four [4] lane divided roadway*), which requires a 65-foot right-of-way with a 45-foot *back-to-back* concrete street; however, the new unadopted Master Thoroughfare Plan shows this road being decreased to a *Minor Collector*, which requires a 60-foot right-of-way with a 41-foot *back-to-back* concrete street. Based on this, the applicant will be required to dedicate a minimum of 30-feet of right-of-way from the centerline of Mims

Road and construct a minimum of a 24-foot concrete road section along the entire adjacency of the subject property. In addition, the applicant will be required to construct a minimum of a five (5) foot sidewalk along Mims Road. Staff is also requiring a Traffic Impact Analysis (TIA) to be submitted with this request.

- (2) Water. The applicant will be required to construct a minimum of an eight (8) inch waterline -- *that will be looped through the subject property* --, and a 12-inch waterline along the eastern property line from the northern property line to the southern property line. The applicant will also need to dedicate a 20-foot wide waterline easement along a portion of Mims Road in accordance with the Master Water Plan contained in the OURHometown Vision 2040 Comprehensive Plan. An *Infrastructure Study* will be required to determine if the applicant will be required to construct the 20-inch waterline that is required within this easement, and any additional offsite water improvements that will be necessary to adequately serve the development.
- (3) Wastewater. The applicant will be required to dedicate a 50-foot wastewater easement along the western property line in accordance with the Master Wastewater Plan contained in the OURHometown Vision 2040 Comprehensive Plan. This easement will be used to locate a *future* 30-inch wastewater line. In addition, the applicant will also be required to pay a \$401.89 per acre pro-rata fee for previous wastewater improvements that benefit the subject property. An *Infrastructure Study* will be required to determine if any offsite wastewater improvements will be necessary to adequately serve the development.
- (4) Drainage. Detention will be required and sized per the required detention study, which will be required to utilize the *Unit Hydrograph Method*. The applicant will also be required to perform a *Flood Study* and a *Wetlands and Waters of the United States (WOTUS) Study* for the existing ponds, creeks, and floodplain on the subject property. The applicant will also be required to get a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency (FEMA).

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC), the Municipal Code of Ordinances, and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulate that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 16; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing [or traditional swing]* garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 80.31% *J-Swing (or Traditional Swing)* or *Recessed Front Entry* garages (*i.e. where the garage is setback a minimum of 20-feet behind the front façade of the home*) and 19.59% *Front Entry* garages with a five (5) foot recess of the garage door from the front façade of the single-family home. This will create a minimum of 25-feet from the front property line and the garage. As a compensatory measure the applicant is proposing to provide additional architectural elements into all garage configurations: [A] divided garage bay doors (*i.e. for two [2] car garages two [2] individual entrances and for three [3] car garages a standard two [2] bay garage door with a single bay garage door adjacent*), [B] carriage style hardware and lighting, [C] decorative wood doors or wood overlays on insulated metal doors, and [D] driveways constructed with ornamental stamped concrete brick pavers, stained finished, or salt finished.

- (3) Relation to Adjoining Streets. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(t)he system of streets designed for the development, except in unusual cases, must connect with streets already dedicated in adjacent developments." [Page 115; Section 2.09 of the *Standards of Design and Construction Manual*]

Applicant's Response to (3): Currently, the right-of-way for Renee Drive abuts the southern property line of the subject property; however, the applicant's concept plan does not show the proposed street network connecting to this public right-of-way. Based on this, staff requested that the subdivision connect to and extend Renee Drive through the proposed subdivision. The applicant has stated that they would like to keep this development separate from the existing subdivision to the south of the subject property (*i.e. Phase 2 of the Lake Rockwall Estates Subdivision*). As a compensatory measure the applicant has proposed extending a 24-foot emergency access lane -- *which will have removal bollards at either end* -- to [1] provide emergency access and [2] to provide pedestrian connectivity between the two (2) residential developments. Since this is a requirement of the Engineering Department's *Standards of Design and Construction Manual*, this aspect of this request will require discretionary approval from the City Council.

- (4) Fences for New Subdivisions. According to Subsection 08.03, *Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(t)ransparent fencing is required adjacent to all perimeter roadways (*i.e. along the perimeter of the subdivision*), abutting open spaces, greenbelts, and parks."

Applicant's Response to (4): The applicant is requesting to allow wood *board-on-board* fencing for all of the *Type 'D'* lots (*i.e. the 52' x 120' lots*). These lots are located along the southern and eastern boundaries of the subject property; however, all of the lots back to open space. The applicant has stated that the wood fences are being requested to screen the adjacent land uses along these boundaries (*i.e. Phase 2 of the Rockwall Estates Subdivision and the industrial properties adjacent to National Drive*). As a compensatory measure the applicant has proposed to incorporate a 30-foot tree preservation easement along the southern property boundary, which will preserve several large clusters of trees on the subject property. In addition, -- *and in accordance with the Unified Development Code (UDC)* -- staff has included requirements in the Planned Development District ordinance that will require a 50-foot landscape buffer, berm, and two (2) staggered rows of cedar trees along the eastern boundary of the subject property. The purpose of this requirement is to further provide screening of the non-residential land uses from the proposed residential land uses.

- (5) Open Space. According to Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(i)n a residential Planned Development (PD) District, all lots less than 12,000 SF shall be located within 800-feet of a neighborhood-oriented park or open space (*i.e. private or public*). All open space areas shall be landscaped and serve as a visual amenity and/or gathering place for socializing with neighbors."

Applicant's Response to (5): The applicant has failed to submit an exhibit showing conformance with this requirement or address this comment. Based on this, staff has included a conditional of approval for this case requiring that all lots less than 12,000 SF be located within 800-feet of a public or private open space.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Southwest Residential District* and is designated for *Medium Density Residential* land uses. The plan defines *Medium Density Residential* land uses as "... residential subdivisions that are greater than two (2) and one-half (2½) units per gross acre, but not higher than three (3) units per gross acre; however, a density of up to three and one-half (3½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In this case, the applicant is proposing a total density of 2.08 dwelling units per acre. The proposed density is more characteristic of the *Low Density Residential* land use designation, which is defined as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In addition, the applicant is proposing to incorporate an eight (8) foot trail system, a 0.90-acre amenity site, and 31.28% open space (*which exceeds the required open space by 11.28%*). Based on this, the applicant's request is in substantial conformance with the *Medium Density Residential* designation indicated for the subject property.

With regard to the policies and goals for residential development contained in the Comprehensive Plan, the applicant's request incorporates the majority of these policies and goals (*e.g. minimum of six [6] side yard setbacks on all lot types, etc.*); however, staff did identify the following non-conformities on the original concept plan. Based on these non-conformities, staff provided the below recommendations to the applicant. These recommendations are followed by the applicant's response to each recommendation.

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 8; Section 2.02; Goal #4 | Policy #2 (Page 8-3). Use berms and buffers to transition land uses as opposed to walls. This creates a natural transition in which trails can be incorporated to connect residential areas with non-residential areas.

Staff Response: Staff recommended to the applicant that a 50-foot landscape buffer with berms and three (3) tiered landscaping be incorporated adjacent to the southern and eastern property lines. The applicant has agreed to put a 50-foot landscape buffer along the eastern property line incorporating a berm and two (2) staggered rows of cedar trees. In addition, the applicant has agreed to put a 30-foot landscape buffer adjacent to the southern property line with a tree preservation easement to preserve the existing tree line. This appears to meet the intent of the Comprehensive Plan.

- (2) CH. 8; Section 2.03; Goal #1 | Policy #2 (Page 8-3). To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: Staff recommended that the applicant consider adjusting the lot layout to incorporate more single-loaded streets fronting onto the floodplain situated on the westside of the subject property to better conform to this requirement. The applicant has not changed the plan in accordance with staff's recommendation.

- (3) CH. 8; Section 2.03; Goal #1 | Policy #5 (Page 8-3). Design neighborhoods utilizing the *Housing Tree Model*.

Staff Response: Staff recommended that the applicant consider relocating the larger Type 'A' lot product -- currently adjacent to the floodplain -- to northern property line adjacent to Mims Road. The remaining Type 'C' lot product located in this area can be relocated adjacent to the floodplain. This will better adhere to the *Housing Tree Model*. The applicant has not made the requested changes.

- (4) CH. 08 | Section 02.03 | Goal 03; Policy 2: Require rear-entry garages and alleyways on all lots that have a lot width of 55-feet or less; however, alleyways should be prohibited on all lots greater than 55-feet. These lots should incorporate *J-Swing* or *Recessed Front Entry* garages.

Staff Response: The applicant is proposing to incorporate a 52' x 120' lot product (i.e. Type 'D' lots) that will incorporate a *Front Entry* garage. With this being said, these lots back up to existing non-residential properties and existing residential properties, and the use of alleyways may not be the most appropriate garage configuration in these areas. Based on this, staff is of the opinion that the applicant's plan conforms with the intent of this requirement; however, this does remain a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

- (5) CH. 08 | Sec. 02.03 | Goal 03; Policy 3: In cases where *Flat Front Entry* garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20% should be incorporated into the development. In addition, *Flat Front Entry* garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff Response: If a *Front Entry* garage configuration with a recess of five (5) feet is being requested it should be limited to 20% and relegated to only the Type 'D' lot product (i.e. the 52' x 120' lots). The applicant is requesting that 19.59% or all of the Type 'D' lots (i.e. the 52' x 120' lots) incorporate Front Entry garage orientations; however, they are proposing a five (5) foot off-set between the front façade of the home and the garage, which will create a 25-foot building setback for the garage.

In addition to these recommendations, staff also suggested that the applicant consider preserving some of the *Blackland Prairie* as open space in accordance with the Comprehensive Plan; however, this is not currently depicted in their current concept plan. Taking all of this into account, the applicant's concept plan and proposed density and development standards appear to conform with the majority of the OURHometown Vision 2040 Comprehensive Plan; however, there are areas of non-conformance, and - as with all zoning cases -- this request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 27, 2023, staff mailed 288 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park, Flagstone Estates, and Hickory Ridge Homeowner's Associations (HOA's), which are the only Neighborhood Organizations or Homeowners Associations (HOA's) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) property owner notification from one (1) property owner within the 500-foot notification buffer in opposition to the applicant's request.
- (2) Two (2) property owner notifications in favor that did not indicate a name or address. In addition, the returned envelop did not have a return address. Based on this, these notices cannot be counted for this case because staff cannot verify the ownership.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the concept plan and development standards contained in the Planned Development District ordinance.
- (2) All residential lots, less than 12,000 SF in size, are required to be located within 800-feet of a public or private open space. At the time of *Master Plat*, the applicant will be required to provide an exhibit showing conformance to this requirement.
- (3) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50

LOT

BLOCK

GENERAL LOCATION Southeast of Intersection Mims Road & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Agricultural

PROPOSED ZONING Planned Development District

PROPOSED USE Single Family

ACREAGE 140.5 Acres

LOTS [CURRENT] 2

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Vicmar I Ltd & (76195)

APPLICANT Michael Joyce Properties

CONTACT PERSON

CONTACT PERSON Meredith Joyce

ADDRESS 105 Kaufman St

ADDRESS 767 Justin Road

CITY, STATE & ZIP Rockwall, Tx 75087

CITY, STATE & ZIP Rockwall, Tx 75087

PHONE

PHONE 512-694-6394

E-MAIL

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Virginia W. Petersen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,307.50 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

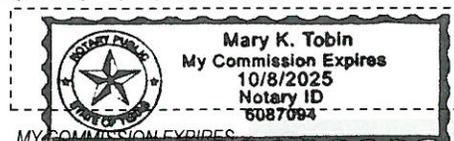
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF January, 2023

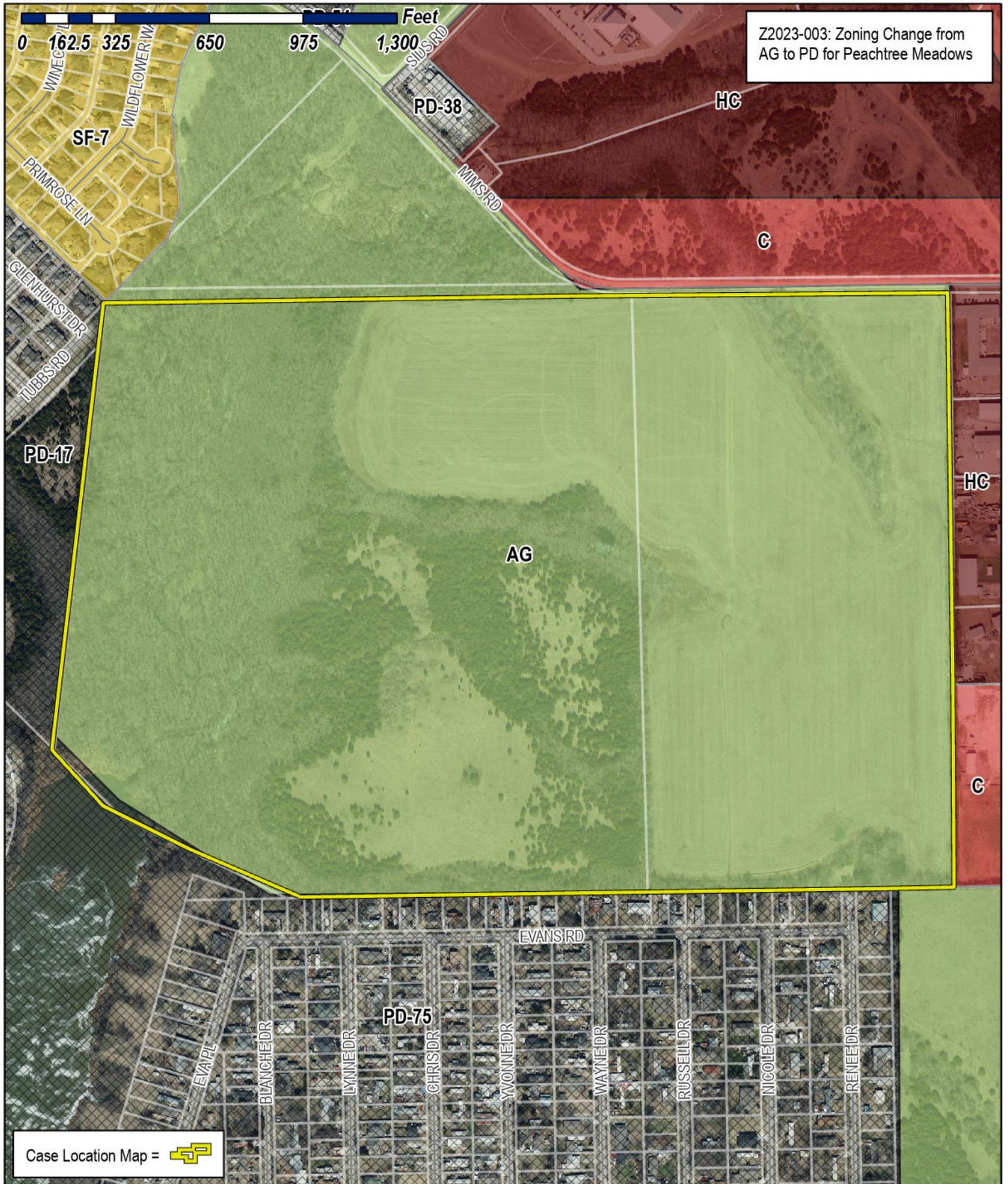
OWNER'S SIGNATURE

Virginia W. Petersen

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Mary K. Tobin





Z2023-003: Zoning Change from AG to PD for Peachtree Meadows

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

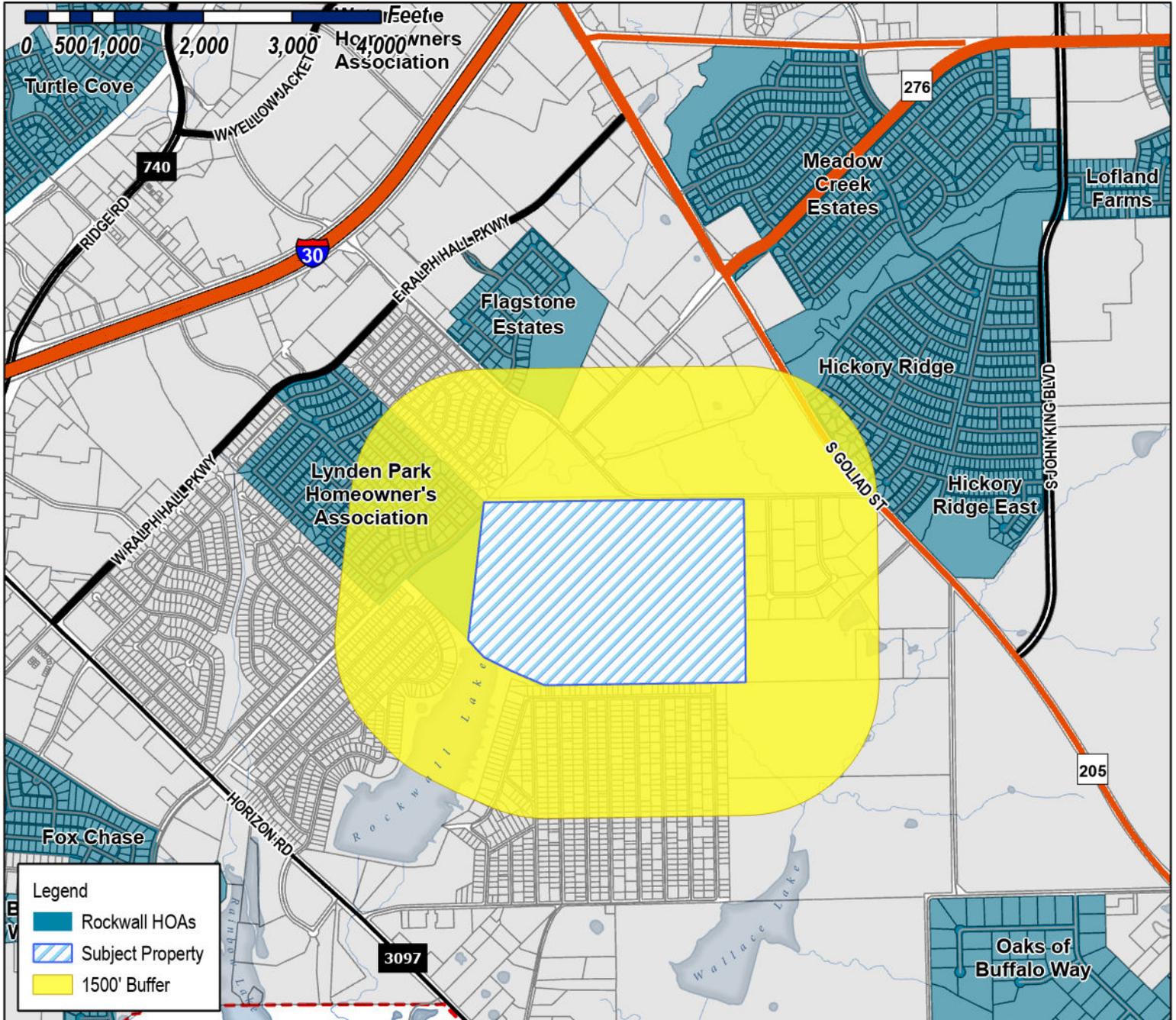




City of Rockwall

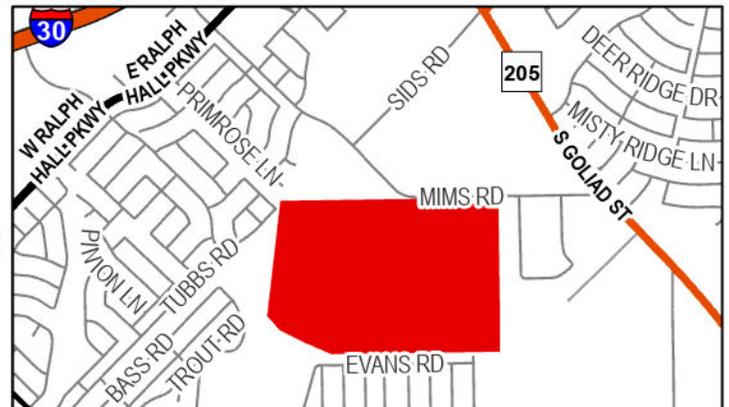
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2023-003]
Date: Thursday, January 26, 2023 12:24:12 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-003.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 27, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 14, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-003: Zoning Change for AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a [Zoning Change](#) from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

Thank you,

Sarah Chapin

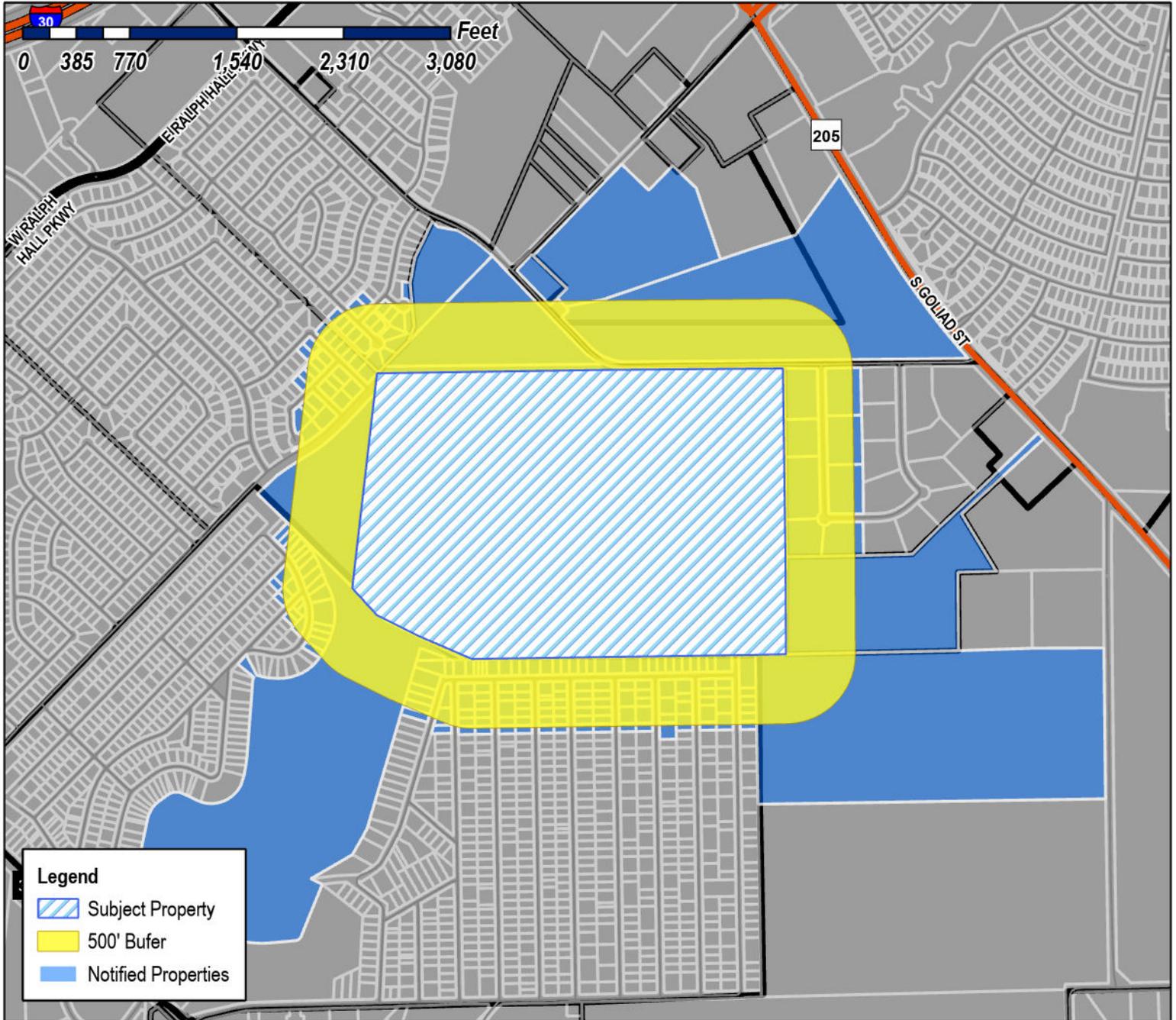
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

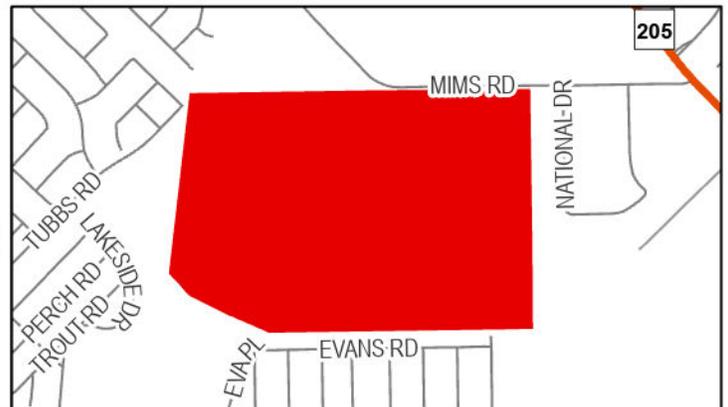
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-003
Case Name: Zoning Change from AG to PD for Peachtree Meadows
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: SW of Mims Road and S Goliad Street

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



OCCUPANT
599 TROUT RD
ROCKWALL, TX 75032

FRANKS SHERI DENISE
401 FOREST TRCE
ROCKWALL, TX 75087

OCCUPANT
609 TROUT RD
ROCKWALL, TX 75032

JANG TO LIVING TRUST
WILLIAM JANG AND STEFANIE TO- TRUSTEES
11515 205TH STREET
LAKEWOOD, CA 90715

HERNANDEZ BENJAMIN
509 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ DAVID
516 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
485 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
532 LYNNE DR
ROCKWALL, TX 75032

ANAYA JUAN C & RAUL
439 PERCH RD
ROCKWALL, TX 75032

SANCHEZ GERARDO RAFAEL AND LILIA
GALLEGOS
516 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

VASQUEZ JAVIER AND LILIANA
524 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
521 YVONNE DR
ROCKWALL, TX 75032

MAZARIEGOS EDGAR A AND SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX 75189

GONZALEZ NORMA PATRICIA SOLIS
388 EVANS RD
ROCKWALL, TX 75032

MENDOZA FIDEL & ALEJANDRINA
400 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
498 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
557 RENEE DR
ROCKWALL, TX 75032

GUEVARA CRUZ & LIZ
522 EVANS DR
ROCKWALL, TX 75032

OCCUPANT
917 LAKESIDE DR
ROCKWALL, TX 75032

LORENZO JOSE LUIS &
ANA MARIA GRANDOS
8937 WHISHERS RD
QUINLAN, TX 75474

GUTIERREZ NELSON ANTONIO
933 LAKESIDE DR
ROCKWALL, TX 75032

MARTINEZ PEDRO & MARIA CELIA
506 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
548 NICOLE DR
ROCKWALL, TX 75032

CERVANTES HECTOR AND
ERIKA MOLINA
548 NICOLE DRIVE
ROCKWALL, TX 75032

OCCUPANT
496 NICOLE DR
ROCKWALL, TX 75032

GONZALES BALTAZAR & LUZ MARIA ZUNIGA
C/O LAKE POINTE CHURCH
701 I-30
ROCKWALL, TX 75087

OCCUPANT
485 RUSSELL DR
ROCKWALL, TX 75032

TELL MARK ALLEN
M/R
, TX

DELGADO JUAN E & MARIA L
541 YVONNE DR
ROCKWALL, TX 75032

ARRIAGA GREGORIA
548 WAYNE DR
ROCKWALL, TX 75032

ANDREWS TRESIA AND KENNETH
547 WAYNE DR
ROCKWALL, TX 75032

ALVAREZ MARIA G GALLEGOS
552 RUSSELL DR
ROCKWALL, TX 75032

OBRIEN ELLEN K
537 RUSSELL DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

VALDEZ EUSEBIO
505 EVANS RD
ROCKWALL, TX 75032

AYALA FRANCISCO & MARIA
513 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
534 YVONNE DR
ROCKWALL, TX 75032

MARTINEZ MARIO CRUZ
461 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
517 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
513 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

OCCUPANT
488 BLANCHE DR
ROCKWALL, TX 75032

HERNANDEZ DANIEL CONTRERAS AND
PATRICIA CARREON DE CONTRERAS
488 BLANCHE DRIVE
ROCKWALL, TX 75032

RAMIREZ MARGARITO VALDEZ
525 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
499 WAYNE DR
ROCKWALL, TX 75032

PARRISH KENNETH LEE JR AND
JUDITH GAIL WOOD
499 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
612 TROUT RD
ROCKWALL, TX 75032

PHAM DAN Q
5158 COUNTY ROAD 3115
CAMPBELL, TX 75422

OCCUPANT
508 RENEE DR
ROCKWALL, TX 75032

VALDEZ JOSE G
1311 PRATO AVE
MCLENDON CHISHOLM, TX 75032

OCCUPANT
594 EVA
ROCKWALL, TX 75032

ALVARES FLORINA GUTIERREZ &
ENRIQUE RENE ORTIZ GARCIA
594 EVA PL
ROCKWALL, TX 75032

OCCUPANT
602 EVA
ROCKWALL, TX 75032

QUEVEDO LUIS & FELIZA
3326 BURNING TREE LN
GARLAND, TX 75042

DEJESUS SANTOS
616 EVA
ROCKWALL, TX 75032

OCCUPANT
582 EVA
ROCKWALL, TX 75032

GARCIA HUGO IVAN DEL AND
JUANA GUZMAN
582 EVA PLACE
ROCKWALL, TX 75032

FAVIAN IGNACIO
620 TROUT RD
ROCKWALL, TX 75032

JONES JAMES & MARY
721 BLUEBELL CT
ROCKWALL, TX 75032

OCCUPANT
481 BLANCHE DR
ROCKWALL, TX 75032

MENDOZA ERICK CRUZ
4100 ANDYS LANE
PARKER, TX 75002

DIAZ JOSE LUIS & MARICELA
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
491 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

SMITH HELEN A
486 CHRIS DR
ROCKWALL, TX 75032

NEVAREZ LUIS E & ALMA
479 CHRIS DR
ROCKWALL, TX 75032

GUEVARA MARIA
482 YVONNE DR
ROCKWALL, TX 75032

VIERA EUSEVIO ZAPATA AND FELICITAS
MARTINEZ-AGUILAR
485 YVONNE DR
ROCKWALL, TX 75032

OCCUPANT
488 WAYNE DR
ROCKWALL, TX 75032

YANEZ SANDRA R TORRES
441 LYNNE DRIVE
ROCKWALL, TX 75032

PAYNE MILDRED IRENE
487 WAYNE DR
ROCKWALL, TX 75032

GONZALEZ HIPOLITO CANTU AND FANIA GARCIA
494 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
489 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
466 RENEE DR
ROCKWALL, TX 75032

FLORES ALEJANDRO
1070 N BEN PAYNE RD
ROCKWALL, TX 75087

MAYHALL DANIEL J
463 RENEE DR
ROCKWALL, TX 75032

SUAREZ ERIKA & ALFREDO ESTRADA
497 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
498 LYNNE DR
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

DIAZ MARIA L FLORES
503 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
514 YVONNE DR
ROCKWALL, TX 75032

BLACK TORO CUSTOM HOMES LLC
1210 CREEK VALLEY
MESQUITE, TX 75181

GAMEZ PETRA K MARTINEZ
406 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
412 EVANS RD
ROCKWALL, TX 75032

KOURINIAN MIKAEL
6924 VALMONT STREET UNIT #9
TUJUNGA, CA 91042

OCCUPANT
418 EVANS RD
ROCKWALL, TX 75032

VINE CONSTRUCTION AND ROOFING LLC
7331 WESTER WAY
DALLAS, TX 75248

OCCUPANT
452 EVANS RD
ROCKWALL, TX 75032

COLUNGA MARIA CRISTINA
C/O BERNABE COLUNGA
807 N JOSEPHINE ST
ROYSE CITY, TX 75189

OCCUPANT
464 EVANS RD
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

OCCUPANT
486 EVANS RD
ROCKWALL, TX 75032

TORRES ALONSO G & MARIA
441 LYNNE DR
ROCKWALL, TX 75032

RETANA JUAN & YENY RUBIO
535 CHRIS DR
ROCKWALL, TX 75032

LACAZE DARRYL AND ALLISON
503 NICOLE DR
ROCKWALL, TX 75032

CERVANTES-OSORNIO HECTOR AND ERIKA J
MOLINA-OLVERA
526 NICOLE DR
ROCKWALL, TX 75032

DIAZ MANUEL & ROSARIO
528 WAYNE DR
ROCKWALL, TX 75032

OCCUPANT
518 RUSSELL DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

ROSAS LAURA PATRICIA
523 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
503 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

OCCUPANT
538 LYNNE DR
ROCKWALL, TX 75032

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DRIVE
ROCKWALL, TX 75032

OCCUPANT
541 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
528 CHRIS DR
ROCKWALL, TX 75032

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX 75087

OCCUPANT
531 YVONNE DR
ROCKWALL, TX 75032

SAFRA PROPERTIES INC
PO BOX 69
ROCKWALL, TX 75087

STRICKLAND TARA
536 WAYNE DR
ROCKWALL, TX 75032

GRANADOS CASTULO & NANCY
530 RUSSELL DR
ROCKWALL, TX 75032

OCCUPANT
535 NICOLE DR
ROCKWALL, TX 75032

GALLARDO RENE AND
MARIBEL GALLARDO
547 NICOLE DR
ROCKWALL, TX 75087

OCCUPANT
520 RENEE DR
ROCKWALL, TX 75032

VALDEZ EUSEBIO
505 EVANS
ROCKWALL, TX 75032

OCCUPANT
535 BLANCHE DR
ROCKWALL, TX 75032

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

GONZALEZ LUIS ENRIQUE VALDEZ
552 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
551 LYNNE DR
ROCKWALL, TX 75032

THELWELL LINDA
1013 BLACKBERRY TRL
LANCASTER, TX 75134

RODRIGUEZ ROMAN
540 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
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ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

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579 PERCH RD
ROCKWALL, TX 75032

DIAZ-ALMARAZ CARLOS OMAR
514 NICOLE
ROCKWALL, TX 75032

OCCUPANT
491 YVONNE DR
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO
397 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANDRES M
715 PRIMROSE LN
ROCKWALL, TX 75032

LEBLANC BRIAN AND AARON SALAZAR
709 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
3129 WILDFLOWER WAY
ROCKWALL, TX 75032

PROGRESS DALLAS LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

PRICE TIMOTHY F & DIANA M
3137 WILDFLOWER WAY
ROCKWALL, TX 75032

OCCUPANT
496 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
3078 S FM 551
ROYSE CITY, TX 75189

ALONSO ELEASAR & BENITO GAMEZ
482 WAYNE DR
ROCKWALL, TX 75032

CASTILLO SIXTO & MARIA
491 CHRIS DR
ROCKWALL, TX 75032

HERNANDEZ CARMELITA NOEMI
500 YVONNE DR
ROCKWALL, TX 75032

MOORE VIVIAN
811 LAKESIDE DR
ROCKWALL, TX 75032

RIDDLE LINDA K
715 BLUEBELL CT
ROCKWALL, TX 75032

GEORGE POLLY A & BENJAMIN E
709 BLUEBELL CT
ROCKWALL, TX 75032

BRIDGMAN SHAWN AND RENEE
728 PRIMROSE LN
ROCKWALL, TX 75032

DIBA ABBAS & RAZIEHALSADAT YAHYAZADEH
MASHHADI
152 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
714 GLENHURST DR
ROCKWALL, TX 75032

DO DAVID KIM
2206 OAK GROVE CIR
GARLAND, TX 75040

ORAVSKY JAMES S & GINGER L
746 BRAEWICK DR
ROCKWALL, TX 75032

WINTERS KEVIN R & STELIANA V
745 GLENHURST DR
ROCKWALL, TX 75032

PIERCE SYLVIA JO
152 HAVEN RIDGE DR
ROCKWALL, TX 75032

BROWN GREGORY J II AND BARBARA J
112 WESTON CT
ROCKWALL, TX 75032

REYES GALIA OLAZABAL & FRANK ALVAREZ
MOYA
945 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
957 LAKESIDE DR
ROCKWALL, TX 75032

RAMIREZ MARTIN AND ALMA DELIA
8250 COLQUITT ROAD
TERRELL, TX 75160

MUPPALA VENKATANARAYANA AND
CHANDRIKA KONDUR
801 LAKESIDE DR
ROCKWALL, TX 75032

CARMONA-SANCHEZ CARLOS FRANCISCO
532 BLANCHE DR
ROCKWALL, TX 75032

ARROYO REYES
499 RUSSELL DR
ROCKWALL, TX 75032

MAYHALL DANIEL J
473 RENEE DR
ROCKWALL, TX 75032

AGUILAR ROSALINA
507 BLANCHE DR
ROCKWALL, TX 75032

FLORES JAIME W & MARLENE CASTRO
520 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
506 CHRIS DR
ROCKWALL, TX 75032

SILVA JORGE & ELIZABETH
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ROYSE CITY, TX 75189

VELASQUEZ LORENA
501 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
495 NATIONAL DR
ROCKWALL, TX 75032

PEOPLES MIKE
PO BOX 41
ROCKWALL, TX 75087

OCCUPANT
433 NATIONAL DR
ROCKWALL, TX 75032

FARRAR SECURITY SYSTEMS INC
PO BOX 2199
ROCKWALL, TX 75087

OCCUPANT
627 NATIONAL DR
ROCKWALL, TX 75032

D & A REAL ESTATE PARTNERS LTD
PO BOX 850
ROCKWALL, TX 75087

EISENSTEIN JENNIPHER D AND MICHAEL J
157 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
708 GLENHURST DR
ROCKWALL, TX 75032

CHEN CHAI
825 HARLAN CT
MURPHY, TX 75094

OCCUPANT
118 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENTS LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

OCCUPANT
496 NATIONAL DR
ROCKWALL, TX 75032

BIG BUCK PROPERTIES LLC
PO BOX 2107
ROCKWALL, TX 75087

SITTER KAREEN RUTH
743 PRIMROSE LN
ROCKWALL, TX 75032

TIPPING DORA MARIA
735 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
727 PRIMROSE LN
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

HARRIS CHAD & MISTY PIERCE
721 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
156 WESTON CT
ROCKWALL, TX 75032

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT
23974 PARK SORRENTO Suite 300
CALABASAS, CA 91302

ALLMANN CHRISSEY J
126 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
134 WESTON CT
ROCKWALL, TX 75032

RONALD J AND EILEEN P BOTT LIVING TRUST
RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DRIVE
LAKESIDE, CA 92040

STANCIOIU MARIAN & OANA
138 WESTON CT
ROCKWALL, TX 75032

SCARNATI TAMMY AND JAMES T JR
156 HAVEN RIDGE DR
ROCKWALL, TX 75032

OCCUPANT
449 NATIONAL DR
ROCKWALL, TX 75032

FRAUSTO MICKEY & LISA L
PO BOX 928
ROYSE CITY, TX 75189

GULICK ANNA C
734 PRIMROSE LN
ROCKWALL, TX 75032

BUSH BLAKE & LARRY
740 PRIMROSE LN
ROCKWALL, TX 75032

OCCUPANT
718 BLUEBELL CT
ROCKWALL, TX 75032

GREGORY COREY ALAN
25881 SOUTH 655 RD
GROVE, OK 74344

BEASLEY MOLLIE & MEAGAN NUGENT
727 BLUEBELL CT
ROCKWALL, TX 75032

OCCUPANT
626 NATIONAL DR
ROCKWALL, TX 75032

SCOTTFREE INVESTMENT LP
519 E INTERSTATE 30 #511
ROCKWALL, TX 75087

HEFFLER MICHAEL A
744 PRIMROSE LN
ROCKWALL, TX 75032

HOLLAND JON E
747 PRIMROSE LN
ROCKWALL, TX 75032

CZARNOPYS BENJAMIN J & ROBIN K
746 GLENHURST DR
ROCKWALL, TX 75032

STEWART EMILY D AND BRYON STEWART JR
738 GLENHURST DR
ROCKWALL, TX 75032

SOAITA MARIUS & DANIELA M
732 GLENHURST DR
ROCKWALL, TX 75032

TATEVOSIAN BARKEV S & GUENDOLI
726 GLENHURST DR
ROCKWALL, TX 75032

OCCUPANT
720 GLENHURST DR
ROCKWALL, TX 75032

RENDON NOEL & CHRISTIE
607 W BROAD ST
MANSFIELD, TX 76063

BYERS MARY E TRESPACES- AND JAMES
MICHAEL
745 BRAEWICK DR
ROCKWALL, TX 75032

ROTEN STEVEN NEIL
141 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
145 WESTON CT
ROCKWALL, TX 75032

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

LOFGREN STEVE G
149 WESTON CT
ROCKWALL, TX 75032

OCCUPANT
153 WESTON CT
ROCKWALL, TX 75032

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

PEACOCK JAY C & ROBYN M
148 WESTON CT
ROCKWALL, TX 75032

RODRIGUEZ FLORENCIO GOMEZ
630 EVA
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
150 EVANS RD
ROCKWALL, TX 75032

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
160 EVANS RD
ROCKWALL, TX 75032

ALVARADO HERALD DAVID CORDOVA
5112 WOLVERTON CT
GARLAND, TX 75043

MEJIA RAMIRO
244 EVANS ST
ROCKWALL, TX 75032

OCCUPANT
266 EVANS RD
ROCKWALL, TX 75032

HUERTA JOSE AND MARIA
848 SMITH ACRES DR
ROYSE CITY, TX 75189

PEREZ MARCOS AND MARIA ELVA GACHUZO
VELAZQUEZ
290 EVANS RD
ROCKWALL, TX 75032

BALDERAS GREGORY
310 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
302 EVANS RD
ROCKWALL, TX 75032

VAZQUEZ MARCOS PEREZ
1806 13TH STREET
GALENA PARK, TX 77547

ACOSTA FABIAN AND GLADYS CELENE
QUINONEZ
322 EVANS RD
ROCKWALL, TX 75032

RAMIRES RAUL
358 EVANS RD
ROCKWALL, TX 75032

PERDOMO WILFREDO
100 EVANS RD
ROCKWALL, TX 75032

GARCIA JUAN
519 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
515 RENEE DR
ROCKWALL, TX 75032

SIERRA ZACARIAS RAMIREZ
1244 COUNTY ROAD 2278
QUINLAN, TX 75474

LUMPKINS JOHN E & STEPHANIE L
376 EVANS RD
ROCKWALL, TX 75032

PERALES OSCAR F AND DIANA A
106 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
114 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

HERREROS BERTOLDO
180 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

OCCUPANT
LOFLAND CIR
ROCKWALL, TX 75032

SMARTT LOFLAND & BOND
1 CARMARTHEN CT
DALLAS, TX 75225

OCCUPANT
2922 S HWY205
ROCKWALL, TX 75032

LAYZA & LUNA REAL ESTATE LLC
6310 LEMMON AVE STE 202
DALLAS, TX 75209

OCCUPANT
791 LAKESIDE DR
ROCKWALL, TX 75032

KUBIS CINDY
281 N LARAMIE CIR
PILOT POINT, TX 76258

RODRIGUEZ ROMAN
220 EVANS RD
ROCKWALL, TX 75032

BAKER LATONIA
840 LAKESIDE DR
ROCKWALL, TX 75032

TUAZON LINCOLN AND DIVINA
848 LAKESIDE DR
ROCKWALL, TX 75032

PETREY MELODIE A
806 LAKESIDE DR
ROCKWALL, TX 75032

DEL ROSARIO VICTOR & LETICIA
813 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
905 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

OCCUPANT
891 LAKESIDE DR
ROCKWALL, TX 75032

LOERA SERGIO A
588 PERCH RD
ROCKWALL, TX 75032

ROJAS MARCOS & ROSALINDA
234 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
855 LAKESIDE DR
ROCKWALL, TX 75032

TURNER DANNY AND NANCY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
877 LAKESDIE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

BOLEN LORNA L &
ROSALIO O SANCHEZ
861 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
869 LAKESIDE DR
ROCKWALL, TX 75032

OLORTEGUI CLAUDIA
610 ARCADIA WAY
ROCKWALL, TX 75087

TURNER DANNY
829 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
MIMS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

OCCUPANT
900 SIDS RD
ROCKWALL, TX 75032

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

RAMIREZ MARIO
908 LAKESIDE DR
ROCKWALL, TX 75032

OCCUPANT
EVANS RD
ROCKWALL, TX 75032

GANUS HUGH
524 SESAME DR
MESQUITE, TX 75149

OCCUPANT
140 EVANS RD
ROCKWALL, TX 75032

LICEA JOSE DELFINO
448 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
950 SIDS RD
ROCKWALL, TX 75032

RAYBURN COUNTRY ELECTRIC CORP INC
PO BOX 37
ROCKWALL, TX 75087

HERREROS BERTOLDO
196 EVANS RD
ROCKWALL, TX 75032

OCCUPANT
170 EVANS RD
ROCKWALL, TX 75032

DIAZ JOSE LUIS &
MARICELA ARREDONDO
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
510 BLANCHE DR
ROCKWALL, TX 75032

SANCHEZ CARLOS FRANSISCO CARMONA
532 BLANCHE DRIVE
ROCKWALL, TX 75032

OCCUPANT
125 NATIONAL DR
ROCKWALL, TX 75032

RACK HOLDINGS LLC- 125 NATIONAL SERIES
3021 RIDGE ROAD SUITE A-131
ROCKWALL, TX 75032

BOWERS TAMMY GAIL
630 TROUT RD
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We specifically bought our home because it is on a greenbelt!
We enjoy our privacy. Rezoning this area will result in the
wildlife having to find a new area to relocate to for their
home and we do not want to impact the wildlife here!

Name: Ben + Robin Czarnopys

Address: 746 Glenhurst Dr

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area for reasons]

Name:

[Redacted name]

Address:

[Redacted address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-003: Zoning Change from AG to a PD for SF-10 District Land Uses

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name:

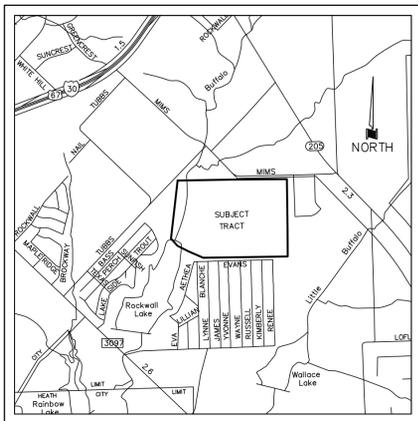
[Redacted name field]

Address:

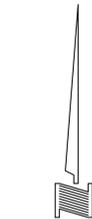
[Redacted address field]

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



LOCATION MAP
NOT TO SCALE



GRAPHIC SCALE

(IN FEET)
1 inch = 100 ft.

NOTES:

1. BEARINGS SHOWN HEREON ARE BASED ON TEXAS STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983. ALL DIMENSIONS SHOWN ARE GROUND DISTANCES. TO OBTAIN A GRID DISTANCE, MULTIPLY THE GROUND DISTANCE BY THE PROJECT COMBINED FACTOR (PCF) OF 0.9998800144.

2. ACCORDING TO MAP NO. 48397-0040L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY, DATED SEPTEMBER 26, 2008, THE SUBJECT TRACT IS SITUATED WITHIN: UNSHADED ZONE "X"; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN, ZONE "A"; DEFINED AS SPECIAL FLOOD HAZARD AREA INUNDATED BY THE 100-YEAR FLOOD WITH NO BASE ELEVATIONS DETERMINED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

3. THE LOCATION OF THE FLOOD ZONE LINES SHOWN HEREON, WERE DETERMINED BY SCALING FROM SAID FEMA MAP. THE ACTUAL LOCATION AS DETERMINED BY ELEVATION CONTOURS MAY DIFFER. SURVEYOR ASSUMES NO LIABILITY AS TO THE ACCURACY OF THE LOCATION OF THE FLOOD ZONE LIMITS..

4. SURVEYOR ADDRESSED ONLY THOSE ITEMS LISTED IN OLD REPUBLIC TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE, G.F. NO. 2254424-ATDA, EFFECTIVE DATE DECEMBER 7, 2022. NO FURTHER RESEARCH WAS PERFORMED BY SURVEYOR.

5. VISIBLE IMPROVEMENTS/UTILITIES WERE LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED FOR THIS SURVEY.

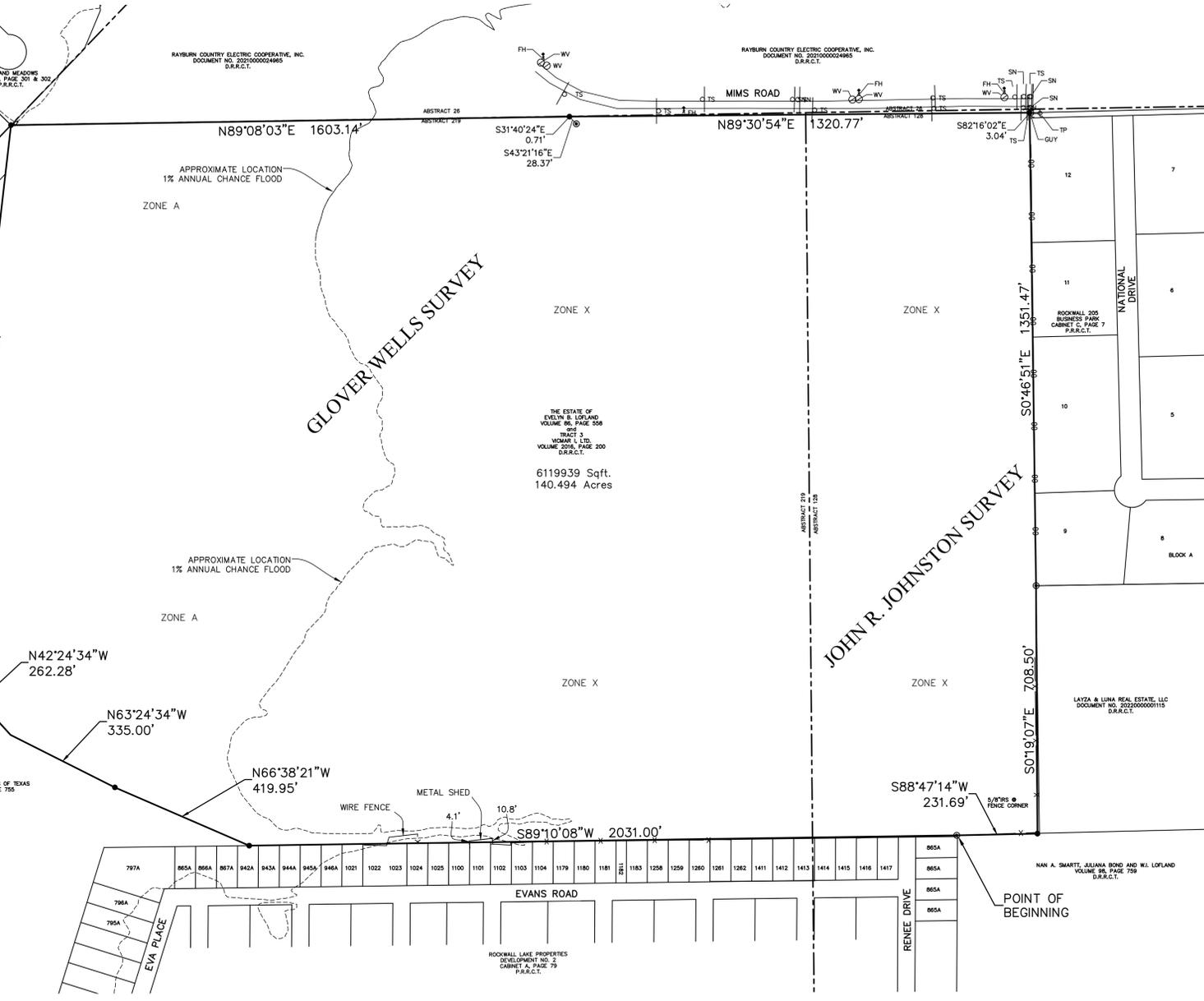
6. FENCES SHOWN HEREON ARE GRAPHIC ONLY AND MAY MEANDER BETWEEN MEASURED LOCATIONS.

7. THE ACREAGE TOTALS AS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THIS SURVEY. THEY DO NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.

8. THIS SURVEY DOES NOT PROVIDE ANY DETERMINATION CONCERNING WETLANDS, FAULT LINES, TOXIC WASTE OR ANY OTHER ENVIRONMENTAL ISSUES. SUCH MATTERS SHOULD BE DIRECTED BY THE CLIENT OR PROSPECTIVE PURCHASER TO AN EXPERT CONSULTANT.

9. THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR THE PARTIES CERTIFIED TO HEREON AND REMAINS THE PROPERTY OF THE SURVEYOR. THE UNAUTHORIZED USE OR REUSE OF THIS SURVEY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SURVEYOR IS NOT PERMITTED. THE USE OF THIS SURVEY BY ANYONE OTHER THAN THE CERTIFIED PARTIES OR FOR ANY UNINTENDED USE WILL REMOVE SURVEYOR FROM BURDEN OF ANY DAMAGES INCURRED.

10. THE TERM "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON INDICATES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED, AND IS EXCLUSIVELY TO THE PARTIES INVOLVED IN AND LIMITED TO THE TRANSACTION CLOSING AT THE TITLE COMPANY INDICATED HEREON.



SCHEDULE B NOTES

g. TERMS AND PROVISIONS CONTAINED IN EASEMENT AGREEMENT FOR IMPOUNDING WATER AS SET OUT IN INSTRUMENT RECORDED IN VOLUME 51, PAGE 116, OF THE DEED RECORDS OF ROCKWALL COUNTY, TEXAS. (SUBJECT TO-NON PLOTTABLE)

LEGEND

- IRON ROD OR IRON PIPE FOUND
- 1/2" IRON ROD SET WITH YELLOW PLASTIC CAP STAMPED "JVC" (UNLESS OTHERWISE NOTED)
- D.R.R.C.T. DEED RECORDS, ROCKWALL COUNTY, TEXAS
- P.R.R.C.T. PLAT RECORDS, ROCKWALL COUNTY, TEXAS
- TS — TRAFFIC SIGN
- UGCM — UNDERGROUND CABLE MARKER
- FH — FIRE HYDRANT
- GUY — GUY WIRE ANCHOR
- PP — POWER POLE
- TPED — TELEPHONE PEDESTAL
- WV — WATER VALVE
- CHAIN LINK FENCE
- X— WIRE FENCE

FIELD NOTE DESCRIPTION
140.494 ACRES

BEING A 140.494 ACRE TRACT OF LAND SITUATED IN THE GLOVER WELLS SURVEY, ABSTRACT NUMBER 219 AND THE JOHN R. JOHNSTON SURVEY, ABSTRACT NUMBER 128 OF ROCKWALL COUNTY, TEXAS, BEING THAT TRACT OF LAND CONVEYED TO THE ESTATE OF EVELYN B. LOFLAND ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 86, PAGE 558, DEED RECORDS ROCKWALL COUNTY, TEXAS AND VICMAR I, LTD. ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 2016, PAGE 200, DEED RECORDS ROCKWALL COUNTY, TEXAS (D.R.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1" IRON PIPE FOUND IN THE SOUTH LINE OF SAID VICMAR I TRACT, SAME BEING THE COMMON NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED TO HAPPY COUNTRY HOMES OF TEXAS, ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 157, PAGE 755 (D.R.R.C.T.) AND BEING THE COMMON NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO NAN A. SMARTT, JULIANA BOND AND W.I. LOFLAND ACCORDING TO THE DOCUMENT FILED OF RECORD IN VOLUME 98, PAGE 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W WITH THE SOUTH LINE OF SAID VICMAR I TRACT, SAME BEING THE COMMON NORTH LINE OF SAID HAPPY COUNTRY HOMES TRACT, FOR A DISTANCE OF 2031.00 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;

THENCE LEAVING SAID COMMON LINE, CONTINUING WITH THE SOUTH LINE OF SAID VICMAR I TRACT THE FOLLOWING THREE (3) COURSES AND DISTANCES:
N 66° 38' 21" W, A DISTANCE OF 419.95 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;
N 63° 24' 34" W, A DISTANCE OF 335.00 FEET TO A POINT FOR CORNER OF THIS TRACT, LOCATED WITHIN THE LIMITS OF THE CURRENT WATER LEVEL OF A LARGE POND;
N 42° 24' 34" W, A DISTANCE OF 262.28 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A CORNER OF THIS TRACT;

THENCE N 06° 34' 13" E, PASSING AT A DISTANCE OF 40.96 FEET A 1/2" IRON ROD FOUND FOR THE SOUTHEAST CORNER OF LOT 1, BLOCK D, LYNDEN PARK ESTATES, PHASE 4, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT FILED OF RECORD IN CABINET E, SLIDE 396 PLAT RECORDS ROCKWALL COUNTY, TEXAS (P.R.R.C.T.), CONTINUING WITH THE EAST LINE OF SAID LYNDEN PARK ESTATES, PHASE 4 FOR A DISTANCE OF 1558.91 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR THE NORTHEAST CORNER OF SAID LYNDEN PARK ESTATES, PHASE 4, AN ADDITION TO THE CITY OF ROCKWALL ACCORDING TO THE PLAT FILED OF RECORD IN CABINET C, PAGE 301/302 (P.R.R.C.T.), ALSO BEING THE SOUTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC. ACCORDING TO THE DOCUMENT FILED OF RECORD IN DOCUMENT NUMBER 2021000024965 (D.R.R.C.T.) AND BEING THE COMMON NORTHWEST CORNER OF THIS TRACT;

THENCE N 89° 08' 03" E WITH THE SOUTH LINE OF SAID RAYBURN COUNTRY ELECTRIC COOPERATIVE, INC. TRACT, SAME BEING COMMON WITH THE NORTH LINE OF THIS TRACT, A DISTANCE OF 1603.14 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR A COMMON CORNER OF SAID TRACT AND THIS TRACT, FROM WHICH A FOUND 60-D NAIL FOUND FOR A REFERENCE TO SAID CORNER BEARS S 31° 40' 24" E, 0.71 FEET, ALSO FROM SAID CORNER, A 5/8" IRON ROD FOUND FOR REFERENCE TO SAID CORNER BEARS S 43° 21' 16" E, 28.37 FEET;

THENCE N 89° 30' 54" E, CONTINUING WITH SAID COMMON LINE, FOR A DISTANCE OF 1320.77 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET FOR THE NORTHEAST CORNER OF THIS TRACT, FROM WHICH A 3/8" IRON ROD FOUND FOR REFERENCE TO SAID CORNER BEARS S 82° 16' 02" E, 3.04 FEET;

THENCE S 00° 46' 51" E, LEAVING SAID COMMON LINE, WITH THE WEST LINE OF ROCKWALL 205 BUSINESS PARK, AN ADDITION TO THE CITY OF ROCKWALL, ACCORDING TO THE PLAT FILED OF RECORD IN CABINET C, PAGE 7 (P.R.R.C.T.) FOR A DISTANCE OF 1351.47 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF SAID ADDITION, THE NORTHWEST CORNER OF THAT TRACT OF LAND CONVEYED TO LAYZA & LUNA REAL ESTATE, LLC ACCORDING TO THE DOCUMENT FILED OF RECORD IN DOCUMENT NUMBER 2022000001115 (D.R.R.C.T.) AND COMMON CORNER OF THIS TRACT;

THENCE S 00° 19' 07" E WITH THE WEST LINE OF SAID LAYZA & LUNA REAL ESTATE, LLC TRACT, FOR A DISTANCE OF 708.50 FEET TO A 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "JVC" SET IN THE NORTH LINE OF THE ABOVE-MENTIONED NAN A. SMARTT, JULIANA BOND AND W.I. LOFLAND TRACT, FOR THE SOUTHWEST CORNER OF SAID LAYZA & LUNA REAL ESTATE, LLC TRACT AND COMMON SOUTHEAST CORNER OF THIS TRACT;

THENCE S 88° 47' 14" W, WITH SAID NORTH LINE, A DISTANCE OF 231.69 FEET TO THE POINT OF BEGINNING AND CONTAINING 6,119,939 SQUARE FEET OR 140.494 ACRES OF LAND.

SURVEYOR'S CERTIFICATE:

To QUALICO DEVELOPMENTS (U.S.), INC., A DELAWARE CORPORATION, INDEPENDENCE TITLE, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND THE ESTATE OF EVELYN B. LOFLAND AND VICMAR I, LTD., A TEXAS CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE SUBSTANTIALLY IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2021, AND INCLUDES ITEMS 1-4, 7(A), 8, 9, 11, 13 AND 14 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR IN THE STATE OF TEXAS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

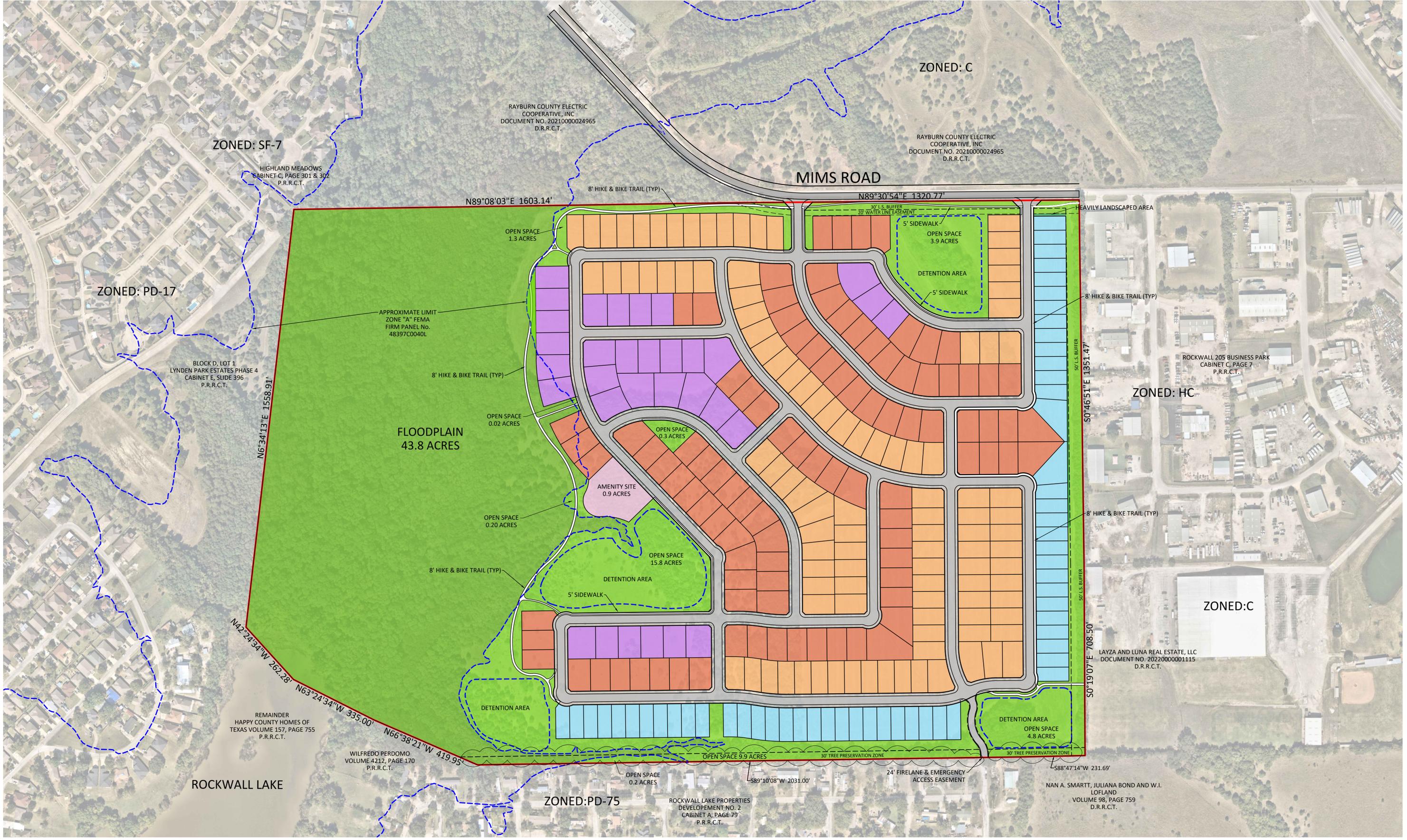
RYAN S. REYNOLDS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 6385
SURVEYED ON THE GROUND: JANUARY 9, 2023



ALTA/NSPS LAND TITLE SURVEY
140.494 Acres, Glover Wells Survey, Abstract 219
and the John R. Johnston Survey, Abstract 128
Rockwall County, Texas



SCALE:
200'
One Inch
JVC No Q00501
SHEET 1 OF 1



ALL LOTS LESS THAN 12,000 SF ARE LOCATED WITHIN 800 FT OF A PUBLIC OR PRIVATE OPEN SPACE AREA.



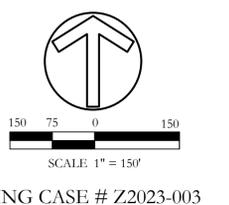
LOT TYPE	A	B	C	D
LOT COUNT	32	98	105	57
MINIMUM LOT AREA (SF)	9,000	8,400	7,200	6,000
MINIMUM LOT WIDTH (FT)	82	72	62	52
MINIMUM LOT DEPTH (FT)	120	120	120	120
FRONT BUILDING SETBACK (FT)	20	20	20	20
REAR BUILDING SETBACK (FT)	20	20	20	20
SIDE BUILDING SETBACK INTERIOR (FT)	6	6	6	6
SIDE BUILDING SETBACK CORNER (FT)	15	15	15	15
MAXIMUM BUILDING HEIGHT	35 FEET/ 2.5 STORIES			
MAXIMUM LOT COVERAGE (%)	45%	45%	65%	65%
TYPICAL PAD SIZE*	70' x 80'	60' x 80'	50' x 80'	40' x 80'

*MEASURED AT FRONT BUILDING SETBACK

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LAND USE	AREA (AC)	PERCENT OF TOTAL
RESIDENTIAL	75.3	53.6%
OPEN SPACE		
Private Open Space	20.5	14.6%
Amenity Center	0.9	0.6%
Floodplain	43.8	31.2%
OPEN SPACE TOTAL	65.2	46.4%
TOTAL ACRES	140.5	100.0%

Open Space Required (20%) = 140.5 x 20% = 28.1 acres
 Open Space Provided (Including 1/2 of floodplain) = 43.3



ZONING CASE # Z2023-003

18 SOUTHWEST RESIDENTIAL DISTRICT

 = SUBJECT PROPERTY

DISTRICT DESCRIPTION

The *Southwest Residential District* contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. *National Drive, Sids Road, and Mims Road*) and commercial land uses. In the future, this district is expected to continue to function as it does today with additional low-density master planned communities filling in the vacant land remaining in the central and southern areas of the district. In addition, the areas that are in transition are expected to continue to improve adding additional value to the City.

DISTRICT STRATEGIES

The strategies for the *Southwest Residential District* are as follows:

- 1 **Suburban Residential.** This district has several large tracts of land that can support highly amenitized master planned communities. Areas adjacent to the Oaks of Buffalo Way Subdivision should utilize larger lots adjacent to the subdivision to transition to a smaller lot sizes; however, these areas should incorporate a mix of larger to mid-sized lots.

- 2 **Commercial/Industrial Land Uses.** The areas around Sids Road, National Drive, and Mims Road are some of the only areas in the City that are designated for *Commercial/Industrial* land uses. As a result, these areas should be protected from the encroachment of incompatible land uses (i.e. *residential land uses -- higher density or otherwise*). This should protect the businesses that currently exist in these areas.

- 3 **Transitional Areas.** The areas designated as *Transitional Areas* are currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties; however, the City should look to continue to discourage uses and structures that are situated within established floodplains.

- 4 **Intersection of SH-276 and S. Goliad Street (Sids Road and S. Goliad Street).** The intersection at Sids Road and S. Goliad Street [SH-205] -- also identified as the future intersection of SH-276 and S. Goliad Street -- is anticipated to be a major commercial intersection due to the high traffic volumes carried by both SH-276 and S. Goliad Street [SH-205]. This intersection will most likely have commercial at all four (4) corners and will create a major node along both highways.



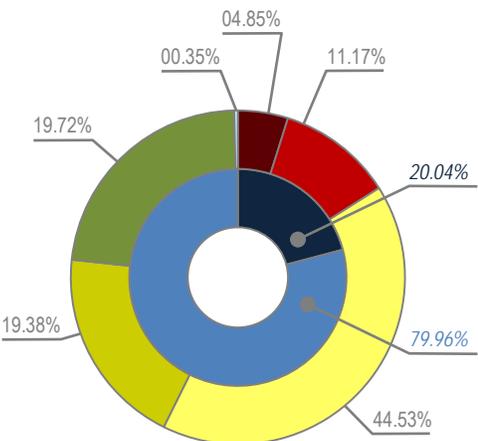
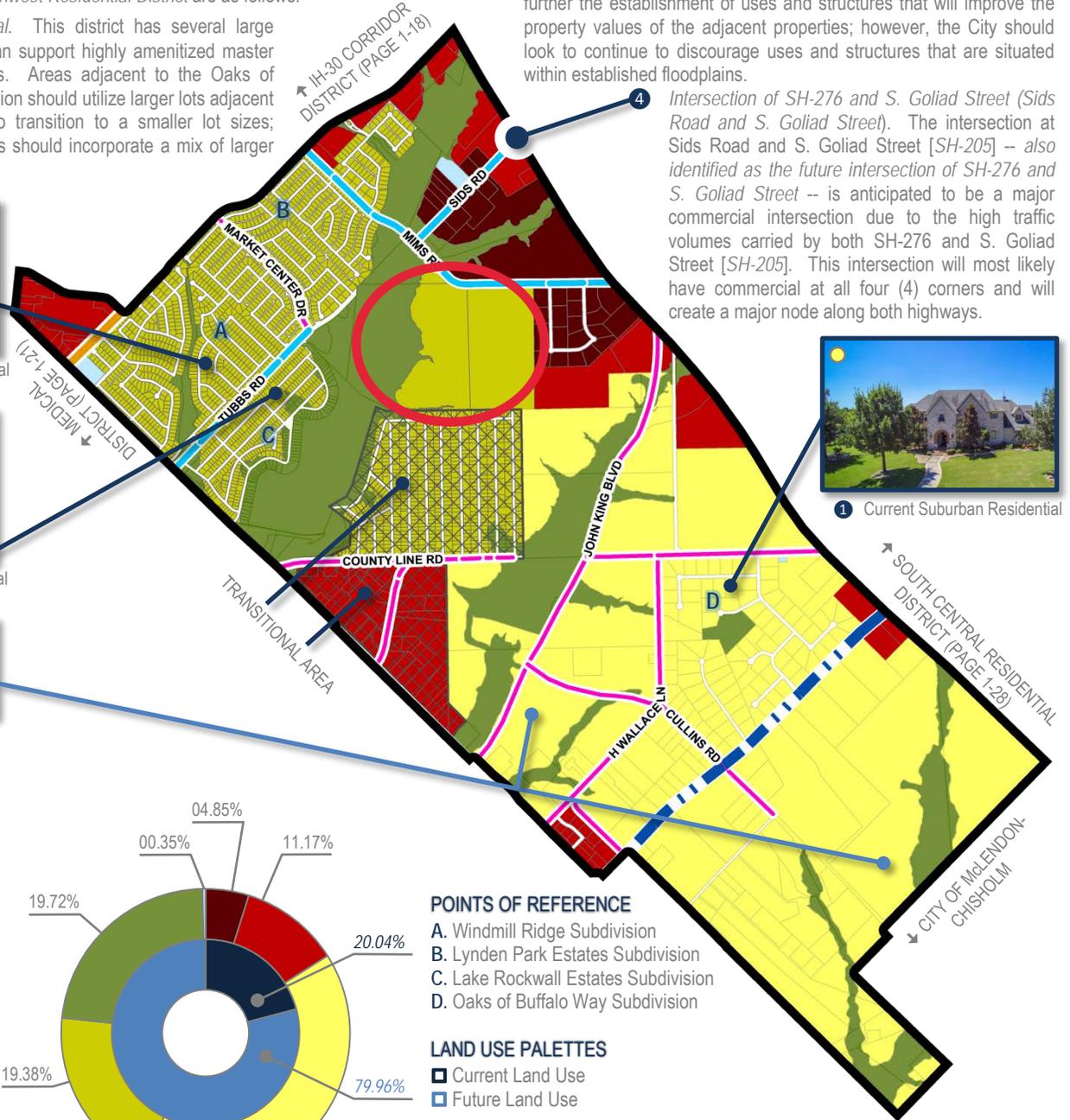
1 Current Suburban Residential



1 Current Suburban Residential



1 Future Suburban Residential



POINTS OF REFERENCE

- A. Windmill Ridge Subdivision
- B. Lynden Park Estates Subdivision
- C. Lake Rockwall Estates Subdivision
- D. Oaks of Buffalo Way Subdivision

LAND USE PAlettes

- Current Land Use
- Future Land Use

COMMERCIAL/INDUSTRIAL (CI)	120.50-ACRES
COMMERCIAL/RETAIL (CR)	277.44-ACRES
LOW DENSITY RESIDENTIAL (LDR)	1,106.20-ACRES
MEDIUM DENSITY RESIDENTIAL (MDR)	481.39-ACRES
PARKS AND OPEN SPACE (OS)	489.99-ACRES
QUASI-PUBLIC (QP)	8.67-ACRES

BUILD OUT	4,251
	14,108
% OF ROCKWALL	10.95%
	10.34%
	12.49%
CURRENT	2,190
	188
	7,437

COMMERCIAL	20.04%
RESIDENTIAL	79.96%
MIXED USE	0.00%
MINOR COLLECTOR	
M4D	
M4U	
TXDOT 4D	

CITY OF ROCKWALL

ORDINANCE NO. **23-XX**

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO PLANNED DEVELOPMENT DISTRICT **XX** (PD-**XX**) FOR SINGLE FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 140.50-ACRE TRACT OF LAND IDENTIFIED AS TRACT 5 OF THE J. R. JOHNSON SURVEY, ABSTRACT NO. 128 AND TRACT 3 OF THE G. WELLS SURVEY, ABSTRACT NO. 219, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single Family 10 (SF-10) District land uses, on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto

and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property* -- prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* depicted in *Exhibit 'C'* of this ordinance -- shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development on the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A':
Legal Description

BEING a 140.494-acre tract of land situated in the Glover Wells Survey, Abstract Number 219 and the John R. Johnston Survey, Abstract Number 128 of Rockwall County, Texas, being that tract of land conveyed to VICMAR I, LTD. According to the document filed of record in Volume 2016, Page 200, Deed Records Rockwall County, Texas (D.R.R.C.T.) and being more particularly described as follows:

BEGINNING at a 1" iron pipe found in the south line of said VICMAR I tract, same being the common northeast corner of that tract of land conveyed to Happy Country Homes of Texas, according to the document filed of record in Volume 157, Page 755 (D.R.R.C.T.) and being the common northwest corner of that tract of land conveyed to Nan A. Smartt, Juliana Bond and W.I. Lofland according to the document filed of record in Volume 98, Page 759 (D.R.R.C.T.);

THENCE S 89° 10' 08" W with the south line of said VICMAR I tract, same being the common north line of said Happy Country Homes tract, for a distance of 2031.00 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE leaving said common line, continuing with the south line of said VICMAR I tract the following three (3) courses and distances:

N 66° 38' 21" W, a distance of 419.95 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

N 63° 24' 34" W, a distance of 335.00 feet to a point for corner of this tract, located within the limits of the current water level of a large pond;

N 42° 24' 34" W, a distance of 262.28 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a corner of this tract;

THENCE N 06° 34' 13" E, passing at a distance of 40.96 feet a ½" iron rod found for the southeast corner of Lot 1, Block D, Lynden Park Estates, Phase 4, an addition to the City of Rockwall according to the plat filed of record in Cabinet E, Slide 396 Plat Records Rockwall County, Texas (P.R.R.C.T.), continuing with the east line of said Lynden Park Estates, Phase 4 for a distance of 1558.91 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of said Lynden Park Estates, same being the southeast corner of Highland Meadows, an addition to the City of Rockwall according to the plat filed of record in Cabinet C, Page 301/302 (P.R.R.C.T.), also being the southwest corner of that tract of land conveyed to

Rayburn Country Electric Cooperative, Inc. according to the document filed of record in Document Number 20210000024965 (D.R.R.C.T.) and being the common northwest corner of this tract;

THENCE N 89° 08' 03" E with the south line of said Rayburn Country Electric Cooperative, Inc. tract, same being common with the north line of this tract, a distance of 1603.14 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for a common corner of said tract and this tract, from which a found 60-D Nail found for a reference to said corner bears S 31° 40' 24" E, 0.71 feet, also from said corner, a 5/8" iron rod found for reference to said corner bears S 43° 21' 16" E, 28.37 feet;

THENCE N 89° 30' 54" E, continuing with said common line, for a distance of 1320.77 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set for the northeast corner of this tract, from which a 3/8" iron rod found for reference to said corner bears S 82° 16' 02" E, 3.04 feet;

THENCE S 00° 46' 51" E, leaving said common line, with the west line of Rockwall 205 Business Park, an addition to the City of Rockwall, according to the plat filed of record in Cabinet C, Page 7 (P.R.R.C.T.) for a distance of 1351.47 feet to a ½" iron rod found for the southwest corner of said addition, the northwest corner of that tract of land conveyed to Layza & Luna Real Estate, LLC according to the document filed of record in Document Number 20220000001115 (D.R.R.C.T.) and common corner of this tract;

THENCE S 00° 19' 07" E with the west line of said Layza & Luna Real Estate, LLC tract, for a distance of

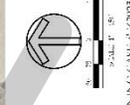
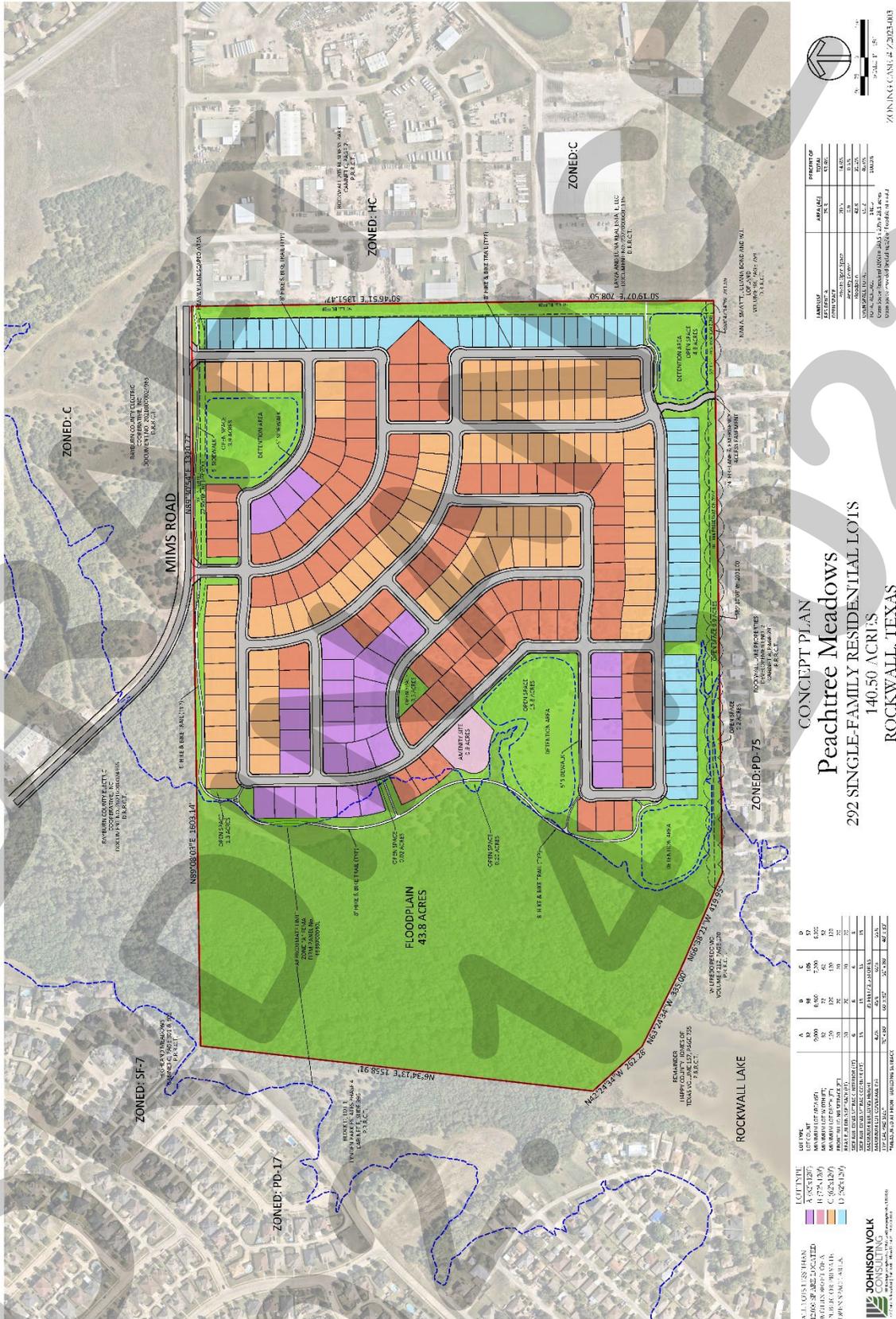
Exhibit 'A':
Legal Description

708.50 feet to a ½" iron rod with yellow plastic cap stamped "JVC" set in the north line of the above-mentioned Nan A. Smartt, Juliana Bond and W.I. Lofland tract, for the southwest corner of said Layza & Luna Real Estate, LLC tract and common southeast corner of this tract;

THENCE S 88° 47' 14" W, with said north line, a distance of 231.69 feet to the *POINT OF BEGINNING* and containing 6,119,939 square feet or 140.494 acres of land.

DRAFT
ORDINANCE
02.14.2023

**Exhibit 'C':
Concept Plan**



PROPERTY OF	AREA (AC)	% OF TOTAL
LOT AREA	140.50	100.00
IMPROVEMENTS	140.50	100.00
TOTAL	140.50	100.00

LOT TYPE	A	B	C	D
LOT TYPE	0.00	6.96	2.96	0.22
AREA (AC)	0.00	7.77	4.21	0.22
% OF TOTAL	0.00	5.46	2.93	0.15
TOTAL	0.00	14.16	7.38	0.49

LOT TYPE	A	B	C	D
LOT TYPE	0.00	6.96	2.96	0.22
AREA (AC)	0.00	7.77	4.21	0.22
% OF TOTAL	0.00	5.46	2.93	0.15
TOTAL	0.00	14.16	7.38	0.49

CONCEPT PLAN
Peachtree Meadows
 292 SINGLE-FAMILY RESIDENTIAL LOTS
 140.50 ACRES
 ROCKWALL, TEXAS

LOT TYPE	A	B	C	D
LOT TYPE	0.00	6.96	2.96	0.22
AREA (AC)	0.00	7.77	4.21	0.22
% OF TOTAL	0.00	5.46	2.93	0.15
TOTAL	0.00	14.16	7.38	0.49

LOT TYPE	A	B	C	D
LOT TYPE	0.00	6.96	2.96	0.22
AREA (AC)	0.00	7.77	4.21	0.22
% OF TOTAL	0.00	5.46	2.93	0.15
TOTAL	0.00	14.16	7.38	0.49

JOHNSON VOLK ENGINEERING
 1400 W. WILSON ROAD, SUITE 100
 ROCKWALL, TEXAS 75087
 TEL: 972.962.1100
 WWW.JVENGINEERING.COM

**Exhibit 'D':
Density and Development Standards**

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC).
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single-Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.08 dwelling units per gross acre of land; however, in no case should the proposed development exceed 292 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ▶	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾	82'	72'	62'	52'
<i>Minimum Lot Depth</i>	120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>	9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>	6'	6'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i> ⁽⁷⁾	20'	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	35'	35'	35'	35'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,500 SF	2,200 SF	2,200 SF	2,000 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- ⁶: *J-Swing* or *Traditional Swing Garages* are permitted to encroach into the front yard building setback a maximum of five (5) feet.

Exhibit 'D':
Density and Development Standards

(4) *Building Standards*. All development shall adhere to the following building standards:

- (a) *Masonry Requirement*. The minimum masonry requirement for the exterior façade of all buildings shall be 90.00% (*excluding dormers and walls over roof areas*). For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (*e.g. HardiBoard or Hardy Plank*) in a horizontal lap-siding, *board-and-batten* siding, or a decorative pattern (see *examples below*) shall be considered masonry and may be used on 20.00% of the total exterior façade of the home; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard for architectural purposes (*as seen below in Figures 1 & 2*) in excess of 80.00% total exterior façade of the home on a *case-by-case* basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF HORIZONTAL LAP



Exhibit 'D':
Density and Development Standards

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

- (c) Garage Orientation and Garage Doors. All of the Type 'D' lots (being a total of 19.59% or 57 of the 292 lots) may have garages that are oriented toward the street in a *Front Entry* garage configuration; however, the front façade of the garage must be situated a minimum of five (5) feet behind the front façade of the primary structure. The remaining Type 'A', 'B' & 'C' lots (being 80.31% or 235 lots) shall have garages that are oriented in a *J-Swing* (or *Traditional Swing*) configuration or be situated a minimum of 20-feet behind the front façade of the home. In addition, the following architectural elements must be incorporated into all garage configurations: [1] divided garage bay doors (i.e. for two (2) car garages two (2) individual entrances and for three (3) car garages a standard two (2) bay garage door with a single bay garage door adjacent), [2] carriage style hardware and lighting, [3] decorative wood doors or wood overlays on insulated metal doors, and [4] driveways must be constructed with ornamental stamped concrete brick pavers, broom finished, or salt finish. An example of a garage door meeting these standards is depicted in *Figure 4*.

Figure 4. Examples of Enhanced Wood Garage Door



FIGURE 5: EXAMPLES OF UPGRADED FINISHES



DIVIDED BAYS

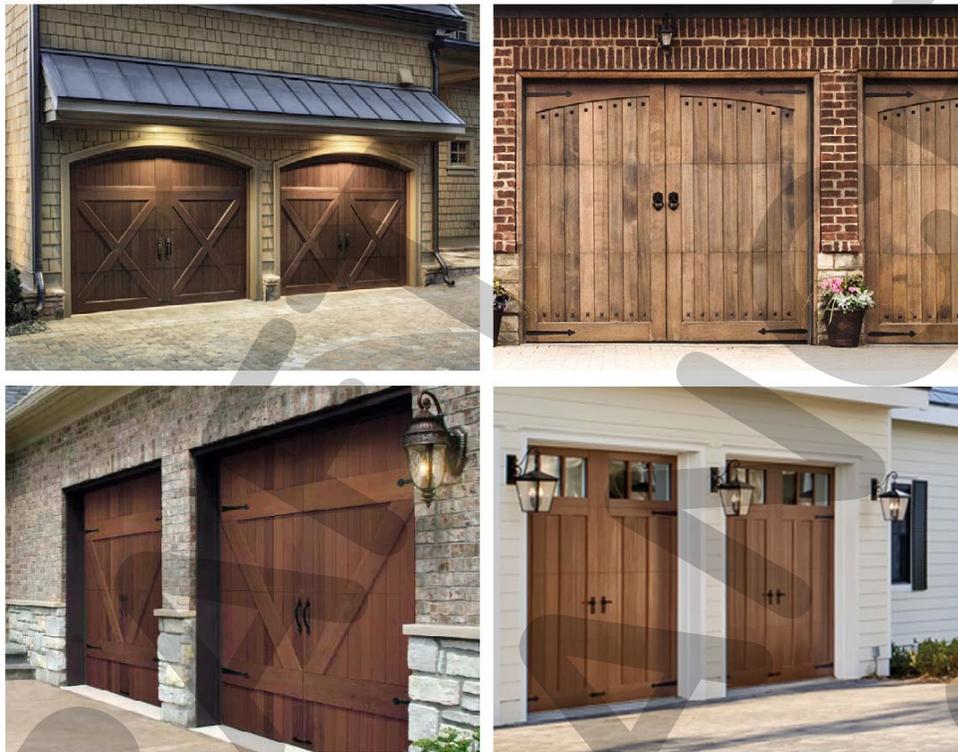
CARRIAGE HARDWARE

CEDAR CLADDING

ORNAMENTAL PAVING

**Exhibit 'D':
Density and Development Standards**

FIGURE 6: EXAMPLES OF UPGRADED GARAGES



(5) **Anti-Monotony Restrictions.** The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figures 7 & 8 below).

Table 3: Anti-Monotony Matrix

<i>Lot Type</i>	<i>Minimum Lot Size</i>	<i>Elevation Features</i>
A	82' x 120'	(1), (2), (3), (4), (5)
B	72' x 120'	(1), (2), (3), (4), (5)
C	62' x 120'	(1), (2), (3), (4), (5)
D	52' x 120'	(1), (2), (3), (4)

(a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.

(b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces and Mims Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:

- (1) Number of Stories
- (2) Permitted Encroachment Type and Layout
- (3) Roof Type and Layout
- (4) Articulation of the Front Façade
- (5) Garage Orientation

Exhibit 'D':
Density and Development Standards

- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 7: Properties line up on the opposite side of the street. Where RED is the subject property.



Figure 8: Properties do not line up on opposite side of the street. Where RED is the subject property.



- (6) **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) **Front Yard Fences.** Front yard fences shall be prohibited.
 - (b) **Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of

Exhibit 'D':
Density and Development Standards

burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.

- (c) Wrought Iron/Tubular Steel. Lots located along Mims Road, abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence; however, all Type 'D' lots (*i.e. the lots directly adjacent to the eastern and southern boundaries of the Subject Property*) shall be permitted to have wood fences in accordance with the requirements of this ordinance regardless of adjacency. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
 - (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
 - (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
 - (f) Fence in Easements. No fencing shall be constructed in or across the City of Rockwall's easements.
- (7) Landscape and Hardscape Standards.
- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of mature shrubs (*i.e. a minimum of seven [7] gallons in size*) adjacent to the wrought iron/tubular steel fence within the required 30-foot landscape buffer (*i.e. on the Homeowner's Associations' [HOAs] property*). These shrubs shall be maintained by the Homeowner's Association (HOA).
 - (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (Mims Road). A minimum of a 30-foot landscape buffer shall be provided along Mims Road (*outside of and beyond the required 20-foot utility easement required to be provided adjacent to this roadway*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a minimum height of 48-inches each. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer. In addition, two (2) increased landscape areas shall be provided, adjacent to the lots that side to Mims Road. The purpose of these areas is to screen the permitted wood fencing that will be adjacent to Mims Road. These increased landscape areas shall incorporate accent trees and large shrubs and will be reviewed for compliance to the stated intent at the time of *PD Site Plan*.

Exhibit 'D':
Density and Development Standards

- (2) Landscape Buffer (Adjacent to Eastern Property Boundary). A minimum of a 50-landscape buffer shall be provided along the *Type 'D'* lots adjacent to the non-residential properties along the eastern property boundary, and shall incorporate a *built-up* berm and two (2) staggered row of cedar trees. Berms shall have a minimum height of 48-inches each. The staggered row of cedar trees should create a solid screening from the adjacent non-residential land uses.
- (3) Tree Preservation Easement (Adjacent to the Southern Property Boundary). A minimum of a 30-foot tree preservation easement shall be provided along the southern property boundary as depicted in *Exhibit 'C'* of this ordinance. This area shall be established to preserve the existing natural tree line and vegetation, which shall remain undisturbed and serve as screening between the proposed development and the property adjacent to this southern property line.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines that are less than ten (10) inches and ten (10) feet from public water, sanitary sewer and storm lines that are greater than ten (10) inches. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Residential Lot Landscaping. Prior to the issuance of a Certificate of Occupancy (CO), all residential lots depicted on *Exhibit 'C'* shall be landscaped with a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the front yard. In addition, corner lots shall be required to add a minimum of two (2), four (4) inch caliper canopy trees (*as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]*) within the side yard facing the street.
- (e) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (f) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Streets. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be a minimum of five (5) feet in overall width.
- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the

Exhibit 'D':
Density and Development Standards

Subject Property, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.

- (12) Open Space/Public Park. The development shall consist of a minimum of 20% open space (or a minimum of 28.10-acres -- as calculated using the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance.
- (13) Amenity Site. An amenity site shall generally be located in the same area as depicted in *Exhibit 'C'* of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity site shall be approved with the *PD Site Plan*.
- (14) Trails. A minimum of an eight (8) foot concrete trail system shall be constructed generally in the same location as the trail system depicted in *Exhibit 'C'* of this ordinance.
- (15) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be required at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (16) Homeowner's Association (HOA). A Homeowner's Association (HOA) shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including drainage facilities), detention and drainage easements, floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development. These areas are required to be delineated on the *PD Site Plan*.
- (17) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.



TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Mike Pizzola; *Designhaus Architecture*
CASE NUMBER: Z2023-004; *Specific Use Permit (SUP) for a Mini-Warehouse*

SUMMARY

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a *Specific Use Permit (SUP)* to allow a *Mini-Warehouse* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps*, at some point between annexation and January 3, 1972 the subject property was rezoned to a Light Industrial (LI) District. This zoning designation was again changed to a Commercial (C) District at some point between December 7, 1993 and April 5, 2005. On August 21, 2006 the City Council approved Planned Development District 68 (PD-68) [*Ordinance No. 06-32; Z2006-013*] changing the zoning of the subject property to allow limited Commercial (C) District land uses. Following this approval, the City Council approved a *Master Plat [Case No. P2006-043]* and a *Preliminary Plat [Case No. P2006-044]* on October 16, 2006. These cases were followed by the approval, of a *Final Plat [Case No. P2006-056]* designating the subject property as Lots 1 & 2, Block A, Eastshore Addition. This subdivision plat was filed with Rockwall County on December 28, 2006. Regardless of these approvals, the subject property has remained vacant since annexation.

PURPOSE

On January 20, 2023, the applicant -- *Mike Pizzola of Designhaus Architecture* -- submitted an application requesting a Specific Use Permit (SUP) for the *Mini-Warehouse* land use for the purpose of constructing two (2) climate controlled *Mini-Warehouse* buildings on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located north of the intersection of Justin Road and S. Goliad Street [SH-205]. The land uses adjacent to the subject property are as follows:

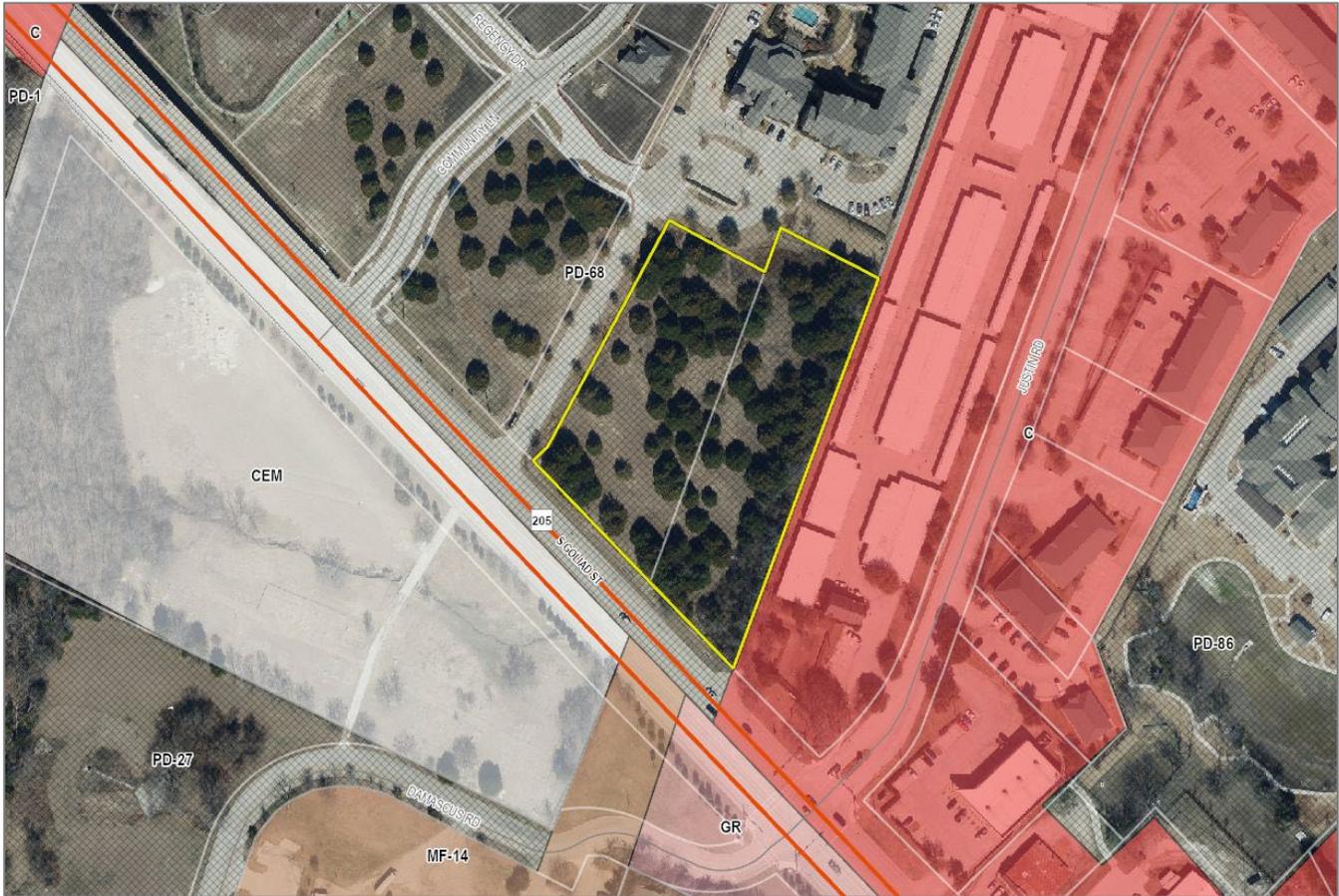
North: Directly north of the subject property is an *Age Restricted Apartment Complex (i.e. Evergreen Apartments)* on a 6.579-acre parcel of land (*i.e. Lot 3, Block A, Eastshore Addition*). Beyond this is the Standard of Rockwall an *Age Restricted Residential Subdivision* that was established on October 28, 2018 that consists of 47 single-family residential lots. Both of these properties are zoned Planned Development District 68 (PD-68).

South: Directly south of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this roadway is a *Cemetery* owned by the City of Rockwall and zoned Cemetery (CEM) District.

East: Directly east of the subject property is a *Mini-Warehouse* facility (i.e. *Advantage Self-Storage*), which consists of 555 units on a 4.8164-acre parcel of land (i.e. *Lot 2R-A, Block B, Lofland Industrial Park Addition*). This property is zoned Commercial (C) District. Beyond this is Justin Road, which is identified as a M4U (i.e. *major arterial, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this, are six (6) *Offices* (i.e. *Airrosti Rehab Center, Nation Wide Insurance, K&S Insurance Agency, etc.*) and a *General Retail Store* (i.e. *AutoZone*). All of these properties are zoned Commercial (C) District.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. *principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this roadway is a *Cemetery* owned by the City of Rockwall and zoned Cemetery (CEM) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and conceptual building elevations detailing the anticipated layout of the proposed *Mini-Warehouse* facility. According to the concept plan the proposed facility will be composed of two (2) buildings -- one (1) being 61,000 SF and one (1) being 30,560 SF -- with a total building foot print of 61,000 SF and a gross building area of 91,560 SF. The proposed facility will consist of 600 climate-controlled storage units with limited drive-up access. The subject property is situated directly adjacent to an existing *Mini-Warehouse* facility that has 555 storage units, and two (2) residential land uses (i.e. *the Standard of Rockwall and Evergreen Apartments*). The proposed facility will take access off of an existing cross access easement that serves as the primary ingress/egress for the *Evergreen Apartments*, and will have direct adjacency to S. Goliad Street [SH-205].

CONFORMANCE WITH THE CITY'S CODES

Planned Development District 68 (PD-68) [Ordinance No. 17-05] designates the subject property for limited Commercial (C) District land uses, and -- according to the Permissible Use Charts contained in Article 04, Permissible Uses, of the Unified Development Code (UDC) -- the Mini-Warehouse land use requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of requiring a Specific Use Permit (SUP) in a Commercial (C) District for this land use is tied to the fact that the Commercial (C) District zoning designation is typically located along the City's major roadways on properties that are highly visible. In addition, the Specific Use Permit (SUP) allows the City Council to review these types of requests on a case-by-case basis to: [1] ensure that the proposed product is appropriate for the existing (and future) land uses, and [2] to prevent a proliferation of this type of land use in the City's commercial/retail corridors. More simply stated, this land use may not be appropriate on all properties zoned Commercial (C) District. In addition, Section 02, Conditional Land Use Standards and Definitions, of Article 04, Permissible Uses, of the Unified Development Code (UDC) also requires the following Conditional Land Use Standards as part of the establishment of this land use [for reference staff has provided a summary of the applicant's proposal adjacent to the standards and its compliance to the requirements]:

TABLE 1: CONDITIONAL LAND USE STANDARDS FOR THE MINI-WAREHOUSE LAND USE

CONDITIONAL LAND USED REQUIREMENTS	PROPOSED CONCEPT PLAN	COMPLIANCE TO THE REQUIREMENTS
THE MAXIMUM SITE AREA SHALL NOT EXCEED FIVE (5) ACRES.	3.15-ACRES	IN CONFORMANCE
THE MAXIMUM NUMBER OF STORAGE UNITS SHALL NOT EXCEED 125 UNITS/ACRE.	393 UNITS ARE PERMITTED BY-RIGHT. THE APPLICANT HAS INDICATED THE FACILITY WILL CONSIST OF 600 UNITS OR 207 MORE THAN WHAT IS PERMITTED.	NOT IN COFORMANCE
THE MAXIMUM HEIGHT SHALL NOT EXCEED ONE (1) STORY.	BUILDING 'A' IS TWO (2) STORIES IN HEIGHT.	NOT IN COFORMANCE
THE MINIMUM NUMBER OF PARKING SPACES REQUIRED IS TWO (2). PARKING REQUIREMENT IS THREE (3) SPACES PLUS ONE (1) SPACE PER 100 UNITS.	FOUR (4) PARKING SPACES SHOWN ON THE CONCEPT PLAN. THIS FACILITY REQUIRES A MINIMUM OF 11 PARKING SPACES.	NOT IN CONFORMANCE
NO DIRECT ACCESS FROM FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549, AND/OR JOHN KING BOULEVARD.	THE PROPERTY TAKES ACCESS FROM AN EXISTING CROSS ACCESS EASEMENT; HOWEVER, THE SITE IS ACCESSED DIRECTLY FROM SH-205.	NOT IN COFORMANCE
OVERHEAD DOORS SHALL NOT FACE ADJACENT TO A STREET.	THE UNITS ARE INTERNAL TO THE BUILDING AND ARE NOT VISIBLE FROM A STREET.	IN CONFORMANCE
ALL EXTERIOR WALLS FACING THE FRONT, SIDE, AND REAR PROPERTY LINES SHALL BE 100% BRICK CONSTRUCTION.	THE CONCEPTUAL BUILDING ELEVATIONS PROVIDED BY THE APPLICANT ARE NOT IN COMPLIANCE WITH THIS REQUIREMENT.	NOT IN CONFORMANCE
THE FRONT, SIDE, AND REAR YARD BUILDING SETBACK SHALL INCORPORATE CLUSTERED LANDSCAPING.	THE APPLICANT'S CONCEPT PLAN DOES SHOW LANDSCAPING IN ALL SETBACKS; HOWEVER, THIS IS A REQUIREMENT OF THE SUP ORDINANCE.	IN CONFORMANCE
GATES SHALL BE INCORPORATED LIMITING ACCESS TO THE FACILITY.	THE CONCEPT PLAN INDICATES THAT THE PROPOSED FACILITY WILL BE GATED.	IN CONFORMANCE
SCREENING FENCES SHALL BE WROUGHT IRON OR MASONRY.	THE PLAN INDICATES THAT THE FACILITY WILL BE ENCLOSED BY A SIX (6) FOOT WROUGHT IRON FENCE.	IN CONFORMANCE
CONCRETE SHALL BE USED FOR ALL PAVING.	ALL DRIVEWAYS, FIRE LANES, AND APPROACHES WILL BE REQUIRED TO BE CONCRETE.	IN CONFORMANCE

ROOF SHALL HAVE A MINIMUM ROOF PITCH OF 1:3 AND BE CONSTRUCTED OF STANDING SEAM METAL.	THE ROOF PITCH FOR THE PITCHED ROOF ELEMENTS IS 1:4, WHICH IS IN CONFORMANCE; HOWEVER, THE BUILDING ALSO INCORPORATES A FLAT ROOF DESIGN.	NOT IN COFORMANCE
LIGHTING STANDARDS SHALL BE LIMITED TO A MAXIMUM OF 20-FEET.	LIGHT STANDARDS WILL BE REQUIRED TO BE A MAXIMUM OF 20-FEET PER THE OVERLAY DISTRICT STANDARDS.	IN CONFORMANCE
A SINGLE RESIDENTIAL UNIT NOT EXCEEDING 1,600 SF IN SIZE IS PERMITTED.	NO RESIDENTIAL UNIT IS BEING PROPOSED.	IN CONFORMANCE
OUTSIDE STORAGE IS PROHIBITED.	NO OUTSIDE STORAGE WILL BE PERMITTED.	IN CONFORMANCE

Due to the residential adjacency along the northern and western property lines (*i.e. Evergreen Apartments*), this property is subject to the screening requirements stipulated by Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). These standards state that any non-residential land use that is adjacent to a residentially zoned or used property is required to construct a six (6) foot masonry fence with canopy trees along the entire length of the adjacency; however, “ (a) as an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening (*i.e. [1] small to mid-sized shrubs, large shrubs or accent trees, and canopy trees or [2] evergreen trees and canopy trees*) along the entire length of the adjacency.” Staff has included an *Operational Condition* in the Specific Use Permit (SUP) that requires this screening along the northern and western boundaries of the subject property.

In addition to the *Conditional Land Use Standards* and the residential adjacency standards, the proposed *Mini-Warehouse* facility will be subject to the requirements of Planned Development District 68 (PD-68), and the *General Overlay District Standards* and the *General Commercial District Standards* of the Unified Development Code (UDC). These requirements and the conformance of the applicant’s request are summarized as follows:

TABLE 2: DENSITY AND DIMENSIONAL REQUIREMENTS FOR THE SUBJECT PROPERTY

ORDINANCE PROVISIONS	ZONING DISTRICT STANDARDS	CONFORMANCE TO THE STANDARDS
MINIMUM LOT AREA	10,000 SF	3.15-ACRES; IN CONFORMANCE
MINIMUM LOT FRONTAGE	60-FEET	~371.88-FEET; IN CONFORMANCE
MINIMUM LOT DEPTH	100-FEET	~333.05-FEET; IN CONFORMANCE
MINIMUM FRONT YARD SETBACK	15-FEET	20-FEET; IN CONFORMANCE
MINIMUM REAR YARD SETBACK (ADJACENT TO RESIDENTIAL)	20-FEET + 1/2H>36	~20-FEET; IN CONFORMANCE
MINIMUM SIDE YARD SETBACK (ADJACENT TO RESIDENTIAL)	20-FEET + 1/2H>36	32’ 1”-FEET; IN CONFORMANCE
MINIMUM SIDE YARD SETBACK	10-FEET	13-FEET; IN CONFORMANCE
MAXIMUM BUILDING HEIGHT	60-FEET	47’ 7½”; IN CONFORMANCE
BETWEEN BUILDINGS	15-FEET	40’ 5”; IN CONFORMANCE
MAX BUILDING/LOT COVERAGE	60%	44.50%; IN CONFORMANCE
MASONRY REQUIREMENT	90%	X<90%; NOT CONFORMANCE
NATURAL STONE REQUIREMENT	20% ON EACH FAÇADE	X<20%; NOT CONFORMANCE
MINIMUM LANDSCAPING PERCENTAGE	20%	X>20%; IN CONFORMANCE
MAXIMUM IMPERVIOUS COVERAGE	85-90%	X<85%; IN CONFORMANCE

NOTES

H: BUILDING HEIGHT; 1/2H>36: ONE-HALF THE BUILDING HEIGHT OVER 36-FEET.

Staff should point out that the building elevations provided by the applicant do not meet the *General Commercial District Standards* or the *General Overlay District Standards*. Specifically, the required materials, form, architectural elements, and articulation of the building all appear to be deficient. In response to staff pointing this out, the applicant has provided a letter indicating that it is their intent to meet the architectural requirements of the Unified Development Code (UDC). Based on this, staff has included an *Operational Condition* in the Specific Use Permit (SUP) ordinance stating that the approval of this case does not grant any variances associated with the design standards and that these will be reviewed for compliance by the Planning and Zoning Commission and Architectural Review Board (ARB) at the time of *Site Plan*.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject is situated within the *Central District* and is designated for *Commercial/Retail* land uses. This land use designation is defined as being "... characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions." According to the *District Strategies* for the *Central District*, properties designated for *Commercial/Retail* land uses "... are intended to support existing and proposed residential developments, and should be compatible in scale with adjacent residential structures (*i.e. are more characteristic of neighborhood/convenience centers*); ..."

STAFF ANALYSIS

In this case, the applicant's request does not conform with the *Conditional Land Use Standards*, density and dimensional requirements, and *General Overlay District Standards* for the *Mini-Warehouse* land use in Planned Development District 68 (PD-68) as stipulated by the Unified Development Code (UDC). As staff has stated in previous cases requesting Specific Use Permits (SUP) for the *Mini-Warehouse* land use, the *Conditional Land Use Standards* contained in the Unified Development Code (UDC) were intended to regulate "... campus style facilities that incorporate several buildings, generally being one (1) story in height, and have storage units that are accessible from the exterior of the building ..." [Case No. Z2014-012]; however, in this case the applicant is proposing a different type of product that is enclosed and climate controlled. With this being said, the applicant's proposal exceeds the number of units permitted by 207 units, is deficient in parking by seven (7) parking spaces, and does not conform to the material requirements or roof pitch requirements as stipulated by the *Conditional Land Use Standards*. In addition, it is worth noting that adding 600 units adjacent to the existing 555 unit *Mini-Warehouse Facility* south of the subject property will create one of the highest density nodes of *Mini-Warehouse* units in the City. For reference staff has included a map of all of the existing (*and proposed*) *Mini-Warehouse Facilities* and their unit counts in the attached packet. Staff should also note, that based on the *District Strategies* contained in the OURHometown Vision 2040 Comprehensive Plan, the applicant's request does not appear to conform to the Comprehensive Plan. Specifically, the *Mini-Warehouse* land use is not looked at as a convenience shopping center for the adjacent residential, and the scale of the building is not compatible with the adjacent residential land uses. With this being said, a request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On January 27, 2023, staff mailed 55 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Estates Homeowner's Association (HOA), which is the only Homeowners' Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response from a property owner of a non-residential property in favor of the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Mini-Warehouse* facility, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the *Operational Conditions* contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (A) The proposed *Mini-Warehouse Facility* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (B) The proposed *Mini-Warehouse Facility* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the Specific Use Permit (SUP) ordinance; however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the *General Overlay District Standards* and/or *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC),

which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of *Site Plan*.

- (C) The maximum number of storage units permitted on the *Subject Property* shall be limited to 600 storage units.
 - (D) All transparent fencing shall be wrought iron, and -- *where necessary* -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (*i.e. adjacent to any residentially zoned or used property*).
 - (E) Outside storage of any kind shall be prohibited.
 - (F) Businesses shall not be allowed to operate within individual storage units.
 - (G) The commercial operation of rental trucks or trailers shall be prohibited.
 - (H) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the *Subject Property*.
- (2) Any construction resulting from the approval of this *Specific Use Permit (SUP)* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Not Established		
SUBDIVISION		LOT	BLOCK
GENERAL LOCATION	North side S Goliad St. Between Community Lane and Justin Rd.		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-68	CURRENT USE	Vacant		
PROPOSED ZONING	Commercial	PROPOSED USE	Climate Controlled Self-Storage		
ACREAGE	3.15 Acres	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Viper Development	<input checked="" type="checkbox"/> APPLICANT	Designhaus Architecture
CONTACT PERSON		CONTACT PERSON	Mike Pizzola
ADDRESS	2785 N Bogus Basin Rd.	ADDRESS	3300 Auburn Rd. #300
CITY, STATE & ZIP	Boise, ID 83702	CITY, STATE & ZIP	Auburn Hills, MI 48326
PHONE	208.629.2952	PHONE	248.601.4422 x204
E-MAIL		E-MAIL	mike@designhaus.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF January, 2023

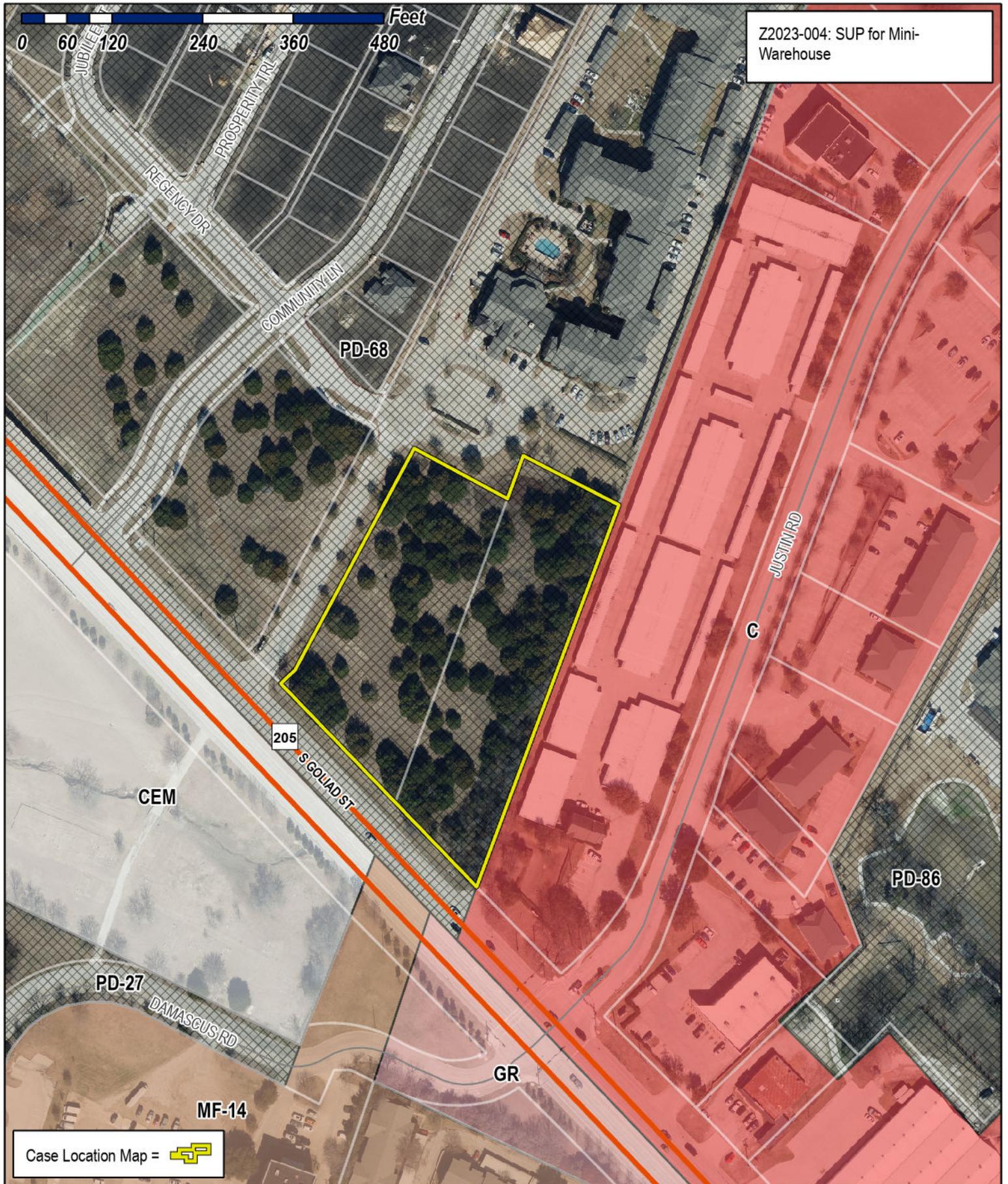
OWNER'S SIGNATURE

[Handwritten Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Handwritten Signature]
Idaho





Z2023-004: SUP for Mini-Warehouse

PD-68

205
S GOLIAD ST

JUSTIN RD

C

CEM

PD-86

PD-27

DAMASCUS RD

GR

MF-14

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

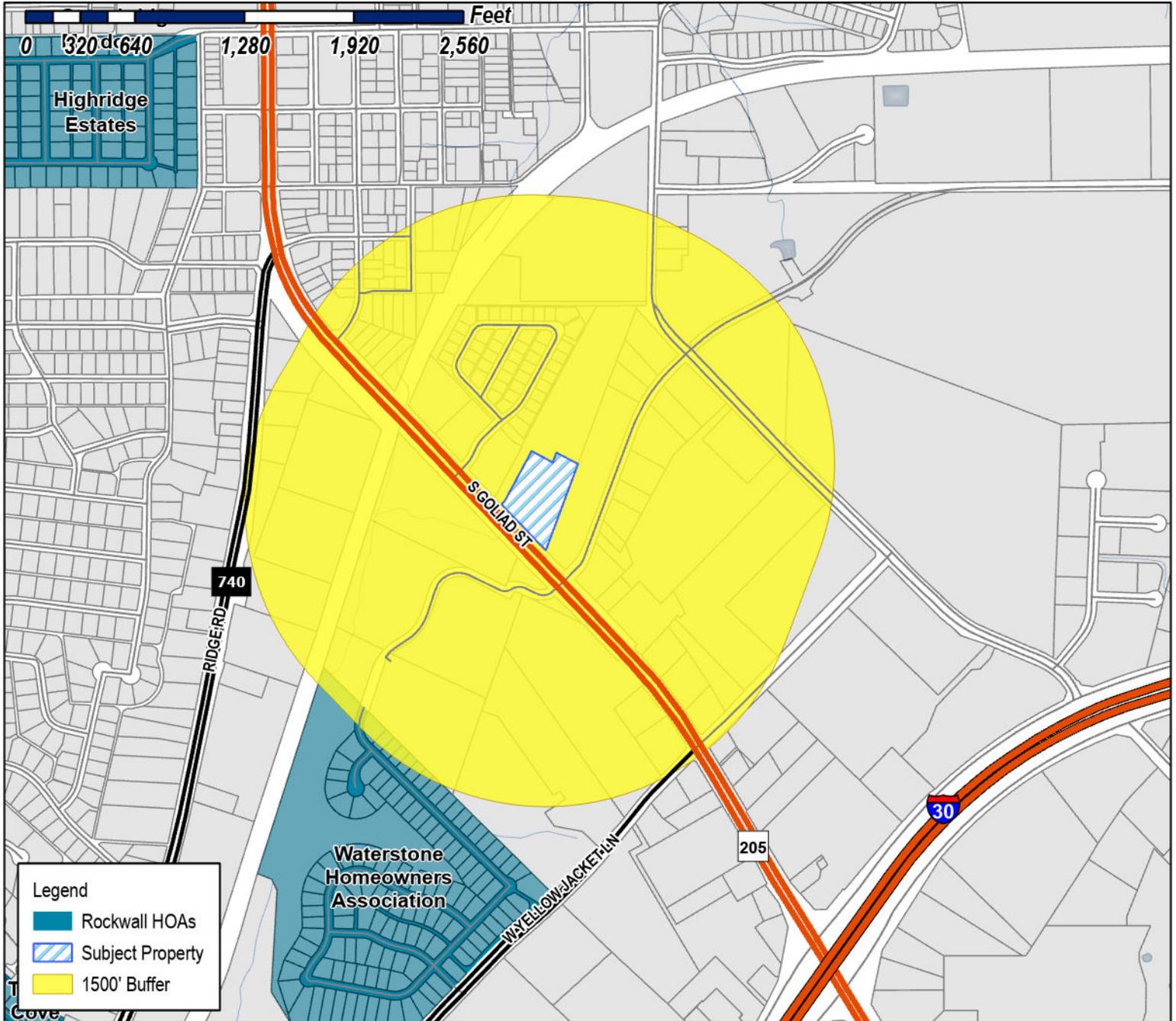




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-004
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



From: [Chapin, Sarah](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-004]
Date: Thursday, January 26, 2023 12:24:08 PM
Attachments: [HOA Map \(01.20.2023\).pdf](#)
[Public Notice Z2023-004.pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [January 27, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, February 14, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Tuesday, February 21, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a [Specific Use Permit \(SUP\)](#) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

Thank you,

Sarah Chapin

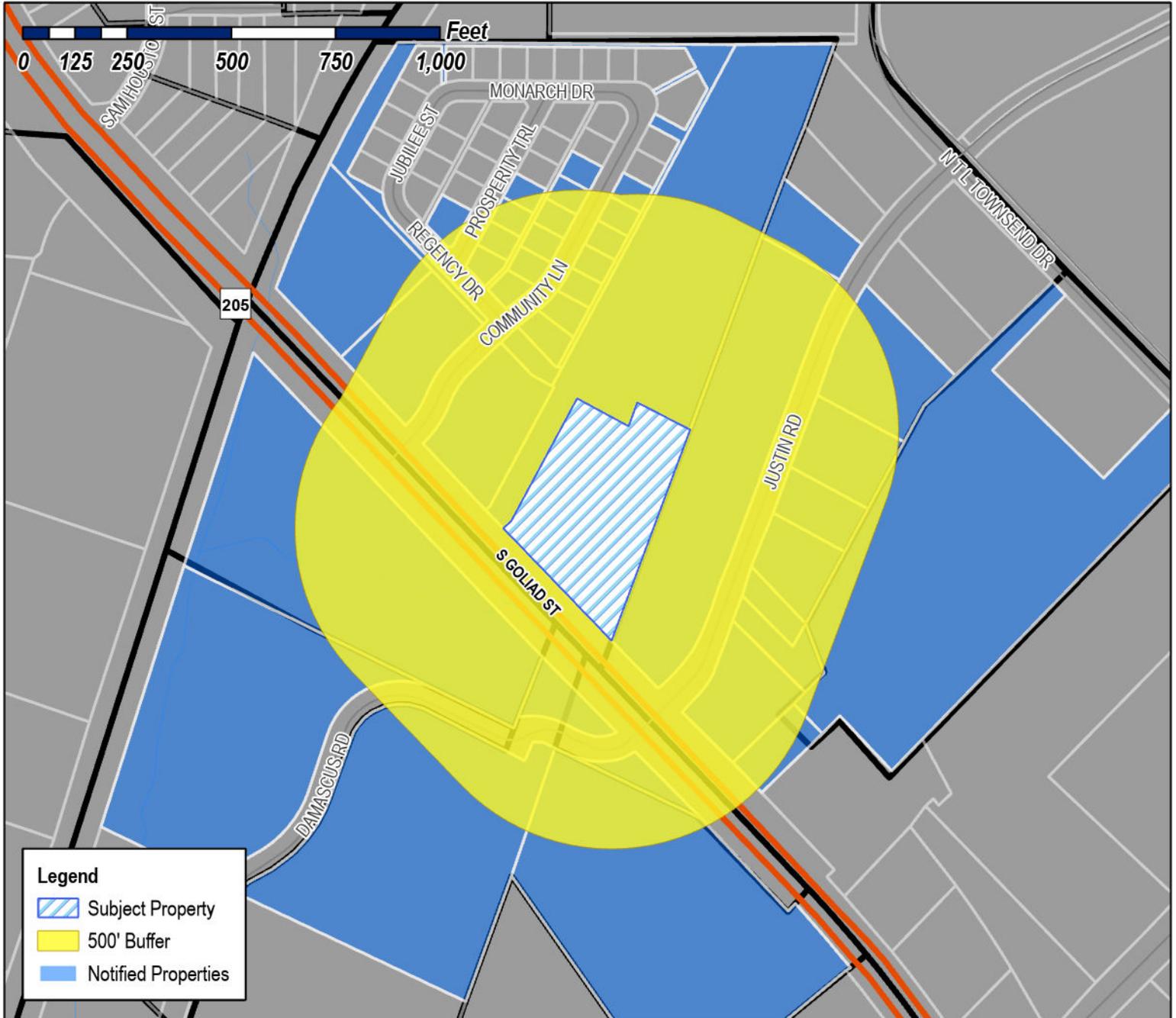
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-004
Case Name: SUP for Mini-Warehouse
Case Type: Zoning
Zoning: Planned Development District 68 (PD-68)
Case Address: N Corner of S Goliad Street and Justin Road

Date Saved: 1/20/2023
 For Questions on this Case Call (972) 771-7745



OCCUPANT
1407 S GOLIAD
ROCKWALL, TX 75087

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30 #605
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
651 JUSTIN RD
ROCKWALL, TX 75087

AUTO ZONE INC
DEPARTMENT #8088
PO BOX 2198
MEMPHIS, TN 38101

OCCUPANT
761 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
1325 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL SENIOR COMMUNITY LP
C/O LIFENET COMMUNITY BEHAVIORAL
HEALTHCARE
5605 N MACARTHUR BLVD, SUITE 580
IRVING, TX 75038

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
721 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
701 JUSTIN DR
ROCKWALL, TX 75087

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

OCCUPANT
677 JUSTIN RD
ROCKWALL, TX 75087

COUCH AND DAVIS PROPERTIES LLC
685 JUSTIN RD
ROCKWALL, TX 75087

OCCUPANT
660 JUSTIN RD
ROCKWALL, TX 75087

PS LPT PROPERTIES INVESTORS
C/O PUBLIC STORAGE (PS #26644)
ATTN: IRMA PIMENTEL REAL ESTATE PARALEGAL
701 WESTERN AVENUE
GLENDALE, CA 91201

OCCUPANT
750 JUSTIN RD
ROCKWALL, TX 75087

1996 OSPREY LLC
PO BOX 1688
ROCKWALL, TX 75087

BREEN & MCKEON LLP
661 JUSTIN RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

WDC PEBBLEBROOK APARTMENTS LLC
M/R
1410 S GOLIAD
ROCKWALL, TX 75087

CITY OF ROCKWALL
1300 S GOLIAD
ROCKWALL, TX 75087

ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
DAMASCUS RD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
8235 DOUGLAS AVENUE SUITE 1030
DALLAS, TX 75225

OCCUPANT
1301 S GOLIAD ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

OCCUPANT
604 PROSPERITY TR
ROCKWALL, TX 75087

OCCUPANT
1275 S GOLIAD ST
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
623 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
619 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
615 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
611 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
607 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 COMMUNITY LN
ROCKWALL, TX 75087

OCCUPANT
606 COMMUNITY LN
ROCKWALL, TX 75087

PAMELA K BEERS REVOCABLE TRUST
PAMELA K BEERS- TRUSTEE
606 COMMUNITY LANE
ROCKWALL, TX 75087

THE STANDARD MCP LTD
602 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
610 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
614 COMMUNITY LN
ROCKWALL, TX 75087

GARCIA ROY AND JENIFER
618 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
622 COMMUNITY LN
ROCKWALL, TX 75087

THE STANDARD MCP LTD
601 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
613 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
609 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
605 PROSPERITY TR
ROCKWALL, TX 75087

THE STANDARD MCP LTD
ROCKWALL, TX 75087

OCCUPANT
1196 N T L TOWNSEND DR
ROCKWALL, TX 75087

ALDERS AT ROCKWALL PROPERTY LLC
5925 FOREST LANE STE 502
DALLAS, TX 75230

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-004: SUP for a Mini-Warehouse

Hold a public hearing to discuss and consider a request by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 68 (PD-68) District for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-004: SUP for a Mini-Warehouse

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Already storage there - no objection -

Name:

Elizabeth Branch

Address:

721 Justin, Suite A Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

**Goliad St.
Rockwall, TX 75087**
Proposed S.U.P Request

Parcel: 70573 & 70574

+/-3.15 Acres (137,186 +/- Sq.Ft.)

Zoning: PD-68 Planned Development

Max. Height: 36' Single Story

Lot Coverage: Max. 45%

Setbacks: Front 20'
Side 13'
Rear 10'

Proposed Project Information

2 Climate Controlled Storage Buildings with Limited Drive-Up Access

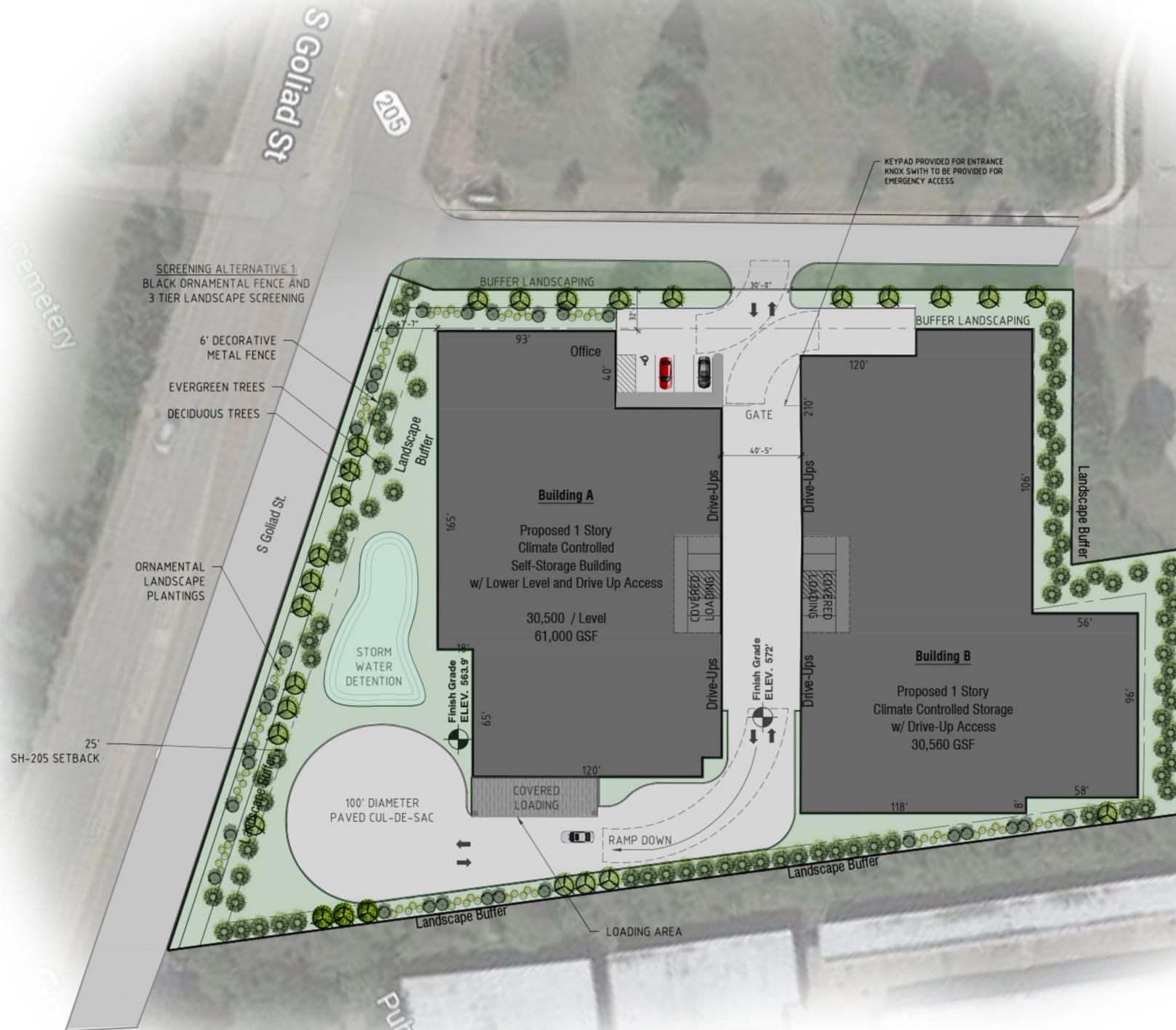
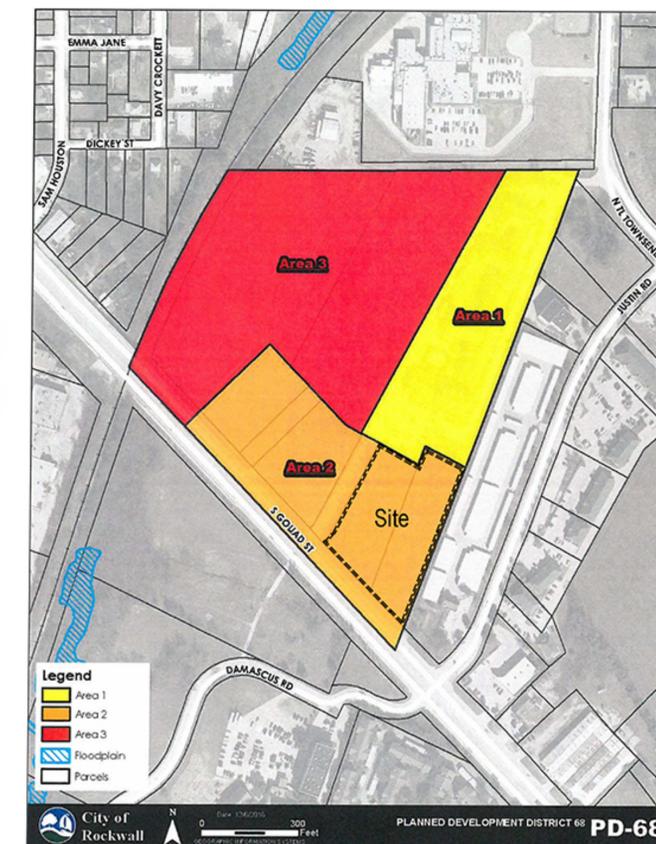
Building A: 30,500 GSF
Lower Level: 30,500 GSF

Building B: 30,560 GSF

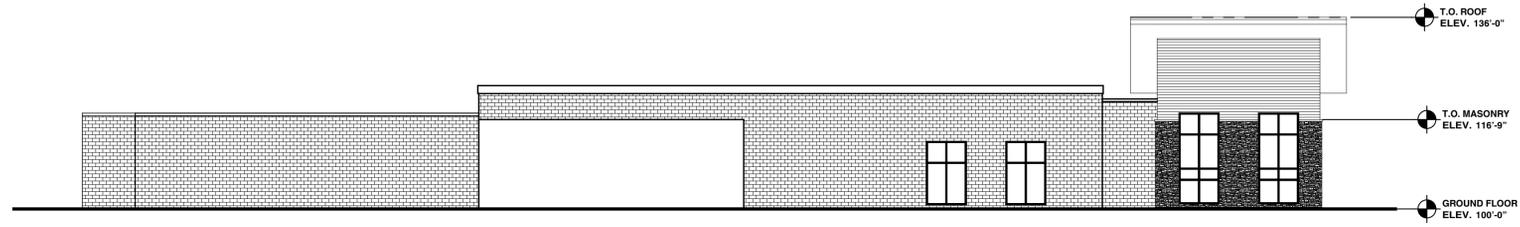
Total: 91,560 GSF

Proposed Coverage:
61,000 Sq. Ft. (+/- 44.50%)

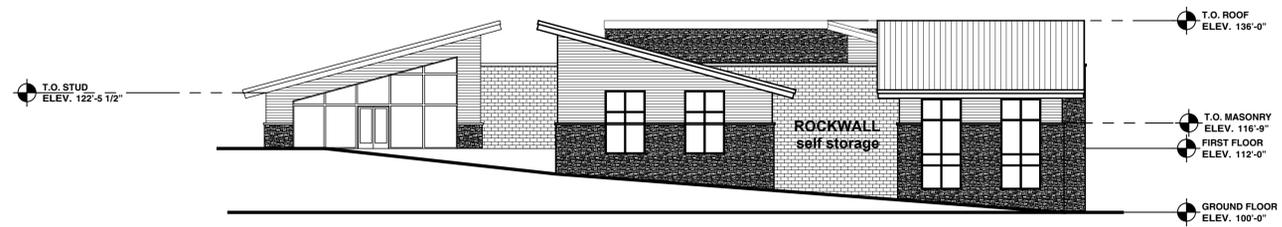
Proposed Units: 600 units total



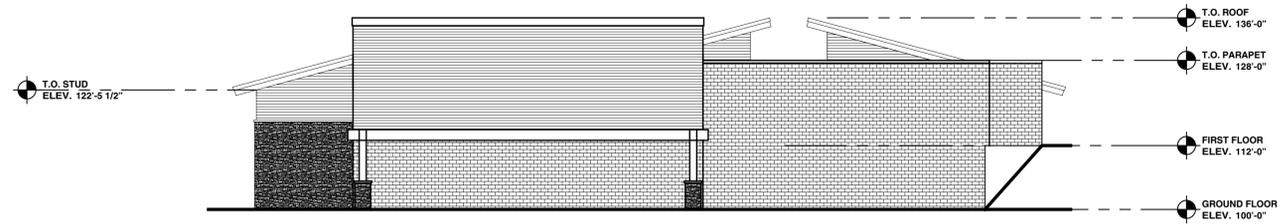
EST 1998	
DESIGNHAUS	ARCHITECTURE
3300 AUBURN RD., SUITE 300 AUBURN HILLS, MI 48326 T: 248.601.4422 F: 248.453.5854 WWW.DESIGNHAUS.COM INFO@DESIGNHAUS.COM	
Revised S.U.P.	23.02.07
S.U.P.	23.01.18
Revision/Issue	Date
Goliad St. Rockwall, TX Storage	
Parcel: 70573 & 70574 Rockwall, TX 75087 Case Number: Z2023-004	
Site Plan	
022074	
S100	



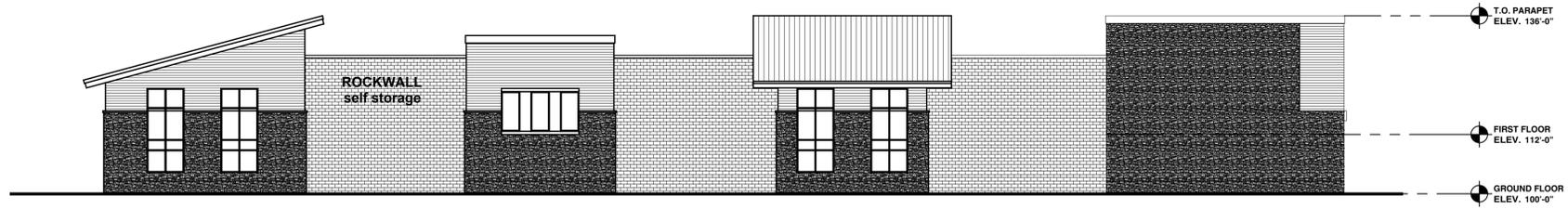
4 Building A East Elevation
SCALE: 1/16" = 1'



3 Building A North Elevation
SCALE: 1/16" = 1'



2 Building A South Elevation
SCALE: 1/16" = 1'



1 Building A West Elevation
SCALE: 1/16" = 1'

EST
1998

DESIGNHAUS
ARCHITECTURE

3300 AUBURN RD., SUITE 300
AUBURN HILLS, MI 48326
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

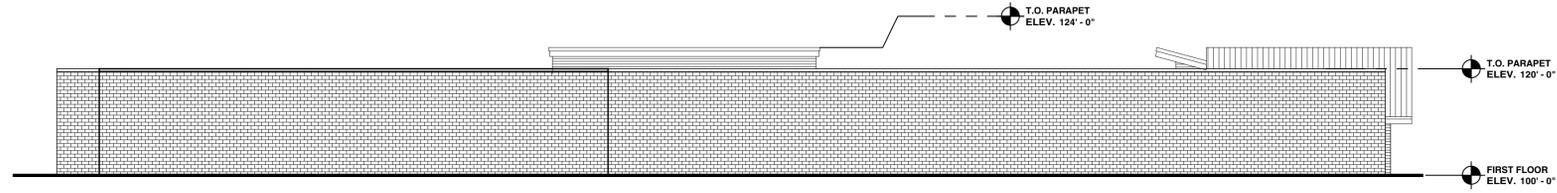
Revision/Issue	Date
Revised S.U.P.	23.02.07
S.U.P.	23.01.18

Revision/Issue	Date

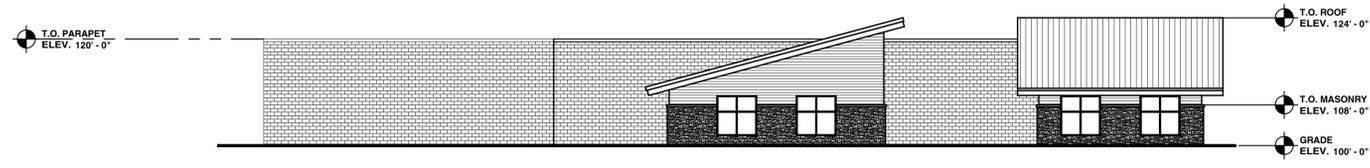
Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004

Building A
Elevations

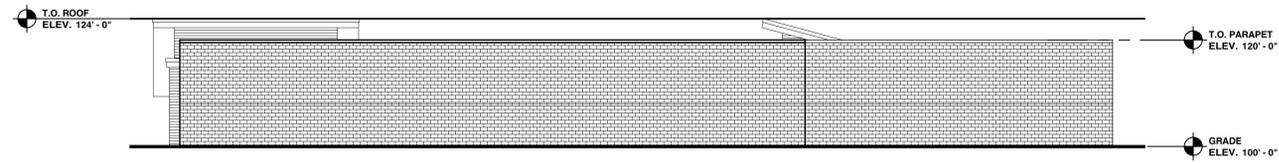
022074
A200



4 Building B East Elevation
SCALE: 1/16" = 1'



3 Building B North Elevation
SCALE: 1/16" = 1'



2 Building B South Elevation
SCALE: 1/16" = 1'



1 Building B West Elevation
SCALE: 1/16" = 1'

EST 1998
DESIGNHAUS
ARCHITECTURE

3300 AUBURN RD., SUITE 300
AUBURN HILLS, MI 48326
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

Revision/Issue	Date
Revised S.U.P.	23.02.07
S.U.P	23.01.18

Goliad St. Rockwall, TX Storage
Parcel: 70573 & 70574
Rockwall, TX 75087
Case Number: Z2023-004

Building B Elevations

022074
A201



Render 1



Render 2



Render 3



Render 4

EST. 1998
DESIGNHAUS
 ARCHITECTURE

3300 AUBURN RD., SUITE 300
 AUBURN HILLS, MI 48326
 T:248.601.4422 F:248.463.5664
 WWW.DESIGNHAUS.COM
 INFO@DESIGNHAUS.COM

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Revised S.U.P.	23.02.09
S.U.P.	23.01.16
Revision/Issue	Date

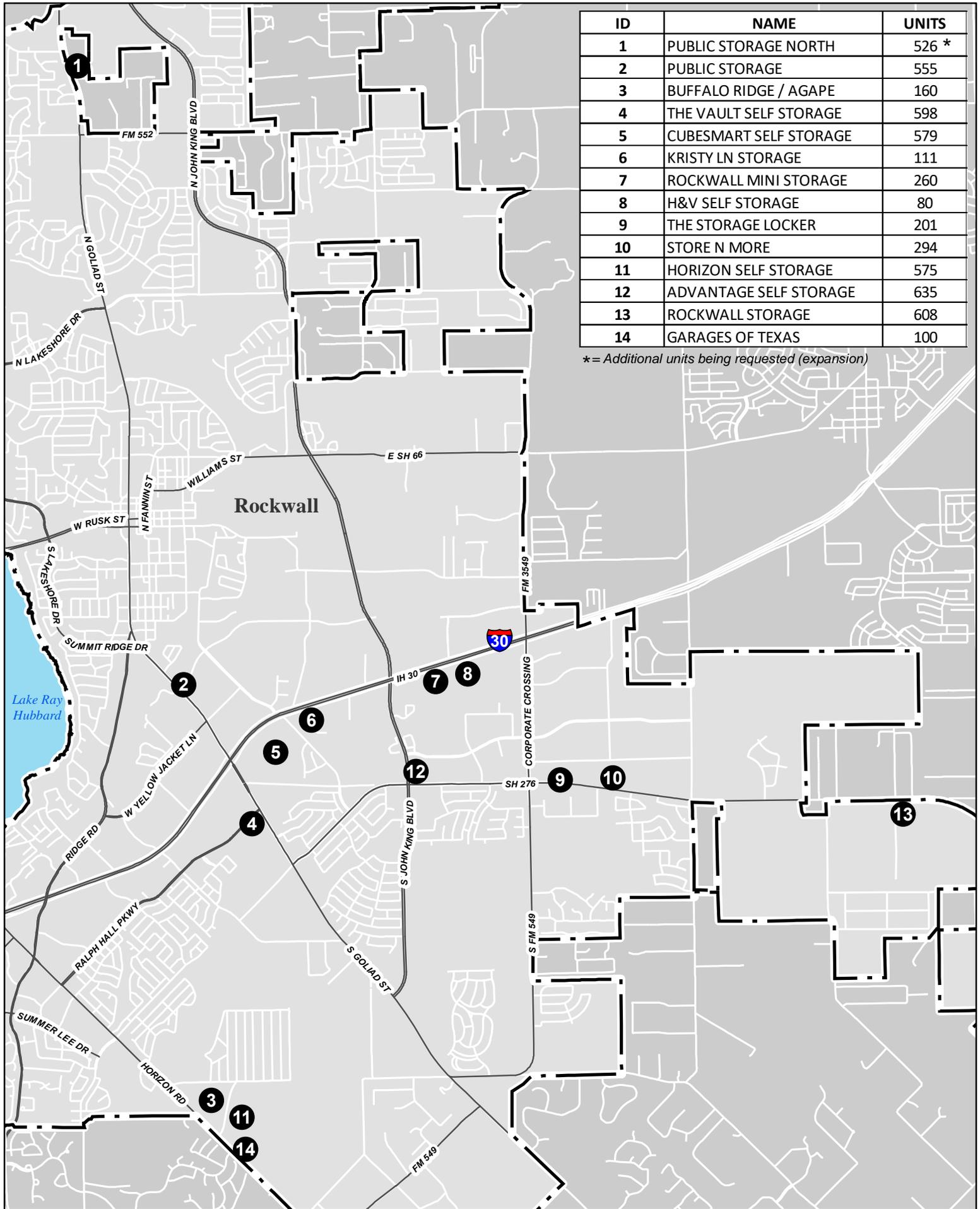
Gollad St. Rockwall, TX Storage
 Parcel: 70573 & 70574
 Rockwall, TX 75087
 Case Number: Z2023-004

Project
 Renderings

022074
A202

ID	NAME	UNITS
1	PUBLIC STORAGE NORTH	526 *
2	PUBLIC STORAGE	555
3	BUFFALO RIDGE / AGAPE	160
4	THE VAULT SELF STORAGE	598
5	CUBESMART SELF STORAGE	579
6	KRISTY LN STORAGE	111
7	ROCKWALL MINI STORAGE	260
8	H&V SELF STORAGE	80
9	THE STORAGE LOCKER	201
10	STORE N MORE	294
11	HORIZON SELF STORAGE	575
12	ADVANTAGE SELF STORAGE	635
13	ROCKWALL STORAGE	608
14	GARAGES OF TEXAS	100

*= Additional units being requested (expansion)





**GOLIAD ST. STORAGE – ROCKWALL, TX
Lots 1 and 2, Block A – Eastshore Addition
Rockwall County
City of Rockwall, TX 75087**

Date 02.06.23
To Code Enforcement – City of Rockwall, TX
Re: January 26, 2023 - Plan Review Z2023-004

Below is the Response to the **Code Enforcement Service** comments regarding the Plan Review done on January 26, 2023, for Goliad Storage Rockwall, TX. See Response in **RED**.

- I.1:** This is a request for the approval of a Specific Use Permit (SUP) to allow a Mini-Warehouse on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, and generally located on the east side of S. Goliad Street [SH-205] south of the intersection of Community Lane and S. Goliad Street [SH-205].
 - Acknowledged.
- I.2:** For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com.
 - Acknowledged.
- M.3:** For reference, include the case number (Z2023-004) in the lower right-hand corner of all pages on future submittals.
 - Will comply, case number has been added to all sheets and for all future submittals.
- M.4:** Based on the subdivision plat for this property, the concept plan is taking in a 20-foot waterline easement that is actually a part of the adjacent Mini-Warehouse Facility. Please check the property boundary and make the necessary corrections.
 - Boundary and topographic currently survey scheduled to properly identify boundaries, utilities, easements, and site related items of importance. Previously submitted site with overlay aerial photo incorrectly scaled. Corrections to be made.
- I.5:** According to Article 13, Definitions, of the Unified Development Code (UDC), a Mini-Warehouse (or self-storage facility) is defined as, "...an enclosed storage facility containing independent, fully enclosed bays that are generally leased to individuals for long-term storage of their household goods or personal property."
 - Acknowledged
For further clarification, 1st generation self-storage facilities typically consist of multiple drive-up units with rows of long narrow buildings - similar to adjacent facility. Creating a monotonous repetition which may not blend with the commercial zoning. The proposed storage project consists of 2 buildings with internal storage. Limited drive-up storage and loading areas

concealed between buildings. The 2 buildings will have architectural features to mimic typical office buildings in a commercial district.

6. **I.6:** According to Ordinance No. 17-05 the subject property is situated within Area 2 and is subject to the requirements of the Commercial (C) District; and according to Article 04, Permissible Uses, of the Unified Development Code (UDC), the Mini-Warehouse land use requires a Specific Use Permit (SUP) in a Commercial (C) District. Ordinance No. 17-05 also requires a PD Development Plan be approved for the Mini-Warehouse Facility. This will need to be done if this Specific Use Permit (SUP) is granted prior to the acceptance of a Site Plan.
 - Acknowledged.
Complete site plan approval drawings will be prepared for future submittals.

7. **I.7:** Please note, that the purpose of requiring a Specific Use Permit (SUP) for the Mini-Warehouse land use is to: [1] ensure that the proposed facility is compatible with the surrounding land uses, [2] to prevent a proliferation of this type of land use in the City's commercial areas, and [3] to mitigate for any possible negative extraneities that may occur from allowing this type of land use on a particular site. In this case, the proposed site is located directly adjacent to an existing age-restricted apartment facility and in close proximity to a single-family subdivision. In addition, there is an existing 4.8164-acre Mini-Warehouse facility with 555 units located directly adjacent to this facility. Staff will make note of this in their case memo.
 - Acknowledged.
SUP will also be requested during future submittals.

8. **I.8:** According to Article 04, Permissible Uses, of the Unified Development Code (UDC), the Mini-Warehouse is required to meet the following Conditional Land Use Standards:
 - (1) The number of storage units per acre shall not exceed 125, the minimum number of storage units shall be ten (10), and the maximum site area shall be five (5) acres.
 - (2) Only single-story units are allowed; however, no multistory buildings will be permitted unless an exception is approved by the Planning and Zoning Commission. If necessary, the office/caretaker residence-unit may exceed one (1) story, but shall not be greater than 36-feet in height.
 - (3) A minimum of two (2) parking spaces shall be required for the on-site manager (i.e. caretaker, resident or otherwise).
 - (4) No direct access from FM-740, SH-205, SH-66, SH-276, FM-3097, FM-552, FM-549 and John King Boulevard. The Planning and Zoning Commission may consider granting direct access from the above-mentioned roadways after review and determination of the availability of access to the specific property.
 - (5) Perimeter walls shall be provided which face the front, rear and side property lines. Overhead doors shall not face adjacent streets. Perimeter walls facing the front yard shall incorporate architectural features to break up the long repetitive nature of self-storage buildings (e.g. offsets in buildings, variation of materials, and/or variation of heights, etc.). No gutters and downspouts shall be incorporated in the perimeter walls facing the front property line.
 - (6) The front, side and rear building set back areas shall be landscaped. Landscaping should be clustered, creating interesting relief from the long repetitive nature of self-storage buildings.

(7) The facilities shall incorporate the use of perimeter gates that limit access to the storage areas to customers only. Special access for fire and police personnel shall be provided as required.

(8) All screening fences shall be wrought iron with landscaping/living screen or masonry walls in accordance with the screening requirements contained in Subsection 05.02, Landscape Screening, of Article 08, Landscape and Fence Standards. See-through fencing should be wrought iron, or similar. Chain-link fencing of any kind shall be prohibited.

(9) Buildings and see-through fencing should be oriented in a manner to restrict the visibility of interior overhead doors and drives from public right-of-way. The color(s) of the garage doors, as well as other doors within the facility, shall complement the exterior colors of the main building(s).

(10) The commercial operation of rental trucks and trailers shall be prohibited.

(11) Businesses shall not be allowed to operate in the individual storage units

(12) No outside storage of any kind shall be allowed (including the outside storage of boats, recreational vehicles, and motor or self-propelled vehicles).

(13) Concrete shall be used for all paving.

(14) Roofs shall have a minimum pitch of 1:3 and be constructed with a metal standing seam. Mechanical equipment shall be screened with the roof structure or parapet walls.

(15) Lighting standards shall be limited to a maximum of 20- feet in height.

(16) The residential unit as an accessory to the permitted use shall not exceed 1,600 SF.

- Plans submitted are preliminary for determining the SUP eligibility. Subsequent plans for variance or site plan review will be updated as the project progresses. It would be our intent to go above and beyond the minimum required including the standards outlined above.

9. **I.9:** Based on the submitted concept plan and building elevations the following aspects of the case do not conform to the Conditional Land Use Standards for a Mini-Warehouse:

(1) Unit Count. How many units are proposed for the Mini-Warehouse facility? Please note that the maximum number of units permitted for this property would be 393 units (i.e. 125 x 3.15-acres = 393.75 or 393 units).

(2) Single Story Buildings. Multi-story buildings are not permitted. Currently, the rear of Building B is two (2) stories in height.

(3) Building Height. The maximum height for Mini-Warehouse facilities shall be one (1) story or 36-feet. The current building elevations show a maximum height of 47' 7½".

- Acknowledged.
We propose up to 600 units in order to maintain a competitive market strategy based on a current land evaluation. Building height revised to be 36' maximum. Existing site topography allows for a lower level viewed from a small portion of the site. Variances are anticipated during future approval processes.

10. **M.10:** Unit Count. Please indicate the proposed number of units on the plans.

- Proposed units for existing competitive market - 600

11. **I.11:** Parking. According to Article 06, Parking and Loading, of the Unified Development Code (UDC), the Mini-Warehouse land use requires three (3) parking spaces plus one (1) parking space per 100-units.

- Acknowledged – 9 spaces required.

4 Spaces provided adjacent to the office for new customers and (12) spaces provided at three designated covered loading areas. 20 spaces total provided including 1 HC accessible space.

12. **M.12:** Parking. The parking requirement for this facility is _ parking spaces [THE NUMBER OF UNITS WAS NOT PROVIDED SO THIS COULD NOT BE CALCULATED]. Please revise the plans to show conformance to the parking requirements.
 - 600 units proposed with 12 parking spaces including 1 HC accessible space.

13. **I.13:** Building Elevations. According to the General Overlay District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), all buildings situated within an overlay district are required the following:
 - (1) Materials. A minimum of 90% Primary Materials and ten (10) percent Secondary Materials. Currently, it appears that there is too much metal panel on all side of the building.
 - (2) Four (4) Sided Architecture. All buildings shall be architecturally finished on all four (4) sides utilizing the same material, detailing, and articulation. Currently, the building elevations do not meet the articulation, detailing, and material requirements.
 - (3) Required Architectural Elements. Buildings less than 50,000 SF are required a minimum of four (4) architectural features from the list contained in the General Overlay District Standards. Currently, the building elevations do not incorporate enough architectural elements.
 - Building elevations revised to be more compliant with architectural standards per base zoning and SH 205 Overlay district.

14. **I.14:** Building Elevations. The proposed building elevations do not meet the minimum overlay district requirements.
 - Acknowledged. - SH-205 overlay district criteria reviewed. Elevations revised to include a mix of wood, masonry and stone. Primary and secondary materials identified.

15. **I.15:** Building Elevations. The General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), layout the articulation requirements for commercial buildings. This particular site has three (3) Primary Facades adjacent to the northern, eastern and western property lines (i.e. adjacent to SH-205 and the residential land use) and one (1) Secondary Façade adjacent to the southern property line (i.e. the existing mini-warehouse facility). The building elevations do not appear to meet the minimum articulation standards.
 - Building elevations revised to better meet the standards listed above.

16. **I.16:** Building Elevations. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), buildings are required to have a continuous parapet that screens all proposed roof top units (RTU's). The current elevations do not appear to meet this requirement.
 - Rooftop mechanical units to be screened with a parapet. Revised renderings provided.

17. **I.17:** Loading and Service Areas. According to the General Overlay District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), all loading and service areas shall be located on the rear and side of the building and should not face towards SH-205. In addition, a minimum of a ten (10) foot masonry screening wall shall be required to screen the view of loading docks and loading spaces from any public right-of-way.

- Acknowledged. A masonry screening wall has been added along SH-205 loading zone.
18. **I.18:** Loading and Service Areas. The proposed concept plan does not show conformance to the Loading and Service Area requirements.
- Loading areas concealed between the 2-building layout, or screen wall and evergreen landscaping.
19. **M.19:** Residential Adjacency. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), buildings with a building footprint greater than 50,000 SF require a minimum of a 50-foot landscape buffer between a residentially used or zoned property. Evergreen -- which is adjacent to both the northern and western boundaries -- will require a minimum of a 50-foot landscape buffer. The landscape buffer will require three (3) tiered landscaping, a berm, and a wrought iron fence in accordance with the requirements of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC). This should be shown on the concept plan.
- The proposed building adjacent to R zoned or used properties is 30,560 Sq. Ft., - under the 50,000 threshold. However, 20' buffer with evergreen plantings @ 1 tree / 10' proposed to help satisfy this requirement.
20. **I.20:** Adaptive Reuse Standards. According to the General Commercial District Standards contained in Article 05, District Development Standards, of the Unified Development Code (UDC), for those buildings over 80,000 SF in area, the applicant must demonstrate that the building can be subdivided in a reasonable manner by submitting a plan indicating potential entrance and exits and loading areas for multiple tenants. This plan will be required to be submitted at the time of site plan.
- Adaptive re-use plan to be provided.
21. **M.21:** Overhead Utility Lines. According to Ordinance No. 17-05, "(a)ll overhead utilities shall be placed underground ..." Please note that the existing overhead utilities along SH-205 will be required to be buried at the time this project is developed. Please include a note on the plan stating conformance to this zoning requirement.
- Note added to plans.
22. **I.22:** Open Space. According to Ordinance No. 17-05, all sites located within Area 2 of the concept plan contained in this ordinance will require a minimum of 20.00% open space.
- 27.75% open space provided with enhanced landscape plantings.
23. **M.23:** Concept Plan. Please show the following on the concept plan:
- (1) Setbacks. Please indicate the required building setback adjacent to SH-205.
 - (2) Landscape Buffer. Please indicate the required landscape buffers adjacent to SH-205 and the residential land use on the northern sides of the building (i.e. adjacent to the cross access and rear property line).
 - (3) Parking. Show conformance to the parking requirements.
 - (4) Loading. Show conformance to the loading and screening requirements.
 - (5) Utilities. Please include a note that all existing and proposed overhead utilities will be located/relocated underground in accordance with the requirements of Ordinance No. 17-05 and the Municipal Code of Ordinances/Unified Development Code (UDC).

- (6) Open Space. Please indicated conformance to the 20.00% open space requirement.
- Setback of SH-205, required buffer, parking, loading, and buried utilities reviewed and added as required.
24. **I.24:** Based on the applicant's submittal staff will be recommending the following Conditions of Approval should this case be approved:
- (1) The proposed facility shall be limited to a maximum of 393-storage units.
 - (2) The proposed facility be limited to a single-story.
 - (3) The proposed building elevations adhere to all applicable Overlay District requirements.
 - (4) An Adaptive Reuse Plan be submitted at the time of site plan.
- Variances anticipated for unit number and building height. Overlay district requirements met and Adaptive re-use plan to be submitted.
25. **I.25:** Based on the submitted materials, staff has included the follow Operational Conditions in the draft ordinance:
- (1) The proposed Mini-Warehouse Facility shall generally conform to the Concept Plan depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
 - (2) The proposed Mini-Warehouse Facility shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP); however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the General Overlay District Standards and/or General Commercial District Standards as stipulated by Article 05, District Development Standards, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of Site Plan.
 - (3) The maximum number of storage units permitted on the Subject Property shall be limited to _ storage units. **600 Units**
 - (4) All transparent fencing shall be wrought iron, and -- where necessary -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (i.e. adjacent to any residentially zoned or used property).
 - (5) Outside storage of any kind shall be prohibited.
 - (6) Businesses shall not be allowed to operate within individual storage units.
 - (7) The commercial operation of rental trucks or trailers shall be prohibited.
 - (8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the Subject Property.
- Understood – note added to plans
26. **M.26:** Please review the attached draft ordinance prior to the January 31, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by February 7, 2023.
- Revised plans submitted.
27. **I.27:** Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and provide any additional information that is requested. Revisions for this case will be due on February 7, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the February 14, 2023 Planning and Zoning Commission Public Hearing Meeting. The

Planning and Zoning Commission Work Session Meeting for this case will be held on January 31, 2023.

- [Acknowledged](#)

28. **I.28:** The projected City Council meeting dates for this case will be February 21, 2023 (1st Reading) and March 6, 2023 (2nd Reading).

- [Acknowledged](#)

29. **M.29:** Must include a 15x24' turnaround for the parking area shown.

- [Area added](#)

30. **M.30:** What is this area for? may need to be stripped no parking.

- [Additional maneuvering](#)

31. **M.31:** Where is the dumpster?

- [Internal roll-out can for limited office trash. No on site dumpster proposed.](#)

32. **M.32:** Something doesn't look correct here. There is a 20' easement on the adjacent property and it looks like the proposed landscape buffer is in the adjacent property.

- [Topographic survey to be provided. Aerial image improperly scaled corrected.](#)

33. **I.33:** Must meet City Standards of Design and Construction

- [Acknowledged](#)

34. **I.34:** 4% Engineering Inspection Fees

- [Acknowledged](#)

35. **I.35:** Impact Fees for expansion

36. **I.36:** Minimum easement width is 20' for new easements. No structures allowed in easements.

- [Acknowledged](#)

37. **I.37:** Retaining walls 3' and over must be engineered.

38. **I.38:** All retaining walls, exposed slab, or exposed curb 18" or taller must be rock or stone face. No smooth concrete walls.

39. **I.39:** Must plat the property.

- [Acknowledged](#)

I.40: TxDOT permits required to be in TxDOT ROW.

I.41: All existing above ground utilities must be buried per the zoning.

- [Note added](#)

I.42: Parking to be 20'x9' facing the building or nose-to-nose.

- Spaces verified

I.43: No dead-end parking allowed, must have a City approved turnaround.

- Proposed

I.44: Drive isles to be 24' wide. Acknowledged

- Acknowledged

I.45: Fire Lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum. - Fire lane to be in a platted easement.

Acknowledged

I.46: Goliad sidewalk pro-rata = \$17.50/lf

Acknowledged

I.47: Make sure that the 25'x25' visibility easement at the Goliad intersection is clear.

I.48: Show proposed utility lines (Water, Sewer, etc.)

- Utility connections to be provided.

I.49: Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)

Acknowledged

I.50: Full panel replacement for water line taps.

I.51: One fire hydrant will be needed. Additional hydrants may be needed based on site layout.

I.52: Sewer connection will need to be at a manhole, a new manhole may be required.

I.53: Detention is required. Runoff coefficient calculated based on zoning. C-value goes from 0.35 to 0.9 for entire site.

I.54: Dumpster areas to drain to oil/water separator and then to the storm lines.

- No dumpster proposed.

I.55: No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.

Acknowledged

I.56: No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Acknowledged

I.57: Fire apparatus access road coverage needs to be reviewed as part of future submittals

END OF RESPONSE
JOE@DESIGNHAUS.COM

JOE LATOZAS (248) 601.4422
DESIGNHAUS ARCHITECTURE

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 68 (PD-68) [*ORDINANCE NO. 17-05*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *MINI-WAREHOUSE FACILITY* ON A 3.15-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Mike Pizzola of Designhaus Architecture on behalf of Viper Development for the approval of a *Specific Use Permit (SUP)* for a *Mini-Warehouse Facility* on a 3.15-acre tract of land identified as Lots 1 & 2, Block A, Eastshore Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located on the eastside of S. Goliad Street [*SH-205*] south of the intersection of Community Lane and S. Goliad Street [*SH-205*], and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Mini-Warehouse Facility* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*, and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Planned Development District 68 (PD-68) [*Ordinance No. 17-05*] and Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial*

District Standards; Subsection 04.05, *Commercial (C) District*, and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Mini-Warehouse Facility* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The proposed *Mini-Warehouse Facility* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- 2) The proposed *Mini-Warehouse Facility* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, this operational condition does not waive or grant variances or exceptions to any requirements associated with the *General Overlay District Standards* and/or *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), which will be reviewed and acted upon by the Architectural Review Board (ARB) and Planning and Zoning Commission at the time of *Site Plan*.
- 3) The maximum number of storage units permitted on the *Subject Property* shall be limited to 600 storage units.
- 4) All transparent fencing shall be wrought iron, and -- *where necessary* -- incorporate a berm, three (3) tiered landscaping, and a landscape buffer (*i.e. adjacent to any residentially zoned or used property*).
- 5) Outside storage of any kind shall be prohibited.
- 6) Businesses shall not be allowed to operate within individual storage units.
- 7) The commercial operation of rental trucks or trailers shall be prohibited.
- 8) All signage shall be required to conform to the requirements stipulated by the Municipal Code of Ordinances. In addition, pole signage shall be prohibited on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this Ordinance No. 23-XX; SUP # S-XXX

ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

**Exhibit 'A':
Legal Description**

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK A, EASTSHORE ADDITION

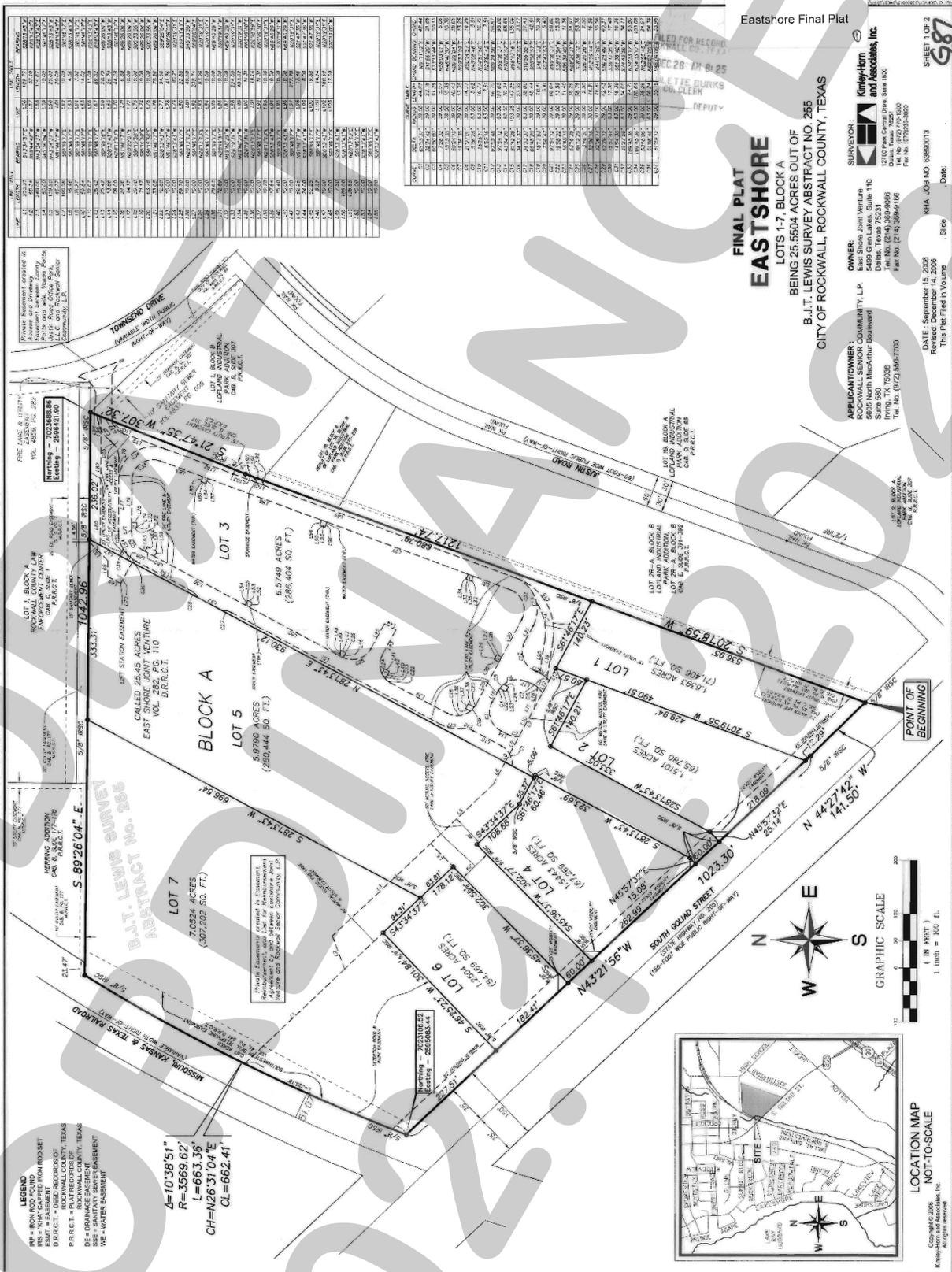


Exhibit 'B': Concept Plan

	300 AUBURN RD, SUITE 300 AUBURN HILLS, MI 48326 T:248.601.4422 F:248.453.5854 WWW.DESIGNHAUS.COM INFO@DESIGNHAUS.COM
	151 1998
Gollad St. Rockwall, TX Storage Case Number: Z2023-004 Price: 70573 & 70574 ROCKWALL, TX 75087	\$100 02/04 Site Plan

**Gollad St.,
Rockwall, TX 75087**
Proposed S.U.P Request

Parcel: 70573 & 70574

+/-3.15 Acres (137,166 +/- Sq. Ft.)

Zoning: PD-88 Planned Development

Max. Height: 36' Single Story

Lot Coverage: Max. 45%

Setbacks: Front 20'
Side 13'
Rear 10'

Proposed Project Information
2 Climate Controlled Storage Buildings with
Limited Drive-Up Access

Building A: 30,500 GSF

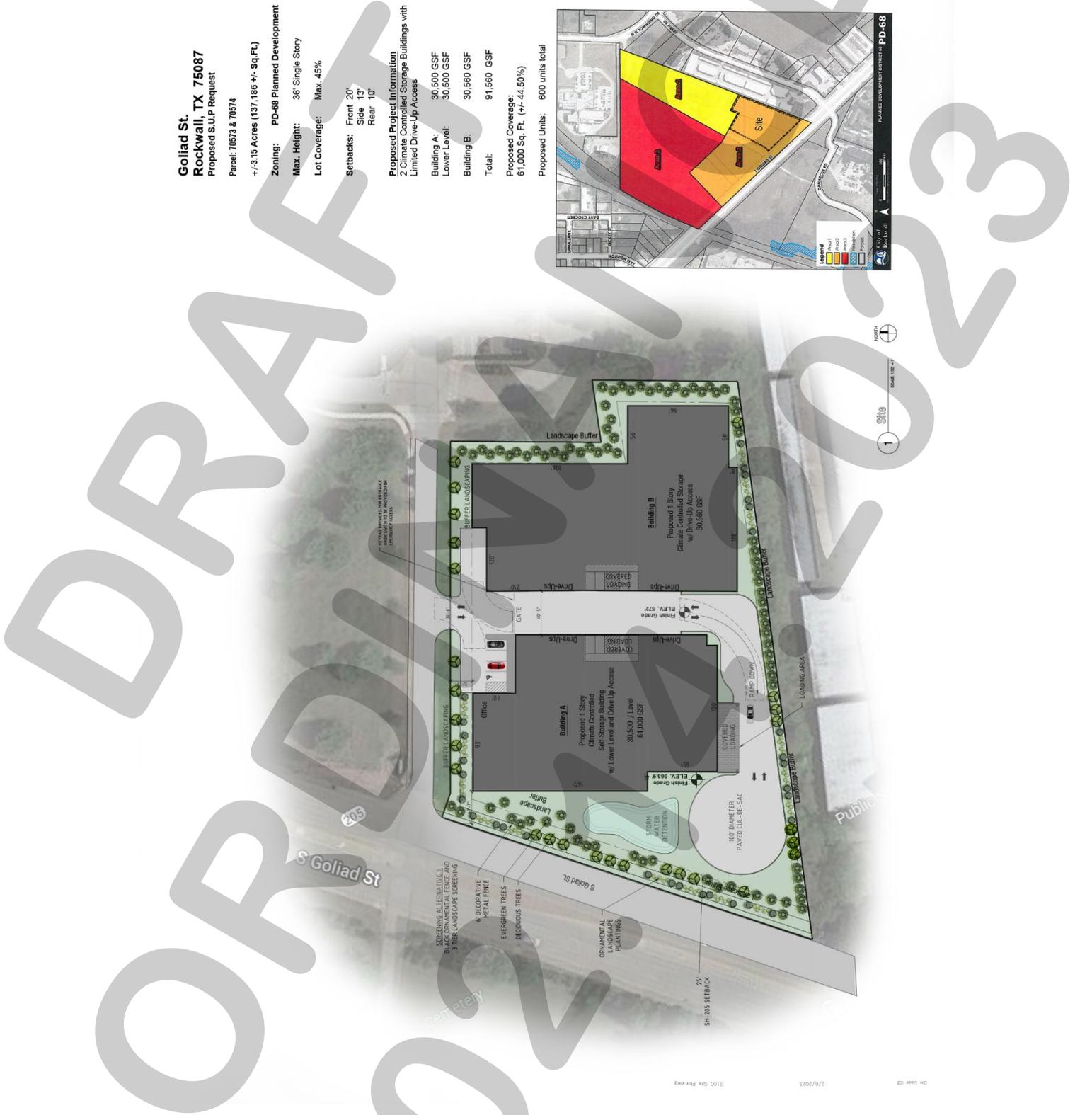
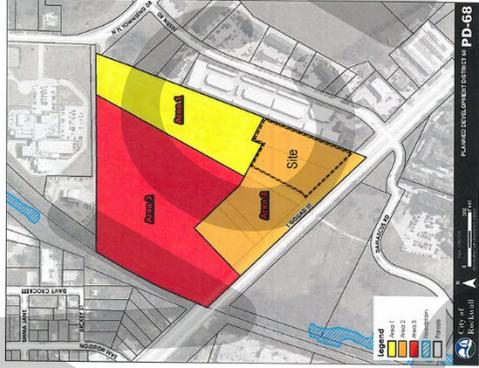
Lower Level: 30,500 GSF

Building B: 30,560 GSF

Total: 91,560 GSF

Proposed Coverage:
81,000 Sq. Ft. (+/-44.50%)

Proposed Units: 600 units total





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: February 14, 2023

APPLICANT: Peter and Janyce Gardner

CASE NUMBER: Z2023-005; *Zoning Change from Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District*

SUMMARY

Hold a public hearing to discuss and consider a request by Peter and Janyce Gardner for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District on a 6.019-acre parcel of land identified as Lot 11 of the Dowell Road Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 548 Dowell Road, and take any action necessary.

BACKGROUND

On September 12, 1994 a final plat for the Dowell Road Addition was filed with Rockwall County. This established the subject property as Lot 11 of the Dowell Road Addition. On December 22, 2008, the City Council approved *Ordinance No. 08-65 [i.e. Case No. A2008-003]* annexing the subject property into the City of Rockwall. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is a ~1,838 SF home that was constructed in 1997, and a ~576 SF detached garage that was constructed in 2000.

PURPOSE

On January 20, 2023, the applicants -- *Peter and Janyce Gardner*-- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District. The purpose of this request is to facilitate the construction of a future accessory building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 548 Dowell Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are six (6) parcels of land (*i.e. Lots 3, 4, 5R, 6R, 7R, & 8R of the Dowell Road Addition*) developed with single-family homes and zoned Agricultural (AG) District. Beyond this is the corporate limits for the City of Rockwall. Following this are two (2) parcels of land (*i.e. Lot 1 & 2 of the Dowell Road Addition*) that are located within Rockwall County and developed with single-family homes. North of these parcels is SH-276, which is classified as a TXDOT6D (*i.e. a Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is one (1) parcel of land (*i.e. Lot 12 of the Dowell Road Addition*) developed with a single-family home and zoned Agricultural (AG) District. Beyond this are three (3) tracts of land (*i.e. Tracts 1-2, 1-4, & 1-5, Abstract 182 of the J. H. Robnett Survey*) developed with single-family homes and zoned Agricultural (AG) District. Following this is the corporate limits for the City of Rockwall.

East: Directly east of the subject property is Dowell Road, which is classified as a M4U (*i.e. major collector, four [4] Lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040

Comprehensive Plan. Beyond this is a 106.4403-acre tract of land (i.e. *Tract 1, Abstract 34 of the J. H. Bailey Survey*) zoned Agricultural (AG) District.

West: Directly west of the subject property is a 32.102-acre tract of land (i.e. *Tract 1-1, Abstract 182 of the J. H. Robnett Survey*). Beyond this is a 194.9439-acre tract of land (i.e. *Tract 2-1, Abstract 182 of the J. H. Robnett Survey*). Both properties are zoned Planned Development District 66 (PD-66) for Single-Family 8.4 (SF-8.4) District land uses

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the 6.019-acre parcel of land from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District. The applicant has indicated to staff that this request is being made to facilitate the future construction of an accessory building that will store animal feed and property maintenance equipment.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.03, *Single-Family Estate 2.0 (SFE-2.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family Estate 2.0 (SFE-2.0) District is the proper zoning classification for rural, estate lots that are a minimum of two (2) acres in size ... (t)hese lots are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas." In this case, the properties adjacent to Dowell Road are zoned Agricultural (AG) District, and in the future they are anticipated to transition to being zoned under the Single-Family Estate (SFE) District zoning designation. Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family Estate 2.0 (SFE-2.0) District, which are summarized as follows:

TABLE 1: SINGLE-FAMILY ESTATE 2 (SFE-2) DISTRICT DEVELOPMENT STANDARDS

NUMBER OF DWELLING UNITS/LOT	1.0
NUMBER OF DWELLING UNITS/ACRE	0.5
MINIMUM DWELLING UNIT	2,200 SF
MINIMUM LOT AREA	87,120 SF
MINIMUM LOT WIDTH	150-FEET
MINIMUM LOT DEPTH	250-FEET
MINIMUM FRONT YARD SETBACK	50-FEET
MINIMUM REAR YARD SETBACK	10-FEET
MINIMUM SIDE YARD SETBACK	25-FEET
BETWEEN BUILDINGS	10-FEET
BUILDING HEIGHT	36-FEET
MAXIMUM LOT COVERAGE	35%
REQUIRED PARKING SPACES	2

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the South Central Estates District and is designated for Low Density Residential land uses. The Low Density Residential land use designation is defined as "...residential subdivisions that are two (2) units per gross acre or less ..." Based on this the proposed zoning change conforms to the Comprehensive Plan. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. In this case, the proposed zoning change conforms to the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, which was designed around the desired 80%/20% land use ratio. Based on this the proposed zoning change does not affect the current residential to non-residential land use ratio percentage.

NOTIFICATIONS

On January 27, 2023, staff notified 14 property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Groups within 1,500-feet of the subject property participating in the

Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Zoning Change to rezone the subject property from an Agricultural (AG) District to a Single-Family Estate 2 (SFE-2) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22023-005

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 548 Powell Road Rockwall Tx. 75032

Subdivision _____

Lot _____

Block _____

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG

AG

Current Use Residential Single Family/AG

Residential Single Family/AG

Proposed Zoning Single Family Estate 4

Single Family Estate 4

Proposed Use _____

Acreage 6

6

Lots [Current] _____

Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Peter & Janyce Gardner

Peter & Janyce Gardner

Applicant _____

Contact Person _____

Contact Person _____

Address 548 Powell Rd.

548 Powell Rd.

Address _____

City, State & Zip Rockwall Tx. 75032

Rockwall Tx. 75032

City, State & Zip _____

Phone 469-267-0500, 214-709-1780

469-267-0500, 214-709-1780

Phone _____

E-Mail janycegardner@yahoo.com

janycegardner@yahoo.com

E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Peter Gardner & Janyce Gardner [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 17th day of November, 2022. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

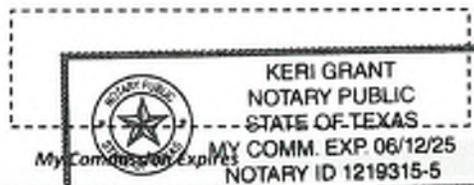
Given under my hand and seal of office on this the 17th day of November, 2022

Owner's Signature _____

Peter Gardner & Janyce Gardner

Notary Public in and for the State of Texas _____

Keri Grant



0 50 100 200 300 400 Feet

Z2023-005: Zoning Change from AG to SFE-2.0

PD-66

AG

LOWELL RD

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

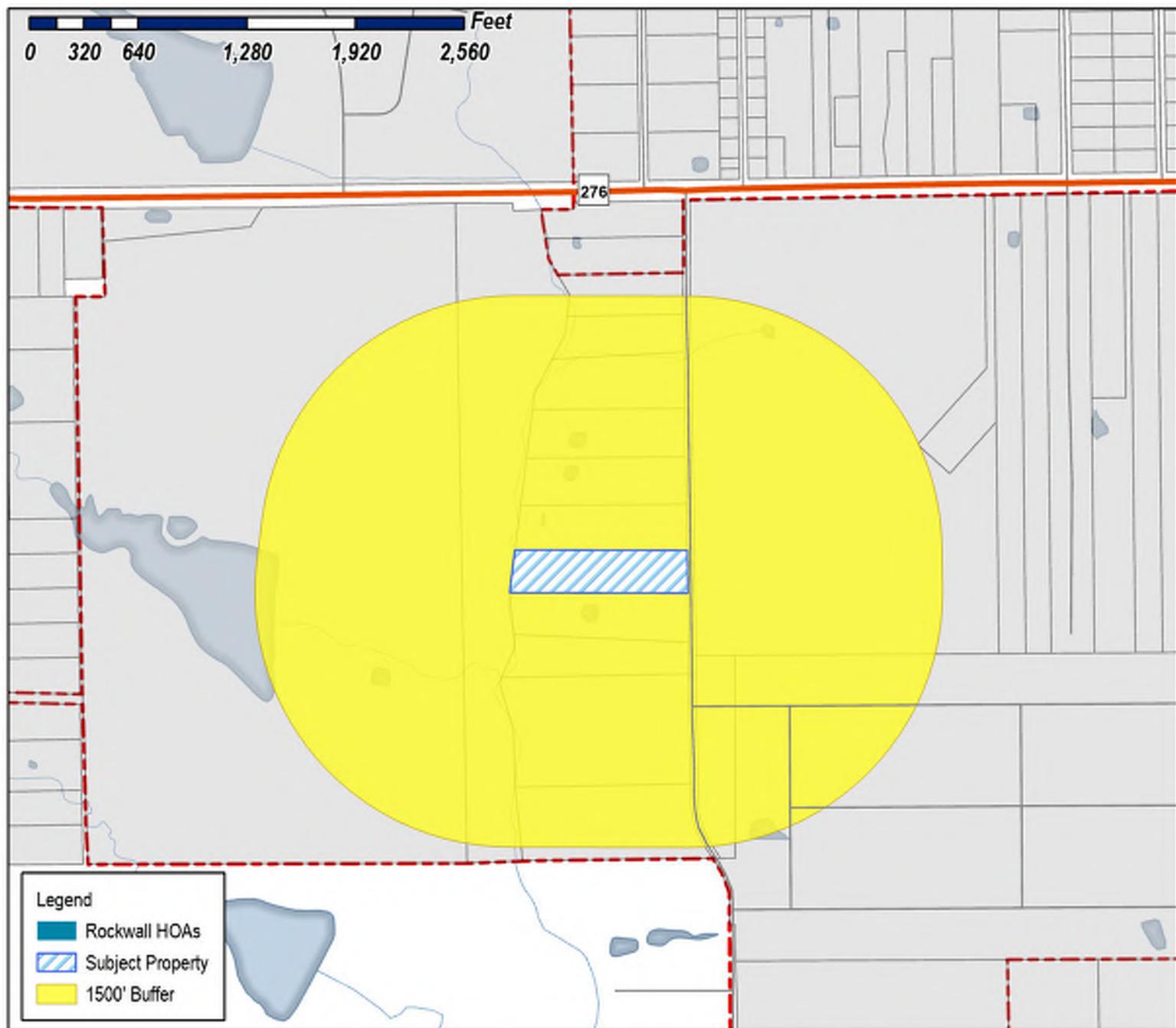




City of Rockwall

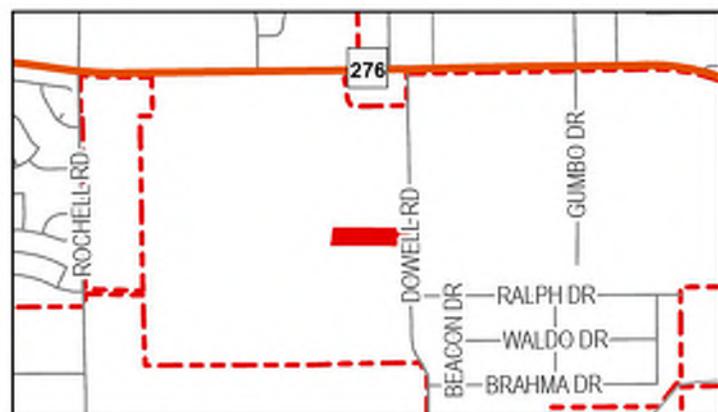
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2023-005
Case Name: Zoning Change from AG to SFE-2.0
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 548 Dowell Road

Date Saved: 1/20/2023
For Questions on this Case Call (972) 771-7745

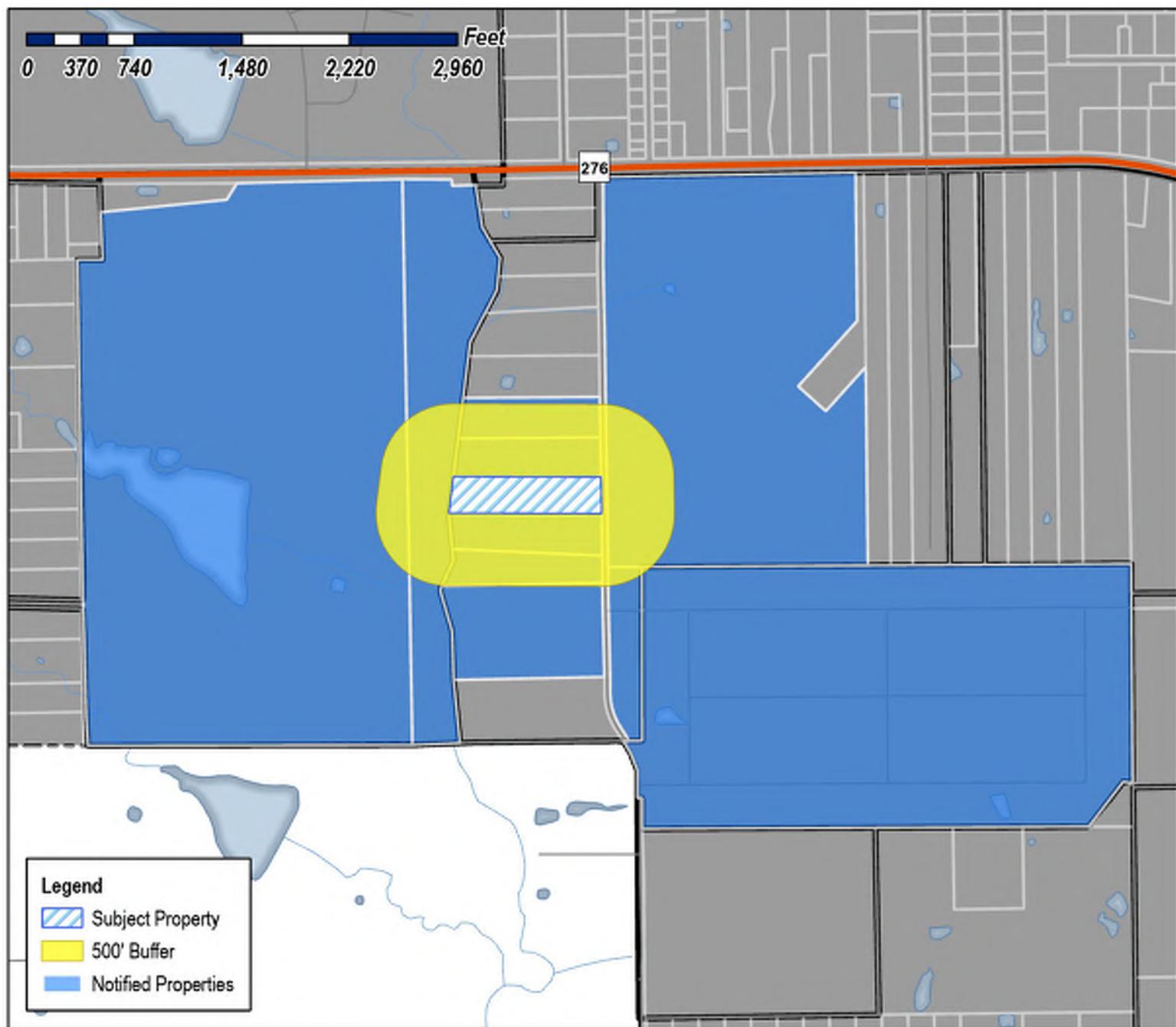




City of Rockwall

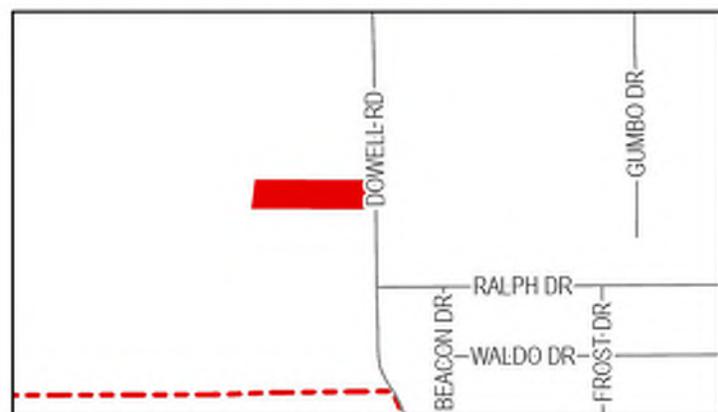
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Case Number: Z2023-005
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Zoning: Agricultural (AG) District
Case Address: 548 Dowell Road

Date Saved: 1/20/2023
For Questions on this Case Call (972) 771-7745



OCCUPANT
HWY276
ROCKWALL, TX 75032

HARLAN PROPERTIES INC
2404 TEXAS DR STE 103
IRVING, TX 75062

TRENTACOSTA AARON L & NIKOLE L
648 DOWELL ROAD
ROCKWALL, TX 75032

SANTOYO AGUSTIN
2300 DOWELL RD
ROCKWALL, TX 75032

SPAFFORD SARAH
494 DOWELL RD
ROCKWALL, TX 75032

SMITH TERRANCE LYNDLE AND MISHAWN
WILSON-SMITH
442 DOWELL ROAD
ROCKWALL, TX 75032

OCCUPANT
548 DOWELL RD
ROCKWALL, TX 75032

MI CASA REAL LLC
2940 BROADWAY BLVD STE 102
GARLAND, TX 75041

HARLAN PROPERTIES INC
2404 TEXAS DR STE 103
IRVING, TX 75062

MCINTIRE PRESTON G AND
SANDY M LOMELI
598 DOWELL RD
ROCKWALL, TX 75032

HARLAN PROPERTIES INC
2404 TEXAS DR STE 103
IRVING, TX 75062

SUMEER HOMES INC
DOWELL RD
ROCKWALL, TX 75189

OCCUPANT
2404 TEXAS DR STE 103
IRVING, TX 75062

SORRELLS ROBERT
8731 REXFORD DR
DALLAS, TX 75209

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-005: Zoning Change from AG to SFE-2.0

Hold a public hearing to discuss and consider a request by Ryan Joyce on Michael Joyce Properties on behalf of Vicmar I, LTD for the approval of a Zoning Change from an Agricultural (AG) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-005: Zoning Change from AG to SFE-2.0

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY ESTATE DISTRICTS
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel with Outside Pens	(2)	(1)	S
Animal Boarding/Kennel without Outside Pens	(2)	(2)	S
Commercial Horse Corral or Stable	(9)	(5)	S
Private Horse Corral or Stable	(10)	(6)	P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
Wholesale Nursery (<i>i.e. without Retail Sale On-Site</i>)	(13)		S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Bed and Breakfast	(2)	(2)	S
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Single-Family Detached Structure	(18)	(13)	P
Private Swimming Pool	(20)		A
Private Tennis Court	(21)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(25)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY ESTATE DISTRICTS
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna, as an Accessory	(2)	(1)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT FOR A 6.019-ACRE PARCEL OF LAND IDENTIFIED AS LOT 11 OF THE DOWELL ROAD ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* AND *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Peter and Janyce Gardner for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a 6.019-acre parcel of land identified as Lot 11 of the Dowell Road Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 548 Dowell Road, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family Estate 2.0 (SFE-2.0) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.03, *Single-Family Estate 2.0 (SFE-2.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

Exhibit 'A'
Legal Description

Addressed: 548 Dowell Road

Legal Description: Lot 11 of the Dowell Road Addition





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: February 14, 2023

APPLICANT: Harold Fetty; *HD Fetty Land Surveyor*

CASE NUMBER: Z2023-006; *Zoning Change from Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District*

SUMMARY

Hold a public hearing to discuss and consider a request by Harold Fetty of HD Fetty Land Surveyor on behalf of Gene and Brooke Rogers for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District on a 5.41-acre parcel of land identified as a portion of Tract 4-06 and all of Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 626 Cullins Road, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 04-34* annexing the subject property into the City of Rockwall on May 17, 2004 [*i.e. Case No. A2004-001*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the Rockwall Central Appraisal District (RCAD), currently situated on the subject property is a ~1,849 SF single-family home that was constructed in 1994, a 462 SF detached garage also constructed in 1994, a 210 SF storage shed constructed in 1999, and a 378 SF attached carport that was constructed in 2006. No other changes or improvements have been made to the subject property since it was annexed.

PURPOSE

On January 20, 2023, the applicant -- *Harold Fetty of HD Fetty Land Surveyor*-- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District. The purpose of this request is to facilitate the submittal of a final plat to expand the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 626 Cullins Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Cullins Road, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 43.30-acre tract of land (*i.e. Tract 17-16 of the W. W. Ford Survey, Abstract No. 80*) developed with a *Commercial Horse Stable*, that is zoned Planned Development District 99 (PD-99) for Single-Family 10 (SF-10) District land uses. Following this is a 5.697-acre tract of land (*i.e. Tract 17-9 of the W. W. Ford Survey, Abstract No. 80*) developed with a single-family home that is zoned Agricultural (AG) District.

South: Directly south of the subject property is Cullins Road, which is classified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are the City limits of the City of Rockwall, and a 10.484-acre tract of land (*i.e. Tract 40-3, Abstract 80 of the W. W. Ford Survey*) developed with a single-family home that is zoned Agricultural (AG) District.

East: Directly east of the subject property is the intersection of Cullins Road and Travis Lane, which are classified as a *Minor Collector* and a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 43.30-acre tract of land (*i.e. Tract 17-16 of the W. W. Ford Survey, Abstract No. 80*) developed with a *Commercial Horse Stable* that is zoned Planned Development District 99 (PD-99) for Single-Family 10 (SF-10) District land uses.

West: Directly west of the subject property is a 3.00-acre tract of land (*i.e. Tract 4-4, Abstract 80 of the W. W. Ford Survey*) developed with single-family home and zoned Agricultural (AG) District. Beyond this is a 2.921-acre tract of land (*i.e. 4-5, Abstract 80 of the W. W. Ford Survey*) developed with a single-family home and is zoned Agricultural (AG) District. Following this is a vacant 25.513-acre tract of land (*i.e. Tract 4-01, Abstract 80 of the W. W. Ford Survey*) zoned Agricultural (AG) District. West of this is S. FM-549, which is classified as a TXDOT4D (*i.e. a Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the 5.41 tract of land from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District. The applicant has indicated to staff that this request is being made in order to facilitate the expansion and final platting of the subject property.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.04, *Single-Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family Estate 4.0 (SFE-4.0) District is the proper zoning classification for rural, estate lots that are a minimum of four (4) acres in size... (t)hese lots are typically in areas that are located in the City's hinterland,

away from higher density residential developments and non-residential development.” In this case, the properties adjacent to E. Cullins Road are zoned either Agricultural (AG) District or Single-Family Estate 2.0 (SFE-2.0) District. In the future it is anticipated all of these properties will transition to a Single-Family Estate (SFE) District zoned designation. Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family Estate 4.0 (SFE-4.0) District, which are summarized as follows:

TABLE 1: SINGLE-FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT DEVELOPMENT STANDARDS

NUMBER OF DWELLING UNITS/LOT	1.0
NUMBER OF DWELLING UNITS/ACRE	0.25
MINIMUM DWELLING UNIT	2,500 SF
MINIMUM LOT AREA	174,240 SF
MINIMUM LOT WIDTH	200-FEET
MINIMUM LOT DEPTH	250-FEET
MINIMUM FRONT YARD SETBACK	50-FEET
MINIMUM REAR YARD SETBACK	10-FEET
MINIMUM SIDE YARD SETBACK	25-FEET
BETWEEN BUILDINGS	10-FEET
BUILDING HEIGHT	36-FEET
MAXIMUM LOT COVERAGE	35%
REQUIRED PARKING SPACES	2

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Southwest Residential District and is designated for Low Density Residential land uses. The Low Density Residential land use designation is defined as “...residential subdivisions that are two (2) units per gross acre or less ...” Based on this the proposed zoning change conforms to the Comprehensive Plan. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to “...(p)reserve the City’s current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ...” [Section 02.01; CH. 1; Page 1-1]. In this case, the proposed zoning change conforms to the Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, which was designed around the desired 80%/20% land use ratio. Based on this the proposed zoning change does not affect the current residential to non-residential percentage.

NOTIFICATIONS

On January 27, 2023, staff notified 13 property owners and occupants within 500-feet of the subject property. In addition, staff notified the Oaks of Buffalo Way Homeowner’s Association (HOA), which is the only Homeowner’s Association (HOA) or Neighborhood Group within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices regarding the applicant’s request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request to rezone the subject property from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

USE ONLY
 PLANNING & ZONING CASE NO. 22023-006
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
 DIRECTOR OF PLANNING:
 CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
 MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
 PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
 FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
 REPLAT (\$300.00 + \$20.00 ACRE) ¹
 AMENDING OR MINOR PLAT (\$150.00)
 PLAT REINSTATEMENT REQUEST (\$100.00)
SITE PLAN APPLICATION FEES:
 SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
 AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:
 ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
OTHER APPLICATION FEES:
 TREE REMOVAL (\$75.00)
 VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²
NOTES:
¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 626 CULLINS ROAD
 SUBDIVISION W.W. FORD SURVEY A-B0 LOT BLOCK
 GENERAL LOCATION CULLINS + FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING CURRENT USE
 PROPOSED ZONING PROPOSED USE
 ACREAGE 5.41 ACRES LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

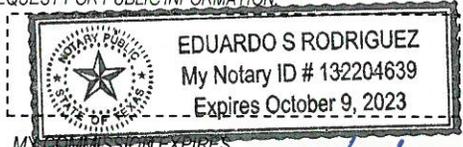
<input checked="" type="checkbox"/> OWNER <u>GENE and BROOKE ROGERS</u>	<input type="checkbox"/> APPLICANT <u>HO FETTY LAND SURVEYOR</u>
CONTACT PERSON	CONTACT PERSON <u>Harold Fetty</u>
ADDRESS <u>626 CULLINS ROAD</u>	ADDRESS <u>6770 FM 1565</u>
CITY, STATE & ZIP <u>Rockwall, TX 75087</u>	CITY, STATE & ZIP <u>Royse City TX 75189</u>
PHONE	PHONE <u>972-635-2255</u>
E-MAIL	E-MAIL <u>tracyendfetty.com</u>

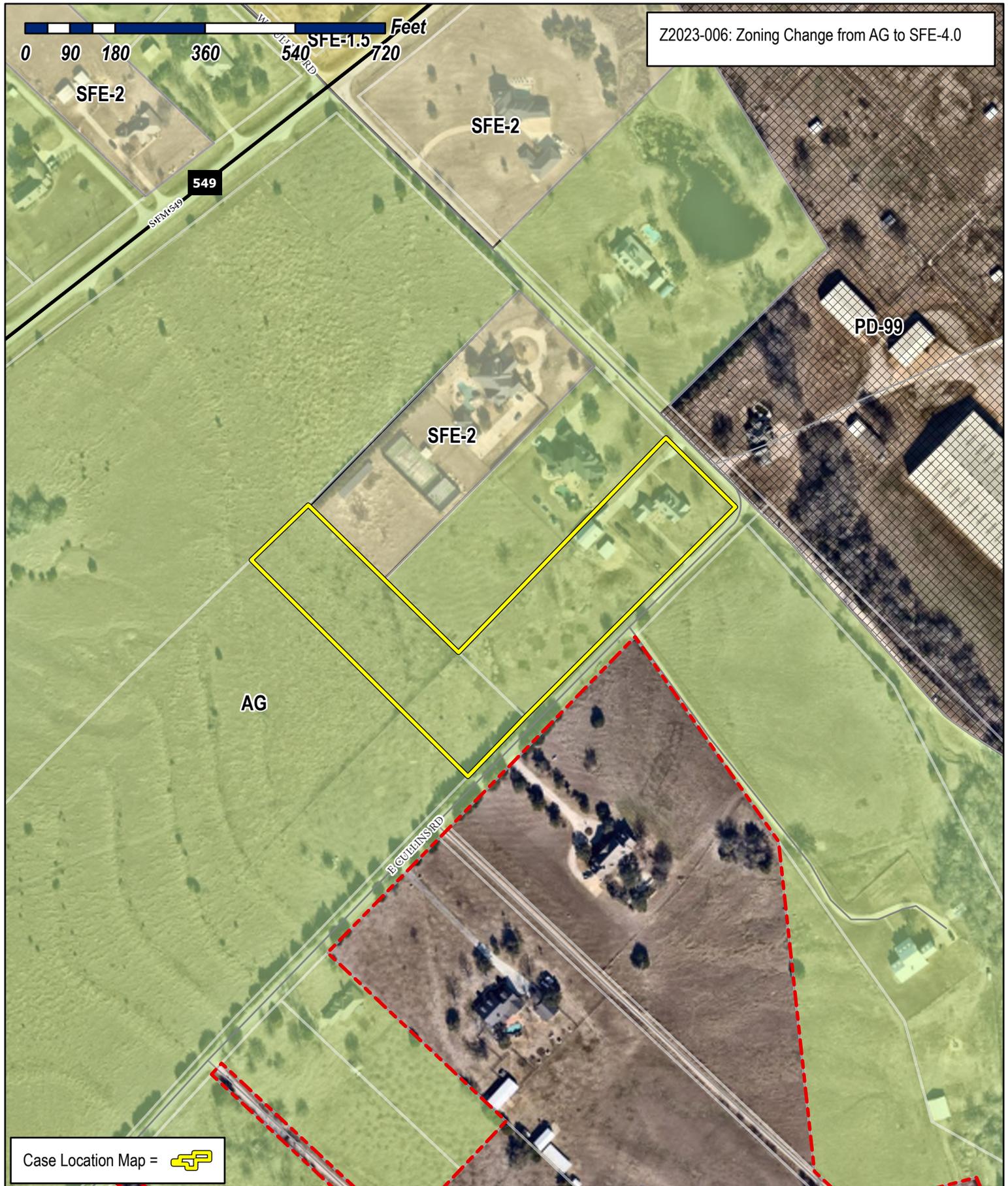
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GENE ROGERS [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 286.77 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20th DAY OF January, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20th DAY OF January, 2023
 OWNER'S SIGNATURE [Signature]
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2023-006: Zoning Change from AG to SFE-4.0

0 90 180 360 540 720 Feet

SFE-2

SFE-2

549

SFM-549

PD-99

SFE-2

AG

BOULINSRD

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

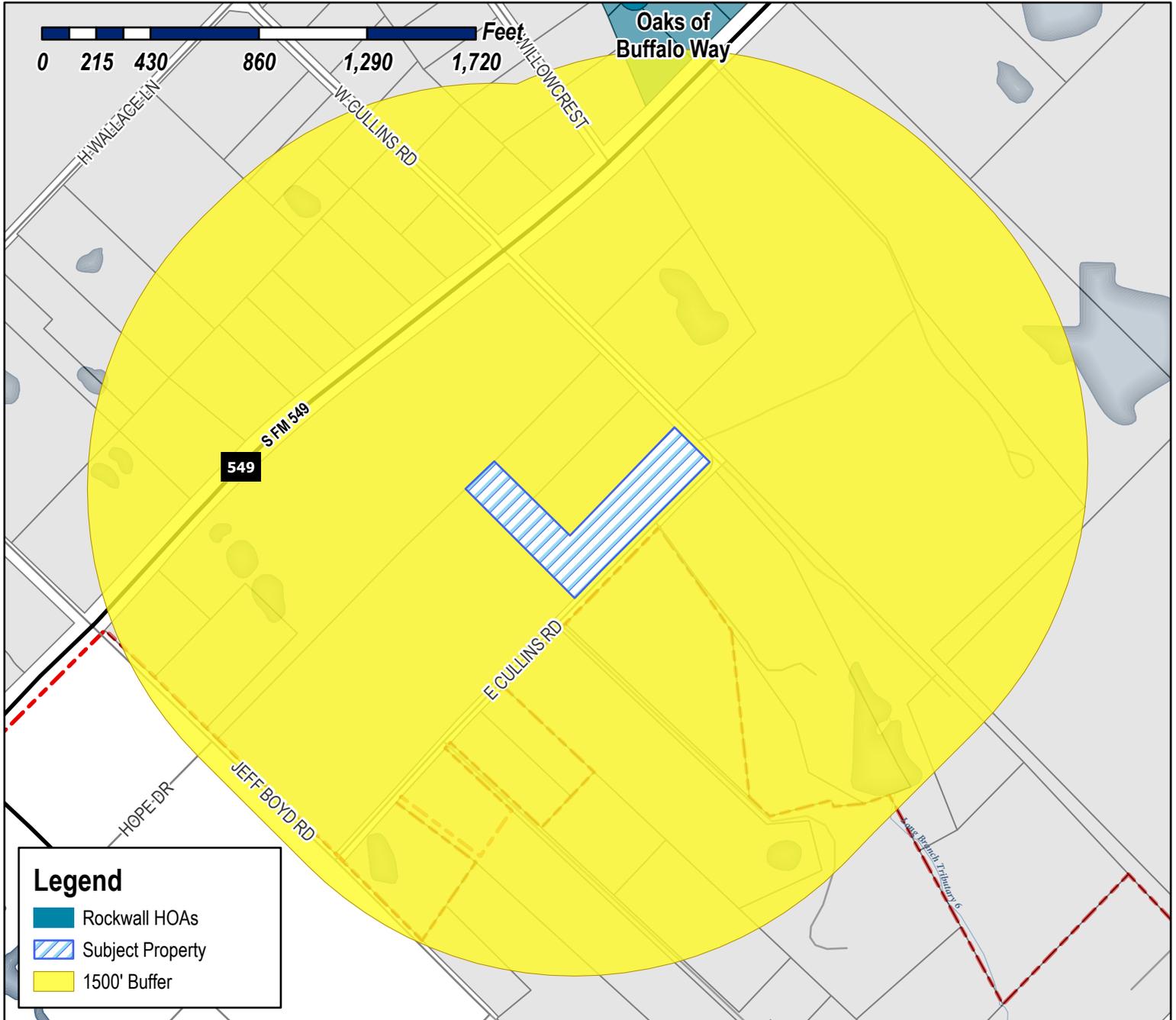




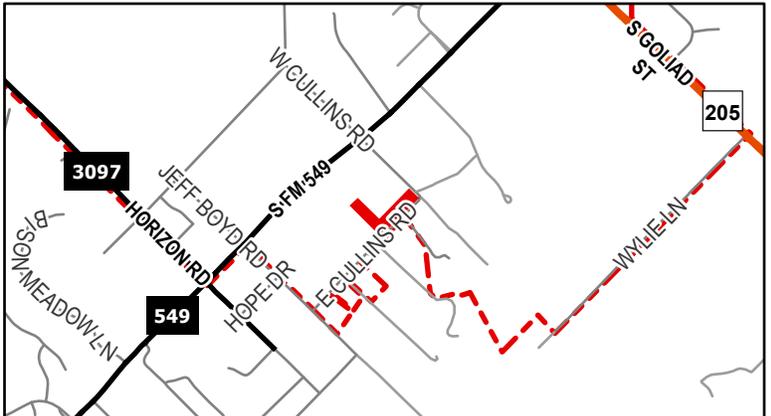
City of Rockwall

Planning & Zoning Department
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Case Number: Z2023-006
Case Name: Zoning Change From AG to SFE-4.0
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 626 Cullins Road



Date Saved: 1/21/2023
 For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Chapin, Sarah
Sent: Thursday, January 26, 2023 12:24 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany
Subject: Neighborhood Notification Program [Z2023-006]
Attachments: HOA Map (01.21.2023).pdf; Public Notice Z2023-006.pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *January 27, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, February 14, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, February 21, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-006: Zoning Change for AG to SFE-4.0

Hold a public hearing to discuss and consider a request by Harold Fetty of HD Fetty Land Surveyor on behalf of Gene and Brooke Rogers for the approval of a *Zoning Change* from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District on a 5.41-acre parcel of land identified as a portion of Tract 4-06 and all of Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 626 Cullins Road, and take any action necessary.

Thank you,

Sarah Chapin

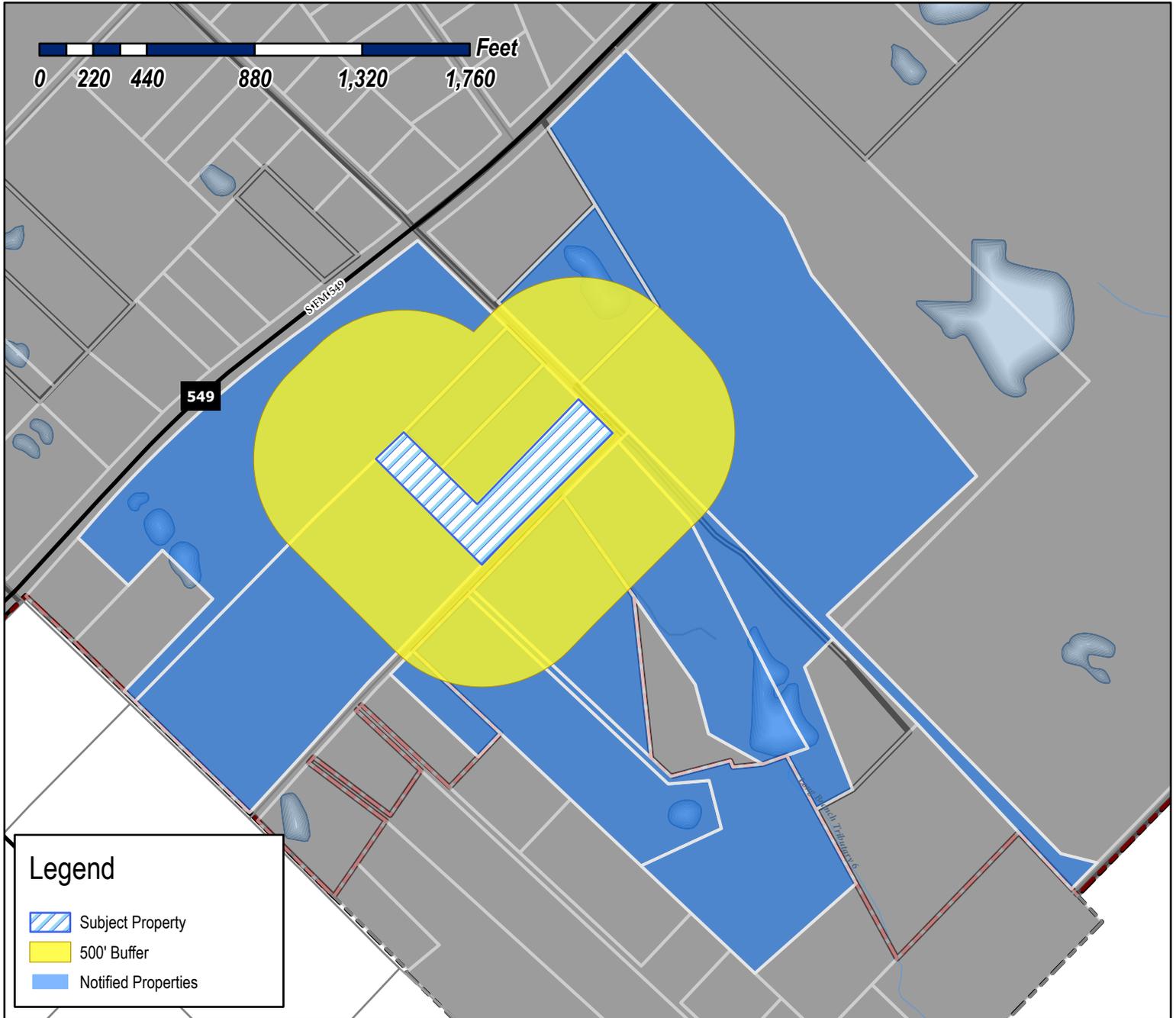
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

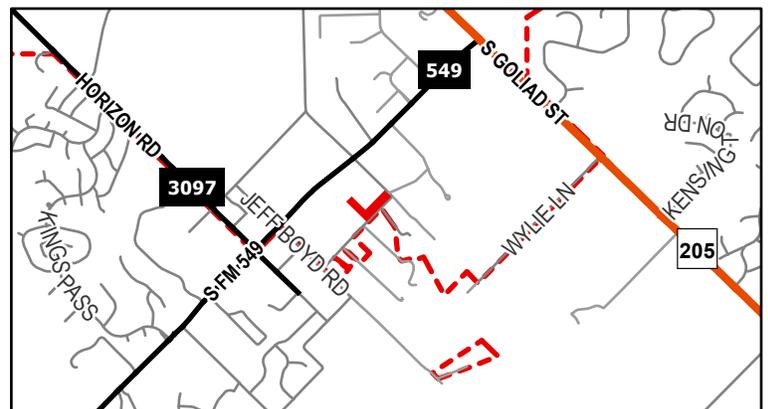
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Case Number: Z2023-006
Case Name: Zoning Change from AG to SFE-4.0
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 626 Cullins Road

Date Saved: 1/20/2023

For Questions on this Case Call: (972) 771-7746



ABREU JORGE AND TASHA
570 CULLINS RD
ROCKWALL, TX 75032

POPE TONY & KAREN
626 E CULLINS RD
ROCKWALL, TX 75032

HOPE LESLIE AND DARYL
530 CULLINS
ROCKWALL, TX 75032

HOLLAND SAUNDRA G
909 E CULLINS RD
ROCKWALL, TX 75032

WILSON BRET A & LESLIE
535 E CULLINS RD
ROCKWALL, TX 75032

BYRD GARY ETUX
707 E CULLINS RD
ROCKWALL, TX 75032

ROCKWALL HIGHGATE LTD
C/O SCOTT ASBURY
13155 NOEL RD # 900
DALLAS, TX 75240

OCCUPANT
326 CULLINS RD
ROCKWALL, TX 75032

FOLEY-TRAVIS LE'ARDEN J
403 TRAVIS LANE
ROCKWALL, TX 75032

KOHORST ED & OLIVIA CASEY
831 CULLINS RD
ROCKWALL, TX 75032

KEELING GEORGE W & BONNIE C
C/O MARTHA YELLE
3025 EVENING BREEZE WAY
PFLUGERVILLE, TX 78660

POPE TONY W & KARREN L
626 E CULLINS ROAD
ROCKWALL, TX 75032

BOYD WILKIE HUGH
489 JEFF BOYD RD
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-006: Zoning Change from AG to SFE-4.0

Hold a public hearing to discuss and consider a request by Harold Fetty of HD Fetty Land Surveyor on behalf of Gene and Brooke Rogers for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District on a 5.41-acre parcel of land identified as a portion of Tract 4-06 and all of Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 626 Cullins Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-006: Zoning Change from AG to SFE-4.0

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey input box]

Address: [Grey input box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY ESTATE DISTRICTS
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel with Outside Pens	(2)	(1)	S
Animal Boarding/Kennel without Outside Pens	(2)	(2)	S
Commercial Horse Corral or Stable	(9)	(5)	S
Private Horse Corral or Stable	(10)	(6)	P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
Wholesale Nursery (<i>i.e. without Retail Sale On-Site</i>)	(13)		S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Residential Accessory Building or Structure	(1)	(1)	P
Bed and Breakfast	(2)	(2)	S
Residential Garage	(7)	(4) & (5)	A
Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit	(8)	(6)	A
Home Occupation	(9)	(7)	P
Portable Building	(15)	(10)	P
Residential Infill in an Established Subdivision	(16)	(11)	S
Single-Family Detached Structure	(18)	(13)	P
Private Swimming Pool	(20)		A
Private Tennis Court	(21)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Church/House of Worship	(4)	(2)	S
Daycare with Seven (7) or More Children	(9)	(4)	S
Group or Community Home	(11)	(5)	P
Public or Private Primary School	(21)	(7)	S
Public or Private Secondary School	(22)	(8)	S
Temporary Education Building for a Public or Private School	(23)	(9)	S
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Public or Private Community or Recreation Club as an Accessory Use	(4)		S
Private Country Club	(5)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Public Park or Playground	(12)		P
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		S
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Temporary Real Estate Sales Office	(25)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Temporary On-Site Construction Office	(18)	(6)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN SINGLE FAMILY ESTATES (SFE) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	SINGLE FAMILY ESTATE DISTRICTS
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna, as an Accessory	(2)	(1)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Railroad Yard or Shop	(14)		S
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY ESTATE 4.0 (SFE-4.0) DISTRICT FOR A 5.41-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACT 4-06 AND ALL OF TRACT 4-2 OF THE W. W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Harold Fetty of HD Fetty Land Surveyor on behalf of Gene and Brooke Rodgers for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District for a 5.41-acre tract of land identified as a portion of Tract 4-06 and all of Tract 4-2 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 626 Cullins Road, and more fully described and depicted in *Exhibit 'A'* and *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Single-Family Estate 4.0 (SFE-4.0) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family Estate 4.0 (SFE-4.0) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.04, *Single-Family Estate 4.0 (SFE-4.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF MARCH, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

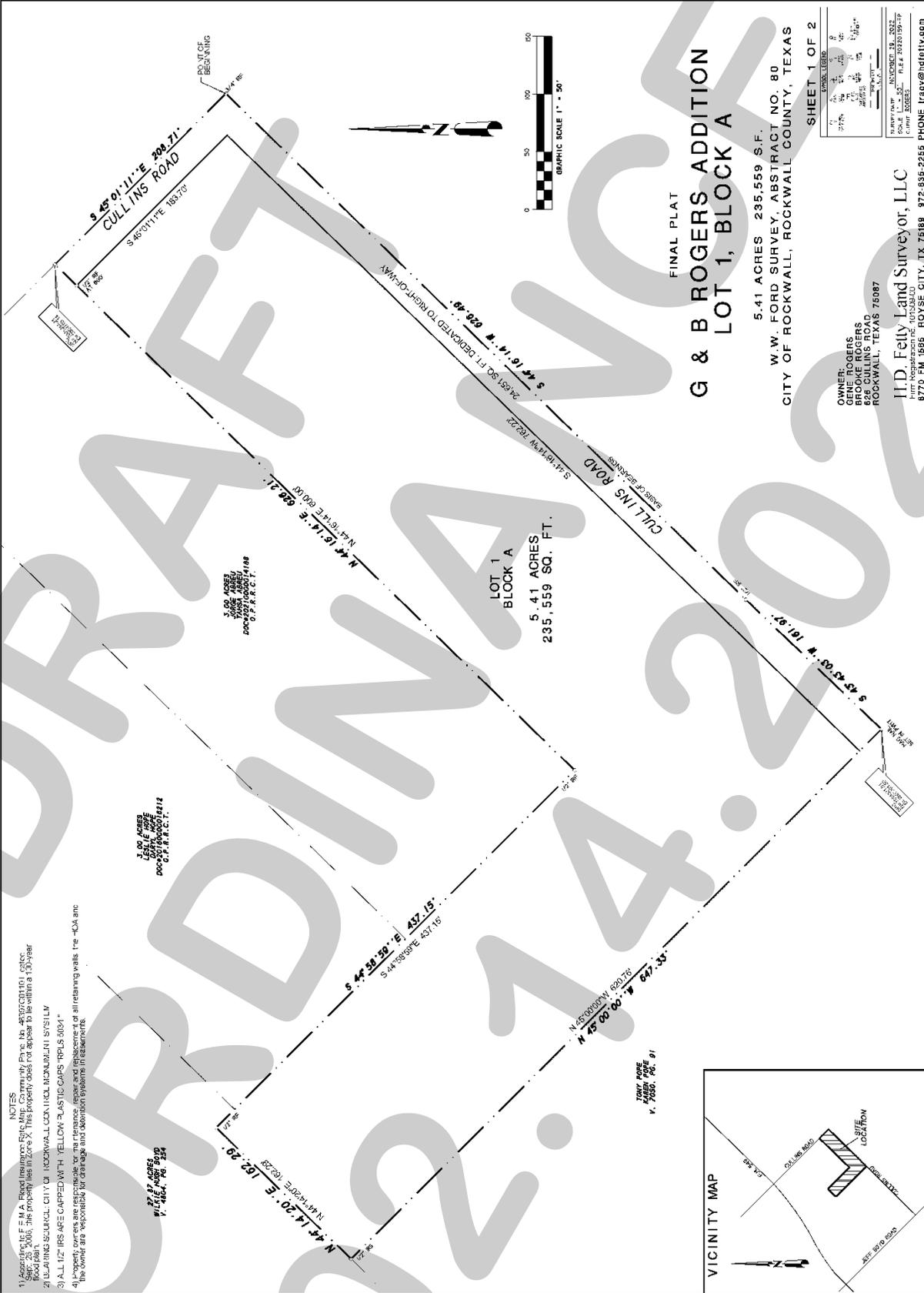
Exhibit 'A'
Legal Description

Addressed: 626 Cullins Road

Legal Description: A Portion of Tract 4-06 and All of Tract 4-2 of the W. W. Ford Survey, Abstract No. 80



Exhibit 'B'
Survey





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Urbano Fernandez
CASE NUMBER: Z2023-007; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision*

SUMMARY

Hold a public hearing to discuss and consider a request by Urbano Fernandez for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.27-acre parcel of land identified as Lot 905A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 124 Lynne Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 905A of the Rockwall Lake Estates #2 Addition on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 124 Lynne Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Evans Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Big League Sports Academy Inc. (*i.e. Tract 26-1 of the W.W. Ford Survey, Abstract No. 80*) which is zoned Commercial (C) District, and addressed as 505 County Line Road.

East: Directly east of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Chris Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Blanche Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates #2 Addition in the Lake Rockwall Estates Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) and designated for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Lynne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Lynne Drive in a Close Proximity to the Subject Property	Proposed House
Building Height	One (1) and two (2) story	One (1) Story
Building Orientation	Orientation differs.	The front elevation of the home will face onto County Line Road.
Year Built	1970-2021	N/A
Building SF on Property	720 SF – 3,025 SF	3,141 SF
Building Architecture	Single-Family and Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	20-Feet
Building Materials	Brick, Vinyl Siding, and Modular Panels	Brick
Paint and Color	Brown, Tan, Blue, White, Green & Red	N/A
Roofs	Composite Shingles & Metal	N/A
Driveways/Garages	Flat-Front Entry, Carports, and Single-Family Homes without Garages	N/A

The proposed single-family home meets all of the density and dimensional requirements for a property situated within a Single-Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Lynne Drive, and the proposed building elevations in the attached packet.

NOTIFICATIONS

On January 27, 2022, staff mailed 111 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner’s Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating

in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in Exhibit 'B' of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22023 -

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 124 Lynne Dr Rockwall TX 75087
 SUBDIVISION: Rockwall Lake Properties LOT 905A BLOCK
 GENERAL LOCATION: Rockwall, TX

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	CURRENT USE	
PROPOSED ZONING	PROPOSED USE	
ACREAGE	LOTS [CURRENT]	LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER	APPLICANT
<input checked="" type="checkbox"/> <i>Urbano Fernandez</i>	<input type="checkbox"/>
CONTACT PERSON	CONTACT PERSON
ADDRESS: 1235 W CR 3423 Wills Point TX 75169	ADDRESS
CITY, STATE & ZIP	CITY, STATE & ZIP
PHONE: 469 474 4213	PHONE: (469) 474-4213
E-MAIL: Urbano	E-MAIL: afchomes75@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Urbano Fernandez Alvarez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

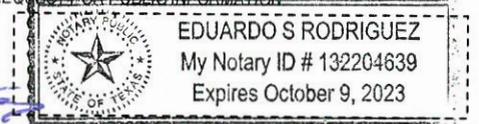
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20th DAY OF January, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20th DAY OF January, 2023

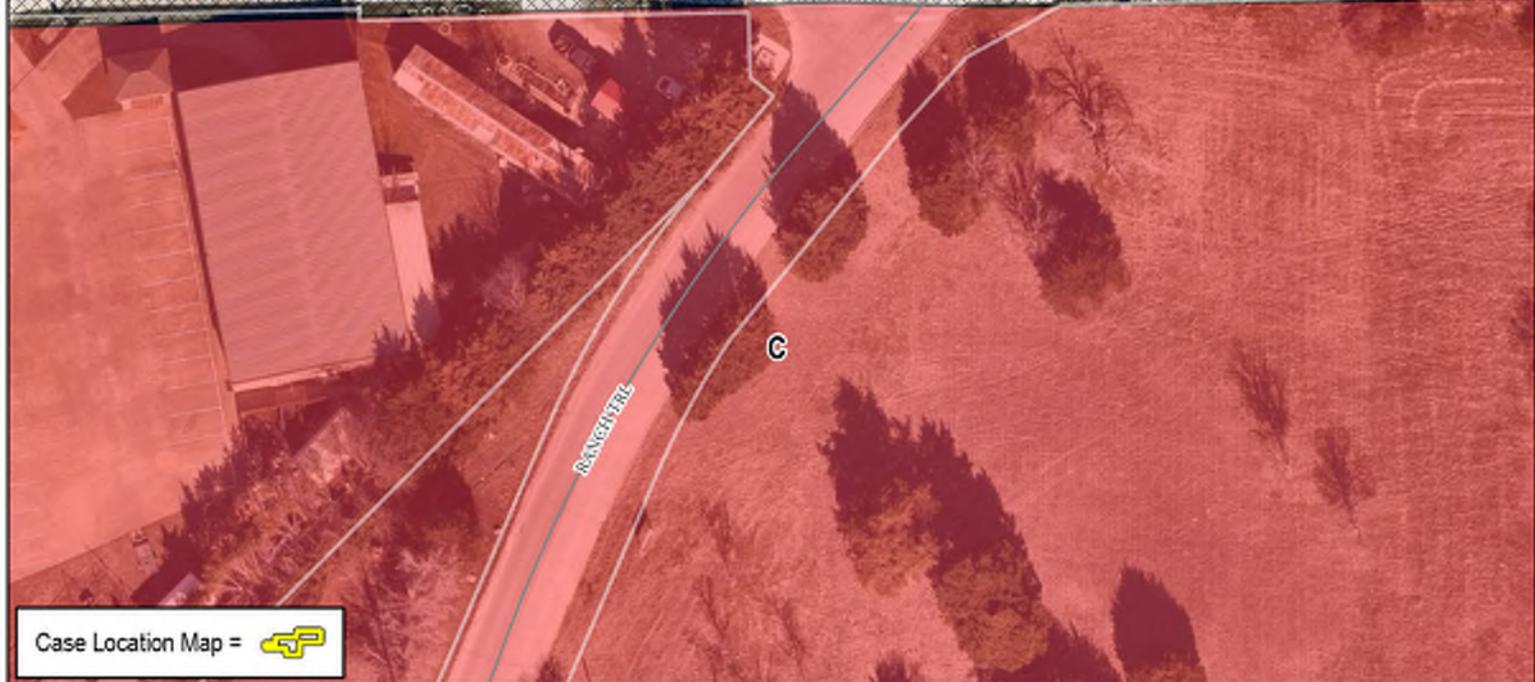
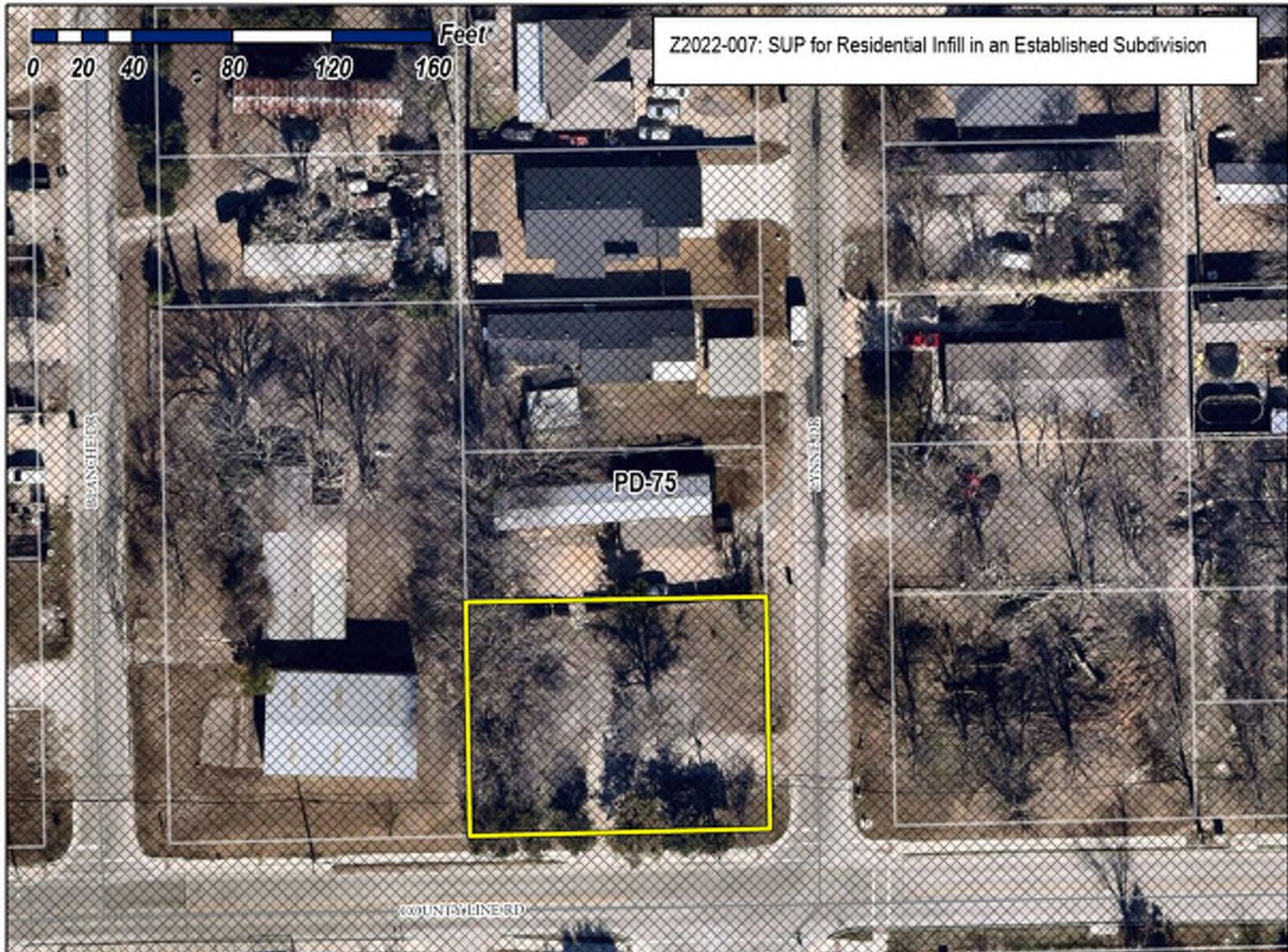
OWNER'S SIGNATURE *Urbano Fernandez*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Eduardo S. Rodriguez



MY COMMISSION EXPIRES 10/9/2023



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

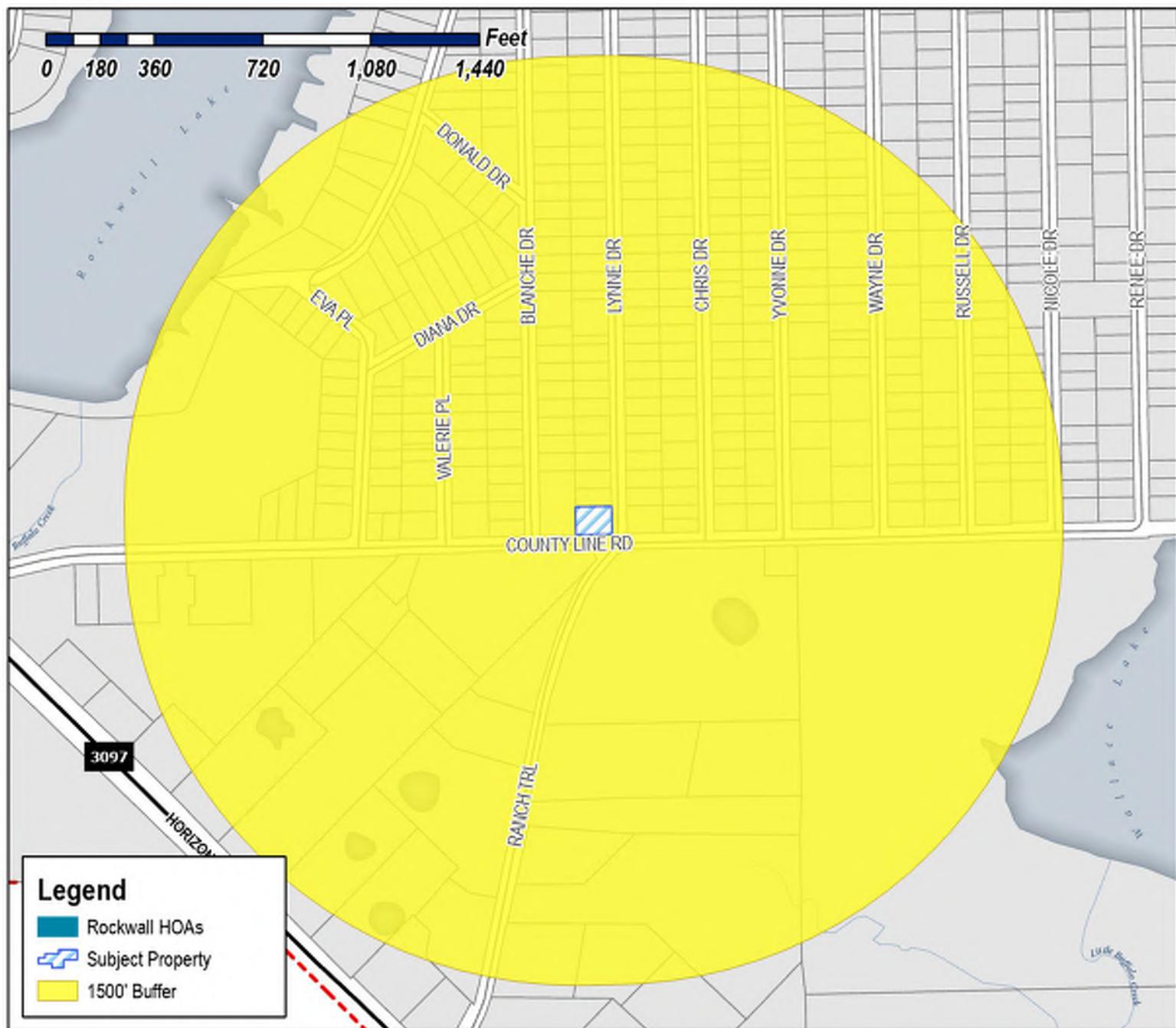




City of Rockwall

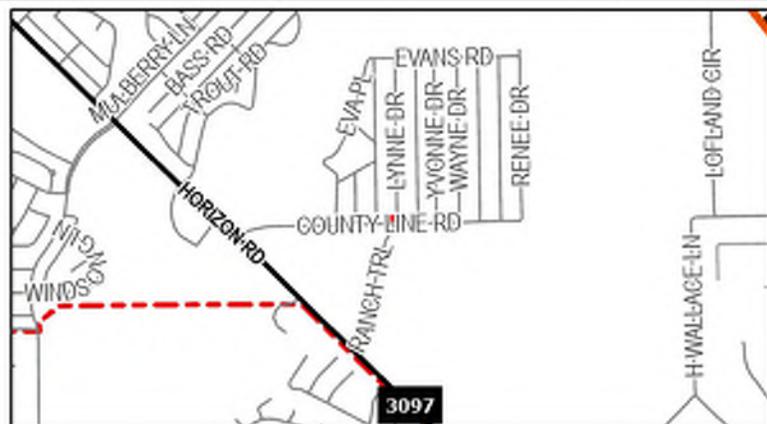
Planning & Zoning Department
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Case Number: Z2023-007
Case Name: SUP for Residential Infill in an Established Subdivision
Case Type: Zoning
Zoning: Planned Development 75 (PD-75)
Case Address: 124 Lynne Drive

Date Saved: 1/21/2023
 For Questions on this Case Call (972) 771-7745

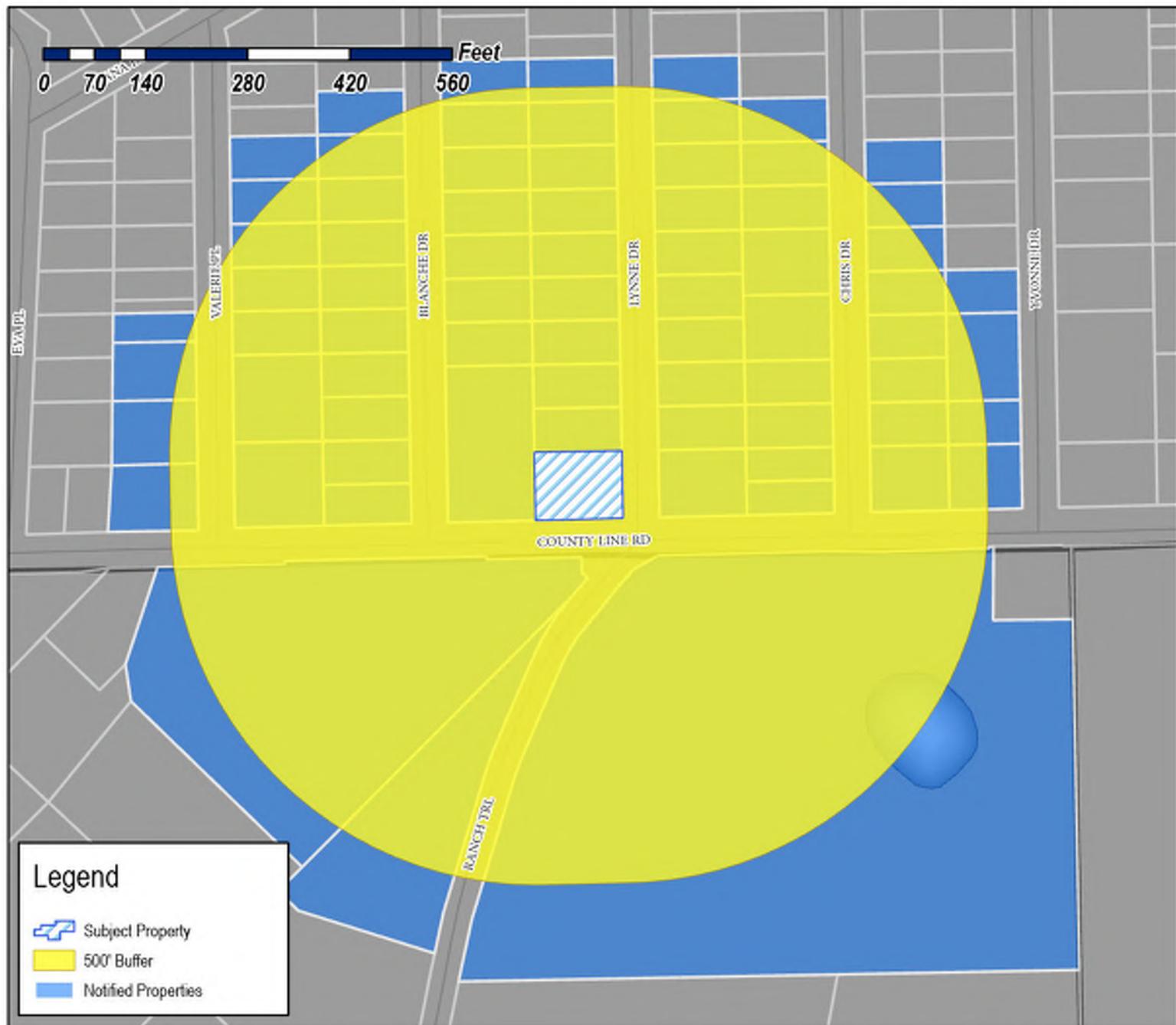




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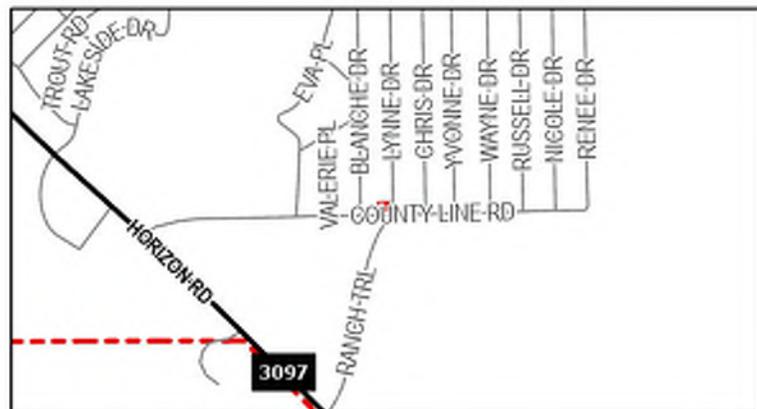
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Case Number: Z2023-007
Case Name: SUP for Residential Infill in an Established Subdivision
Case Type: Zoning
Zoning: Planned Development 75 (PD-75)
Case Address: 124 Lynne Drive

Date Saved: 1/21/2023

For Questions on this Case Call: (972) 771-7746



OCCUPANT
121 LYNNE DR
ROCKWALL, TX 75032

MAYES CHRISTOPHER
210 CARRIAGE HILL LN
HEATH, TX 75032

OCCUPANT
112 CHRIS DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

CANIZALES ELIDA VILLAREAL
115 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
124 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ RICARDO
2847 TANGLEGLEN DR
ROCKWALL, TX 75032

OCCUPANT
131 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
130 CHRIS DR
ROCKWALL, TX 75032

CARES HOME BUILDER INC
705 LAKESIDE DR
ROCKWALL, TX 75032

RANGEL ADELA
125 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
144 LYNNE DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

OCCUPANT
143 LYNNE DR
ROCKWALL, TX 75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX 75032

SANCHEZ ROSA & ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
154 LYNNE DR
ROCKWALL, TX 75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX 75032

PEREZ GILBERTO AND
JUANITA PEREZ
157 LYNNE DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS DR
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
215 LYNNE DR
ROCKWALL, TX 75032

UNDERWOOD TAMMY M AND
CAITLIN A DAVIS-WILSON
203 LYNNE DRIVE
ROCKWALL, TX 75032

OCCUPANT
204 CHRIS DR
ROCKWALL, TX 75032

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

OCCUPANT
225 LYNNE DR
ROCKWALL, TX 75032

ESPARZA JUANA
15047 SE 152ND DR
CLACKAMAS, OR 97015

OCCUPANT
219 BLANCHE DR
ROCKWALL, TX 75032

GUADALUPE JOSE AND
ANGELA ANN GUTIERREZ
229 BLANCHE DR
ROCKWALL, TX 75032

PEREZ FERMIN
230 LYNNE DR
ROCKWALL, TX 75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX 75032

OCCUPANT
149 VALERIE PL
ROCKWALL, TX 75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
204 LYNNE DR
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

UNDERWOOD TAMMY M AND CAITLIN A DAVIS-
WILSON
203 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
196 CHRIS DR
ROCKWALL, TX 75032

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

OCCUPANT
193 CHRIS DR
ROCKWALL, TX 75032

RANGEL JUAN
4427 FM 550
ROYSE CITY, TX 75187

OCCUPANT
132 VALERIE PL
ROCKWALL, TX 75032

PAVON MARISOL
810 E. DOUGHERTY DR
GARLAND, TX 75041

OCCUPANT
420 COUNTY LINE RD
ROCKWALL, TX 75032

NAVA GUILLIERMO & VANESSA
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
159 CHRIS DR
ROCKWALL, TX 75032

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

GOMEZ ALEJANDRO
175 BLANCHE DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
179 LYNNE DR
ROCKWALL, TX 75032

CRUZ IGNACIO
212 LYNNE DR
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
185 BLANCHE DR
ROCKWALL, TX 75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

GUTIERREZ DONATILO & BLANCA
192 LYNNE DR
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

ESQUIVEL ZAIDA
186 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
187 VALERIE PL
ROCKWALL, TX 75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
397 CHRIS DR
ROCKWALL, TX 75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX 75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX 75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
109 BLANCHE DR
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
124 LYNNE DR
ROCKWALL, TX 75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
163 BLANCHE DR
ROCKWALL, TX 75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
144 BLANCHE DR
ROCKWALL, TX 75032

GARCIA MARTIN
590 SUN VALLEY DR
ROYSE CITY, TX 75189

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX 75032

OCCUPANT
168 BLANCHE DR
ROCKWALL, TX 75032

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
137 VALERIE PL
ROCKWALL, TX 75032

MOONEY GERALD M & JEWELL F REV LIV TR
6379 KLONDIKE RD
RIPLEY, NY 14775

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX 75032

OCCUPANT
118 BLANCHE DR
ROCKWALL, TX 75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX 75032

OCCUPANT
120 BLANCHE DR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

OCCUPANT
132 BLANCHE DR
ROCKWALL, TX 75032

FLORES DAYANARA &
JAMES GLEASON
611 MEADOW DR
ROCKWALL, TX 75032

OCCUPANT
214 BLANCHE DR
ROCKWALL, TX 75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX 75087

OCCUPANT
175 VALERIE PL
ROCKWALL, TX 75032

LOC PHU AND VINCENT TONG
1414 BUFFALO WOODS CT
KATY, TX 77494

OCCUPANT
178 BLANCHE DR
ROCKWALL, TX 75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DR
ROCKWALL, TX 75032

HILTON THOMAS
135 CHRIS DR
ROCKWALL, TX 75032

OCCUPANT
150 CHRIS DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

CHEPETLA ANTHONY
167 LYNNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX 75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX 75032

OCCUPANT
505 COUNTY LINE RD
ROCKWALL, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

OCCUPANT
382 RANCH TRL
ROCKWALL, TX 75032

ARMS OF AMERICA LLC AND
C2LA LLC
525 E CENTERVILLE RD
GARLAND, TX 75041

OCCUPANT
405 RANCH TRL
ROCKWALL, TX 75032

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX 75032

OCCUPANT
124 CHRIS DR
ROCKWALL, TX 75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-007: SUP for Residential Infill in an Established Subdivision

Hold a public hearing to discuss and consider a request by Urbano Fernandez for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.27-acre parcel of land identified as Lot 905A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single- Family 7 (SF-7) District, addressed as 124 Lynne Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, February 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, February 21, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, February 21, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-007: SUP for Residential Infill in an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

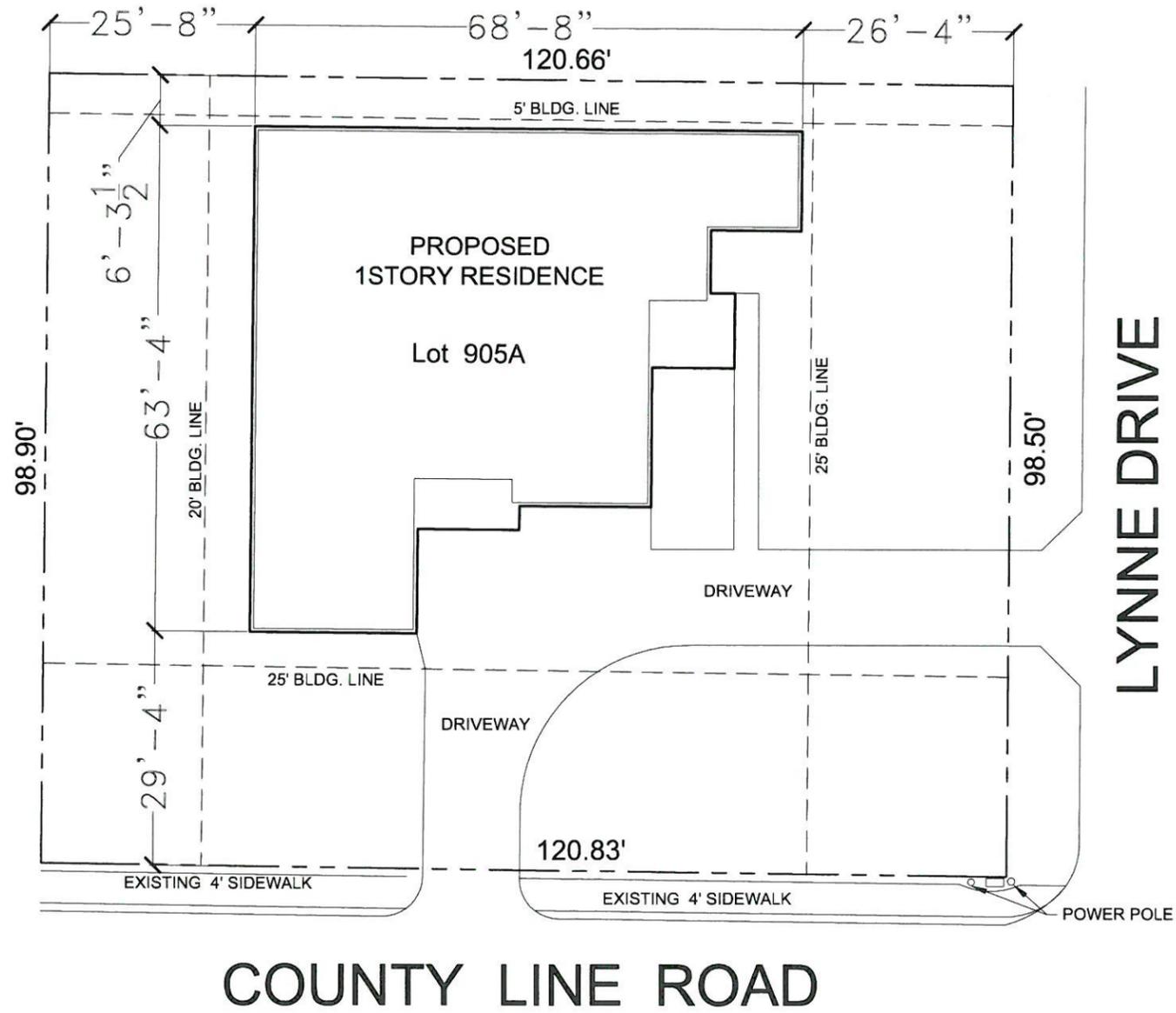
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SCALE: 1" = 20'-0"



REVISIONS:



NEW REISDENCE
540 County Line Road
124 LYNNE DR.
Rockwall, Texas

DRAWN BY:

vg

ISSUED ON:

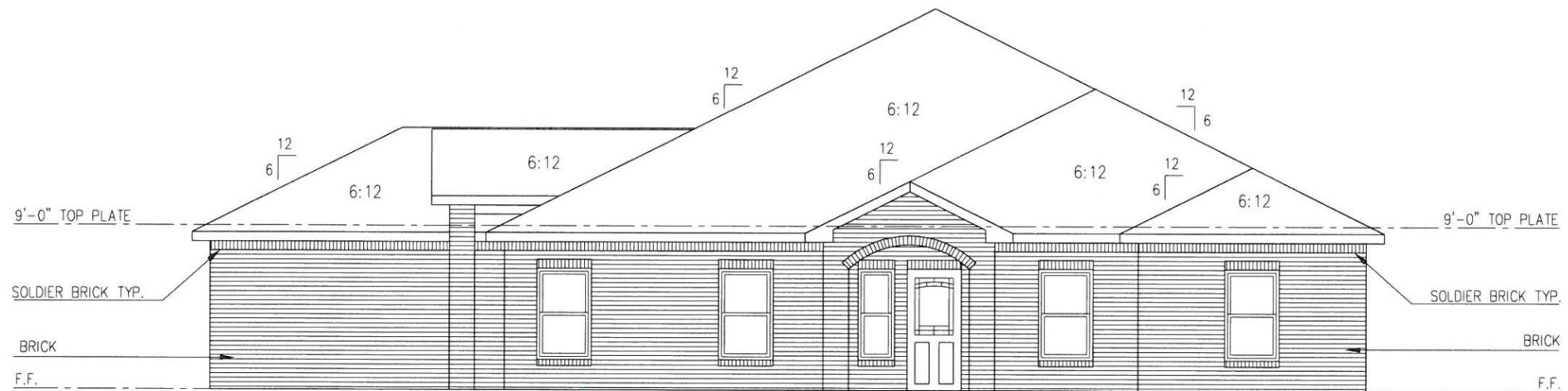
10/14/2022

PLAN NAME:

custom

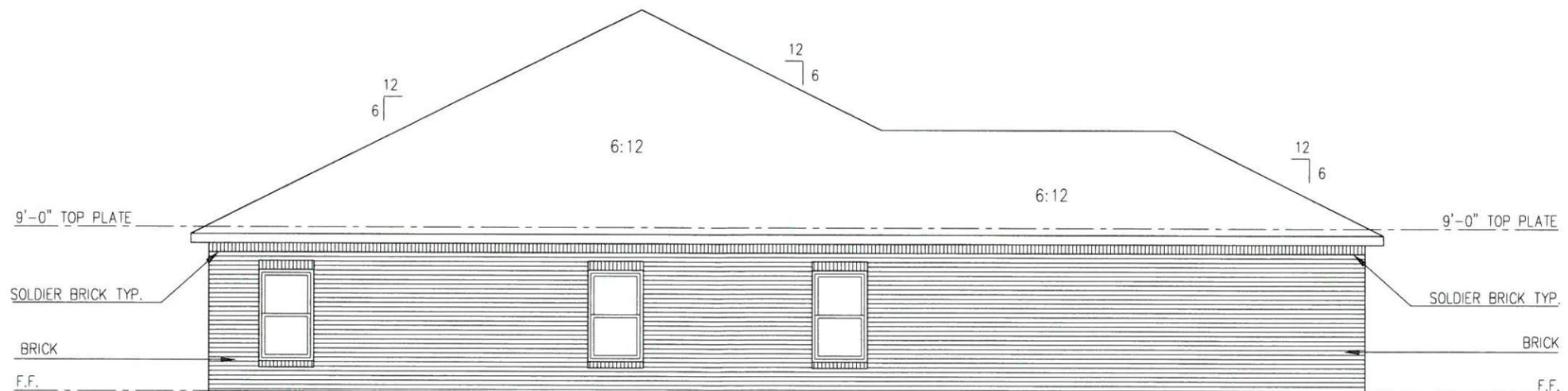
SHEET
PL1

1 of 10



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS:

- 1
- 2
- 3
- 4

NEW REISDENCE
 540 County Line Road
 124 LYNN DR.
 Rockwall, Texas

DRAWN BY:

vg

ISSUED ON:

10/14/2022

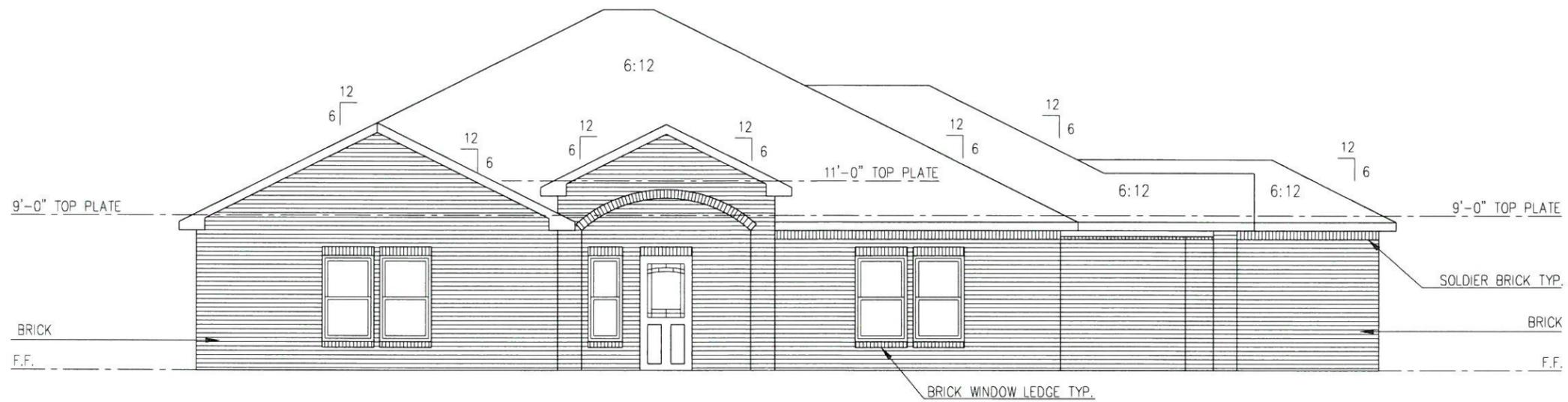
PLAN NAME:

custom

SHEET

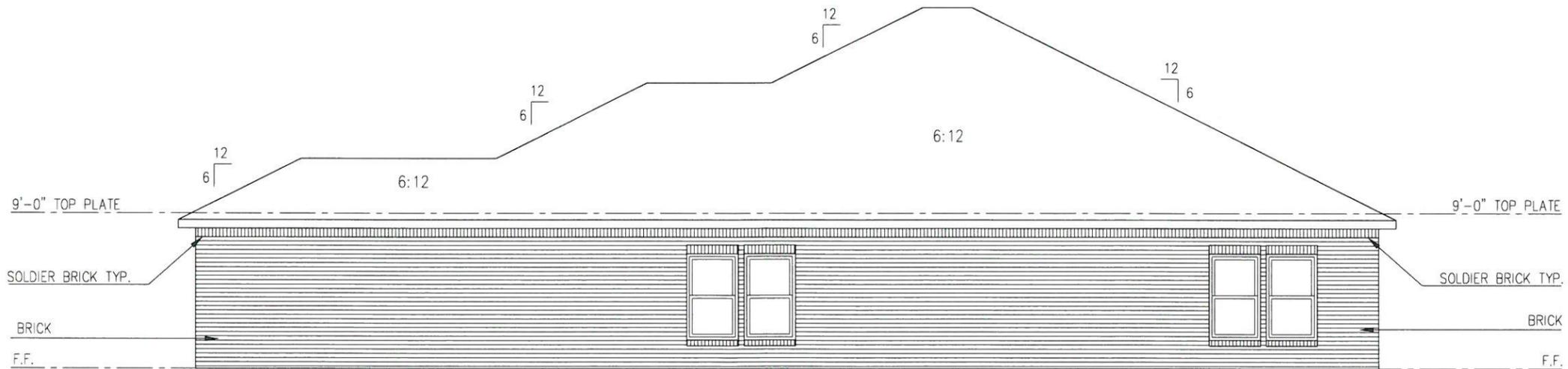
A1

3 of 10



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

REVISIONS:



NEW REISDENCE
 540 County Line Road
 124 LYNNIE DR
 Rockwall, Texas

DRAWN BY:

vg

ISSUED ON:

10/14/2022

PLAN NAME:

custom

SHEET

A2

4 of 10



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	EXTERIOR MATERIALS	ACCESSORY BUILDING
124 Lynne Drive	Subject Property	N/A	N/A	N/A	N/A
144 Lynne Drive	Modular Home	N/A	N/A	Metal	N/A
154 Lynne Drive	Single-Family home	2021	1396	N/A	N/A
164 Lynne Drive	Single-Family home	2004	2,542	Brick, Stone	N/A
178 Lynne Drive	Modular Home	1974	1064	Vinyl	192
192 Lynne Drive	Modular Home	1982	924	Metal	140
204 Lynne Drive	Modular Home	1985	728	Metal	N/A
212 Lynne Drive	Single-Family home	2007	3025	Brick, Stucco, Siding	N/A
230 Lynne Drive	Modular Home	1997	1568	Metal	N/A
254 Lynne Drive	Modular Home	1978	1120	Metal	80
266 Lynne Drive	Storage	N/A	N/A	N/A	160
276 Lynne Drive	Vacant	N/A	N/A	N/A	N/A
288 Lynne Drive	Storage	N/A	N/A	N/A	200
302 Lynne Drive	Storage	N/A	N/A	N/A	120
310 Lynne Drive	Modular Home	1997	756	Metal	N/A
316 Lynne Drive	N/A	N/A	N/A	N/A	N/A
352 Lynne Drive	Modular Home	1976	768	Metal	N/A
362 Lynne Drive	Single-Family home	2012	1328	Siding	N/A
378 Lynne Drive	Single-Family home	1996	1216	Siding	N/A
384 Lynne Drive	Modular Home	1975	1197	Vinyl	N/A
400 Lynne Drive	Modular Home	1970	1064	Wood Siding	N/A
412 Lynne Drive	Modular Home	1975	720	Metal	N/A
420 Lynne Drive	Modular Home	1997	1232	Siding	N/A
438 Lynne Drive	Modular Home	1970	952	Metal	N/A
448 Lynne Drive	Modular Home	1998	2432	Metal	N/A
472 Lynne Drive	Vacant	N/A	N/A	N/A	N/A
490 Lynne Drive	Single-Family home	2005	2188	Brick, Stone	N/A
494 Lynne Drive	Single-Family home	2004	2120	Brick, Stone	N/A
498 Lynne Drive	Single-Family home	2005	2352	Brick, Stone	N/A
520 Lynne Drive	Single-Family home	2007	2187	Brick, Stone	N/A
532 Lynne Drive	Modular Home	1980	970	Wood Siding	100
538 Lynne Drive	Modular Home	1971	720	Metal	64
552 Lynne Drive	Modular Home	1976	1120	Metal	N/A
Averages		1991	1428 SF		132 SF



CITY OF ROCKWALL

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124 Lynne Drive



144 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

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154 Lynne Drive



164 Lynne Drive



CITY OF ROCKWALL

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

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178 Lynne Drive



192 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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204 Lynne Drive



212 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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230 Lynne Drive



254 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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266 Lynne Drive



276 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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288 Lynne Drive



302 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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310 Lynne Drive



316 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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352 Lynne Drive



362 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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378 Lynne Drive



384 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



400 Lynne Drive



412 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

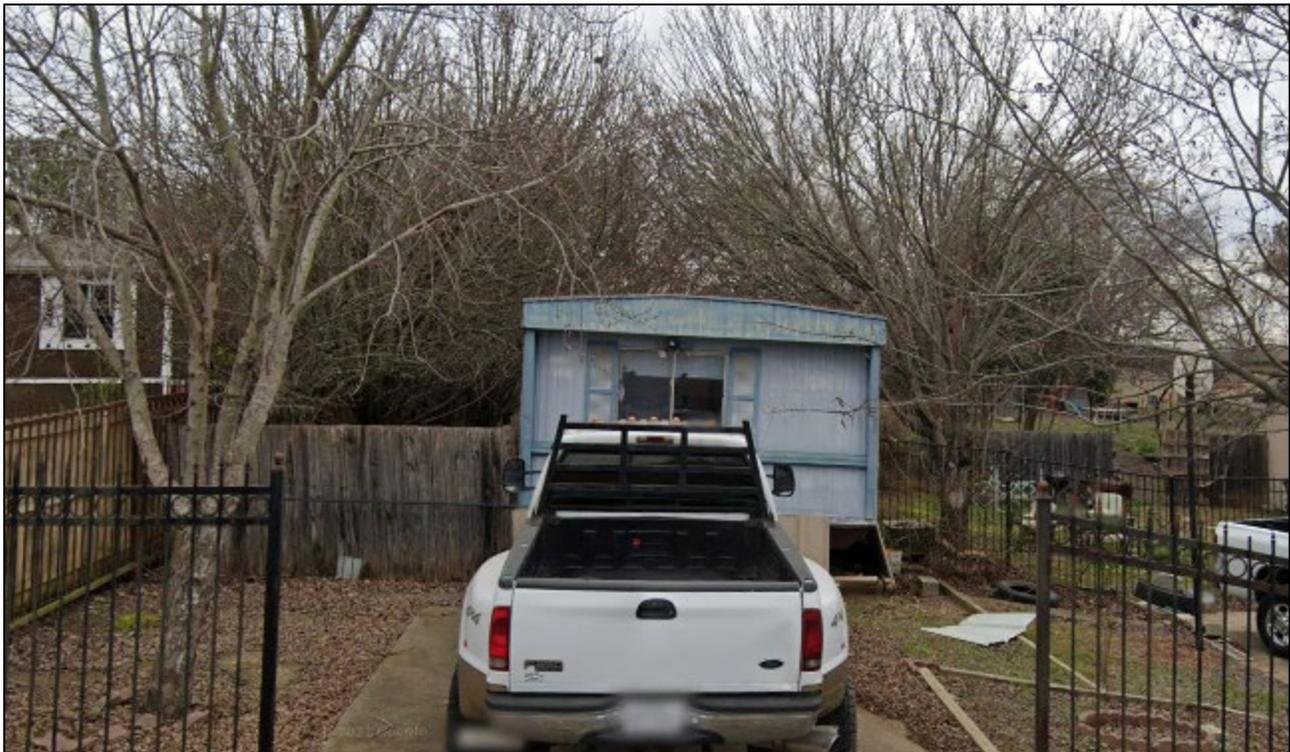
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



420 Lynne Drive



438 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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448 Lynne Drive



472 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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490 Lynne Drive



494 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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498 Lynne Drive



520 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



532 Lynne Drive



538 Lynne Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-007

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



552 Lynne Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.27-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 905A OF THE LAKE ROCKWALL ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Urbano Fernandez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.27-acre parcel of land identified as Lot 905A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 125 Lynne Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF MARCH, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: February 21, 2023

2nd Reading: March 6, 2023

**Exhibit 'B':
Residential Plot Plan**

Address: 125 Lynne Drive

Legal Description: Lot 905A of the Lake Rockwall Estates #2 Addition

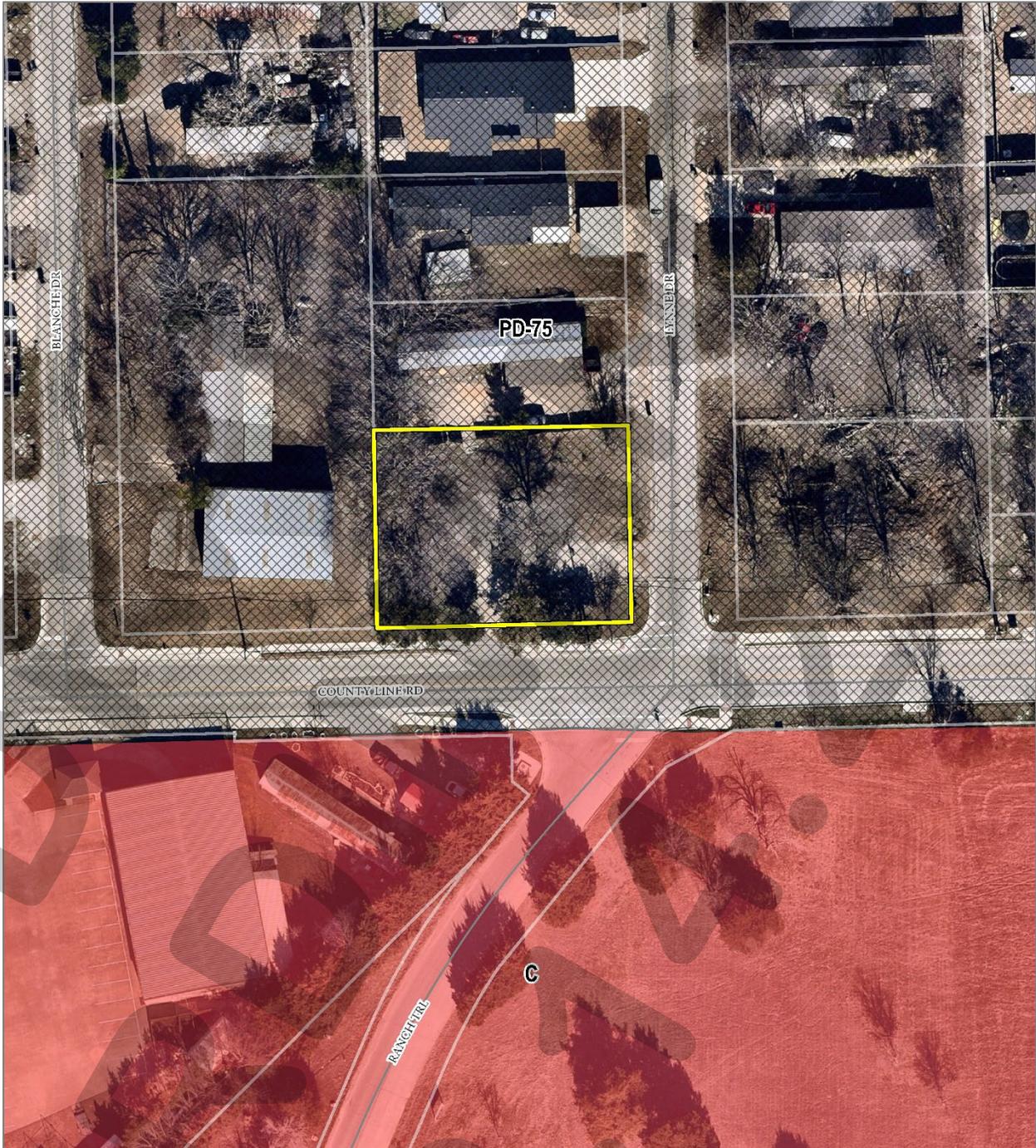


Exhibit 'B':
Residential Plot Plan

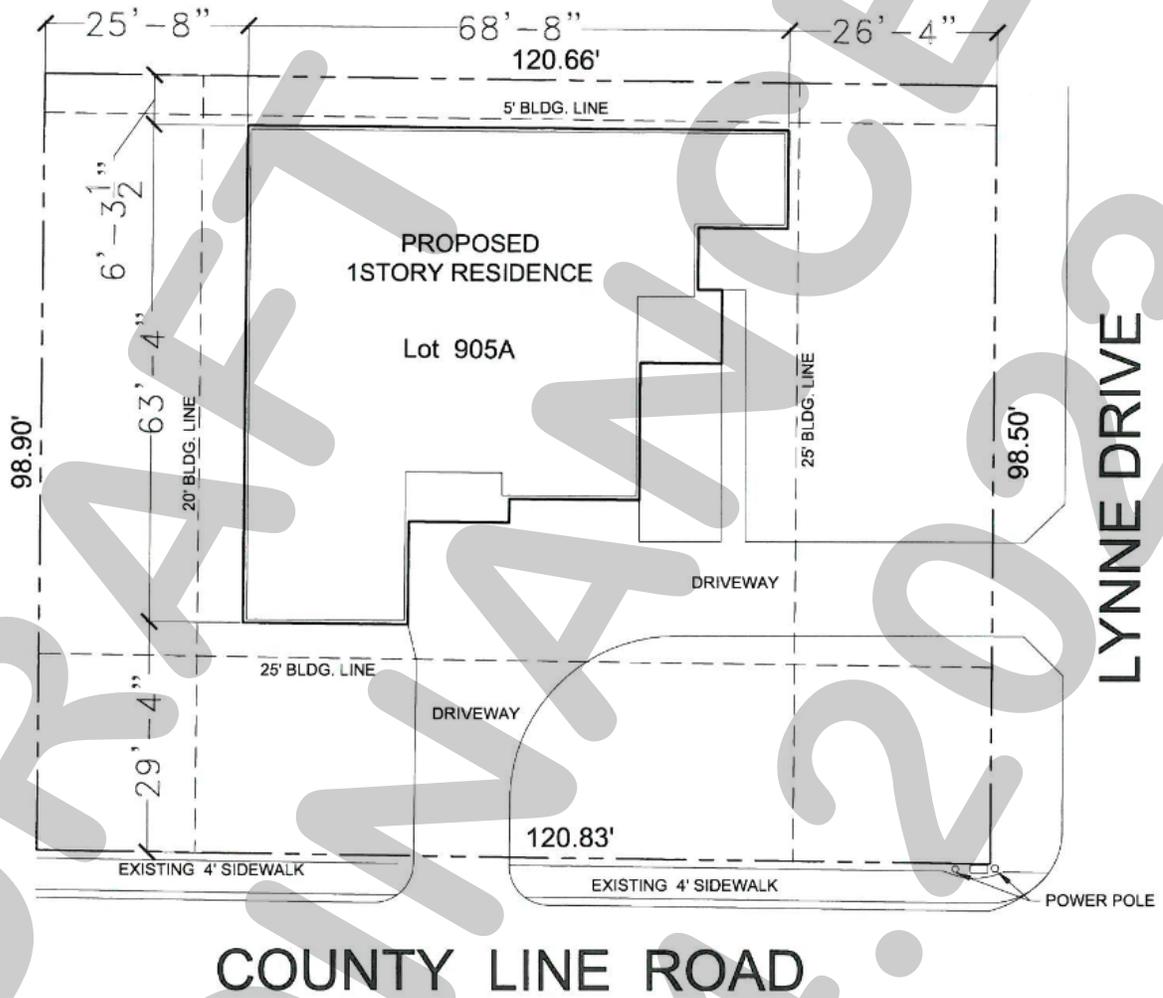


Exhibit 'C':
Building Elevations

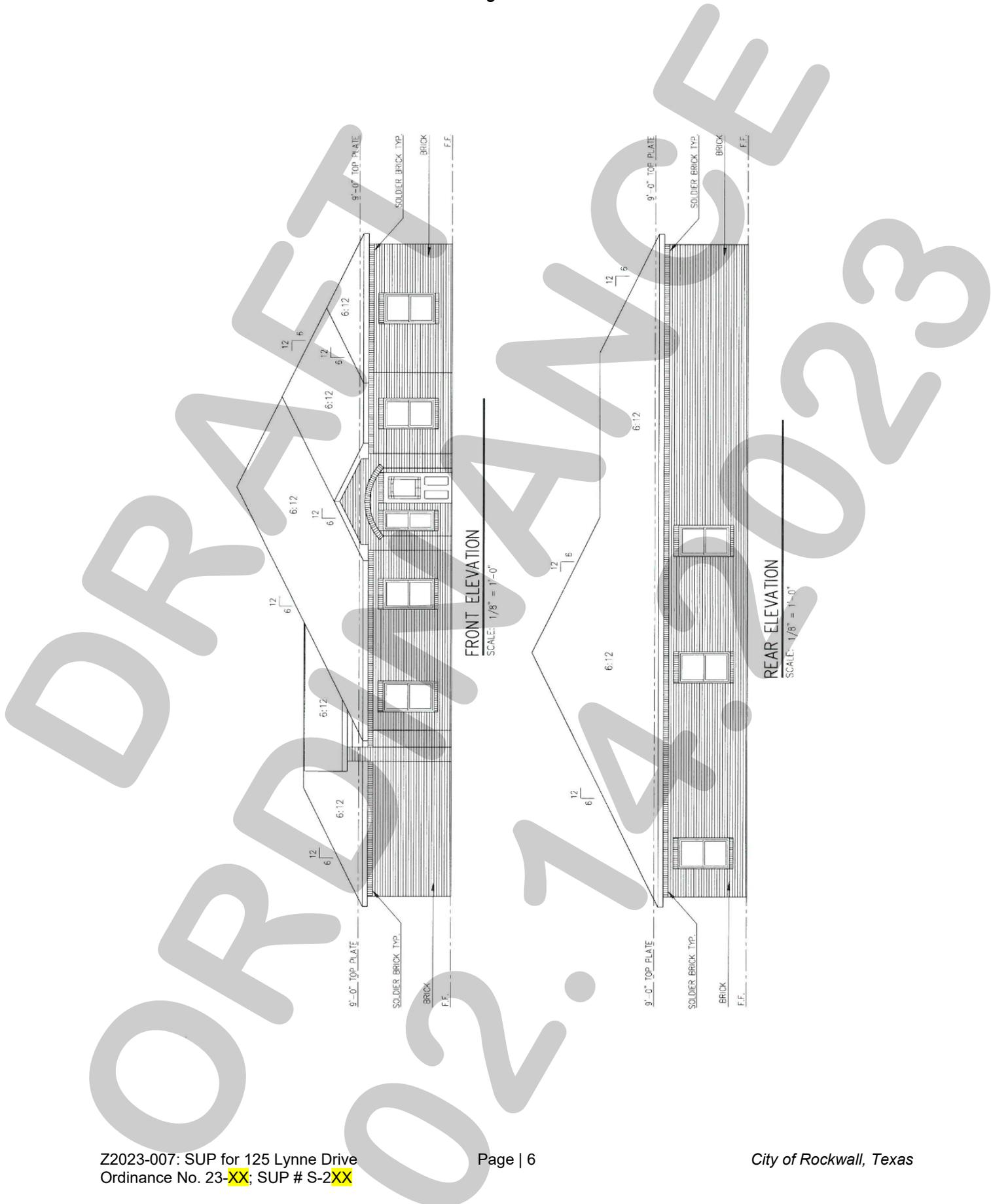
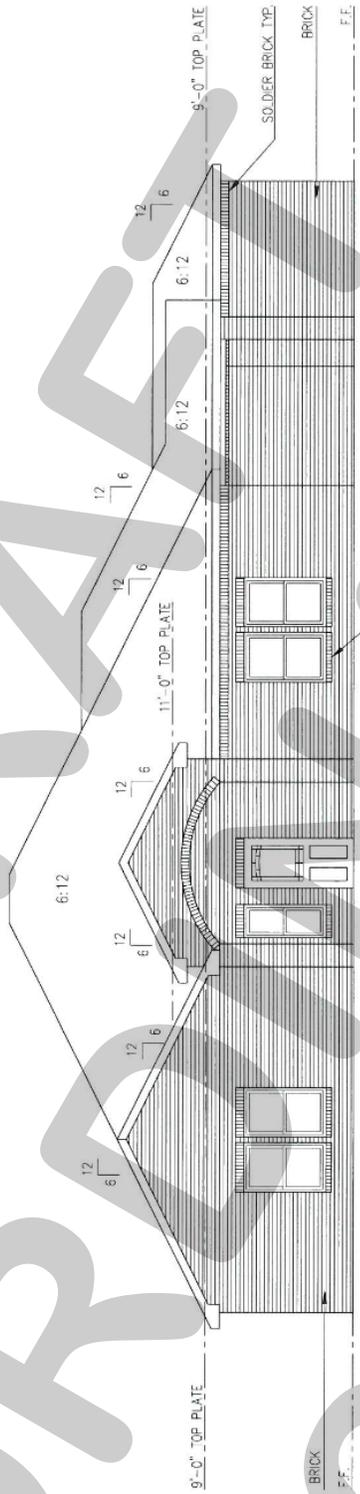
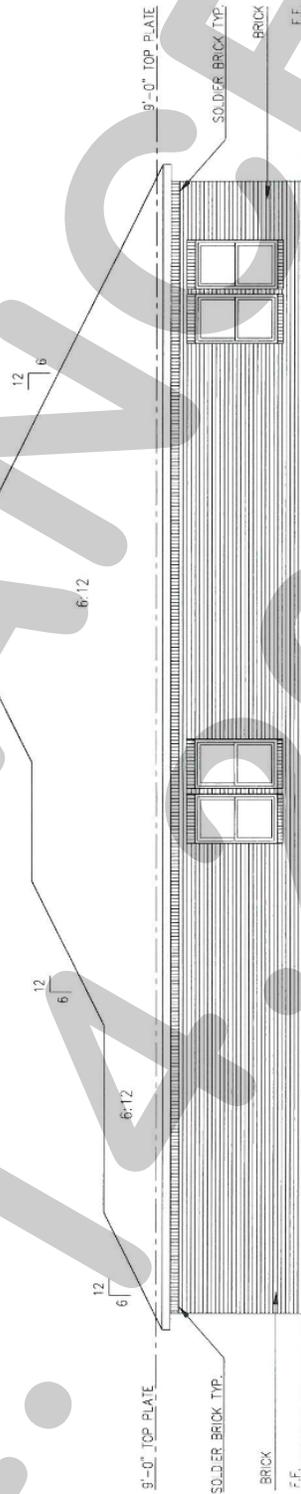


Exhibit 'C':
Building Elevations



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Juan Vasquez; *Vasquez Engineering, LLC*
CASE NUMBER: SP2023-003; *Site Plan for a Daycare at 3255 Dalton Road*

SUMMARY

Discuss and consider a request by Juan Vasquez of Vasquez Engineering, LLC on behalf of Donald Silverman of Rockwall 205- 552, LLC for the approval of a Site Plan for a *Daycare with Seven (7) or More Children* on a 1.35-acre parcel of land identified as Lot 7, Block A, Dalton Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3255 Dalton Road, and take any action necessary.

BACKGROUND

The subject property was annexed on November 7, 1983 by *Ordinance No. 83-57 [i.e. Case No. A1983-002]*. According to the 1993 historic zoning map, at some point between the time of annexation and December 7, 1993 the subject property was rezoned from Agricultural (AG) District to General Retail (GR) District. On August 1, 2016, the City Council approved a final plat [*i.e. Case No. P2016-034*] for the subject property establishing it as Lot 2, Block A, Dalton Goliad Addition. On December 7, 2020, the City Council approved a replat [*i.e. Case No. P2020-048*] of the subject property establishing it as Lot 7, Block A, Dalton Goliad Addition. The subject property has remained vacant since the time of annexation.

PURPOSE

On January 20, 2023, the applicant -- *Juan Vasquez of Vasquez Engineering, LLC* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Daycare with Seven (7) or More Children* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 3255 Dalton Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant 2.402-acre parcel of land (*i.e. Lot 6, Block A, Dalton Goliad Addition*) zoned General Retail (GR) District. Beyond this are Phases 1 & 2 of the Harlan Park Subdivision, which are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property is Dalton Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.52-acre parcel of land (*i.e. Lot 1, Block A, Free Methodist Church of North America Addition*) developed with a *House of Worship* and zoned Single-Family 16 (SF-16) District. Following this are three (3) parcels of land, two (2) developed with single-family homes (*i.e. Lots 1A & 2A of the Dirkwood Estates Addition*) and one (1) vacant parcel of land (*i.e. Lot 2AB of the Dirkwood Estates Addition*). All three (3) properties are zoned Planned Development District 37 (PD-37) for Single-Family 16 (SF-16) District land uses.

East: Directly east of the subject property is 1.972-acre parcel of land (*i.e. Lot 1, Block A, Dalton Goliad Addition*) developed with a grocery store and zoned General Retail (GR) District. Beyond this is N. Goliad Street, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan

contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are two (2) parcels of land (i.e. Lots 2 & 4, Block A, Hillcrest Center Addition) developed with a Retail Store with Gasoline Sales that has Two (2) or less Dispensers and a Restaurant with less than 2,000 SF with Drive-Through or Drive-In. Both parcels of land are zoned General Retail (GR) District.

West: Directly west of the subject property is a 11.599-acre parcel of land (i.e. Lot 1, Block A, Rockwall School North Addition) developed with a Public or Private Primary School and zoned Single-Family 10 (SF-10) District. Beyond this is Phase 1 of the Harlan Park Subdivision and Heritage Heights Subdivision, which are both zoned Single-Family 10 (SF-10) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC), a Daycare with Seven (7) or More Children is a permitted by-right with conditions land use in a General Retail (GR) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a General Retail (GR) District with the exception of the items noted in the Variances and Exceptions Requested by the Applicant section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>X=1.354-acres; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X= 187.94-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=314.34-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X>15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>20-Feet</i>	<i>X>20-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>36-Feet</i>	<i>X=27.25-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>X=18.83%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1 Parking Space/300 SF (37 Required)</i>	<i>X=38; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=22.42%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=77.58%; In Conformance</i>

TREESCAPE PLAN

No trees are being removed from the subject property. Based on this no Treescape Plan is required.

CONFORMANCE WITH THE CITY’S CODES

The applicant is requesting to construct a Daycare with Seven (7) or More Children on the subject property. According to Subsection 02.02(C)(9), Office Building, of Article 13, Definitions, of the Unified Development Code (UDC), a Daycare is defined as a “...state licensed facility -- other than a public, parochial, or private school -- providing care for seven (7) or more children under the age of 14 years old for less than 24-hours per day (typically daytime hours only) at a location other than a residence.” In this case, the applicant’s request for the Daycare with Seven (7) or More Children land use is permitted by right with the conditions stipulated by Section 01, Land Use Schedule, of Article 04, Permissible Uses, of the Unified Development Code (UDC).

According to Subsection 05.02 (B), Screening from Residential, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC), “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property.” This section also states that either a six (6) foot masonry wall with canopy trees or, as an alternative screening method, three (3) tiered screening shall be utilized to screen the non-residential use. In this case, the applicant’s west property line is adjacent to a Public or Private Primary School (i.e. Nebbie Williams Elementary) and is zoned Single-Family 10 (SF-10) District. To provide the required screening from residential, the applicant is proposing the use of three (3) tiered screening along the entire western property line. Per Subsection 05.02 (B) of Article 08 of the Unified Development Code (UDC) this will require approval from the Planning and Zoning Commission. If approved the Planning and Zoning Commission should include the alternative screening method in their motion.

The proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exceptions being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance and exception:

(1) Architectural Standards.

- (a) Four (4) Sided Architecture. According to Subsection 06.02 (C)(5), *Four (4) Sided Architecture*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the applicant is required to meet the building articulation standards for the primary building façade on all sides of the building. Given the proposed building elevations the applicant does not meet the wall length requirements. This will require a variance from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(2) Fence Standards.

- (a) Non-Residential Fences. According to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), states that on non-residential properties masonry and wrought fences are permitted. In this case, the applicant is requesting a solid vinyl fence. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At the time this report was drafted the applicant had not indicated any compensatory measures for the variance and exception requested. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the North Lakeshore District. The North Lakeshore District "...established district that is significantly developed with medium density, suburban housing." *Strategy #2* in the North Lakeshore District indicates that "(t)he commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the applicant is [1] proposing a *Daycare with Seven (7) or More Children*, which is a land use that supports the existing residential, and [2] the proposed building elevations incorporate a residential style while utilizing materials that compliments the adjacent developments. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On February 7, 2023 the Architecture Review Board reviewed the building elevations provided by the applicant and made the following recommendations: [1] add gable roofs on the east and west side projecting elements, [2] continue the stone up the

columns, and [3] switch the dark and light brick. The ARB decided not to take action until new building elevations are provided by the applicant for the February 14, 2023 ARB meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Daycare with Seven (7) or More Children* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Dalton Road

SUBDIVISION Dalton Goliad Addition

LOT 7 BLOCK A

GENERAL LOCATION One lot west of the northwest corner of S.H. 205 & Dalton Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING GR w/N. SH 205 Overlay

CURRENT USE Vacant

PROPOSED ZONING GR w/N. SH 205 Overlay

PROPOSED USE Child Care Center

ACREAGE 1.35

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Rockwall 205-552 LLC

APPLICANT Vasquez Engineering L.L.C.

CONTACT PERSON Donald Silverman

CONTACT PERSON Juan J. Vasquez

ADDRESS 4622 Maple Ave.

ADDRESS 1919 S. Shiloh Road

Suite 200

Suite 440

CITY, STATE & ZIP Dallas, TX

CITY, STATE & ZIP Garland, TX 75042

PHONE 214-393-3983

PHONE 972-278-2948

E-MAIL dsilverman@mqcompanies.com

E-MAIL jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

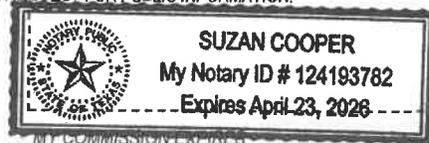
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Donald Silverman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 217.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20TH DAY OF JANUARY 20 23. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 3rd DAY OF January, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

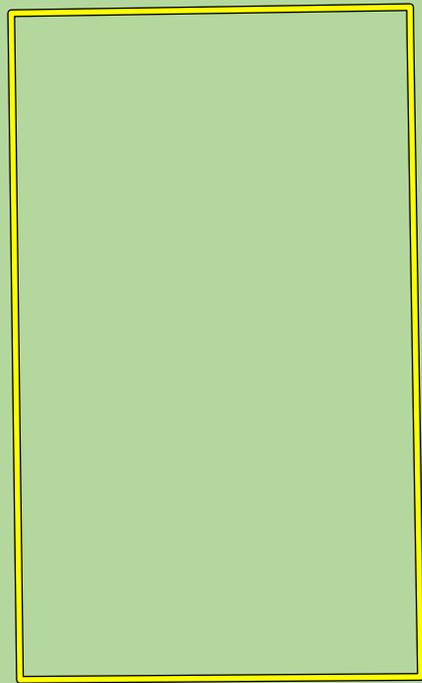


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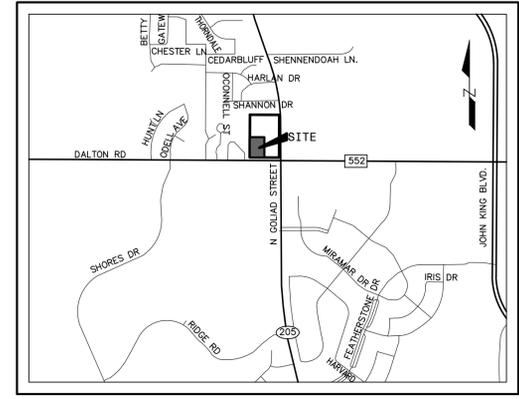
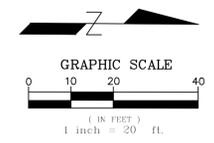
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&DVH /RFDWFRQ 0DS



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6 *ROLDG 6WUHHW WLPHO\ DQG DFFXUDWH LQIRUPDWLRQ ZL\ PDNH
5RFNZDOO 7H\DV 5RFNZDOO PDNHV QR ZDUUDQW\ H\SUHV\RU LPS
3 PHUFKDQWDELOLW\ DQG ILWQHVV IRU D SDUWLFX
: ZZZ URFNZDOO FRP LV WKH VROH UHVSQRVLELOLW\ R\ WKH X

- NOTES**
1. TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC., DATED 12/28/2022.
 2. REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE NOTED.
 4. ALL RADII NOT LISTED ARE 2' FACE OF CURB.
 5. SEE LANDSCAPE PLAN FOR SITE LANDSCAPING.



LOCATION MAP
N.T.S.

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
---	CENTER LINE	---
---	CONC WALK	---
---	PARKING COUNT	(19)
---	LANDSCAPE	LS
---	FENCE	---
W	WATER LINE	---
8"SS	SANITARY SEWER	---
E	U.G. ELEC	E
O.H.U	O.H. ELEC	---
T	TELEPHONE LINE	T
G	GAS LINE	GAS
---	STORM SEWER	SD
---	WATER VALVE	---
---	FIRE HYDRANT	---
---	WATER METER	---
---	SAN. SEWER MH	---
---	LIGHT POLE	---
---	POWER POLE	---
---	GAS METER	---

SITE SUMMARY TABLE

Site Address	320 DALTON ROAD
County	ROCKWALL
Project Name	LEARNING CARE CENTER
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT
Proposed use	CHILD CARE CENTER
Site Area:	1.354 Acres 58,974 S.F.
Building Area	11,109 S.F.
Building Height:	1 Story
Lot Coverage:	11,109 / 58,974 = 18.83%
Floor Area Ratio:	11,109 S.F. / 58,974 = 1:18.83
Parking Required Building:	11,109 S.F.
Total Parking Required:	CHILD CARE CENTER (1 SPCS/300 SF) = 37 SPACES = 37 SPACES
Parking Provided:	REGULAR = 36 SPACES ACCESSIBLE = 2 SPACES TOTAL = 38 SPACES
Impervious Area:	45,695 S.F.
Impervious Area Ratio:	45,695 S.F. / 58,974 = 77.58%
Pervious Area Ratio:	13,279 S.F. / 58,974 = 22.42%

SITE PLAN
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
1.354 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
FEBRUARY 07, 2023
CASE #SP2023-003

DALTON ROAD
(80' RIGHT-OF-WAY)

LOT 1, BLOCK A
ROCKWALL SCHOOL NORTH ADDITION
CAB. C, SLD. 270
P.R.R.C.T.
ZONED: SF-10
DEBBIE WILLIAMS ELEMENTARY

N00°57'42"W 312.71'

1/2" IRS

LOT 7, BLOCK A
DALTON GOLIAD ADDITION
58,974 SF OR 1.354 AC
EVERBROOK ACADEMY-ROCKWALL
1 STORY (11,109 S.F.)
(SPRINKLED)

LOT 6, BLOCK A
DALTON GOLIAD ADDITION
INST. NO. 2021000003578
ZONED: GR W/N SH 205
OVERLAY DISTRICT
VACANT

LOT 1, BLOCK A
DALTON GOLIAD ADDITION
CAB. J, SLIDE 17
ZONED:
GR W/N SH 205
OVERLAY DISTRICT
EXIST ALDI

LOT 3, BLOCK A
DALTON GOLIAD
ADDITION
CAB. J, SLIDE 17
ZONED:
GR W/N SH205
OVERLAY DISTRICT
EXIST RETAIL

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20____.

WITNESS OUT HANDS, THIS _____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER:
ROCKWALL 205-552 LLC
4622 MAPLE AVE., SUITE 200
DALLAS, TX 75219
PHONE: 214-393-3983
CONTACT: DONALD SILVERMAN

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MICHIGAN 48375
PHONE: 407-314-8432
CONTACT: WESLEY ARNOLD

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-272-2948
TX Registration # F-12266



THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT TO BE USED FOR BIDDING PURPOSES OR CONSTRUCTION PERMITTING WITHOUT THE WRITTEN CONSENT OF VASQUEZ ENGINEERING, L.L.C.
DATED 02/07/2023
JAV
TX REG. F-12266

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

SITE PLAN
EVERBROOK ACADEMY - ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 1" = 20'
Designed by: JUV
Drawn by: DRS
Checked by: JUV
713-010-DWG-SP1-LEARNING CARE #03
Date: 02/07/2023

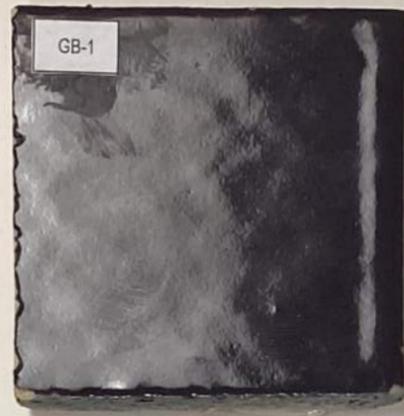
SHEET
SP1



BR-2



ST-2



GB-1



GL-1



WN-1

261-C6



BR-1



ST-1



SITE PLAN
 EVERBROOK ACADEMY - ROCKWALL
 DALTON GOLIAD ADDITION
 1.354 ACRES
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 JANUARY 20, 2023
 CASE# SP2023-XXX

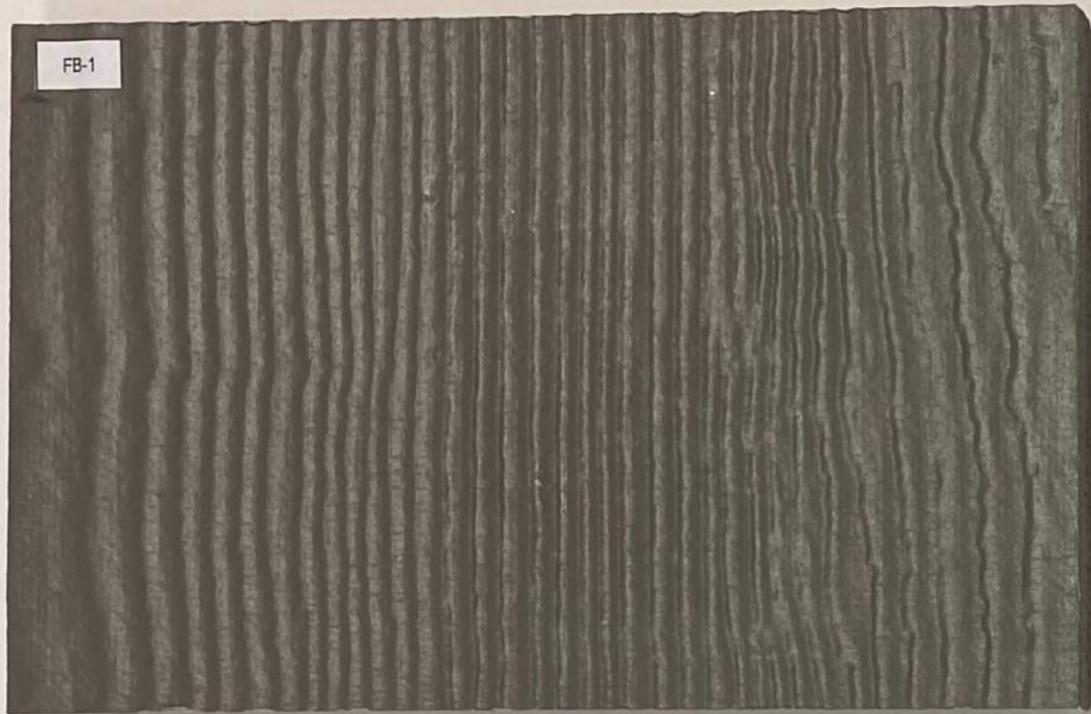
EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
BR-1	BRICK: BELDEN, 671 VELOUR
BR-2	BRICK: BELDEN, MODULAR DUTCH GRAY VELOUR 21-31
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #111 PRAIRE CLAY
FB-1	FASCIA BOARD: HARDIE, COLOR: AGED PEWTER
GB-1	GLAZED BRICK: BELDEN BRICK COMPANY COLOR: EGGPLANT GLAZE
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS: PAC-CLAD, COLOR: GRANITE
MTL-1	METAL ROOF: PAC-CLAD, COLOR: AGED BRONZE
PT-1	PAINT EXTERIOR FACE OF EXTERIOR H.M. DOORS COLOR TO MATCH GB-1
ST-1	CAST STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONNAY
ST-2	CAST STONE SILL: SMOOTH FINISH (SAND TONE)
WN-1	VINYL WINDOWS, COLOR: SW7531 CANVAS TAN
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT

APPLICANT INFORMATION
 JIM KASSAY
 ADA ARCHITECTS
 17710 DETROIT AVE.
 LAKEWOOD, OH 44107
 (216) 521-5134
 jkassay@adaarchitects.com

OWNER INFORMATION
 ROD BLIGHT
 LEARNING CARE GROUP INC.
 21333 HAGGERTY RD,
 SUITE 300
 NOVI, MI 48375
 (248) 294-0473
 rblight@learningcaregroup.com

PROJECT NAME:
 EVERBROOK ACADEMY -
 ROCKWALL, TX
CASE NUMBER:

DATE:
 01/20/2023



FB-1



GU-1



MTL-1



WN-2



EIFS-1



PT-1

SITE PLAN
 EVERBROOK ACADEMY - ROCKWALL
 DALTON GOLIAD ADDITION
 1.354 ACRES
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 JANUARY 20, 2023
 CASE# SP2023-XXX

EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
BR-1	BRICK: BELDEN, 671 VELOUR
BR-2	BRICK: BELDEN, MODULAR DUTCH GRAY VELOUR 21-31
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #111 PRAIRE CLAY
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GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS: PAC-CLAD, COLOR: GRANITE
MTL-1	METAL ROOF: PAC-CLAD, COLOR: AGED BRONZE
PT-1	PAINT EXTERIOR FACE OF EXTERIOR H.M. DOORS COLOR TO MATCH GB-1
ST-1	CAST STONE: CULTURED STONE, COUNTRY LEDGESTONE, COLOR: CHARDONNAY
ST-2	CAST STONE SILL: SMOOTH FINISH (SAND TONE)
WN-1	VINYL WINDOWS, COLOR: SW7531 CANVAS TAN
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT

APPLICANT INFORMATION

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 17710 DETROIT AVE.
 LAKEWOOD, OH 44107
 (216) 521-5134
 jkassay@adaarchitects.com

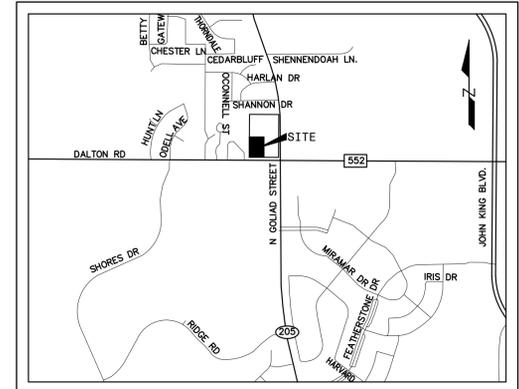
OWNER INFORMATION

ROD BLIGHT
 LEARNING CARE GROUP INC.
 21333 HAGGERTY RD,
 SUITE 300
 NOVI, MI 48375
 (248) 294-0473
 rblight@learningcaregroup.com

PROJECT NAME:
 EVERBROOK ACADEMY -
 ROCKWALL, TX
CASE NUMBER:

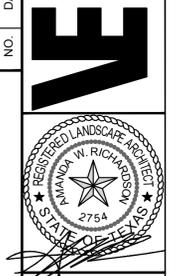
DATE:
 01/20/2023

IRRIGATION WILL MEET THE REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE (UDC). (SUBSECTION 05.04, OF ARTICLE 08)



LOCATION MAP N.T.S.

APP.	DATE	NO.

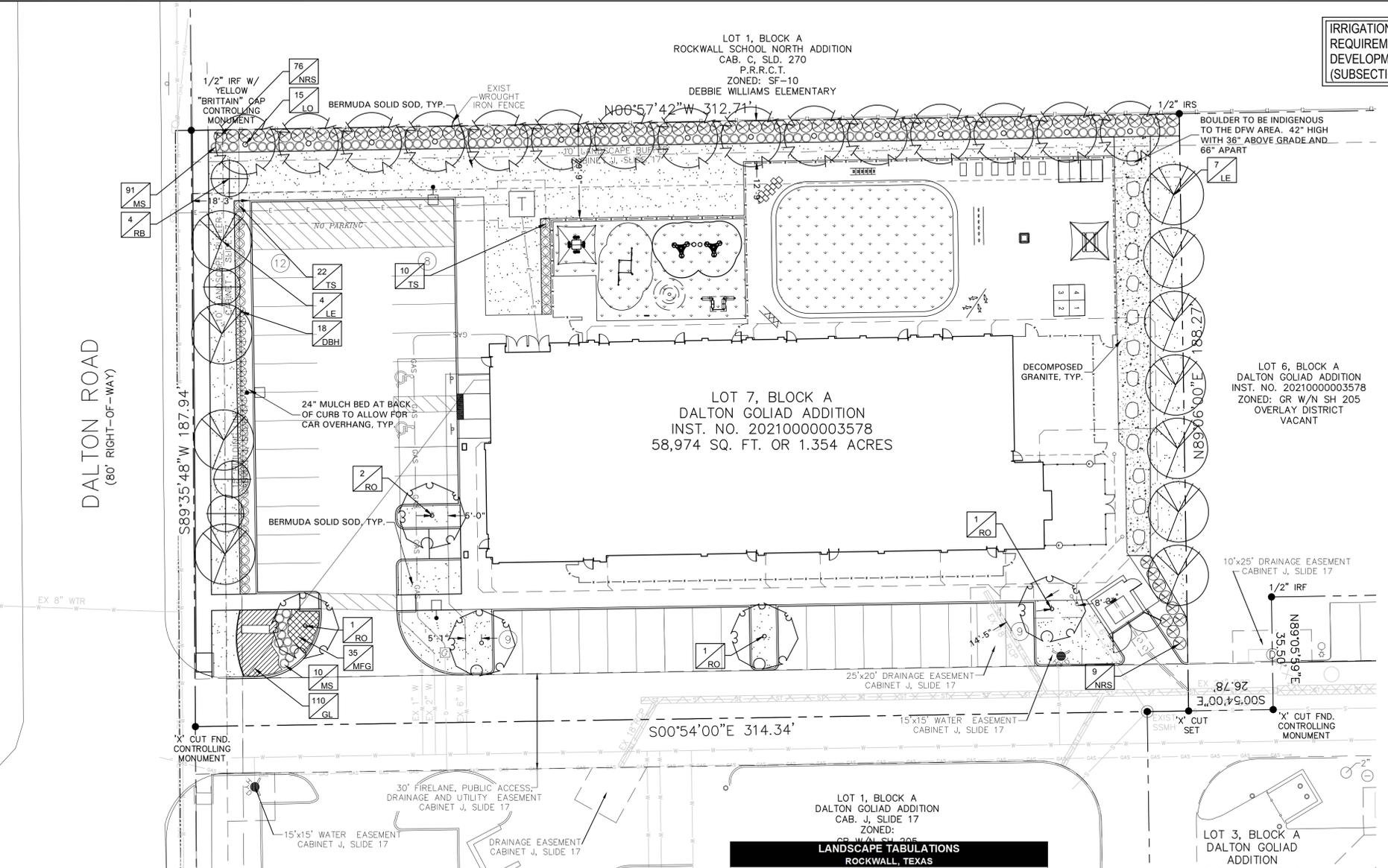


DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MI 48375

LANDSCAPE PLAN
EVERBROOK ACADEMY - ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX

Scale:	1" = 20'
Designed by:	JUV
Drawn by:	DRS
Checked by:	JUV
T13-01DWGSP/LEARNING CARE.dwg	
Date:	02/07/2023

SHEET
L1.1



- GENERAL LAWN NOTES**
- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
 - LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
 - CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS, ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
 - ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
 - CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER REMOVE ALL DIRT CLOUDS, STICKS, CONCRETE SPOILS, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

- SOLID SOD**
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
 - SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASS AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+/-1/4"), EXCLUDING TOP GROWTH AND THATCH.
 - LAY SOD BY HAND TO COVER INDICATED AREAS COMPLETELY, ENSURING EDGES ARE TOUCHING WITH TIGHTLY FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 - TOP DRESS JOINTS IN SOD BY HAND WITH TOPSOIL TO FILL VOIDS IF NECESSARY.
 - SOD SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOD SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 - SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, OVERSEED BERMUDA GRASS SOD WITH WINTER RYEGRASS AT A RATE OF 4 POUNDS PER 1000 S.F.

- HYDROMULCH**
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
 - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
 - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY "CONWEB" OR EQUAL.
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE "TERRO-TACK ONE", AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
 - HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
 - F. INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS.
 - WATER SEEDED AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

- LANDSCAPE NOTES**
- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING ELEMENTS. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
 - A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
 - CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 1" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
 - LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
 - PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE.
 - EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
 - MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBS.
 - CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
 - TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
 - 4" OF SHREDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
 - WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAFI 1405 WEED BARRIER OR APPROVED EQUAL.
 - CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

- IRRIGATION**
- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE-RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

- MAINTENANCE REQUIREMENTS:**
- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 - MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 - ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

- MISCELLANEOUS MATERIALS:**
- STEEL EDGING SHALL BE 3/4" X 4 X 1/8" DARK GREEN DURADEGEE STEEL LANDSCAPE EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.
 - RIVER ROCK SHALL BE ARIZONA RIVER ROCK, 2" - 4" DIAMETER. RIVER ROCK SHALL BE COMPACTED TO A MINIMUM OF 3" DEPTH OVER FILTER FABRIC.
 - DECOMPOSED GRANITE SHALL CONSIDER OF A NATURAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER AND COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE. DG SHALL BE PLACED OVER FILTER FABRIC AT A MINIMUM OF 3" DEPTH.
 - BOULDERS SHALL BE ON AVERAGE 36" X 24" X 24" AND A MIN. OF 500LBS. BOULDER TO BE SET IN GROUND ON A 1" SAND SETTING BED, APPROXIMATELY 2" BELOW FINISH GRADE. BOULDER SHOULD HAVE A WEATHERED FINISH. EACH BOULDER HAS A NATURAL TOP AND BOTTOM. ENSURE THAT THE BOULDER IS POSITIONED CORRECTLY BEFORE INSTALLATION.

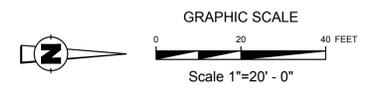
SITE SUMMARY TABLE

Site Address	DALTON ROAD
County	ROCKWALL
Project Name	LEARNING CARE CENTER
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT
Proposed use	CHILD CARE CENTER
Site Area:	1.354 Acres 58,974 S.F.
Building Area	11,109 S.F.
Building Height:	1 Story
Lot Coverage:	11,109 / 58,974 = 18.83%
Floor Area Ratio:	11,109 S.F. / 58,974 = 1:18.83
Parking Required Building:	11,109 S.F.
	CHILD CARE CENTER (1 SPCS/300 SF) = 37 SPACES
Total Parking Required:	= 37 SPACES
Parking Provided:	REGULAR = 37 SPACES
	ACCESSIBLE = 2 SPACES
	TOTAL = 39 SPACES
Impervious Area:	45,750 S.F.
Impervious Area Ratio:	45,750 S.F. / 58,974 = 77.58%
Pervious Area Ratio:	13,224 S.F. / 58,974 = 22.42%

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 20____

WITNESS OUR HANDS, THIS ____ DAY OF ____

PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____



OWNER:
ROCKWALL 205-552 LLC
4622 MAPLE AVE., SUITE 200
DALLAS, TX 75219
PHONE: 214-393-3983
CONTACT: DONALD SILVERMAN

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:
LEARNING CARE GROUP
21333 HAGGERTY RD
NOVI, MICHIGAN 48375
PHONE: 407-314-8432
CONTACT: WESLEY ARNOLD

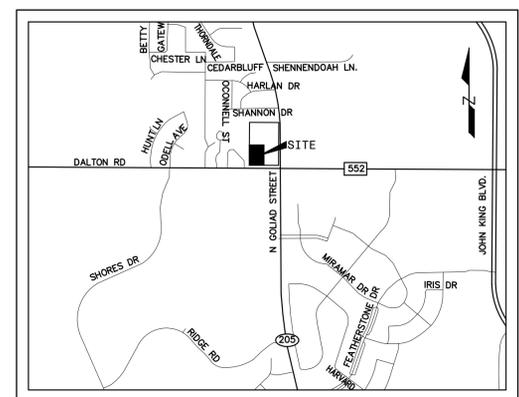
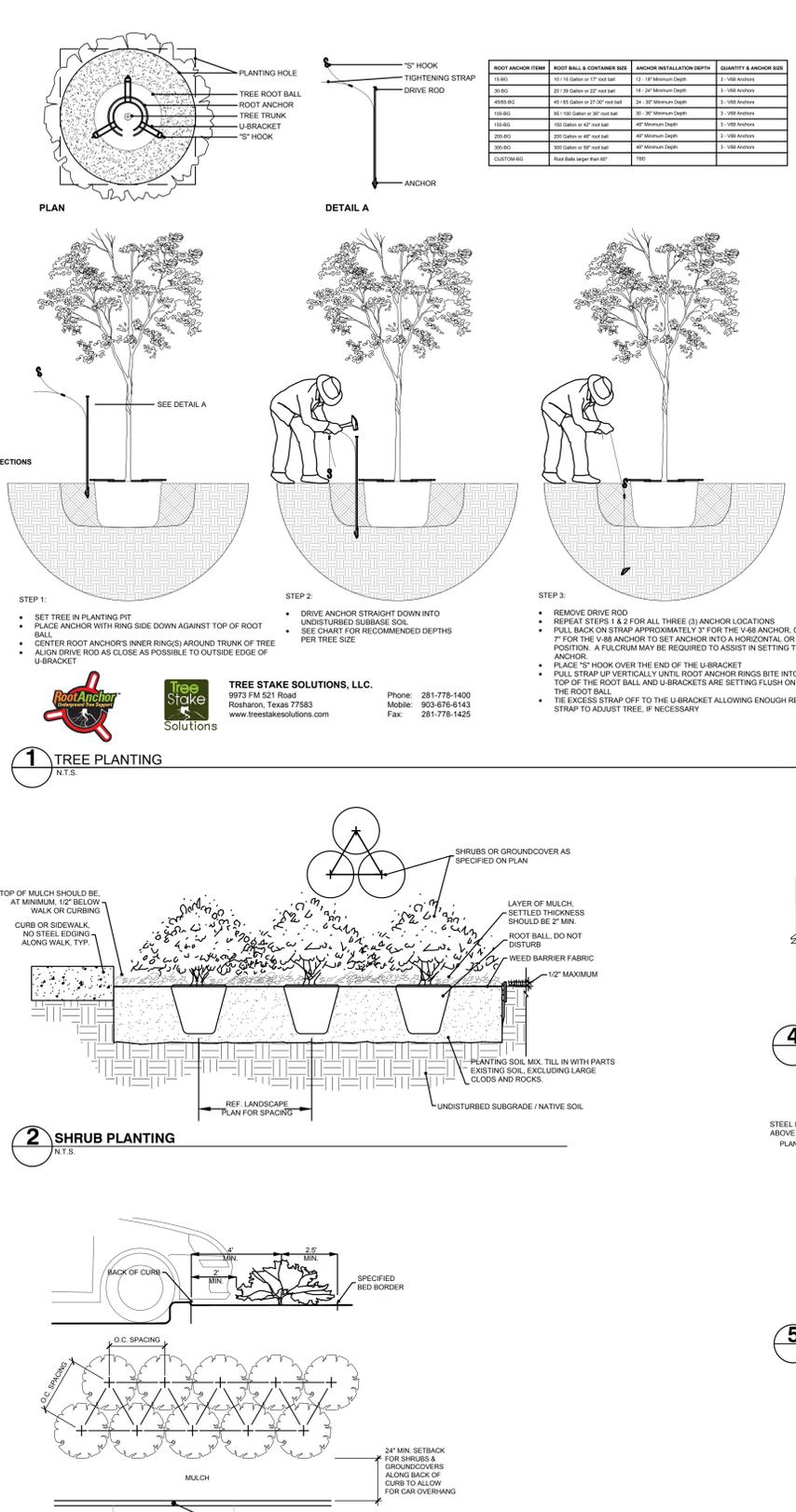
LANDSCAPE PLAN
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
1.354 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
FEBRUARY 7, 2023
CASE #SP2023-003

SECTION 32 9300 - LANDSCAPE
PART 1 - GENERAL

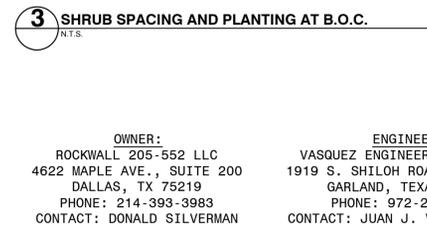
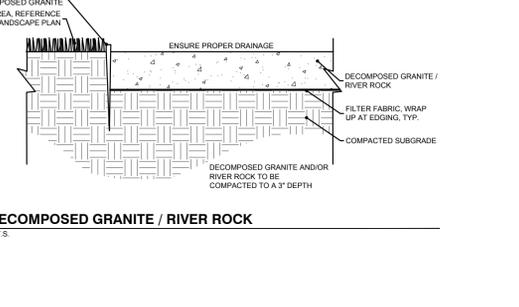
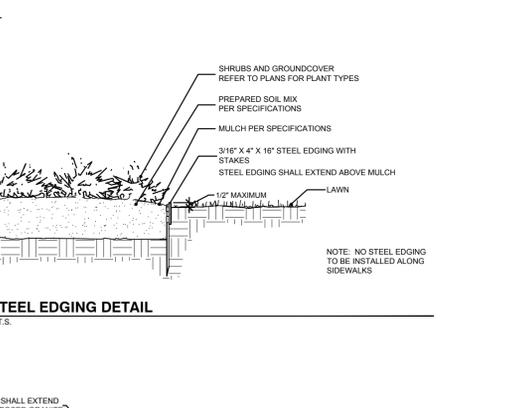
- 1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.
- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
- 1.2 REFERENCE DOCUMENTS
- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS.
- 1.3 SCOPE OF WORK / DESCRIPTION OF WORK
- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISIONS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING COVERED IN LANDSCAPE PLANS AND SPECIFICATIONS INCLUDING:
1. PLANTING (TREES, SHRUBS, GRASSES)
 2. BED PREP AND FERTILIZATION
 3. NOTIFICATION OF SOURCES
 4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
 5. GUARANTEE
- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- 1.4 REFERENCES
- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERMEN; 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI); "PLANT MATERIAL"
- B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1946 EDITION OF STANDARDIZED PLANT NAMES.
- C. TEXAS ASSOCIATION OF NURSERMEN, GRADES AND STANDARDS
- 1.5 SUBMITTALS
- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNER REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.
- 1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING
- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
- B. ALL PLANTING BED AREAS SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL AREAS TO RECEIVE SOIL SHALL BE LEFT ONE INCH BELOW THE FINAL GRADE OF WALKS, DRIVES AND CURBS. CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.
- 1.7 SEQUENCING
- A. INSTALL TREES, SHRUBS, AND LNER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LANDSCAPE SOD.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS NOT CHEMICALLY PREPARED WITH ANNECIB ORGANIC MATTER.
- 1.8 MAINTENANCE AND GUARANTEE
- MAINTENANCE:
- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CULTIVATION, WEED SPRAYING, EDGING, PRUNING OF TREES, MOVING OF GRASS, CLEANING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION, ON A SITE INSPECTION BY THE OWNER'S AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
- E. NOTIFY OWNER OR OWNER'S REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
- G. REMOVE LYING AND STAKING MATERIALS AFTER ONE YEAR.
- H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MAINTAINED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
- I. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, RESTAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED. WATER PLANTS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE TO THE MAINTENANCE SCHEDULE. THE SYSTEM IS TO BE PROPERLY WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- L. REAPPLY MULCH TO BARE AND THIN AREAS.
- M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1-12" INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEED AS APPROPRIATE PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEARLY MOVED.
- GUARANTEE:
- A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED (IN WRITING) FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING) OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING RUTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAMAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS AT THAT TIME. THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.
- 1.9 QUALITY ASSURANCE
- A. COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.

- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PROJECT SPECIFICATIONS.
- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT PRIOR TO THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
- F. AT THE TIME BIDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
- G. OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNER'S REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS THAT FEEL TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.
- 1.10 PRODUCT DELIVERY, STORAGE AND HANDLING
- A. PREPARATION
1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.
 2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND DELIVERY FACILITIES ARE AVAILABLE ON SITE.
 3. PROTECT ROOT BALLS BY HELD WITH WADJOST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES.
 5. KEEP PLANTS MOST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY BY PLANT MATERIAL JOB SITE.
 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- B. DELIVERY
1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.
 2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND DELIVERY FACILITIES ARE AVAILABLE ON SITE.
 3. PROTECT ROOT BALLS BY HELD WITH WADJOST OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
 4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES.
 5. KEEP PLANTS MOST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
 6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY BY PLANT MATERIAL JOB SITE.
 7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
 8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST TO PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.
- 2.1 PLANT MATERIALS
- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTER WIDTH OF THE PLANT NOT THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGUREMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE UNHEALTHY, BADLY SHAPED OR UNDERIZED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE, AND WITH SIMILAR CLIMATIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS WILL NOT INCREASE THE CONTRACT PRICE.
- H. WHERE MATERIALS ARE PLANTED IN MASSES, PROVIDE PLANTS OF UNIFORM SIZE.
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-POD-BOUND, FREE FROM ENCODING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS S-HAPED ROOTS).
- J. ALL TREES SHALL BE STANDARD FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STURDY, EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, OR INSECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
- O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF SIX TO 1 1/2" INCHES. EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- 2.2 SOIL PREPARATION MATERIALS
- A. SANDY LOAM:
1. FRIABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEIOUS MATERIALS AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLAS GRASS OR NUTGRASS SHALL BE REJECTED.
 2. PHYSICAL PRIORITIES AS FOLLOWS:
 - a. CLAY - BETWEEN 7-27%
 - b. SILT - BETWEEN 15-25%
 - c. SAND - LESS THAN 52%
 3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
 4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
- B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF CURBING AND FINE TEXTURED MATERIAL.
- C. PREMIKED BEDDING SOIL, AS SUPPLIED BY VITAL EARTH RESOURCES, GLEADWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY BULL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED EQUAL.
- D. SHARP SAND: SHARP SAND, FREE OF FEEDS, SOIL PARTICLES AND WEEDS.
- E. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
- F. ORGANIC FERTILIZER: FERTILIZING, SUSTAIN, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- G. COMMERCIAL FERTILIZER: 10-20-10 OR SIMILAR ANALYSIS. NITROGEN SOURCE TO BE A MINIMUM 8% SULFUR AND 4% IRON, PLUS MICRONUTRIENTS.
- H. PEAT: COMMERCIAL SPAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED PINE BARK OR OTHER APPROVED ORGANIC MATERIAL.
- 2.3 MISCELLANEOUS MATERIALS
- A. STEEL EDGING: SHALL BE 3/16" X 4" X 1/8" DARK GREEN LANDSCAPE EDGING, DURABLE STEEL OR APPROVED EQUAL.
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE; REFER TO DETAILS.
- C. FILTER FABRIC - MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTE, AVAILABLE AT LONE STAR PRODUCTS INC. (489-SB-044)
- D. SAND - UNIFORM, GRADED, WASHED, CLEAN, BANK RUN SAND.

- E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1 1/2"
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSITION.
- G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN DIAMETER.
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING, PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- PART 3 - EXECUTION
- 3.1 PREPARATION
- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
1. PREPARE NEW BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
 2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS OF ROCKS, DEBRIS, CALCINE, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS:
1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. THE JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.
- D. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.
- E. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF WIND AND BALLS OF EARTH IF 8" PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- F. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
- G. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- H. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE SAME RELATIONSHIP TO THE GROUND SURFACE AS IT BEARS TO THE GROUND IN ORIGINAL PLACE OF GROWTH. THE SIDES OF THE HOLE SHOULD BE ROUGH AND ANGLED, NEVER SLICK OR SMOOTH.
- I. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE TREE BALL AND SIX (6") INCHES WIDER THAN ITS VERTICAL DIMENSION. REMOVE AND HAIL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINER.
- J. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO MOVE TO ANOTHER LOCATION. HAVE DRAINAGE DRAINAGE ADDED. INSTALL A PVC STAND PIPE PER TREE IF THE PERCOLATION TEST FAILS.
- K. BACKFILL ONLY WITH 5 PARTS EXISTING SOIL OR SANDY LOAM AND 1 PART BED PREPARATION. WHEN THE HOLE IS FULL OF SANDY LOAM, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING TO PREVENT AIR POCKETS. REMOVE THE BURLAP FROM THE TOP OF THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, IF SO FOLLOW STANDARD NURSERY PRACTICE OF ROOT SQUARING.
- L. DO NOT WRAP TREES.
- M. DO NOT OVER PRUNE.
- N. REMOVE NURSERY TAGS AND STAKES FROM ALL PLANTS.
- O. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PAPER BACKFLIPPING.
- P. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
- Q. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
- R. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
- S. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.
- T. OBSTRUCTION: BELOW GROUND: IN THE EVENT THAT ROOT OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER, WHERE LOCATIONS CANNOT BE CHANGED, THE OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANTING. THE REQUIRED GRADE, THE REQUIRED GRADE, THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
- U. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- V. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.
- W. DEAD WOOD, SUCKERS, BROKEN AND BADLY BRUISED BRANCHES REMOVE BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
- X. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- Y. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE PITS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN THICKNESS. THIS LAYER OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.
- Z. STEEL EDGE INSTALLATION: EDGE SHALL BE ALIGNED AS INDICATED ON PLANS. STAKE OUT LIMITS OF STEEL CURBING AND OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.
1. ALL STEEL CURBING SHALL BE FREE OF KINKS AND ABRUPT BENDS.
 2. TOP OF EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINAL FINISHED GRADE.
 3. STAKES ARE TO BE INSTALLED ON THE PLANTING BED SIDE OF THE CURBING, AS OPPOSED TO THE GRASS SIDE.
 4. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS OR CURBS.
 5. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE EDGING MEETS SIDEWALKS OR CURBS.
- 3.2 CLEANUP AND ACCEPTANCE
- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIALS SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF EACH WORK DAY.
- B. REPAIR RUTS, HOLES AND SCARES IN GROUND SURFACES.
- C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE LANDSCAPE CONTRACTOR WITH A LIST OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- E. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.



ROOT ANCHOR ITEM	ROOT BALL & CONTAINER SIZE	ANCHOR INSTALLATION DEPTH	QUANTITY & ANCHOR SIZE
100-001	101-16 Galon @ 12\"/>		



APPROVED: _____
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20____.

WITNESS OUR HANDS, THIS _____ DAY OF _____

 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

Scale: 1" = 20'

Designed by: JUV

Drawn by: DRS

Checked by: JUV

Date: 02/07/2023

DEVELOPER:
 LEARNING CARE GROUP
 21333 HAGGERTY RD
 NOVI, MI 48375

LANDSCAPE SPECIFICATIONS AND DETAILS

EVERBROOK ACADEMY - ROCKWALL
 LOT 7, BLOCK A
 DALTON GOLIAD ADDITION
 CITY OF ROCKWALL, TX

AS PREPARED BY: VASQUEZ ENGINEERING, L.L.C.
 1919 S. SHILOH ROAD, SUITE 440, LB 44
 GARLAND, TEXAS 75042
 PHONE: 972-272-2948
 TX REGISTRATION # F-12286

REGISTERED LANDSCAPE ARCHITECT
 AMANDA W. RICHARDS
 STATE OF TEXAS
 2754

SHEET
L1.2

LANDSCAPE SPECIFICATIONS AND DETAILS
 EVERBROOK ACADEMY - ROCKWALL
 LOT 7, BLOCK A
 DALTON GOLIAD ADDITION
 1.354 ACRES
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 FEBRUARY 7, 2023
 CASE #SP2023-003

OWNER:
 ROCKWALL 205-552 LLC
 4622 MAPLE AVE., SUITE 200
 DALLAS, TX 75219
 PHONE: 214-393-3983
 CONTACT: DONALD SILVERMAN

ENGINEER:
 VASQUEZ ENGINEERING, L.L.C.
 1919 S. SHILOH ROAD, SUITE 440
 GARLAND, TEXAS 75042
 PHONE: 972-272-4610
 CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:
 LEARNING CARE GROUP
 21333 HAGGERTY RD
 NOVI, MICHIGAN 48375
 PHONE: 407-314-8432
 CONTACT: WESLEY ARNOLD

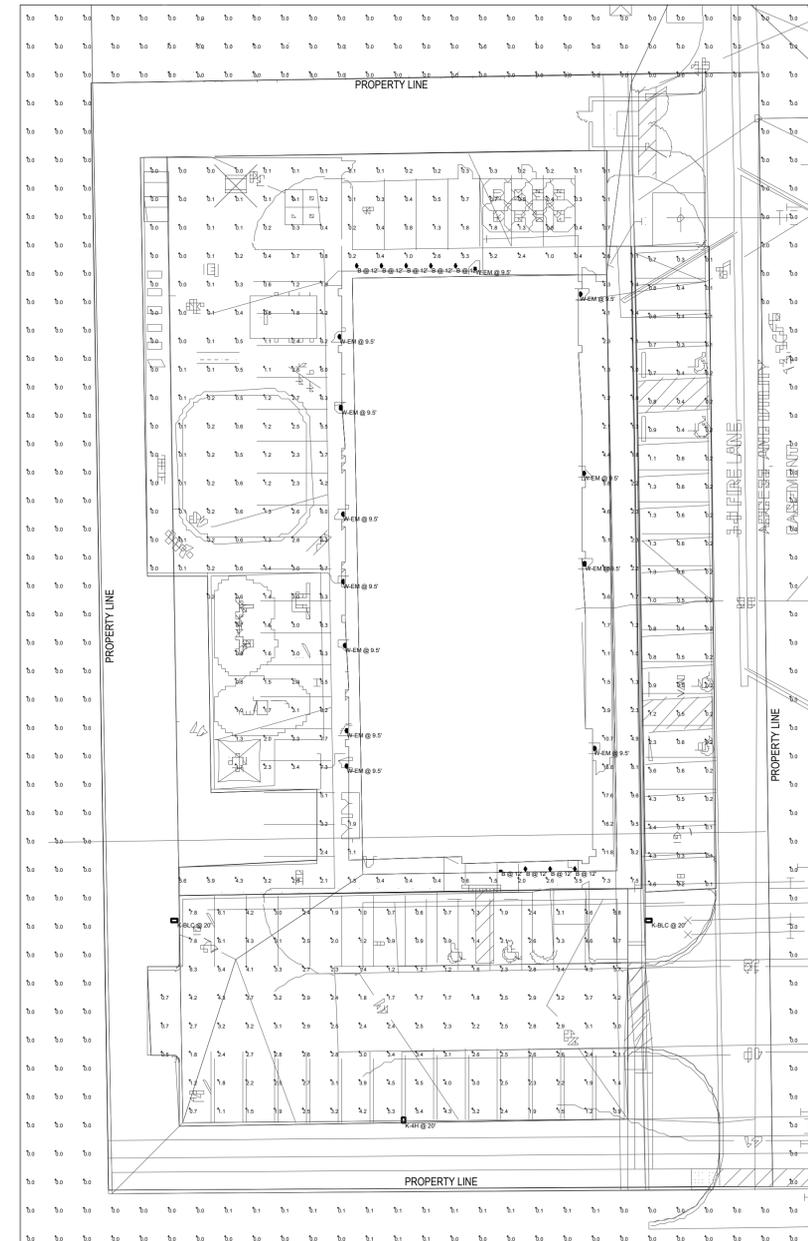
AWR Designs, LLC
 P.O. Box 1746
 Aledo, Texas 76608
 amanda@awr-designs.com
 c. 512.517.5589

Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Pedestrian Walkways and Fenced Area	2.0 fc	17.6 fc	0.0 fc	N/A	N/A
Plan East Row Parking @ 0" AFF	0.8 fc	4.6 fc	0.1 fc	46.0:1	8.0:1
Plan South Parking lot @ 0" AFF	2.8 fc	7.8 fc	0.5 fc	15.6:1	5.6:1
Property Boundary @ 0" AFF	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Description	Wattage
○	B	9	SIGNIFY LIGHTING - LIGHTOLIER	P6RDL10835CLZ10U	LED	P6RDL30835CLZ10U.ies	3257	0.567	LYTEPROFILE 6 INCH ROUND - File derated for 2000 lumens and 0.85 LLF	30.3
□	K-4H	1	SIGNIFY GARDCO	ECF-S-48L-1A-NW-G2-4-HIS	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 1050mA	ECF-S-48L-1A-NW-G2-4-HIS.ies	14912	0.85	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 4-HIS OPTIC, House-side Internal Shielding	158.7
□	K-BLC	2	PHILIPS GARDCO	ECF-S-48L-1A-NW-G2-BLC	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 1050mA	ECF-S-48L-1A-NW-G2-BLC.ies	14544	0.85	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE BLC OPTIC,	156.3489
□	W-EM	12	Barron Lighting Group	WLZ4-4-4K	12 white LEDs with optics attached to each	WLZ4-4-4K (1).IES	4286	0.85	Formed black metal housing	41.0529

SITE SUMMARY TABLE

Site Address	DALTON ROAD
County	ROCKWALL
Project Name	LEARNING CARE CENTER
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT
Proposed use	CHILD CARE CENTER
Site Area:	1.354 Acres 58,974 S.F.
Building Area	11,109 S.F.
Building Height:	1 Story
Lot Coverage:	11,109 / 58,974 = 18.83%
Floor Area Ratio:	11,109 S.F. / 58,974 = 1:18.83
Parking Required Building:	11,109 S.F.
Total Parking Required:	CHILD CARE CENTER (1 SPCS/300 SF) = 37 SPACES = 37 SPACES
Parking Provided:	REGULAR = 37 SPACES ACCESSIBLE = 2 SPACES TOTAL = 39 SPACES
Impervious Area:	45,750 S.F.
Impervious Area Ratio:	45,750 S.F. / 58,974 = 77.58%
Pervious Area Ratio:	13,224 S.F. / 58,974 = 22.42%



ADA ARCHITECTS

Lakewood, Ohio 44107
17710 Detroit Avenue
Phone (216) 521-5134 Fax (216) 521-4824
www.adaarchitects.com

EVERBROOK ACADEMY - ROCKWALL

12 K PROTOTYPE/MODEL

ROCKWALL, TX

DALTON RD.

THESE DOCUMENTS CONTAIN INFORMATION PROPRIETARY TO ADA ARCHITECTS, INC. UNAUTHORIZED USE OF THESE DOCUMENTS IS EXPRESSLY PROHIBITED UNLESS AGREED UPON IN WRITING.

DRAWN BY: JTK CHECKED BY: RAS

25760 First Street
Cleveland, OH 44145
P 440 871 2410
F 440 871 7954
tesengineering.com



APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____ 20__

WITNESS OUT HANDS, THIS ____ DAY OF _____

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN
EVERBROOK ACADEMY-ROCKWALL
LOT 7, BLOCK A
DALTON GOLIAD ADDITION
1.354 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
JANUARY 20, 2023
CASE #SP2023-XXX

REVISIONS

#	DATE	TYPE
1		
2		
3		
4		
5		
6		
7		
8		
9		

PHOTOMETRIC PLAN

DATE 01/20/2023

JOB NO. 22247

E0.1

SHEET NO.



LyteProfile downlights and wall washers provide a perfect balance of functionality with glare control. The robust and versatile UniFrame frame-in kit makes changes and updates easy to manage and install. Ideal for use in a variety of applications including open office, institutional, healthcare, and retail.

Standard luminaire = Frame + Engine/Trim + Accessories (optional)

Buy American Act of 1933 (BAA)** Compliant luminaire* = Frame-BAC + Engine/Trim-BAC

* BAA compliance requires that BAC option be selected for each of frame and engine/trim.

Frame and engine/trim will be ordered/shipped together (ex: 4RN-BAC-Z4RDL20835WOCZ10U-BAC).

Accessories (optional) are not currently BAA-compliant.

Project: _____

Location: _____

Cat.No: _____

Type: _____

Qty: _____

Notes: _____

Frame

Standard example: 6RN | BAC example: 6RN-BAC

Series	Aperture	Installation	Options
6	R		
6 Uniframe 6-inch Non-IC	R Round	N New construction (Non-IC)	<ul style="list-style-type: none"> — Universal 120/277/347V¹ LC Chicago Plenum EM6 Emergency, 6W Self-Test/Self-Diagnostic (not available for BAC)²
		R Remodeler (Non-IC)	<ul style="list-style-type: none"> — Universal 120/277/347V¹
		A AirSeal (IC)	<ul style="list-style-type: none"> — Universal 120/277/347V¹
			<ul style="list-style-type: none"> 3 347V (for non-0-10v configurations) RADIO Integral Interact Pro RF sensor (120/277/347V) (enables wireless connected lighting control)³ BAC Meets the requirements of the Buy American Act of 1933 (BAA)**
			<ul style="list-style-type: none"> 3 347V (for non-Z10 configurations) BAC Meets the requirements of the Buy American Act of 1933 (BAA)**

Light Engine / Trim

Standard example: P6RDL20835CDZ10U | BAC example: P6RDL20835CDZ10U-BAC

Series	Style	Lumen	CRI/CCT	Reflector	Flange	Dimming	Voltage	Options
P6R								
P6R LyteProfile 6-inch Round downlight	DL Downlight	10 1000lm	827 80CRI / 2700K	CL Specular clear	— White (matte)	Z10 0-10V 1%	U 120/277V 3 347V ^{5,6} (0-10v only)	<ul style="list-style-type: none"> — None R Retrofit (not compatible with IEM6) IEM6 Trim mounted EM test switch⁸ BAC Meets the requirements of the Buy American Act of 1933 (BAA)**
	LW Lensed Wall Wash	15 1500lm	830 80CRI / 3000K	CC Comfort clear	B Black (matte)			
	SL Shower light ⁴ (non-conductive lens)	20 2000lm	835 80CRI / 3500K	CD Comfort clear diffuse	P Polished (matches aperture)			
		25 2500lm	840 80CRI / 4000K	WH White (matte)	— White (matte)			
	30 3000lm	850 80CRI / 5000K	BK Black (matte)	B Black (matte)	L Lutron LDE1 EcoSystem (fade-to-black)	U 120/277/ 347V		
	35 3500lm		WHAMF White (gloss antimicrobial)	— White (gloss)	P Power over Ethernet (PoE)	E Ethernet 48V DC		
						Only compatible with 1000 (10) to 2500 (25) lumen configurations		

Accessories (Not currently BAA-compliant - learn more on page 2)

- SBA** Interact Ready System Bridge Accessory with integral occupancy and daylight sensor (compatible with all 0-10V options, see SBA spec sheet)⁷
- CAEM6** Field installable Bodine BSL6 6W battery pack with self-test/self-diagnostic for use with new construction frames, 120-277V
- 7925** 6" sloped ceiling adapter (refer to SCA spec sheet for slope options)
- AMS** ActiLume multi-sensor (optional accessory for PoE configurations)

- Universal 120-347V is for 0-10v (Z10) dimming configurations only. For 347V non-Z10 dimming, order 347V (3) frame with (U) light engine/trim.
- Emergency (EM6) frame is compatible with reflector mounted test switch when light engine is ordered with IEM6 option code (not compatible with 347V or Power over Ethernet configurations).
- Interact Pro (RADIO) requires above ceiling access.
- Shower light (SL) is only available with White (WH) reflector finish.
- Specify standard UNV frame for use with 347V light engines
- The 347V light engine voltage option is only available with Z10 dimming option. For other dimming protocols order UNV (U) light engine and 347V (3) frame.
- Requires IRT9015 IR remote and Interact Pro App for commissioning.
- IEM6 option available on DL style only.

** Failure to properly select the "BAC" suffix could result in you receiving product that is not BAA compliant product with no recourse for an RMA or refund. This BAC designation hereunder does not address (i) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (ii) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies.



P6R LyteProfile 6"

Round Downlight & Lensed Wall Wash

Features

Optics

- Provides a 60° cutoff (physical and reflected)
- Wide beam distribution for general illumination
- Spun and anodized reflectors available in specular (clear), semi-specular (comfort clear and diffuse finishes. Also available in white and black painted finishes.

Quality of light

- Consult factory for RAL finishes
- Color consistency: 3 SDCM
- 80 CRI minimum

Construction (New Construction)

- Galvanized stamped steel for dry / plaster ceilings.
- Pre-installed telescoping mounting bars (13"-24")
- Frame accommodates C- channel, black iron, and 3/4" EMT for mounting distances greater than 24" between joists.
- Manufactured from 20 gage galvanized steel construction with rolled edge aperture to guide cutting tools for perfect hole cutting.

Max ceiling thickness is 2" (51 mm).
Including PoE frame 4.88" (124 mm).

Patented install mounting frame

- Pre-installed mounting bars allow for fast and tool-less install into T-grid & hat channel ceilings
- Close-cut aperture design eliminates an undesired gap between ceiling material and reflector.
- Simple plug-and-play connection between frame and light engine from below the ceiling allows for:
 - Easy upgrades
 - Technology changes
 - Repairs and troubleshooting

Dimming

- Advance 0-10V 1% dimming
- Lutron Hi-lume EcoSystem H Series 1% dimming
- EldoLED ECOdrive Dali 1% dimming
- EldoLED SOLOdrive 0-10V 0.1% dimming
- EldoLED DMX POWERdrive

Light engine

Quick connect power pack allow for easy installation and replacement from below ceiling with no need for additional wiring. This allows for:

- Frame and ceiling installation to be performed while still finalizing details such as lumen packages, CCT and control type.
- Easy replacement of electronics at end of life with minimal wasted material and labor required.
- Ease and upgradability of technology.
- Lumen Maintenance: L80 at 60,000 hours.
- 347V light engines are 0-10v dimming only and include dedicated 347V driver for use with universal 120/277/347V (U) frames. For 347V and non-0-10v dimming, order (U) light engine and 347V (3) frame (includes step down transformer).

Emergency

Bodine BSL6 6W battery pack with self-test/diagnostic functionality. Factory or field mounted to frame.

- For trim with integral emergency test switch, order light engine with IEM6 option (ex: P6RDL20835CDZ10UIEM6). DL or SL styles only.
- For remote ceiling mounted test switch, order standard light engine (ex: P6RDL20835CDZ10U). Optional accessory ceiling mounting plate available (CAEM6TSCP) for remote mounted test switch.
- Refer to Calculite-LyteProfile-EasyLyte Emergency Battery Pack specification sheet for more details.

Retrofit

- Easily updates legacy LyteProfile LED downlights to the latest technology. Includes light engine, trim, and driver mounted on cover plate that mounts to previous generations of LyteProfile LED luminaires. Order with R option code at end of light engine/trim catalog number.

Power over Ethernet

Powered via Philips PoE lighting controller: Complies with FCC rules per Title 47 part 15 (Class A) for EMI / RFI (conducted & radiated). PoE lighting controller accessible from below ceiling.

Options and Accessories

Sloped ceilings: Compatible with sloped ceiling adapters (see SCA spec sheet).

Field Installed Emergency: Refer to Calculite-LyteProfile-EasyLyte Emergency Battery Pack specification sheet for more details.

CAEM6: Field install EM6 kit with Bodine BSL6 6W battery pack with self-test/self-diagnostic, mounts to new construction frames. Includes remote ceiling plate for test switch. To mount test switch to trim for new construction frame, order light engine with IEM6 option code (e.g. P6RDL20835CDZ10UIEM6).

CAEM6TSCP: Ceiling cover plate for remote mounted EM6 test switch. 1/2" (25mm) hole, 4 3/8" (109mm) x 2 3/4" (69mm) rectangular. Includes two mounting screws.

ENERGY STAR® exceptions

- 500lm configurations
- Black finishes
- PoE drivers

Labels and Listings

- cULus listed for wet locations
- CCEA (frames with *LC suffix)
- ENERGY STAR® certified
- RoHS certified

Warranty



5 year limited warranty
Visit [Signify.com/warranties](https://www.signify.com/warranties) for more information on Signify's standard 5-year limited warranty on complete luminaire systems.

Finishes



Specular clear

Most specular and therefore most efficient finish, delivers maximum photometric performance but can produce a mirror image effect of the interior space.



Comfort clear

Semi-specular finish that softens the light at the source of the reflector and creates a subtle, even luminance from the reflector cone.



Comfort clear diffuse

Slightly diffuse clear finish, which eliminates iridescence and reduces the mirror image effect inherent with a specular finish.



White

Brightest aperture when illuminated and provides the smoothest transition to most ceilings when off (white is only available with a white flange).



Black

Specular finish that provides the lowest aperture brightness possible and reduces source identification in a ceiling significantly (black is only available with a black flange).

P6R LyteProfile 6"

Round Downlight & Lensed Wall Wash

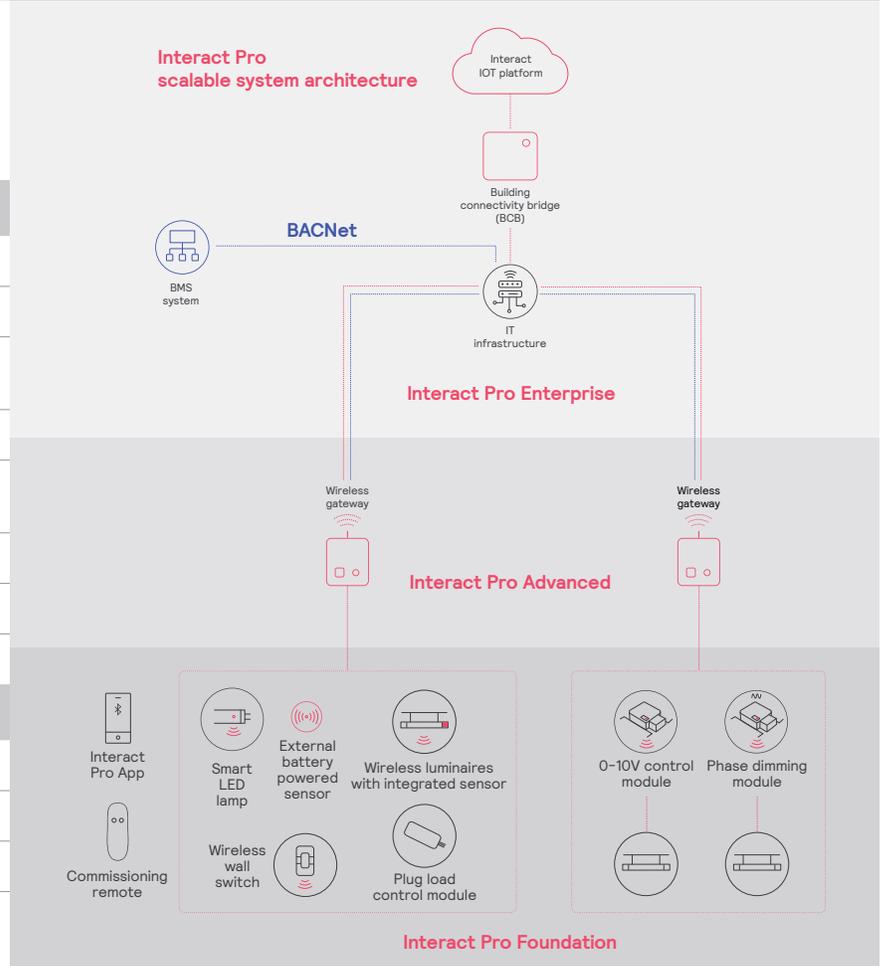
interact

	Interact Pro scalable system		
	Foundation	Advanced	Enterprise
Dimming, grouping, and zoning	✓	✓	✓
Bluetooth and ZigBee enabled	✓	✓	✓
Motion sensing and daylight harvesting	✓	✓	✓
Integration with 0-10V and phase dimming fixtures	✓	✓	✓
Code compliance	✓	✓	✓
Granular dimming and dwell time	✓	✓	✓
Energy reporting and monitoring		✓	✓
Scheduling		✓	✓
Demand response		✓	✓
BMS integration (BACnet)			✓
Floor plan visualization			✓
IoT sensors for wellness			✓
IoT Apps for productivity			✓

Currently supported maximum system size

To be able to design the lighting system correctly for the customer, it is important to know the prime characteristics of the system, its possibilities and limitations.

System level	
Total number of gateways	Unlimited
Total number of devices	200 per network
<ul style="list-style-type: none"> • luminaires with integrated sensors 	150
<ul style="list-style-type: none"> • smart TLEDS 	150
Total number of ZGP devices (sensors and switches)	50
<ul style="list-style-type: none"> • sensors 	30
<ul style="list-style-type: none"> • switches 	50
<ul style="list-style-type: none"> • zones and groups 	64
Group level	
Recommended number of lights	40 (recommended 25)
Number of ZGP devices	5
Number of scenes	16



P6R LyteProfile 6"

Round Downlight & Lensed Wall Wash

Wireless Controls Options

Interact Pro scalable sensor

(System Bridge Accessory with -CS option):

- CS is a connected sensor with integral occupancy and daylight sensing and supports wireless mesh connectivity.
- The sensor works in the Foundation mode (similar to SpaceWise) when configured without a gateway or in an Interact Pro Advanced or Enterprise mode if a compatible gateway is used.
- Interact Pro includes an App, a portal and a broad portfolio of wireless luminaires, lamps and retrofit kits all working on the same system.
- Startup is implemented via Interact Pro App (Android or iPhone) & Bluetooth connectivity. The App provides flexibility to choose between a gateway or non gateway mode for setup.
- Setup with the gateway requires wired internet access to the gateway. It is possible to add a gateway at a later point.
- Prepare project configuration steps remotely and use IRT9015 remote onsite to identify and group devices together.
- Compatible with:
 - UID8451/10 wireless dimmer switch
 - SWS200 wireless scene switch
 - Battery powered IP42 presence sensor OCC sensor IA CM WH 10/1
 - Battery powered IP42 presence & daylight sensor OCC-DL sensor IA CM IP42 WH
 - Battery powered IP65 presence sensor OCC sensor IA CM IP65 WH
 - Battery powered IP65 presence & daylight sensor OCC-DL sensor IA CM IP65 WH
- For more information on Interact Pro visit: www.interact-lighting.com/interactproscalablesystem.

Interact Pro Enterprise

(System Bridge Accessory with -SB option):

- A wireless IoT connected lighting solution for large enterprises that span across multiple floors, buildings and require multiple gateways.
- View all your projects under one dashboard and easily compare insights from multiple projects in one view.
- Compatible with UID8451/10 wireless dimmer switch, SWS200 wireless scene switch, wireless Occ sensor (OCC SENSOR IA CM IP42 WH 10/1) and wireless Day/Occ sensor (OCC MULTI SENSOR IA CM WH 10/1) and wireless Occupancy or Daylight & Occupancy sensors available.
- Use Interact software and insights to increase building efficiency, achieve building wide integration and optimize space through occupancy analytics.
- SB option in addition to occupancy and daylight sensing supports advanced IoT capabilities such as people estimation analysis, desk level temperature & humidity sensing, noise classification, and BLE beacon.
- Requires compatible Gateway and internet connectivity for commissioning.
- For more information, visit: www.interact-lighting.com/office or www.usa.lighting.philips.com/systems/system-areas/offices.

Emergency Options (ER100)

(System Bridge Accessory with -ER100 option):

- Power Sensing (Factory default) – Recommended UL924 option requires unswitched power sense line, absence of voltage on the normal circuit triggers luminaire to 100% output
- Power Interruption Detection (Field option) – Detects AC power interruption >30ms triggers 90 minute emergency mode with luminaire at 100% output

Radio only sensor (RADIO):

- Integral RADIO only sensor simply enables wireless mesh connectivity to the luminaire without any occupancy or daylight sensing.
- Ideal for applications where sensing functionality is managed by other Interact devices and the luminaire only needs to have wireless connectivity.

Wired Controls Options

Interact Office Wired (PoE):

- PoE based IoT connected lighting solution for large enterprises that span across multiple floors, buildings and require multiple gateways.
- Use Interact Office software and insights to increase building efficiency, achieve building wide integration and optimize space through occupancy analytics.
- Supports advanced IoT Apps on Personal Control, Space Management, wayfinding, room/desk reservation and offers open APIs for light control and data exchange.
- PoE lighting controller is accessible from below.
- Integral sensor option for occupancy sensing (PIR) and/or daylight harvesting available for additional energy savings.

- Optional integral emergency controller and battery pack provides 600lm nominal output.
- Test switch and indicator light mounted on side of chassis on one end.
- Emergency battery has a 3 month pre-installed shelf life, and must be stored and installed in environments of 20C to 30C (-4F to 86F) ambient, and 45-85% relative humidity.
- For more information on Interact Office Wired, visit: www.interact-lighting.com/office or www.usa.lighting.philips.com/systems/system-areas/offices.

Interact Office Wired (PoE), Static White:

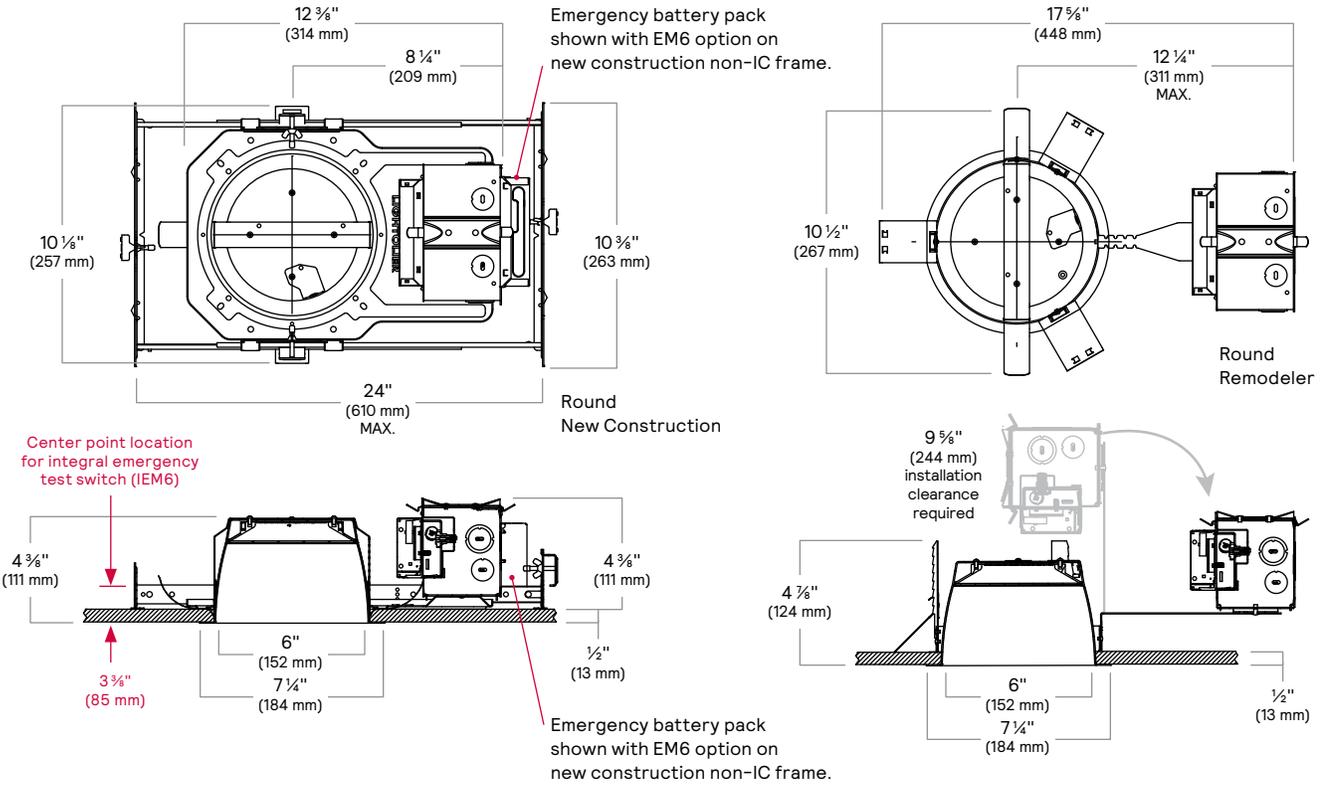
- A wireless IoT connected lighting solution for large enterprises that span across multiple floors, buildings and require multiple gateways.

- View all your projects under one dashboard and easily compare insights from multiple projects in one view.
- Compatible Zigbee Green Power wall dimmer and wireless Occupancy or Daylight & Occupancy sensors available.
- Use Interact Office software and insights to increase building efficiency, achieve building wide integration and optimize space through occupancy analytics.
- Supports advanced IoT Apps on wayfinding, room/desk reservation and offers open APIs
- Requires compatible Interact Office Gateway and internet connectivity for commissioning.
- For more information on Interact Office Wireless, visit: www.interact-lighting.com/office or www.usa.lighting.philips.com/systems/system-areas/offices.

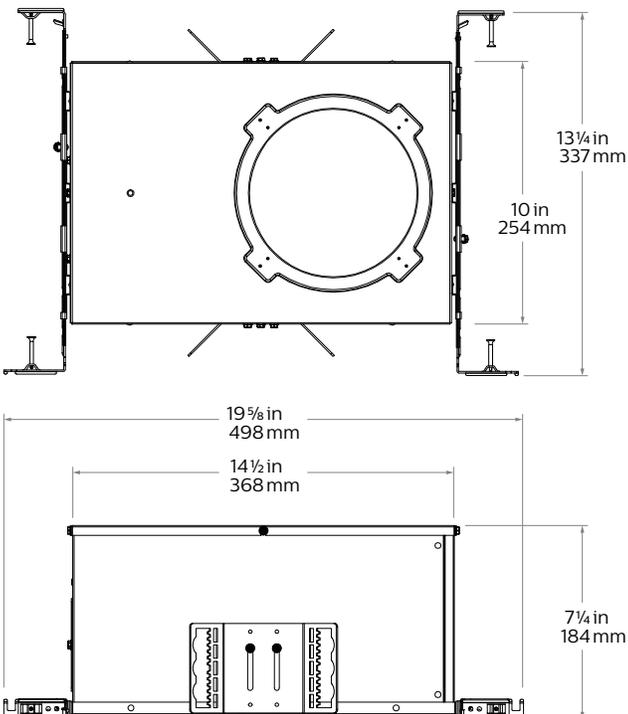
P6R LyteProfile 6"

Round Downlight & Lensed Wall Wash

Dimensions



AirSeal (A)



Electrical

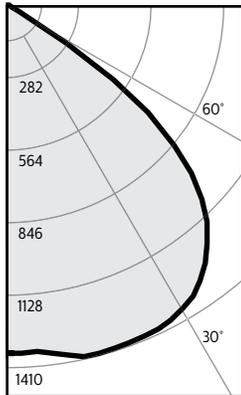
Product	Input Volts	Input Frequency	Input Current (A)	Input Power (W)
P6*10*Z10U/3	120	50/60Hz	0.083	10
	277		0.038	10
P6*15*Z10U/3	120	50/60Hz	0.125	15
	277		0.061	15
P6*20*Z10U/3	120	50/60Hz	0.17	21
	277		0.078	21
P6*25*Z10U/3	120	50/60Hz	0.21	25
	277		0.096	26
P6*30*Z10U/3	120	50/60Hz	0.27	32
	277		0.12	33
P6*35*Z10U/3	120	50/60Hz	0.32	38
	277		0.14	37
P6*10*LU	120	50/60Hz	0.093	10
	277		0.046	10
P6*15*LU	120	50/60Hz	0.13	15
	277		0.07	15
P6*20*LU	120	50/60Hz	0.175	20
	277		0.085	21
P6*25*LU	120	50/60Hz	0.21	25
	277		0.099	25
P6*30*LU	120	50/60Hz	0.274	31
	277		0.122	31
P6*35*LU	120	50/60Hz	0.32	36
	277		0.14	37

P6R LyteProfile 6"

Round Downlight & Lensed Wall Wash

P6RDL30835CLZ10U • 30W LED, 80CRI, 3500K

Candela Curves



Angle	Mean CP	Lumens
0	1361	131
5	1362	
10	1391	
15	1408	398
20	1403	
25	1397	644
30	1372	
35	1316	820
40	1218	
45	1073	816
50	852	
55	506	428
60	60	
65	12	17
70	6	
75	3	4
80	2	
85	1	1
90	0	

Single unit data

Height to Lighted Plane	Initial center beam foot-candles	Beam dia. (ft)*
5'	54	7.5'
6'	38	9.0'
7'	28	10.5'
8'	21	12.0'
9'	17	13.5'

* Beam diameter is where foot-candles drop to 50% of maximum.

Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq.ft.
5'	141.2	1.34
6'	92.7	0.88
7'	66.2	0.63
8'	55.2	0.52
9'	44.1	0.42

38'x38'x10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

Coefficients of utilization

Ceiling	80%				70%		50%		30%		0%	
	70	50	30	10	50	10	50	10	50	10	0	
Wall	Zonal cavity method - Effective floor reflectance = 20%											
RCR	Zonal cavity method - Effective floor reflectance = 20%											
Room Cavity Ratio	0	119	119	119	119	116	116	111	111	106	106	100
	1	112	108	105	102	106	101	102	98	98	95	90
	2	104	98	93	88	96	87	93	85	90	83	80
	3	97	88	82	77	87	76	84	75	81	73	70
	4	90	80	72	67	78	66	76	66	74	65	62
	5	83	72	64	59	71	58	69	58	67	57	55
	6	77	65	58	52	65	52	63	51	61	51	49
	7	72	60	52	46	59	46	57	46	56	46	44
	8	67	55	47	42	54	41	53	41	51	41	39
	9	62	50	43	38	50	37	48	37	47	37	35
10	58	46	39	34	46	34	45	34	44	34	32	

Zonal lumens & percentages

Zone	Lumens	%Luminaire
0-30	1173.33	36.0%
0-40	1993.21	61.2%
0-60	3236.94	99.3%
0-90	3258.47	100.0%

CRI and CCT adjustment factors

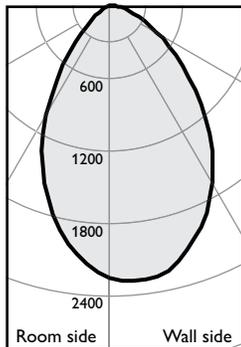
90 CRI 2700K = 84%
80 CRI 2700K = 100%
80 CRI 3000K = 100%
80 CRI 3500K = 105%
80 CRI 4000K = 109%

Report: 1552GFR

Output lumens:	3258lms	Efficacy:	107.5lm/w
Spacing Criterion:	1.5	CCT ³ :	3500K
Beam Angle:	101°	CRI:	80min
Input Watts ² :	30.3W		

P6RLW30835CLPZ10U • 30W LED, 80CRI, 3500K

Candela Curve



Report: 1560GFR

Efficacy:	104.6 lm/w
Output lumens:	3177 lms
Input watts ² :	30.3 W
CRI:	80 min
CCT ³ :	3500K

Multiple unit data

Footcandles on wall

Distance from ceiling in feet	2' from wall		
	3' on ctr.	3' on ctr.	3' on ctr.
1	74	48	74
2	111	91	111
3	96	90	96
4	74	72	74
5	56	56	56
6	43	44	43
7	35	35	35
8	29	29	29
9	24	24	24
10	21	21	21
12	17	17	17
14	15	15	15

Multiple unit data

Footcandles on wall

Distance from ceiling in feet	3' from wall		
	3' on ctr.	3' on ctr.	3' on ctr.
1	28	25	28
2	56	54	56
3	69	67	69
4	67	67	67
5	59	59	59
6	50	50	50
7	42	42	42
8	36	36	36
9	31	31	31
10	27	27	27
12	21	21	21
14	18	18	18

Multiple unit data

Footcandles on wall

Distance from ceiling in feet	3' from wall		
	4' on ctr.	4' on ctr.	4' on ctr.
1	24	18	24
2	46	38	46
3	55	49	55
4	52	49	52
5	46	45	46
6	38	38	38
7	33	33	33
8	28	28	28
9	24	24	24
10	21	21	21
12	17	17	17
14	14	15	14

1. Tested using absolute photometry as specified in LM79: IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products.
2. Wattage: controlled to within 5%
3. Correlated Color Temperature: within specs as defined in ANSI_NEMA_ANSI C78.377-2008: Specifications for the Chromaticity of Solid State Lighting Products.



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Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Lamps: _____ Qty: _____
 Notes: _____

example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Ordering guide

Prefix	Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage	
ECF-S							
ECF-S EcoForm site and area, small	32L 32 LEDs (2 modules) 48L 48 LEDs (3 modules) 64L 64 LEDs (4 modules)	365 365mA 530 530mA 700 700mA 1A 1050mA 1.2A 1200mA 900 900mA 1A 1050mA 1.2A¹⁹ 1200mA 900 900mA 1A¹⁹ 1050mA	WW-G2 Warm White 3000K, 70CRI Generation 2 NW-G2 Neutral White 4000K, 70CRI Generation 2 CW-G2 Cool White 5000K, 70CRI Generation 2	AR² Arm Mount (standard) The following mounting kits must be ordered separately (See accessories) SF³ Slip Fitter Mount (fits to 2 3/8" O.D. tenon) WS Wall mount with surface conduit rear entry permitted RAM² Retrofit arm mount kit	Type 2 2 Type 2 2-90 Rotated left 90° 2-270 Rotated right 270° Type 3 3 Type 3 3-90 Rotated left 90° 3-270 Rotated right 270° Type 4 4 Type 4 4-90 Rotated left 90° 4-270 Rotated right 270° Type 5 5 Type 5 5W Type 5W	AFR Auto Front Row AFR-90 Auto Front Row, Rotated left 90° AFR-270 Auto Front Row, Rotated right 270° BLC Back Light Control BLC-90 Back Light Control rotated at 90° BLC-270 Back Light Control rotated at 270° LCL¹⁹ LEED Corner Optic Left RCL¹⁹ LEED Corner Optic Right	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HVU 347-480V (50/60Hz)

Options						Finish
Dimming controls	Motion sensing lens	Photo-sensing	Electrical	Luminaire		
DD^{4,18} 0-10V External dimming (for controls by others) DCC^{4,5,6,18} Dual Circuit Control FAWS^{4,6,7,18} Field Adjustable Wattage Selector LLC^{4,6,7,8,18} Integral wireless module BL^{1,4,7,18} Bi-level functionality SRDR^{4,5,6,8,17} SR driver connected to Zhaga socket DynaDimmer: Automatic Profile Dimming CS50^{4,8} Safety 50% Dimming, 7 hours CM50^{4,8} Median 50% Dimming, 8 hours CS30^{4,8} Safety 30% Dimming, 7 hours CM30^{4,8} Median 30% Dimming, 8 hours	IMR13¹⁵ Integral with #3 lens IMR17¹⁶ Integral with #7 lens	PCB^{8,9} Photocontrol Button TLRD5^{10,17} Twist Lock Receptacle 5 Pin TLRD7^{10,17} Twist Lock Receptacle 7 Pin TLRPC^{9,10,11,17} Twist Lock Receptacle w/ Photocell	Fusing F1⁹ Single (120, 277, 347VAC) F2⁹ Double (208, 240, 480VAC) Pole Mount Fusing FP1⁹ Single (120, 277, 347VAC) FP2⁹ Double (208, 240, 480VAC) FP3⁹ Canadian Double Pull (208, 240, 480VAC) Surge Protection (10kA standard) SP2 Increased 20kA	Square Pole Adapter included in standard product TB¹² Terminal Block RPA¹³ Round Pole Adapter (fits to 3"- 3.9" O.D. pole) HIS¹⁴ Internal House Side Shield	Textured BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) CC Custom color (Must supply color chip for required factory quote)	

- BL-IMR13/7 equipped with out-boarded sensor housing when voltage is HVU (347-480V)
- Mounts to a 4" round pole with adapter included for square poles.
- Limited to a maximum of 45 degrees aiming above horizontal.
- Not available with other dimming control options.
- Not available with motion sensor.
- Not available with photocontrol.
- Must specify a motion sensor lens.
- Not available in 347 or 480V
- Must specify input voltage.
- TLRD5, TLRD7 and TLRPC receptacle pins 4 & 5 are capped off when ordered with any of the Dimming controls DD or FAWS or LLC.
- Not available in 480V. Order photocell separately with TLRD5/7.
- Not available with DCC.
- Not available with SF and WS. RPAs provided with black finish standard.
- HIS not available with Type 5, 5W, BLC, BLC-90, BLC-270, LCL or RCL optics.
- Not available with DD, DCC, and FAWS dimming control options.
- Not available with DD, DCC, FAWS and LLC dimming control options.
- When ordering SRDR, controller (by others) to be used on socket must be SR compatible (See specifications for more details). Consult factory for lead time. All 7 pins in NEMA receptacle are connected to SR driver. SRDR not available with TLRD5 or TLRPC.
- 0-10V dimming driver standard.
- LCL and RCL not available with 48L-1.2A or 64L-1A.



ECF-S EcoForm small

Area luminaire

EcoForm Accessories²¹ (ordered separately, field installed)

Shielding Accessories

House Side shield

Standard optic orientation:

HIS-32-H²⁰ Internal House Side Shield for 32 LEDs (2 modules)

HIS-48-H²⁰ Internal House Side Shield for 48 LEDs (3 modules)

HIS-64-H²⁰ Internal House Side Shield for 64 LEDs (4 modules)

Optic at 90 or 270 orientation:

HIS-32-V²⁰ Internal House Side Shield for 32 LEDs (2 modules)

HIS-48-V²⁰ Internal House Side Shield for 48 LEDs (3 modules)

HIS-64-V²⁰ Internal House Side Shield for 64 LEDs (4 modules)

Luminaire Accessories

ECF-BD-G2 Bird deterrent
ECF-RAM-G2-(F) Retrofit Arm mount kit
ECF-SF-G2-(F) Slip Fitter Mount (fits to 2 3/8" O.D. tenon)
ECF-WS-G2-(F) Wall mount with surface conduit rear entry permitted

EcoForm PTF2
 (pole top fitter fits 23/8-21/2" OD x 4" depth tenon)

PTF2-ECF-S/L-1-90-(F) 1 luminaire at 90°

PTF2-ECF-S/L-2-90-(F) 2 luminaires at 90°

PTF2-ECF-S/L-2-180-(F) 2 luminaires at 180°

PTF2-ECF-S/L-3-90-(F) 3 luminaires at 90°

PTF2-ECF-S/L-4-90-(F) 4 luminaires at 90°

PTF2-ECF-S/L-3-120-(F) 3 luminaires at 120°

(F) = Specify finish

EcoForm PTF3
 (pole top fitter fits 3-31/2" OD x 6" depth tenon)

PTF3-ECF-S/L-1-90-(F) 1 luminaire at 90°

PTF3-ECF-S/L-2-90-(F) 2 luminaires at 90°

PTF3-ECF-S/L-2-180-(F) 2 luminaires at 180°

PTF3-ECF-S/L-3-90-(F) 3 luminaires at 90°

PTF3-ECF-S/L-4-90-(F) 4 luminaires at 90°

PTF3-ECF-S/L-3-120-(F) 3 luminaires at 120°

EcoForm PTF4
 (pole top fitter fits 31/2-4" OD x 6" depth tenon)

PTF4-ECF-S/L-1-90-(F) 1 luminaire at 90°

PTF4-ECF-S/L-2-90-(F) 2 luminaires at 90°

PTF4-ECF-S/L-2-180-(F) 2 luminaires at 180°

PTF4-ECF-S/L-3-90-(F) 3 luminaires at 90°

PTF4-ECF-S/L-4-90-(F) 4 luminaires at 90°

PTF4-ECF-S/L-3-120-(F) 3 luminaires at 120°

Ready to Go configurations (when ordered with the "RS-" catalog code, the following configurations will ship in 2 weeks):

Catalog Number	12NC
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BZ	912401466002
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-MGY	912401466003
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BK	912401534554
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-BZ	912401466004
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-MGY	912401466005
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-BK	912401534555
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BZ	912401466006
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-MGY	912401466007
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BK	912401534556
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-BZ	912401466008
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-MGY	912401466009
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-BK	912401534557
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BZ	912401466010
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-MGY	912401466011
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BK	912401534558
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-BZ	912401466012
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-MGY	912401466013
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-BK	912401534559
RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-BZ	912401466014
RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-MGY	912401466015

Catalog Number	12NC
RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-BK	912401534560
RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BZ	912401466016
RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-MGY	912401466017
RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BK	912401534561
RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BZ	912401466018
RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-MGY	912401466019
RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BK	912401534562
RS-ECF-RAM-G2-DGY	912401466487
RS-ECF-RAM-G2-MGY	912401466488
RS-ECF-RAM-G2-WH	912401466485
RS-ECF-RAM-G2-BZ	912401466486
RS-ECF-RAM-G2-BK	912401466484
RS-HIS-32-H	912401466489
RS-HIS-48-H	912401466491
RS-HIS-64-H	912401466493

ECF-S EcoForm small

Area luminaire

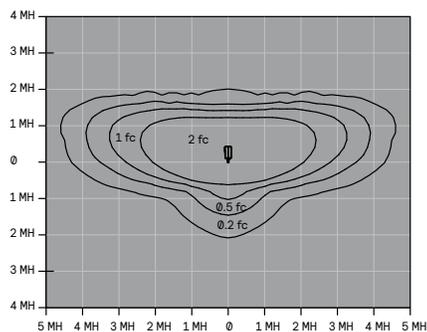
Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours

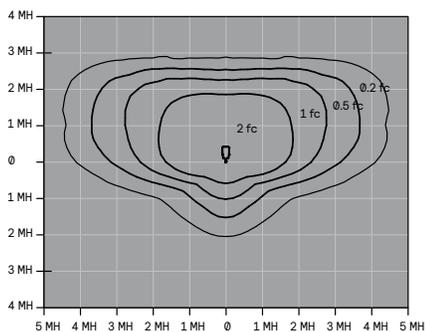
Ambient Temperature °C	Driver mA	Calculated L ₇₀ Hours	L ₇₀ per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1200 mA	>100,000 hours	>120,000 hours	>99%

Optical Distributions

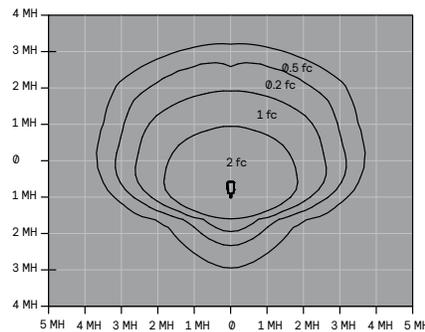
Based on configuration ECF-S-48L-1A-NW-G2 (159W) mounted at 20ft.



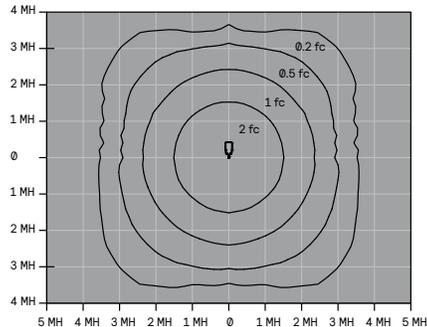
Type 2



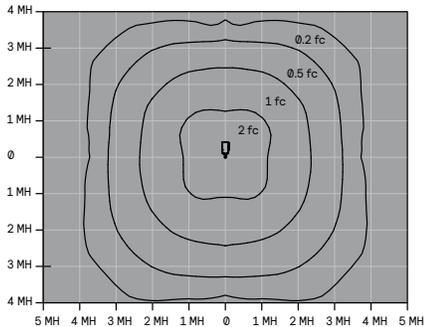
Type 3



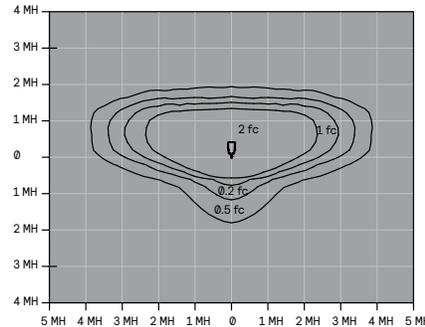
Type 4



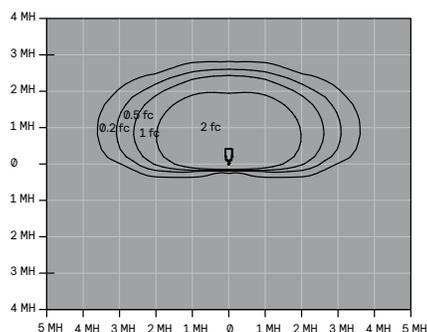
Type 5



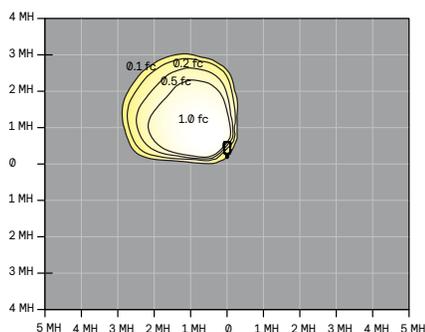
Type 5W



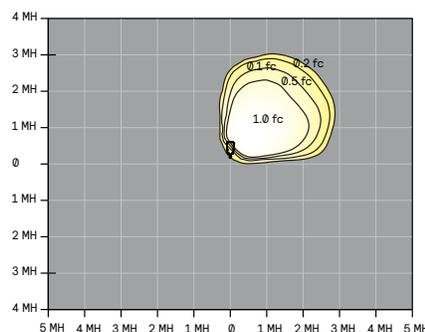
AFR



BLC



LCL



RCL

ECF-S EcoForm small

Area luminaire

3000K LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type 2			Type 3			Type 4			Type 5			Type 5W		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-WW-G2-x	32	365	3000	40	5,508	B1-U0-G1	138	5,428	B1-U0-G2	136	5,637	B1-U0-G2	141	5,790	B3-U0-G1	145	5,604	B3-U0-G1	140
ECF-S-32L-530-WW-G2-x	32	530	3000	56	7,159	B2-U0-G2	129	7,055	B1-U0-G2	127	7,327	B1-U0-G2	132	7,526	B3-U0-G2	135	7,284	B3-U0-G2	131
ECF-S-32L-700-WW-G2-x	32	700	3000	73	9,234	B2-U0-G2	127	9,034	B2-U0-G2	124	9,452	B2-U0-G2	130	9,707	B4-U0-G2	133	9,395	B4-U0-G2	129
ECF-S-32L-1A-WW-G2-x	32	1050	3000	106	13,001	B3-U0-G2	123	12,719	B2-U0-G2	120	13,306	B2-U0-G3	126	13,665	B4-U0-G2	129	13,227	B4-U0-G2	125
ECF-S-32L-1.2A-WW-G2-x	32	1200	3000	122	14,421	B3-U0-G3	119	14,108	B2-U0-G3	116	14,760	B2-U0-G3	121	15,158	B4-U0-G2	125	14,671	B4-U0-G2	121
ECF-S-48L-900-WW-G2-x	48	900	3000	135	17,115	B3-U0-G3	127	16,744	B3-U0-G3	124	17,518	B2-U0-G3	130	17,990	B4-U0-G2	133	17,413	B5-U0-G3	129
ECF-S-48L-1A-WW-G2-x	48	1050	3000	159	19,381	B3-U0-G3	122	18,960	B3-U0-G3	119	19,836	B3-U0-G4	125	20,372	B5-U0-G3	128	19,717	B5-U0-G3	124
ECF-S-48L-1.2A-WW-G2-x	48	1200	3000	183	21,515	B3-U0-G3	118	21,048	B3-U0-G4	115	22,020	B3-U0-G4	121	22,616	B5-U0-G3	124	21,888	B5-U0-G3	120
ECF-S-64L-900-WW-G2-x	64	900	3000	178	22,652	B3-U0-G3	127	22,161	B3-U0-G4	125	23,185	B3-U0-G4	130	23,810	B5-U0-G3	134	23,045	B5-U0-G3	130
ECF-S-64L-1A-WW-G2-x	64	1050	3000	206	25,520	B3-U0-G3	124	24,966	B3-U0-G4	121	26,120	B3-U0-G4	127	26,150	B5-U0-G3	127	25,964	B5-U0-G4	126

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type AFR			BLC			LCL or RCL		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-WW-G2-x	32	365	3000	40	5,706	B2-U0-G1	143	3,691	B0-U0-G1	94	2,449	B0-U0-G1	62
ECF-S-32L-530-WW-G2-x	32	530	3000	56	7,417	B2-U0-G1	133	5,005	B0-U0-G2	91	3,183	B0-U0-G1	58
ECF-S-32L-700-WW-G2-x	32	700	3000	73	9,567	B2-U0-G2	131	6,409	B0-U0-G2	89	4,106	B0-U0-G1	57
ECF-S-32L-1A-WW-G2-x	32	1050	3000	106	13,467	B3-U0-G2	128	9,024	B1-U0-G2	87	5,793	B0-U0-G2	56
ECF-S-32L-1.2A-WW-G2-x	32	1200	3000	122	14,939	B3-U0-G2	123	10,010	B1-U0-G2	84	6,426	B0-U0-G2	54
ECF-S-48L-900-WW-G2-x	48	900	3000	135	17,731	B3-U0-G2	131	11,880	B1-U0-G2	89	7,626	B0-U0-G2	57
ECF-S-48L-1A-WW-G2-x	48	1050	3000	159	20,076	B3-U0-G2	127	13,453	B1-U0-G2	86	8,636	B0-U0-G2	55
ECF-S-48L-1.2A-WW-G2-x	48	1200	3000	183	22,288	B3-U0-G2	122	14,934	B1-U0-G3	83			
ECF-S-64L-900-WW-G2-x	64	900	3000	178	23,465	B3-U0-G2	132	15,723	B1-U0-G3	90	10,093	B0-U0-G2	58
ECF-S-64L-1A-WW-G2-x	64	1050	3000	206	26,437	B4-U0-G3	128	17,714	B1-U0-G3	87			

4000K LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type 2			Type 3			Type 4			Type 5			Type 5W		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-NW-G2-x	32	365	4000	40	5,798	B1-U0-G1	145	5,713	B1-U0-G2	143	5,934	B1-U0-G2	148	6,094	B3-U0-G1	152	5,898	B3-U0-G2	147
ECF-S-32L-530-NW-G2-x	32	530	4000	56	7,536	B2-U0-G2	135	7,426	B1-U0-G2	133	7,713	B1-U0-G2	138	7,922	B3-U0-G2	142	7,667	B3-U0-G2	138
ECF-S-32L-700-NW-G2-x	32	700	4000	73	9,720	B2-U0-G2	133	9,509	B2-U0-G2	130	9,949	B2-U0-G2	136	10,218	B4-U0-G2	140	9,889	B4-U0-G2	136
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	13,685	B3-U0-G2	130	13,388	B2-U0-G3	127	14,006	B2-U0-G3	133	14,384	B4-U0-G2	136	13,923	B4-U0-G2	132
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	15,180	B3-U0-G3	125	14,851	B2-U0-G3	122	15,537	B2-U0-G3	128	15,956	B4-U0-G2	131	15,443	B4-U0-G2	127
ECF-S-48L-900-NW-G2-x	48	900	4000	135	18,016	B3-U0-G3	133	17,625	B3-U0-G3	130	18,440	B3-U0-G3	136	18,937	B4-U0-G3	140	18,329	B5-U0-G3	136
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	20,401	B3-U0-G3	129	19,958	B3-U0-G4	126	20,880	B3-U0-G4	132	21,444	B5-U0-G3	135	20,755	B5-U0-G3	131
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	22,647	B3-U0-G3	124	22,156	B3-U0-G4	121	23,179	B3-U0-G4	127	23,806	B5-U0-G3	130	23,040	B5-U0-G3	126
ECF-S-64L-900-NW-G2-x	64	900	4000	178	23,844	B3-U0-G3	134	23,327	B3-U0-G4	131	24,405	B3-U0-G4	137	25,063	B5-U0-G3	141	24,258	B5-U0-G4	136
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	26,863	B3-U0-G3	130	26,280	B3-U0-G4	128	27,495	B3-U0-G4	134	27,526	B5-U0-G3	134	27,330	B5-U0-G4	133

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type AFR			BLC			LCL or RCL		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-NW-G2-x	32	365	4000	40	6,006	B2-U0-G1	150	3,991	B0-U0-G1	101	2,633	B0-U0-G1	67
ECF-S-32L-530-NW-G2-x	32	530	4000	56	7,807	B2-U0-G1	140	5,412	B0-U0-G2	99	3,423	B0-U0-G1	62
ECF-S-32L-700-NW-G2-x	32	700	4000	73	10,070	B2-U0-G2	138	6,930	B0-U0-G2	96	4,415	B0-U0-G1	61
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	14,176	B3-U0-G2	134	9,756	B1-U0-G2	94	6,229	B0-U0-G2	60
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	15,725	B3-U0-G2	129	10,822	B1-U0-G2	90	6,910	B0-U0-G2	58
ECF-S-48L-900-NW-G2-x	48	900	4000	135	18,664	B3-U0-G2	138	12,843	B1-U0-G2	96	8,200	B0-U0-G2	62
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	21,133	B3-U0-G2	133	14,544	B1-U0-G3	93	9,286	B0-U0-G2	59
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	23,461	B3-U0-G2	128	16,145	B1-U0-G3	90			
ECF-S-64L-900-NW-G2-x	64	900	4000	178	24,700	B3-U0-G2	139	16,998	B1-U0-G3	97	10,853	B0-U0-G2	62
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	27,828	B4-U0-G3	135	19,150	B1-U0-G3	94			

ECF-S EcoForm small

Area luminaire

5000K LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type 2			Type 3			Type 4			Type 5			Type 5W		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-CW-G2-x	32	365	5000	40	5,798	B1-U0-G1	145	5,713	B1-U0-G2	143	5,934	B1-U0-G2	148	6,094	B3-U0-G1	152	5,898	B3-U0-G2	147
ECF-S-32L-530-CW-G2-x	32	530	5000	56	7,536	B2-U0-G2	135	7,426	B1-U0-G2	133	7,713	B1-U0-G2	138	7,922	B3-U0-G2	142	7,667	B3-U0-G2	138
ECF-S-32L-700-CW-G2-x	32	700	5000	73	9,720	B2-U0-G2	133	9,509	B2-U0-G2	130	9,949	B2-U0-G2	136	10,218	B4-U0-G2	140	9,889	B4-U0-G2	136
ECF-S-32L-1A-CW-G2-x	32	1050	5000	106	13,685	B3-U0-G2	130	13,388	B2-U0-G3	127	14,006	B2-U0-G3	133	14,384	B4-U0-G2	136	13,923	B4-U0-G2	132
ECF-S-32L-1.2A-CW-G2-x	32	1200	5000	122	15,180	B3-U0-G3	125	14,851	B2-U0-G3	122	15,537	B2-U0-G3	128	15,956	B4-U0-G2	131	15,443	B4-U0-G2	127
ECF-S-48L-900-CW-G2-x	48	900	5000	135	18,016	B3-U0-G3	133	17,625	B3-U0-G3	130	18,440	B3-U0-G3	136	18,937	B4-U0-G3	140	18,329	B5-U0-G3	136
ECF-S-48L-1A-CW-G2-x	48	1050	5000	159	20,401	B3-U0-G3	129	19,958	B3-U0-G4	126	20,880	B3-U0-G4	132	21,444	B5-U0-G3	135	20,755	B5-U0-G3	131
ECF-S-48L-1.2A-CW-G2-x	48	1200	5000	183	22,647	B3-U0-G3	124	22,156	B3-U0-G4	121	23,179	B3-U0-G4	127	23,806	B5-U0-G3	130	23,040	B5-U0-G3	126
ECF-S-64L-900-CW-G2-x	64	900	5000	178	23,844	B3-U0-G3	134	23,327	B3-U0-G4	131	24,405	B3-U0-G4	137	25,063	B5-U0-G3	141	24,258	B5-U0-G4	136
ECF-S-64L-1A-CW-G2-x	64	1050	5000	206	26,863	B3-U0-G3	130	26,280	B3-U0-G4	128	27,495	B3-U0-G4	134	27,526	B5-U0-G3	134	27,330	B5-U0-G4	133

Ordering Code	Total LEDs	LED Current (mA)	Color Temp.	Average System Watts	Type AFR			BLC			LCL or RCL		
					Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)	Lumen Output	BUG Rating	Efficacy (LPW)
ECF-S-32L-365-CW-G2-x	32	365	5000	40	6,006	B2-U0-G1	150	3,991	B0-U0-G1	101	2,633	B0-U0-G1	67
ECF-S-32L-530-CW-G2-x	32	530	5000	56	7,807	B2-U0-G1	140	5,412	B0-U0-G2	99	3,423	B0-U0-G1	62
ECF-S-32L-700-CW-G2-x	32	700	5000	73	10,070	B2-U0-G2	138	6,930	B0-U0-G2	96	4,415	B0-U0-G1	61
ECF-S-32L-1A-CW-G2-x	32	1050	5000	106	14,176	B3-U0-G2	134	9,756	B1-U0-G2	94	6,229	B0-U0-G2	60
ECF-S-32L-1.2A-CW-G2-x	32	1200	5000	122	15,725	B3-U0-G2	129	10,822	B1-U0-G2	90	6,910	B0-U0-G2	58
ECF-S-48L-900-CW-G2-x	48	900	5000	135	18,664	B3-U0-G2	138	12,843	B1-U0-G2	96	8,200	B0-U0-G2	62
ECF-S-48L-1A-CW-G2-x	48	1050	5000	159	21,133	B3-U0-G2	133	14,544	B1-U0-G3	93	9,286	B0-U0-G2	59
ECF-S-48L-1.2A-CW-G2-x	48	1200	5000	183	23,461	B3-U0-G2	128	16,145	B1-U0-G3	90			
ECF-S-64L-900-CW-G2-x	64	900	5000	178	24,700	B3-U0-G2	139	16,998	B1-U0-G3	97	10,853	B0-U0-G2	62
ECF-S-64L-1A-CW-G2-x	64	1050	5000	206	27,828	B4-U0-G3	135	19,150	B1-U0-G3	94			

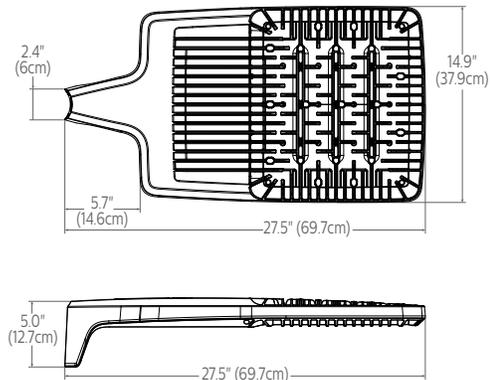
ECF-S EcoForm small

Area lumineuse

Dimensions

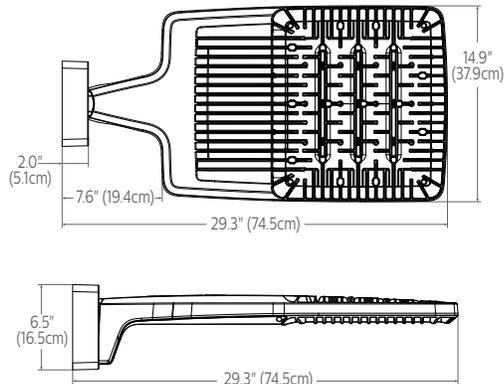
Standard Arm (AR)

Weight: 22 Lbs (9.9 Kg) EPA: 0.21ft² (.019m²)



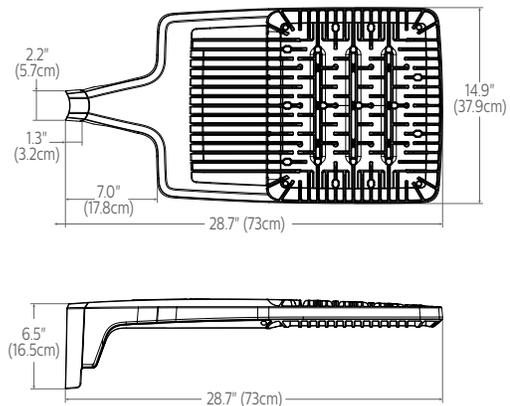
Wall (WS)

Weight: 27 Lbs. (12. 2Kg)EPA: 0.27ft² (.025m²)



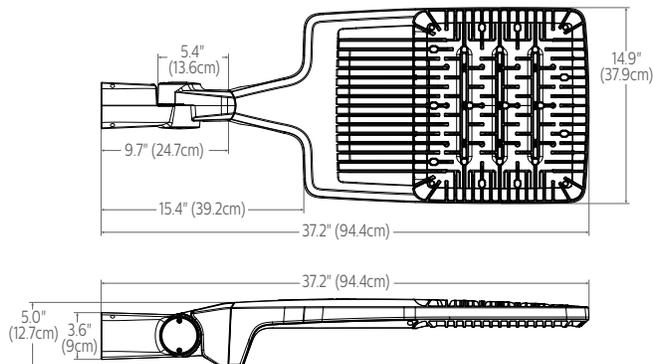
Retrofit Arm (RAM)

Weight: 24 Lbs (10.9 Kg) EPA: 0.24ft² (.022m²)

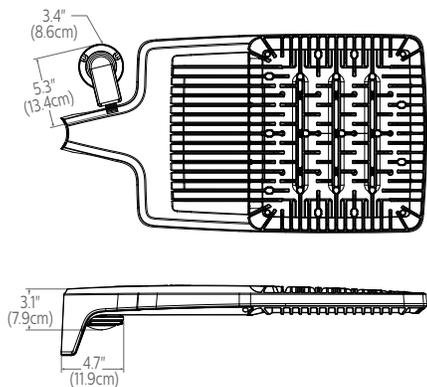


Slip fitter (SF)

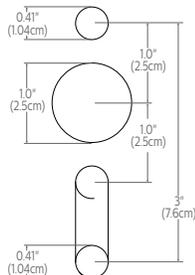
Weight: 27 Lbs (12.2 Kg) EPA: 0.33ft² (.031m²)



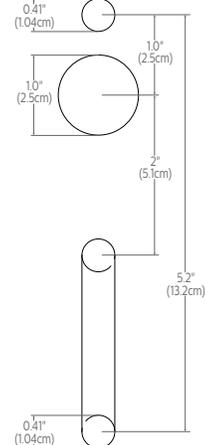
Outboard IMR-HVU sensor



Standard Arm (AR) drill pattern



Retrofit Arm (RAM) drill pattern



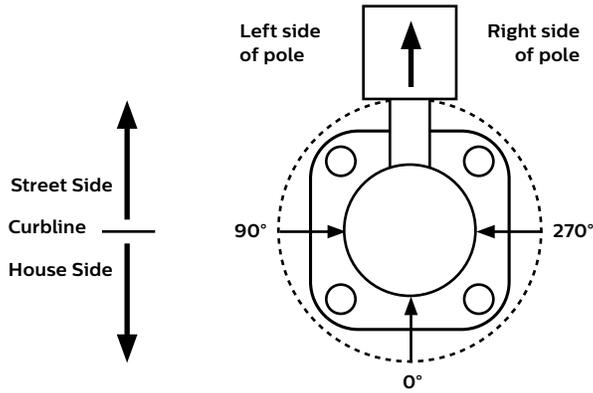
ECF-S EcoForm small

Area luminaire

Optical Orientation Information

Standard Optic Position

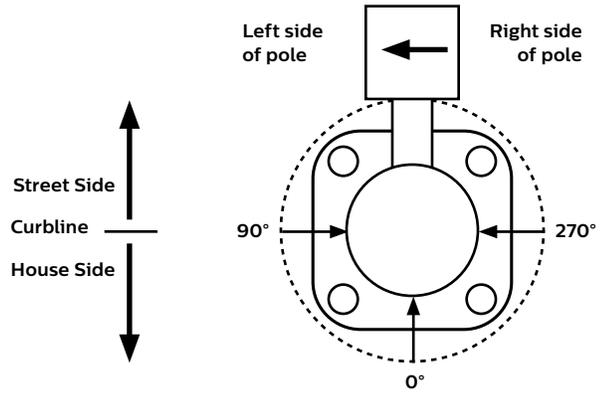
Luminaires ordered with asymmetric optical systems in the standard optic position will have the optical system oriented as shown below:



Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Left (90°) Optic Position

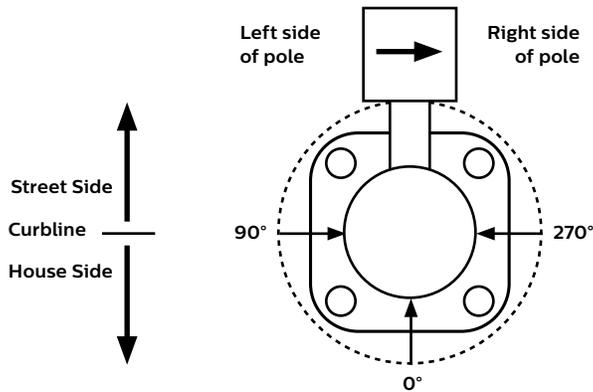
Luminaires ordered with optical systems in the Optic Rotated Left (90°) optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Right (270°) Optic Position

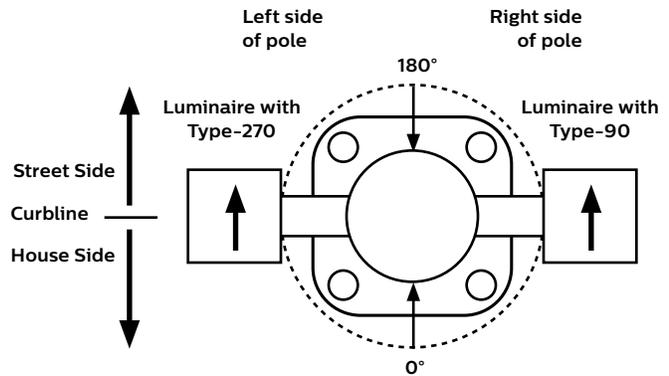
Luminaires ordered with optical systems in the Optic Rotated Right (270°) optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point.

Twin Luminaire Assemblies with Type-90/Type-270 Rotated Optical Systems

Twin luminaire assemblies installed with rotated optical systems are an excellent way to direct light toward the interior of the site (Street Side) without additional equipment. It is important, however, that care be exercised to insure that luminaires are installed in the proper location.



Luminaires with Optic Rotated Right (270°) are installed on the LEFT Side of Pole

Luminaires with Optic Rotated Left (90°) are installed on the RIGHT Side of Pole

Note: The hand hole location will depend on the drilling configuration ordered for the pole.

ECF-S EcoForm small

Area luminaire

Specifications

Housing

One-piece die cast aluminum housing with integral arm and separate, self-retained hinged, one-piece die cast door frame. Luminaire housing rated to IP65, tested in accordance to Section 9 of IEC 60598-1.

Vibration resistance

Luminaire is tested and rated 3G over 100,000 cycles conforming to standards set forth by ANSI C136.31-2018. Testing includes vibration in three axes, all performed on the same luminaire.

Light engine

Light engine comprises of a module of 16-LED aluminum metal clad board fully sealed with optics offered in multiples of 2, 3, and 4 modules or 32, 48, and 64 LEDs. Module is RoHS compliant. Color temperatures: 3000K +/-125K, 4000K, 5000K +/- 200K. Minimum CRI of 70. LED light engine is rated IP66 in accordance to Section 9 of IEC 60598-1.

Energy saving benefits

System efficacy up to 152 lms/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

Optical systems

Type 2, 3, 4, 5, 5W, and AFR distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, 4, and AFR distributions, including a dedicated BLC, LCL, and RCL optics to provide the best backlight control possible for those stringent requirements around property lines. Types 2, 3, 4, AFR, and BLC when specified and used as rotated, are factory set only. Performance tested per LM-79 and TM-15 (IESNA) certifying its photometric performance. Luminaire designed with 0% uplight (U0 per IESNA TM-15).

Mounting

Standard luminaire arm mounts to 4" O.D. round poles. Can also be used with 5" O.D. poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3-3.9" poles. EcoForm features a retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately. Also optional are slipfitter and wall mounting accessories. Note that only fixed mounts (AR, RAM, WS) are required to meet IDA compliance. SF mounting will not meet IDA.

Control options

0-10V dimming (DD): Access to 0-10V dimming leads supplied through back of luminaire (for secondary dimming controls by others). Cannot be used with other control options.

Dual Circuit Control (DCC): Luminaire equipped with the ability to have two separate circuits controlling drivers and light engines independently. Permits separate switching of separate modules controlled by use of two sets of leads, one for each circuit. Not recommended to be used with other control options, motion response, or photocells.

Sensor Ready Zhaga Socket Connector (SRDR): Product equipped with Sensor Ready drivers connected to 4-pin Zhaga Book 18 compliant receptacle designed for sensor and other control system applications. Receptacle is rated IP66 assembly in a compact design that provides a sealed electrical interface and rated UV resistance, mounted on underside of the luminaire, protective dust cap included. When a controller not provided by Signify is used with Sensor Ready Zhaga socket connector, the controller must be certified to work with the Xitanium SR LED drivers as part of the SR certified program. SRDR can be used with NEMA 7-pin twist lock receptacle, which is mounted on top of the luminaire.

Automatic Profile Dimming (CS/CM/CE/CA): Standard dimming profiles provide flexibility towards energy savings goals while optimizing light levels during specific dark hours. Dimming profiles include two dimming settings including dim to 30% or 50% of the total lumen output. When used in combination with not programmed motion response it overrides the controller's schedule when motion is detected. After 5 minutes with no motion, it will return to the automatic dimming profile schedule. Automatic dimming profile scheduled with the following settings:

- **CS50/CS30:** Security for 7 hours night duration (Ex., 11 PM - 6 AM)
- **CM50/CM30:** Median for 8 hours night duration (Ex., 10 PM - 6 AM)

All above profiles are calculated from mid point of the night. Dimming is set for 6 hours after the mid point and 1 or 2 hours before depending of the duration of dimming. Cannot be used with other dimming control options.

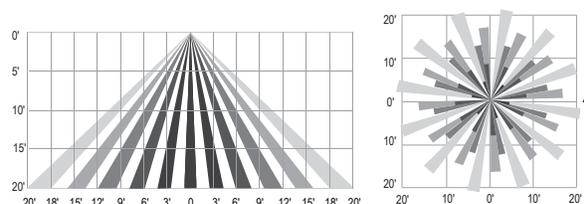
Field Adjustable Wattage Selector (FAWS): Luminaire equipped with the ability to manually adjust the wattage in the field to reduce total luminaire lumen output and light levels. Comes pre-set to the highest position at the lumen output selected. Use chart below to estimate reduction in lumen output desired. Cannot be used with other control options or motion response.

FAWS Position	Percent of Typical Lumen Output
1	25%
2	50%
3	55%
4	65%
5	75%
6	80%
7	85%
8	90%
9	95%
10	100%

Note: Typical value accuracy +/- 5%

Wireless system (LLC): Optional wireless controller integral to luminaire ready to be connected to a Lighthouse system (sold by others). The system allows you to wirelessly manage the entire site, independent lighting groups or individual luminaires while on-site or remotely. Based on a high-density mesh network with an easy to use web-based portal, you can conveniently access, monitor and manage your lighting network remotely. Wireless controls can be combined with site and area, pedestrian, and parking garage luminaires as well, for a completely connected outdoor solution. Equipped with motion response with #3 lens for 8-25' mounting heights. Also available with remote pod accessory where pod is mounted separate from luminaire to pole or wall.

LLC wireless controller with #3 lens



Motion response options

Bi-Level Infrared Motion Response (BL-IMRI): Motion Response module is mounted integral to luminaire factory pre-programmed to 50% dimming when not ordered with other control options. BL-IMRI is set/operates in the following fashion: The motion sensor is set to a constant 50%. When motion is detected by the PIR sensor, the luminaire returns to full power/light output. Dimming on low is factory set to 50% with 5 minutes default in "full power" prior to dimming back to low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 50%, to 50% of the normal constant wattage reducing the light level. Other dimming settings can be provided if different dimming levels are required. This can also be done with FSIR-100 Wireless Remote Programming Tool (contact Technical Support for details).

Infrared Motion Response with Other Controls: When used in combination with other controls (Automatic Dimming Profile), motion response device will simply override controller's schedule with the added benefits of a combined dimming profile and sensor detection. In this configuration, the motion response device cannot be re-programmed with FSIR-100 Wireless Remote Programming Tool. The profile can only be re-programmed via the controller.

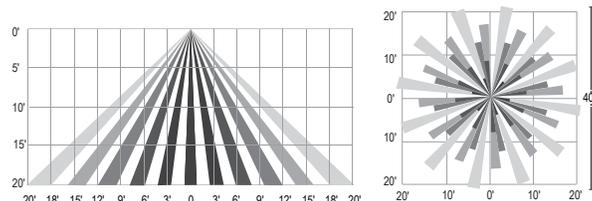
ECF-S EcoForm small

Area luminaire

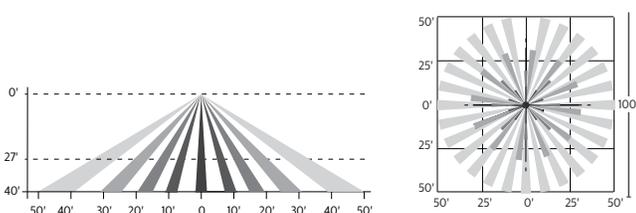
Specifications

Infrared Motion Response Lenses (IMRI3/IMRI7): Infrared Motion Response Integral module is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges. Lens #3 (IMRI3) is designed for mounting heights up to 20' with a 40' diameter coverage area. Lens #7 is designed for higher mounting heights up to 40' with larger coverage areas up to 100' diameter coverage area. See charts for approximate detection patterns:

IMRI3 Luminaire or remote mount controller with #3 lens



IMRI7 Luminaire or remote mount controller with #7 lens



Electrical

Twist-Lock Receptacle (TLRD5/TLRD7/ TLRPC): Twist Lock Receptacle with 5 pins enabling dimming or with 7 pins with additional functionality (by others) can be used with a twistlock photoelectric cell or a shorting cap. Dimming Receptacle Type B (5-pin) and Type D-24 (7-pin) in accordance to ANSI C136.41. Can be used with third-party control system. Receptacle located on top of luminaire housing. When specifying receptacle with twistlock photoelectric cell, voltage must be specified. When ordering 7-pin Twist-lock receptacle (TLRD7), all 7 pins are wired to respective pins with the Sensor Ready (SR) driver, and photocell or shorting cap is not included. When ordering a twist-lock receptacle with a photocell (TLRPC), the receptacle used is a 5-pin receptacle, so pins 6 and 7 are not available (no SR driver). 0-10V dimming leads (pins 4 and 5) are connected if not ordered with any other dimming option.

Buy American Act of 1933 (BAA):

This product is manufactured in one of our US factories and, as of the date of this document, this product was considered a commercially available off-the-shelf (COTS) item meeting the requirements of the BAA. This BAA designation hereunder does not address (i) the applicability of, or availability of a waiver under, the Trade Agreements Act, or (ii) the "Buy America" domestic content requirements imposed on states, localities, and other non-federal entities as a condition of receiving funds administered by the Department of Transportation or other federal agencies. Prior to ordering, please visit www.signify.com/baa to view a current list of BAA-compliant products to confirm this product's current compliance.

Driver: Driver efficiency (>90% standard). 120-480V available (restrictions apply). Open/short circuit protection. All drivers are 0-10V dimming to 10% power standard, except when using Sensor Ready (SR) drivers, which uses DALI protocol (options CS50/CM50/CS30/CM30, SRDR, and TR7). Drivers are RoHS and FCC Title 47 CFR Part 15 compliant.

Button Photocontrol (PCB): Button style design for internal luminaires mounting applications. The photocontrol is constructed of a high impact UV stabilized polycarbonate housing. Rated voltage of 120V or 208-277V with a load rating of 1000 VA. The photocell will turn on with 1-4Fc of ambient light.

Surge protection (SP1/SP2): Surge protection device tested in accordance with ANSI/IEEE C62.45 per ANSI/IEEE C62.41.2 Scenario I Category C High Exposure 10kV/10kA waveforms for Line-Ground, Line-Neutral and Neutral-Ground, and in accordance with DOE MSSLC Model Specification for LED Roadway Luminaires Appendix D Electrical Immunity High test level 10kV/10kA, 20kV / 10kA surge protection device that provides extra protection beyond the SP1 10kV/10kA level.

Listings

UL/cUL wet location listed to the UL 1598 standard, suitable for use in ambient temperatures from -40° to 40°C (-40° to 104°F). Most EcoForm configurations are qualified under Premium and Standard DesignLights Consortium® categories. Consult DLC Qualified Products list to confirm your specific luminaire selection is approved. CCTs 3000K and warmer are Dark Sky Approved.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BZ), black (BK), white (WH), dark gray (DGY), and medium gray (MGY). Consult factory for specs on optional or custom colors.

Service Tag

Each individual luminaire is uniquely identifiable, thanks to the Service tag application. With a simple scan of a QR code, placed on the inside of the mast door, you gain instant access to the luminaire configuration, making installation and maintenance operations faster and easier, no matter what stage of the luminaire's lifetime. Just download the APP and register your product right away. For more details visit: signify.com

Warranty

EcoForm luminaires feature a 5-year limited warranty. See signify.com/warranties for complete details and exclusions.



DESCRIPTION

The WLZ Series features an architecturally relevant low-profile LED design in lumen packages ranging from 1500 lumens to over 12,000 lumens. Its high-efficiency light engine is designed for optimal light control and distribution with zero uplight. This family of product is offered in several size housings to complement any building exterior and accommodates mounting heights up to 35'. Integral emergency battery backup available for path of egress with Cold Location operation down to -20°C.

SPECIFICATIONS

Construction

- Sleek die-cast aluminum housing with stainless steel hardware and powder coated black, bronze, silver or white finish
- UV-stabilized polycarbonate optical lens
- Integral heat sink for maximized heat dissipation
- Back box houses drivers away from LEDs and includes three 3/4" hubs (WLZ1 and WLZ2 - two 3/4" hubs)

Optics/LEDs

- Zero uplight design to minimize light pollution
- 15 to 100 Watt models replace up to 400 Watt HID for up to 70% energy savings
- Efficacies up to 123 LPW at 5000K to maximize utility rebates
- Type III and Type IV distributions for optimal light distribution (WLZ1 - Type III only)
- Available in 3000K, 3500K, 4000K and 5000K CCT
- L70 of 50,000 hours at 40°C
- CRI of ≥70

Electrical

- Class 2 power supply, 120-277VAC, 50/60Hz
- 347/480VAC Dedicated driver option for WLZ4, WLZ7 and WLZ10
- 0-10V Dimming driver (120-277VAC only)
- Power supply rated Class A EMI rating

Installation

- Housing hinges to back box and is secured with set screws
- Back box is complete with three 3/4" hubs and internal bubble level for easy installation (WLZ1 and WLZ2 - two 3/4" hubs)
- Mounts to a standard 3-1/2" or 4" square electrical J-box
- Suitable for downlight installation only

Options

Battery Backup

- Integral battery backup (BB) provides over 700 lumens and 90 minutes of runtime for path of egress. Rated for ambient temperatures of 0°C to 40°C (32°F to 104°F). Not available on WLZ1
- Integral Battery Backup with Internal Heater (BB-IH) provides over 700 lumens and 90 minutes of runtime for path of egress in Cold Locations down to -20°C. Not available on WLZ1 or WLZ2.
- Factory installed dual driver options for WLZ4 and WLZ10 (WLZ7 is standard with two drivers)
- Factory installed 120/277VAC button type photocontrol option (PC)
- Factory installed 10kVA surge protection options (SP or SPH)

Accessories (Field Installed)

- 120/277VAC Button type universal photocontrol options accessory (PCU)
- Dimming occupancy sensor programmable, Wattstopper FSP221 available in multiple finishes (TL-SCES-L2)
- Remote control for occupancy sensor. Optional (TL-FSIR100)

Testing & Compliance

- cULus Listed for Wet Locations
- International Dark Sky friendly approved product. (IDA) 3000K only
- Operating temperatures: -40°C to 40°C (-40°F to 104°F)

Warranty

- Five year warranty (terms and conditions apply)

Model: _____ Date: _____
 Accessories: _____
 Job Name: _____ Type: _____



Specs At A Glance*					
Model	WLZ1	WLZ2	WLZ4	WLZ7	WLZ10
Wattage (nominal)	15W	25W	40W	70W	100W
Lumens (lm)	1745	3198	5021	8729	12,393
Efficacy (LPW)	115	118	123	120	116
Equivalency (HID)	50W	100W	150W	250W	400W
Distribution	Type III, IV (WLZ1 Type III only)				
CCT	3000K, 3500K, 4000K, 5000K				
CRI	≥70				
Input Voltage	120-277VAC, 50/60Hz, 347/480V option				
Operating Temp	-40°C to 40°C (-40°F to 104°F)				
Certifications	UL Listed for Wet Locations, IDA				
Warranty	5 Years				
Weight	2.6 lbs	3.3 lbs	6.0 lbs	9.9 lbs	12.1 lbs

* Nominal Wattage, tested at 5000K CCT, Type III distribution. Values at 120/277VAC. See performance table for more detailed lumen information.

Note: Environment and application will affect actual performance. Typical values and 25°C (77°F) used for testing. Specifications subject to change without notice.

Ordering Information (Example: WLZ2-3-4K-BR)

Series/Configuration	Distribution	Input Voltage	CCT	Finish	Options
WLZ1 = 15W, Extra-Small	3 = Type III	BLANK = 120/277VAC	3K = 3000K	BL = Black	BB ⁵ = Battery backup
WLZ2 = 25W, Small	4 ² = Type IV	HVS ³ = 347/480VAC	35K ⁴ = 3500K	BR = Bronze	BB-IH ⁶ = Cold Location Battery backup (operation down to -20°C)
WLZ4 = 40W, Medium			4K = 4000K	SV = Silver	DD ⁷ = Dual driver
WLZ7 ¹ = 70W, Large			5K = 5000K	WH = White	PC = 120/277VAC Button photocontrol
WLZ10 = 100W, Extra-Large					SP = 120/277VAC Surge protection SPH = 347/480VAC Surge protection

Notes

¹ Standard with two drivers

² Not available for WLZ1 configuration

³ WLZ4, WLZ7 and WLZ10 only, compatible with SPH option only

⁴ Consult factory for lead times

⁵ WLZ2, WLZ4, WLZ7 and WLZ10 only. 120/277VAC Only. Not compatible with DD and SPH options

⁶ WLZ4, WLZ7 and WLZ10 only. 120/277VAC Only. Not compatible with DD and SPH options

⁷ Dual driver option available for WLZ4 and WLZ10 only. Not compatible with photocontrol option, consult factory

⁸ Compatible with WLZ4, WLZ7 and WLZ10 only. Contact factory for compatibility with other options

⁹ Dimming occupancy sensor, programmable, Wattstopper FSP221, L2 Lens

¹⁰ Order as a separate line item. Shipped in separate box for final installation in the field

Accessories¹⁰ (Field Installed)

PCU = 120/277VAC Button photocontrol accessory

TL-FSIR-100 = Remote control for TL-SCES sensor (optional)

TL-SCES-L2^{8,9} = Motion sensor, white finish

TL-SCES-L2-BL^{8,9} = Motion sensor, black finish

TL-SCES-L2-BR^{8,9} = Motion sensor, bronze finish

TL-SCES-L2-GR^{8,9} = Motion sensor, gray finish

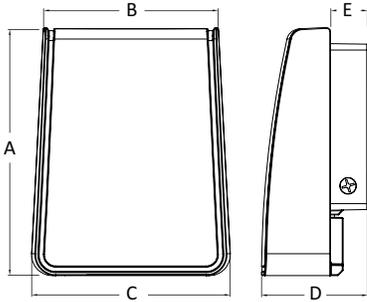
Performance Data

Model	Wattage (W)	CCT	Distribution	Lumen Output (lm)	Efficacy (LPW)
WLZ1-3-3K-XX	15	3000K	Type III	1531	101
WLZ1-3-4K-XX	15	4000K	Type III	1534	101
WLZ1-3-5K-XX	15	5000K	Type III	1745	115
WLZ2-3-3K-XX	25	3000K	Type III	2795	103
WLZ2-3-4K-XX	25	4000K	Type III	2997	111
WLZ2-3-5K-XX	25	5000K	Type III	3198	118
WLZ2-4-3K-XX	25	3000K	Type IV	2609	98
WLZ2-4-4K-XX	25	4000K	Type IV	2797	105
WLZ2-4-5K-XX	25	5000K	Type IV	2985	112
WLZ4-3-3K-XX	40	3000K	Type III	4389	107
WLZ4-3-4K-XX	40	4000K	Type III	4705	115
WLZ4-3-5K-XX	40	5000K	Type III	5021	123
WLZ4-4-3K-XX	40	3000K	Type IV	4021	98
WLZ4-4-4K-XX	40	4000K	Type IV	4310	105
WLZ4-4-5K-XX	40	5000K	Type IV	4599	112
WLZ7-3-3K-XX	70	3000K	Type III	7657	105
WLZ7-3-4K-XX	70	4000K	Type III	8193	113
WLZ7-3-5K-XX	70	5000K	Type III	8729	120
WLZ7-4-3K-XX	70	3000K	Type IV	6837	94
WLZ7-4-4K-XX	70	4000K	Type IV	7316	101
WLZ7-4-5K-XX	70	5000K	Type IV	7794	107
WLZ10-3-3K-XX	100	3000K	Type III	10,871	102
WLZ10-3-4K-XX	100	4000K	Type III	11,632	109
WLZ10-3-5K-XX	100	5000K	Type III	12,393	116
WLZ10-4-3K-XX	100	3000K	Type IV	9706	91
WLZ10-4-4K-XX	100	4000K	Type IV	10,385	98
WLZ10-4-5K-XX	100	5000K	Type IV	11,065	104

* Nominal Wattage. Values at 120/277VAC

** HVS configuration not DLC qualified

Dimensions

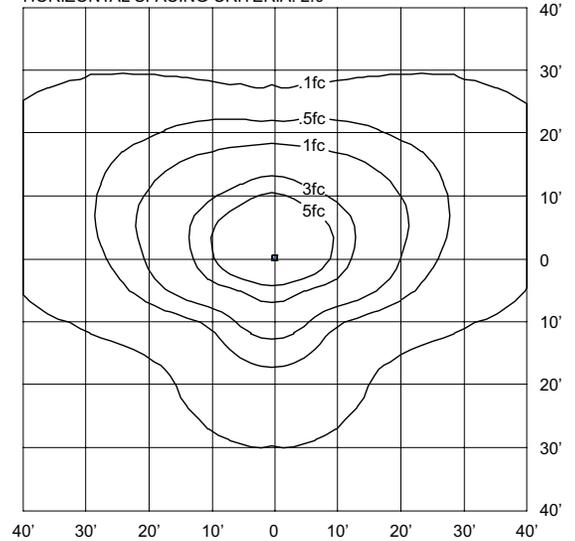


Model	A	B	C	D	E
WLZ1	6.7"	5.0"	5.6"	3.2"	1.4"
WLZ2	8.0"	5.7"	6.0"	3.2"	1.4"
WLZ4	10.2"	6.8"	7.8"	5.0"	1.9"
WLZ7	11.6"	8.3"	9.4"	5.0"	1.9"
WLZ10	11.6"	10.3"	11.5"	5.0"	1.9"

Sample Photometrics

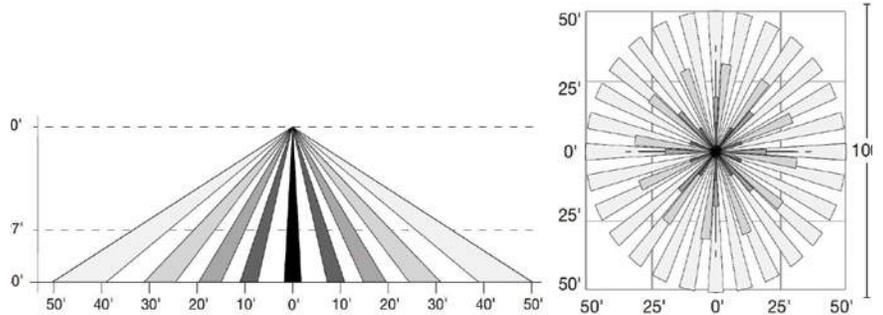
WLZ4-3-5K

IES: TYPE III VERY SHORT
 MOUNTING HEIGHT: 10'
 TILT: ZERO
 HORIZONTAL SPACING CRITERIA: 2.0



Sensor Details (Accessory: TL-SCES-L2)

Side and Top Sensor Coverage Pattern:
 With FSP-L7 lens (included) 360° lens



Settings for TL-SCES-L2

	Settings	Default
High Mode:	0-10V	10V
Low Mode:	Off, 0-9.8V	1V
Time Delay:	30 seconds; 5-30 minutes	5 Minutes
Cut Off Delay:	None, 1-60 Minutes, 1-5 hours	1 Hour
Sensitivity:	None, Low, Medium, Max	Max
Setpoint:	None, 1-250fc, Auto	Disabled
Ramp Up Time:	None, 1-60 Seconds	Disabled
Fade Down Time:	None, 1-60 Seconds	Disabled

NOTE:

To change settings in the field, please order TL-FSIR-100 controller.

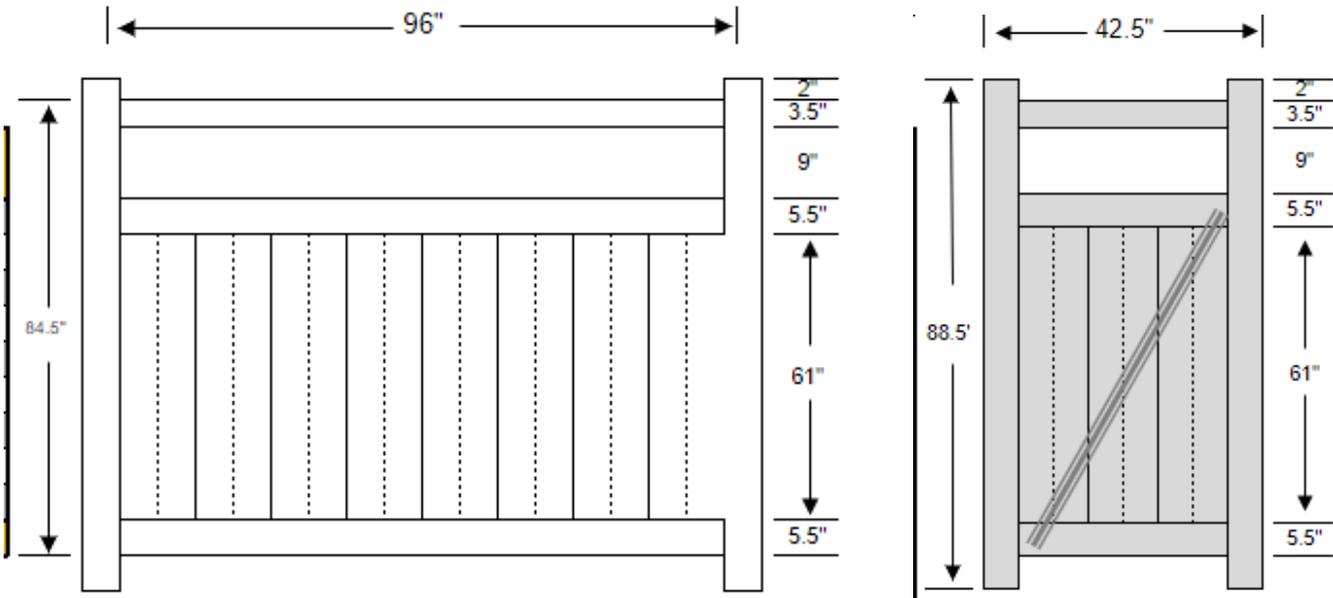


weatherables®



7' Glenshire™ With Lattice | Vinyl Privacy Fence

The 7 ft. tall Glenshire is a durable vinyl privacy fence that offers an elegant lattice top and unmatched privacy. The Glenshire vinyl fence panel features .875" X 11.3" tongue and groove pickets that have "V" shaped groove in the middle of the picket that provides an appearance similar to the 6" wide pickets used in our Ashton privacy fencing, while enabling a quicker vinyl fence installation time. Our Glenshire fence (11.3 in. T&G) is able to accommodate a slope of 2 in. over 8 ft. If the slope of the installation area will require a steeper grade, we advise a stepping installation method.



MONTAGE PLUS[®]



ORNAMENTAL STEEL FENCE

Montage Plus ornamental steel fence has the *versatility to fit many different project applications*. With its ability to *traverse varying grades*, variety of *distinct product styles* and unmatched coating performance, Montage Plus is the *preferred choice for ornamental fence*.



PRIMARY APPLICATIONS

- *Commercial Developments*
- *Self Storage*
- *Apartments (Multi-Family)*
- *Parks & Recreation*
- *Schools & Universities*



FENCE PRODUCTS

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ASSA ABLOY, the global leader in door opening solutions

AMERISTAR[®]

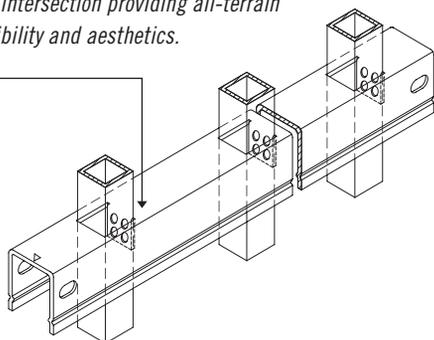
ASSA ABLOY

MONTAGE PLUS®

ORNAMENTAL STEEL FENCE

.75"sq x 18ga PICKETS | 1.4375" x 1.5" x 14ga RAILS | 2.5"sq x 16ga POSTS

Each picket is precisely welded at each rail intersection providing all-terrain flexibility and aesthetics.



STYLE OPTIONS



Also available in Pool, Pet & Play (3" air spacing) – styles vary

PROFUSION WELDED STEEL



All Montage fence panels are fabricated using Ameristar's ProFusion welding process. This technique combines laser and fusion technology to create a virtually invisible structural connection at every picket to rail intersection. Unlike typical aluminum fence systems that are held together with unsightly screws, the ProFusion weld used with Montage promotes a "good neighbor" profile with sleek lines and no exposed picket to rail fasteners. When compared to aluminum fencing, Montage's welded steel construction is unmatched in strength and durability.



E-COAT™ PROTECTIVE FINISH

Montage galvanized steel framework is subjected to a multi-stage pre-treatment/wash (with zinc phosphate), followed by a duplex cathodic electrocoat system consisting of an epoxy primer, which significantly increases corrosion protection, and an acrylic topcoat, which provides the protection necessary to withstand adverse weathering effects. This process results in years of maintenance-free ownership.



20 YEAR LIMITED WARRANTY

The Montage families of fencing products are manufactured from superior quality materials by skilled craftsmen with the highest standards of workmanship in the industry. Ameristar is confident in offering Montage with a 20 year limited warranty.



DOMESTIC MANUFACTURING

Ameristar is committed to providing products that are manufactured in the USA. We have made significant investments in technology, process improvement, and employee training in an effort to secure American jobs and combat inferior import products.

#DMP | REVISED 05/2014



FENCE PRODUCTS

TO PLACE YOUR ORDER CALL 888-333-3422

VISIT AMERISTARFENCE.COM



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: February 14, 2023
APPLICANT: Ibrahim Kassem
CASE NUMBER: SP2023-004; *Amended Site Plan for a Car Wash*

SUMMARY

Discuss and consider a request by Ibrahim Kassem for the approval of an Amended Site Plan for a Carwash on a 1.6985-acre parcel of land identified as Lot 1, Block A, Horizon Carwash Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2525 Horizon Road, and take any action necessary.

BACKGROUND

The subject property was annexed on November 7, 1960 by *Ordinance No. 60-03 (Case No. A1960-003)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. At some point between May 16, 1983 and December 7, 1993 the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. The property has remained zoned Commercial (C) District since this date. On April 16, 2001, the City Council approved a Site Plan (*Case No. PZ-2001-031*) to allow the construction of a Car Wash (*i.e. Horizon Car Wash*). On May 19, 2003, the City Council approved an amended site plan (*Case No. PZ2003-37-001*) for the addition of a canopy structure for automobile detailing. On March 3, 2003, the City Council approved a landscape plan (*Case No. PZ-2003-016*) for the current landscaping. On February 17, 2009, the City Council approved a replat (*Case No. P2009-002*) for the purpose of abandoning a portion of an existing access easement and fire lane located on the southeast side of the property. The property has remained a carwash facility since site plan approval.

PURPOSE

On September 16, 2022, the applicant -- *Ibrahim Kassem* -- submitted an application requesting the approval of an Amended Site Plan for the purpose of renovation of the existing 8,947 SF building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 2525 Horizon Road (*i.e. FM-3097*). The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 16.062-acre parcel of land (*i.e. Lot 3, Block C, Steger Towne Crossing Phase II*) zoned Commercial (C) District and developed with a 130,404 SF *General Retail* building (*i.e. Lowe's Home Centers INC*). Beyond this is Steger Town Drive which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are three (3) parcels of land (*i.e. 2581, 2805, and 2995 Horizon Road*) developed with Commercial land uses that are zoned Commercial (C) District. Beyond these properties is W Ralph Hall Parkway, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 16.062-acre parcel of land (*i.e. Lot 3, Block C, Steger Towne Crossing Phase II*) zoned Commercial (C) District that is developed with a 130,404 SF *General Retail* building (*i.e. Lowe's*

Home Centers INC). Beyond this is Steger Town Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Horizon Road (*i.e. FM 3097*), which is identified as a TXDDOT 4D (*i.e. Texas Department of Transportation, four [4] lane, arterial roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.0775-acre parcel of land (*i.e. Lot 5-R, Block A, Horizon Ridge Addition*) developed with a 4,921 SF *financial institution with a drive-through (i.e. Bank of America)* that is zoned Commercial (C) District and addressed as 2450 Horizon Road.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Self-Service Car Wash* is a permitted *by-right* land use in a Commercial (C) District. The submitted site plan and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. The applicant has also provided a noise study for each new vacuum bay which meets the City of Rockwall *Noise Ordinance* and which is attached in your packets. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>10,000 SF</i>	<i>X=74,024 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60-Feet</i>	<i>X= -541-feet; In Conformance</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=628-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>15-Feet</i>	<i>X>15-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>	<i>X=50-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=30-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=14.60%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>35</i>	<i>X=35; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X=25%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X=67%; In Conformance</i>

TREESCAPE PLAN

The table provided on the Treescape Plan indicates that a 12-inch caliper Live Oak will be removed from the subject property as a result of the development. The landscape table provided by the applicant also indicates that three (3), four (4) inch caliper canopy trees will be planted in the back of the lot (*i.e. 12 caliper inches of trees*). Given this, the proposed landscape plan satisfies the mitigation balance.

CONFORMANCE WITH THE CITY’S CODES

The building is currently considered to be legally non-conforming, and the changes proposed by the applicant do not increase the building’s non-conformity.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Southwest Residential District, which “...contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (*i.e. National Drive, Sids Road, and Mims Road*) and commercial uses.” Additionally, the Commercial/Retail designation “...is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections.” In this case, the applicant’s request for conforms to the development referred to by the Comprehensive Plan. In addition, the redesign of the proposed building conforms to several of the goals and policies contained in Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On February 7, 2023, the Architecture Review Board (ARB) reviewed the proposed building elevations and recommended that the applicant [1] finalize the renderings based on the changes the applicant proposed to make including removing the tri-tunnel and painting the split-face CMU block located on the vacuum bays to match the building, and [2] provide a material sample board with a sample of the red standing seam metal for the canopies above the vacuum bays. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the February 14, 2023 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan for a Car Wash on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2525 HORIZON RD

SUBDIVISION _____ LOT 1 BLOCK A

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE F1

PROPOSED ZONING _____ PROPOSED USE F1

ACREAGE 1.6985 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER APPLICANT

CONTACT PERSON IBRAHIM KASSEM CONTACT PERSON _____

ADDRESS 3312 HAYLEY CT ADDRESS _____

CITY, STATE & ZIP RICHARDSON, TX 75082 CITY, STATE & ZIP _____

PHONE 214-532-7018 PHONE _____

E-MAIL IKASSEM@HOTMAIL.COM E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

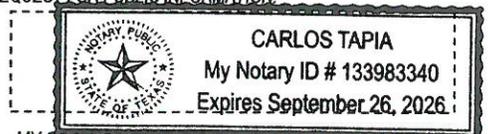
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 252.97 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 20th DAY OF January, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

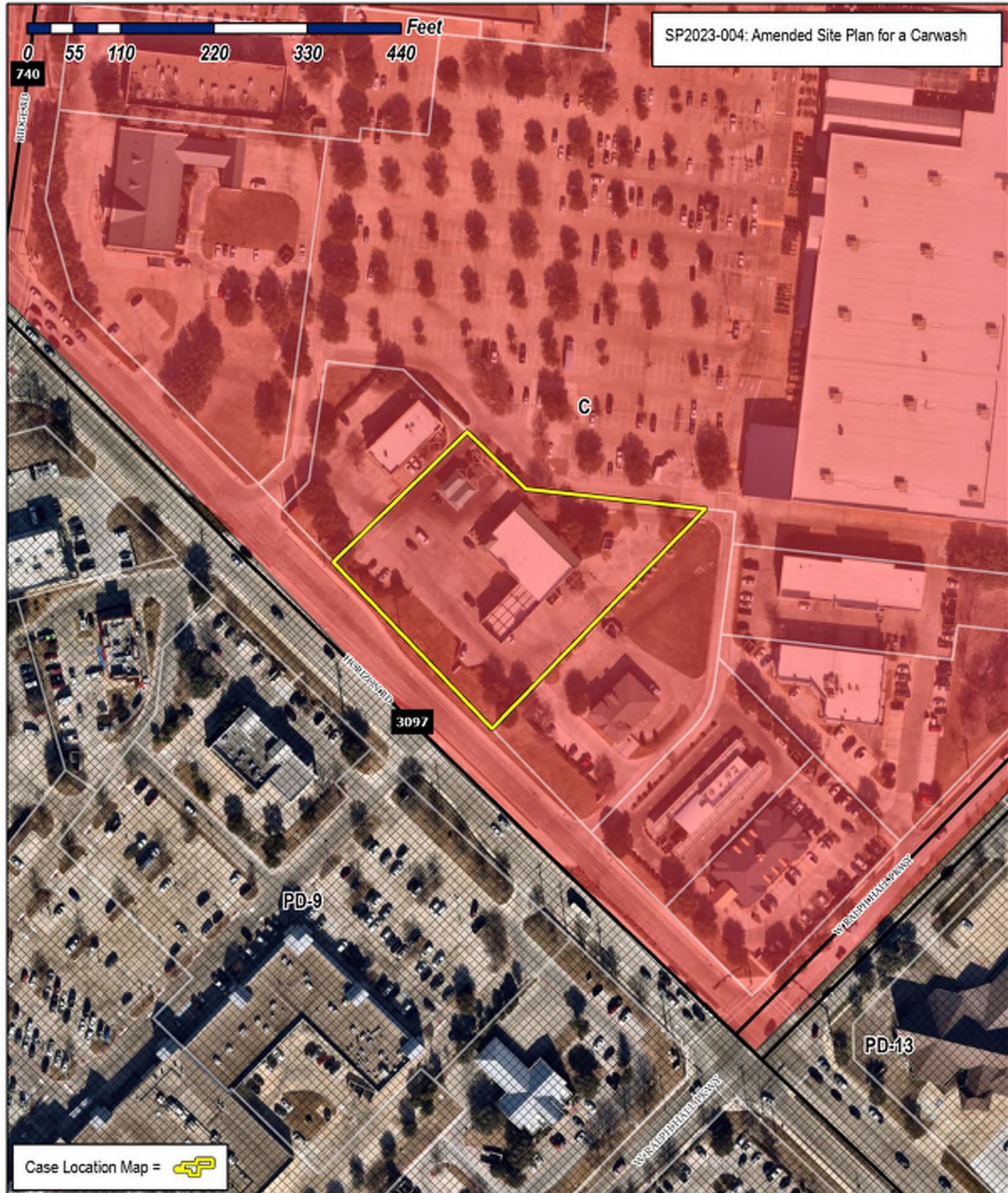
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 20th DAY OF January, 2023

OWNER'S SIGNATURE Ibrahim Kassem

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Carlos Tapia



MY COMMISSION EXPIRES 09/26/2026

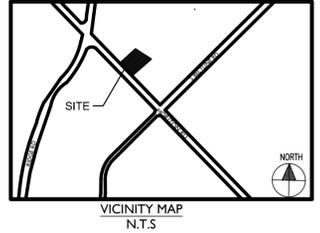


City of Rockwall

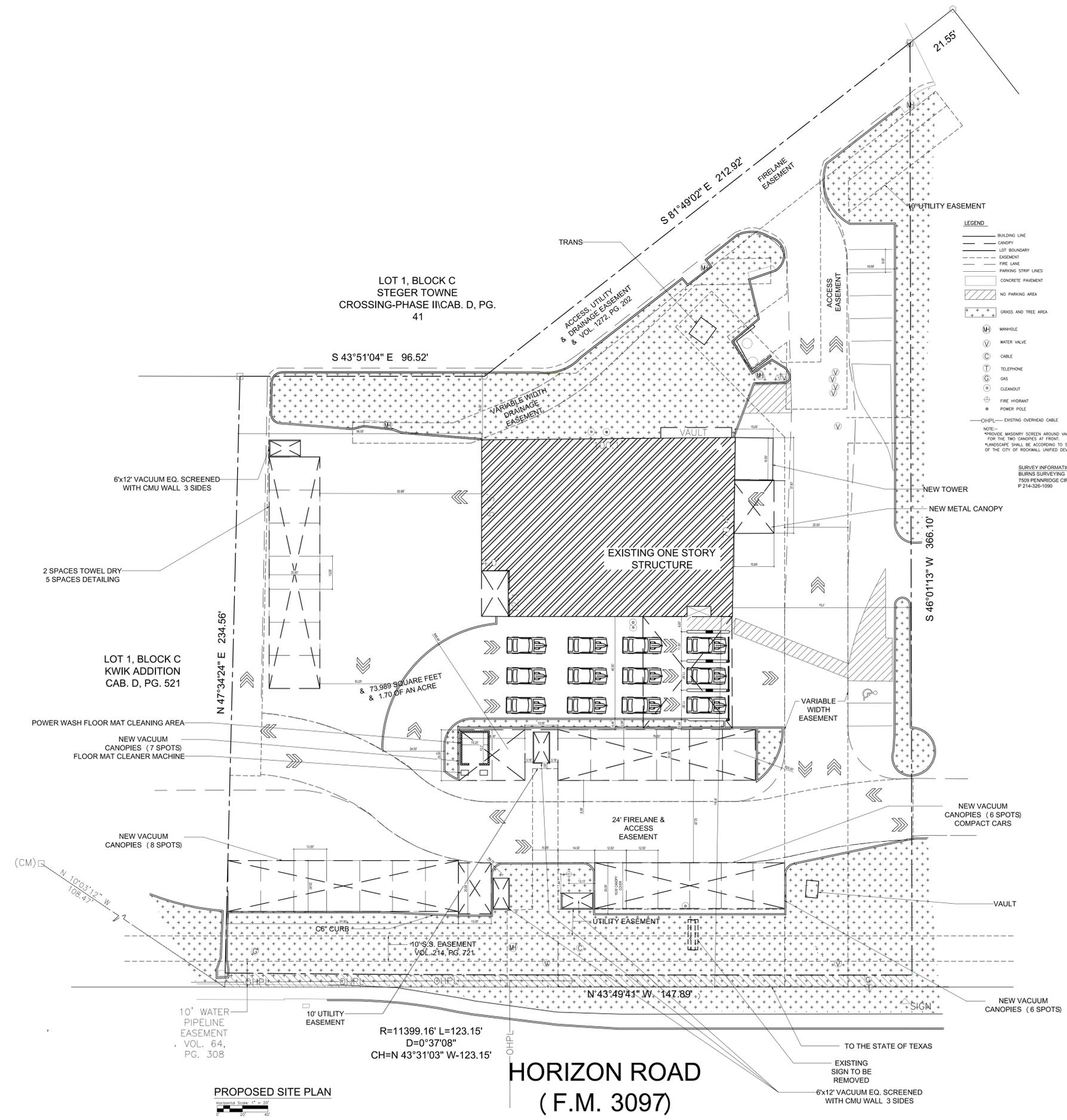
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





SITE DATA TABLE	
CASE NUMBER	
TOTAL SITE AREA	1.699 AC (74024 SF)
SITE ZONING DISTRICT	C
LAND USE	COMMERCIAL (CARWASH)
PARKING SPACE	10' X 20'
CODE REQUIRED ADA SPACES	1 SPACE
PROVIDED TOTAL PARKING SPACES	8
ADA SPACES	1 SPACE
TOTAL EXISTING IMPERVIOUS AREA	54966 SQ. FT. (74.25%)
TOTAL PROPOSED IMPERVIOUS AREA	56885 SQ. FT. (76.8%)



PROPOSED SITE PLAN
 Horizontal Scale: 1" = 20'

PROJECT CASE #

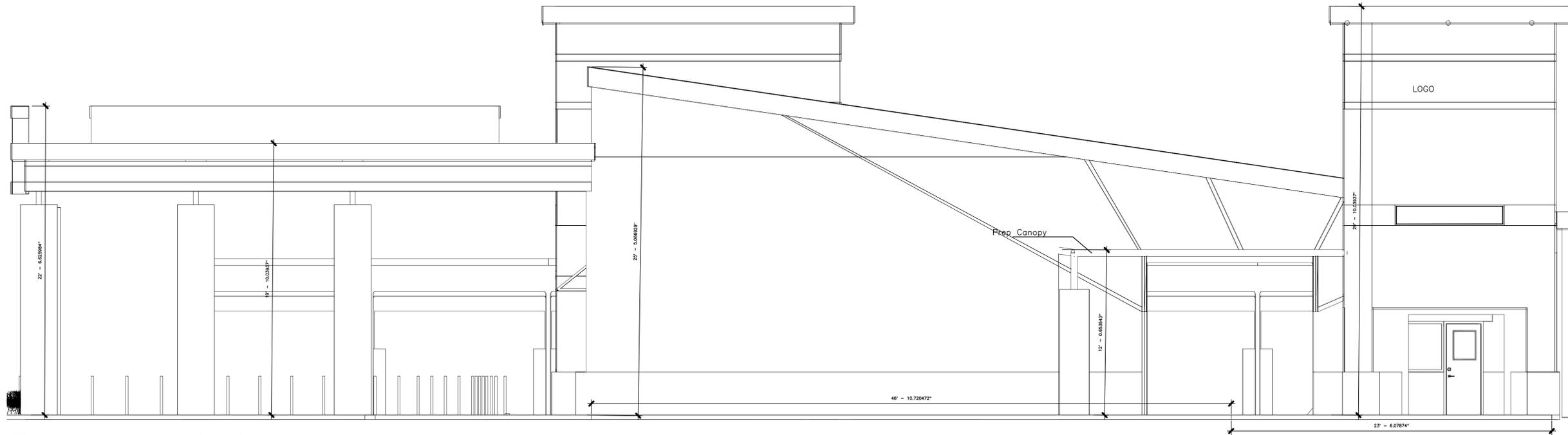
PROJECT:
 REMODELING AND ADDITION (COMMERCIAL)

OWNER:
 IBRAHIM KASSEM
 (214)532-7018
 ikassem@hotmail.com

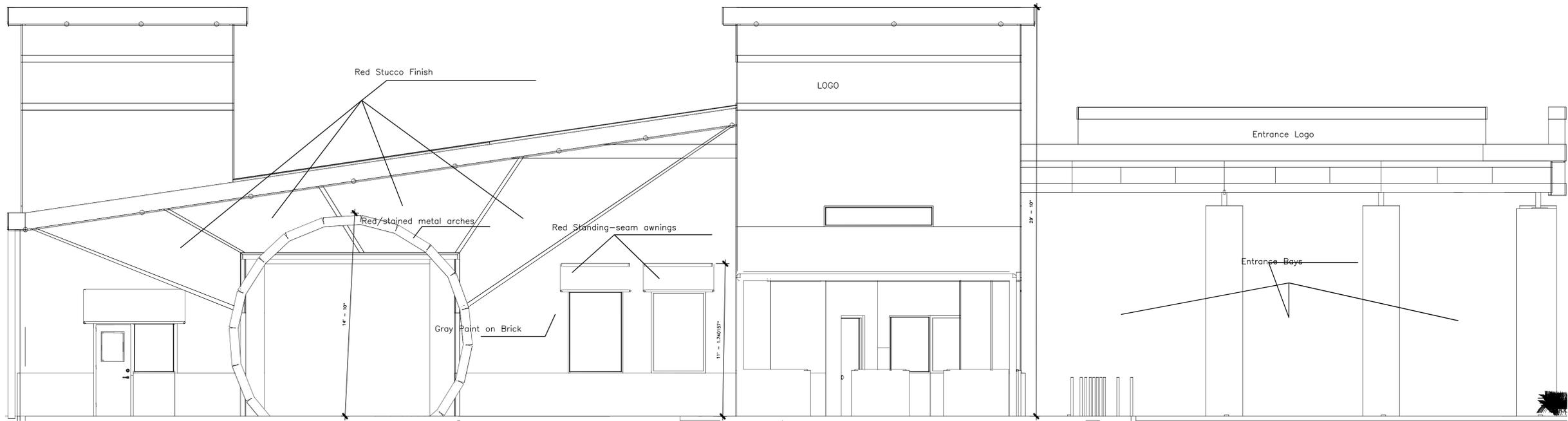
LOCATION:
 2525 HORIZON RD
 ROCKWALL, TX 75032

SHEET TITLE:
 PROPOSED SITE PLAN
 SHEET 3-6
**PRELIM DRAWINGS
 NOT FOR
 CONSTRUCTION**

REVISION: R01
DATE: 01/12/2023



3 Southeast Elevation (Right)
1/4"=1'-0"



4 Southwest Elevation (Left)
1/4"=1'-0"

Firm Info

Name

JD RIVERO

Address

General Email

benjalicea@jdrivero.com

General Phone

9728859171

Project Info

Name

CAR WASH REMODEL AND ADDITION

Number

Address

2525 HORIZON RD ROCKWALL TX 75032

Description

Exterior facade remodel, vacuum additions and new elevated tower visibility.

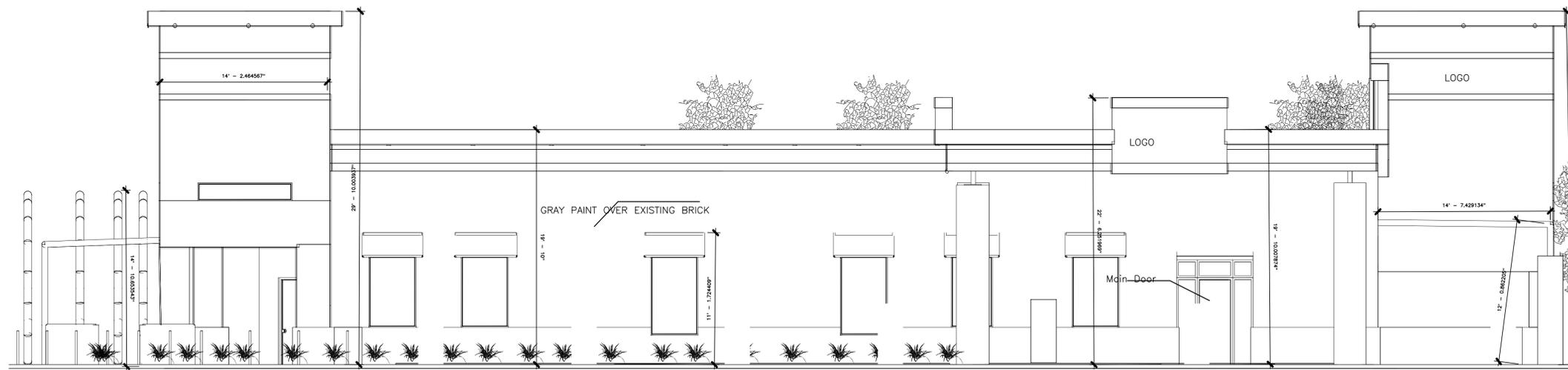
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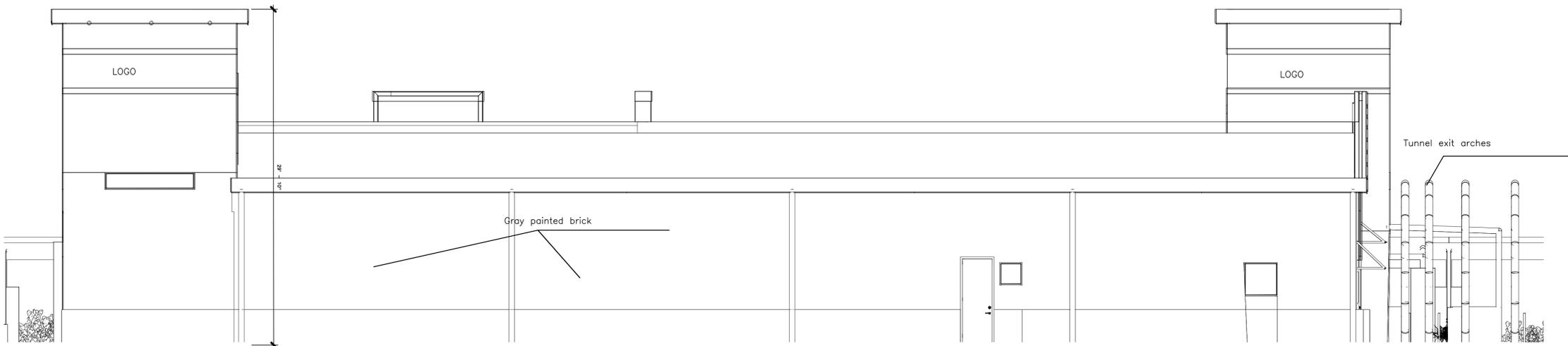
ELEVATIONS

Sheet Number

A2.2



1 Southwest Elevation (Front)
3/16"=1'-0"



2 Northeast Elevation (Rear)
3/16"=1'-0"

Firm Info

Name

JD RIVERO

Address

General Email

benjalicea@jdrivero.com

General Phone

9728859171

Project Info

Name

CAR WASH REMODEL AND ADDITION

Number

Address

2525 HORIZON RD ROCKWALL TX 75032

Description

Exterior facade remodel, vacuum additions and new elevated tower visibility.

Sheet Info

Sheet Title

ELEVATIONS

Sheet Number

A2.1



Xpress
CAR WASH

Xpress
CAR WASH

Xpress
CAR WASH

CAR WASH ENTRANCE

1

2

3

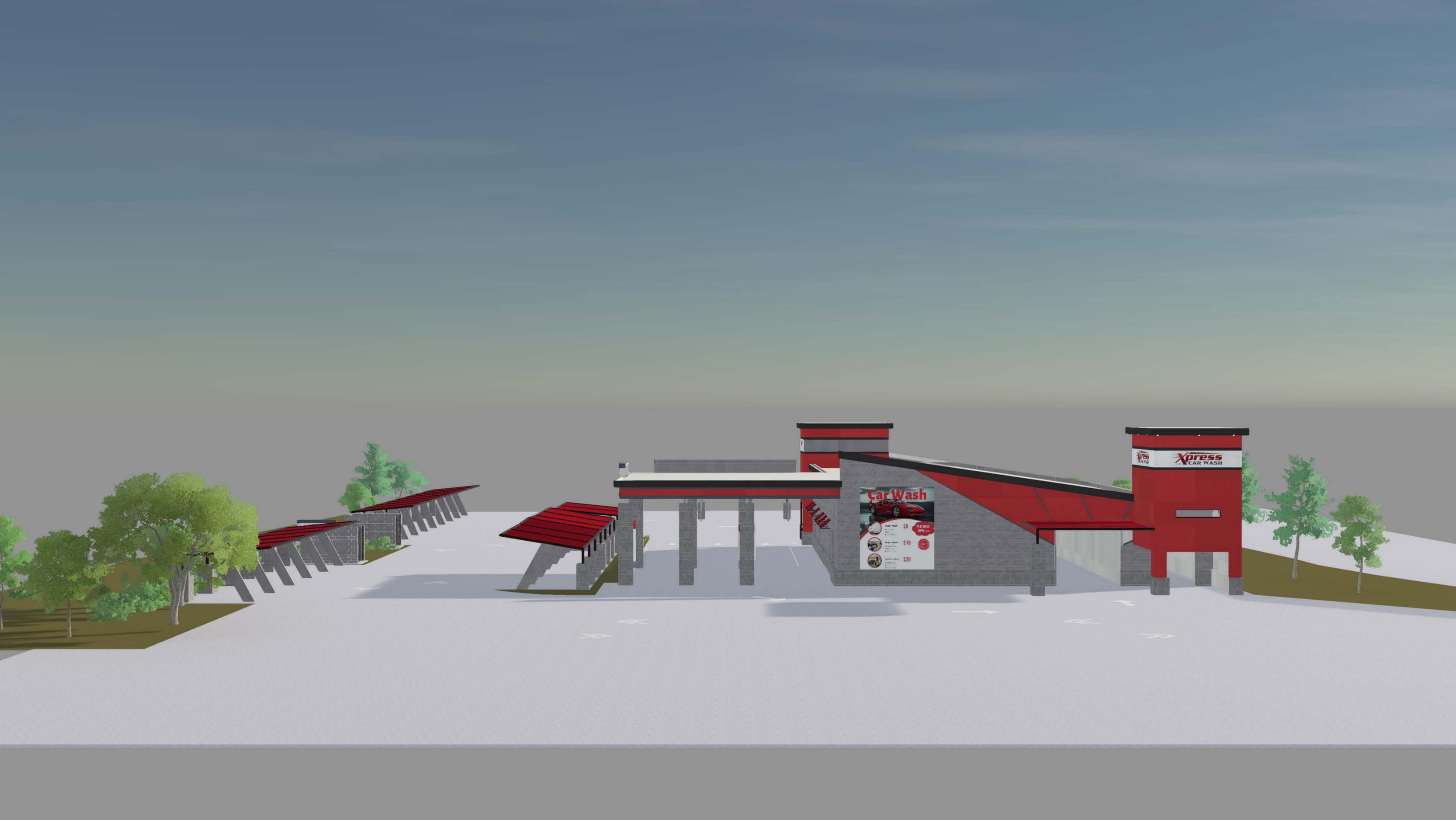
MAT ZONE

MAT ZONE

TIRE PRESSURE & WIPER FLUID

ENTER

ENTER



Car Wash	
Quick Wash	\$5
Medium Wash	\$10
Full Wash	\$20

Xpress
CAR WASH



Xpress
CAR WASH

AM



Xpress
CAR WASH

CAR WASH ENTRANCE

1 2 3

MAT ZONE

ENTER

EXIT





Xpress
CAR WASH

Xpress
CAR WASH

Xpress
CAR WASH

CAR WASH ENTRANCE

1

2

3

18
• WAX
• SHAMPOO
• DETERGENT
• RINSE
• DRY

39
MEG DOPPEL
SPECIAL
• WAX
• SHAMPOO
• DETERGENT
• RINSE
• DRY
• POLISH
• WAX
• SHAMPOO
• DETERGENT
• RINSE
• DRY

MAT ZONE

ENTER

ENTER





Xpress
CAR WASH

Xpress
CAR WASH

Car Wash



Basic Wash

\$5

- Basic Wash
- Interior Cleaning
- Carpet Cleaning

First Wash
50% Discount



Super Wash

\$10

- Full Body Wash
- Interior Cleaning
- Scratch Removal



Deluxe Wash

\$20

- Full Body Wash
- Scratch Removal
- Model Checking



Xpress
CAR WASH



Xpress
CAR WASH

Xpress
CAR WASH

CAR WASH

1





Car Wash

	Basic Wash	\$5	First Wash 50% OFF
	Super Wash	\$10	
	Deluxe Wash	\$20	

24/7

Xpress CAR WASH



Xpress
CAR WASH

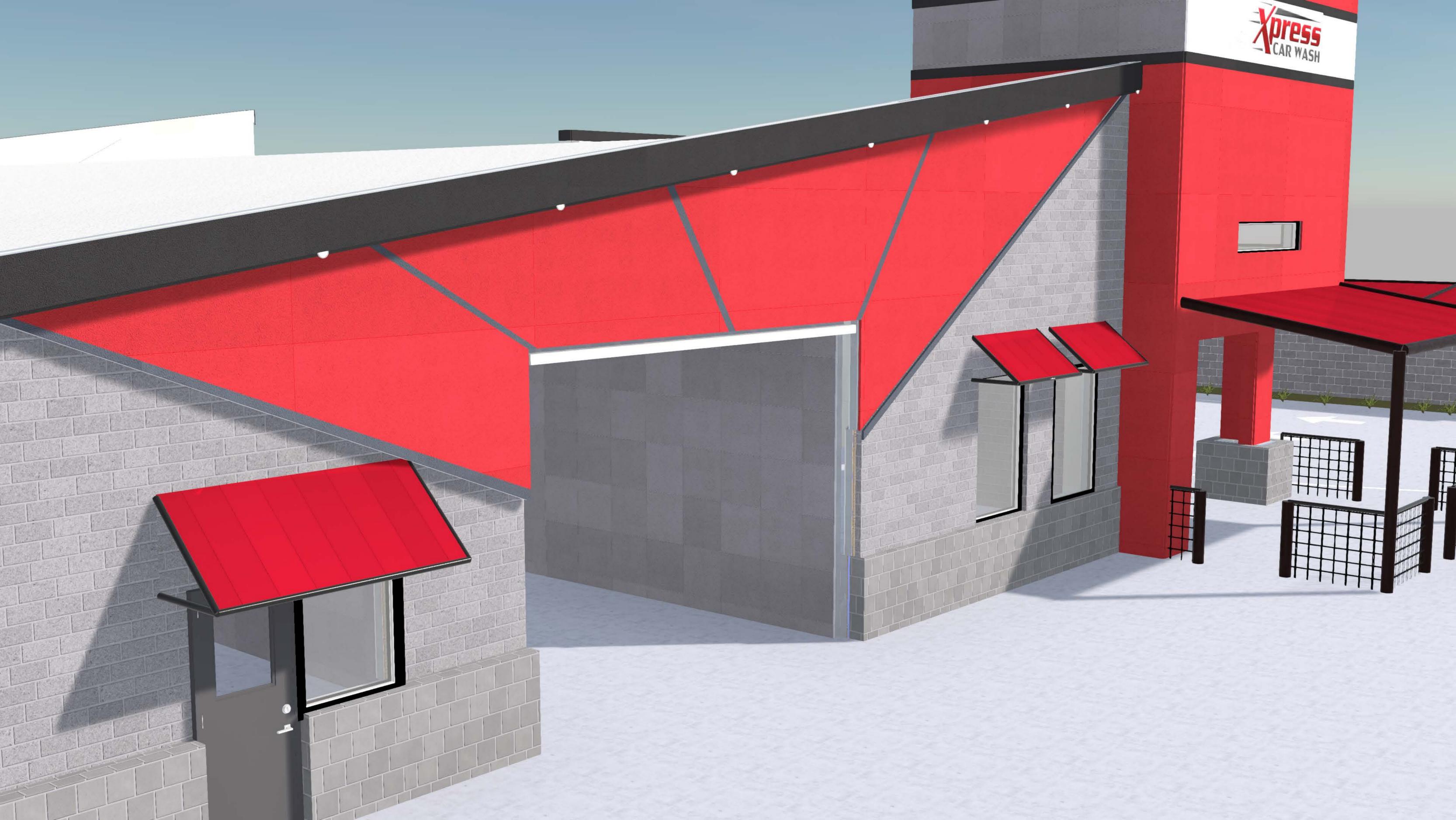
Xpress
CAR WASH

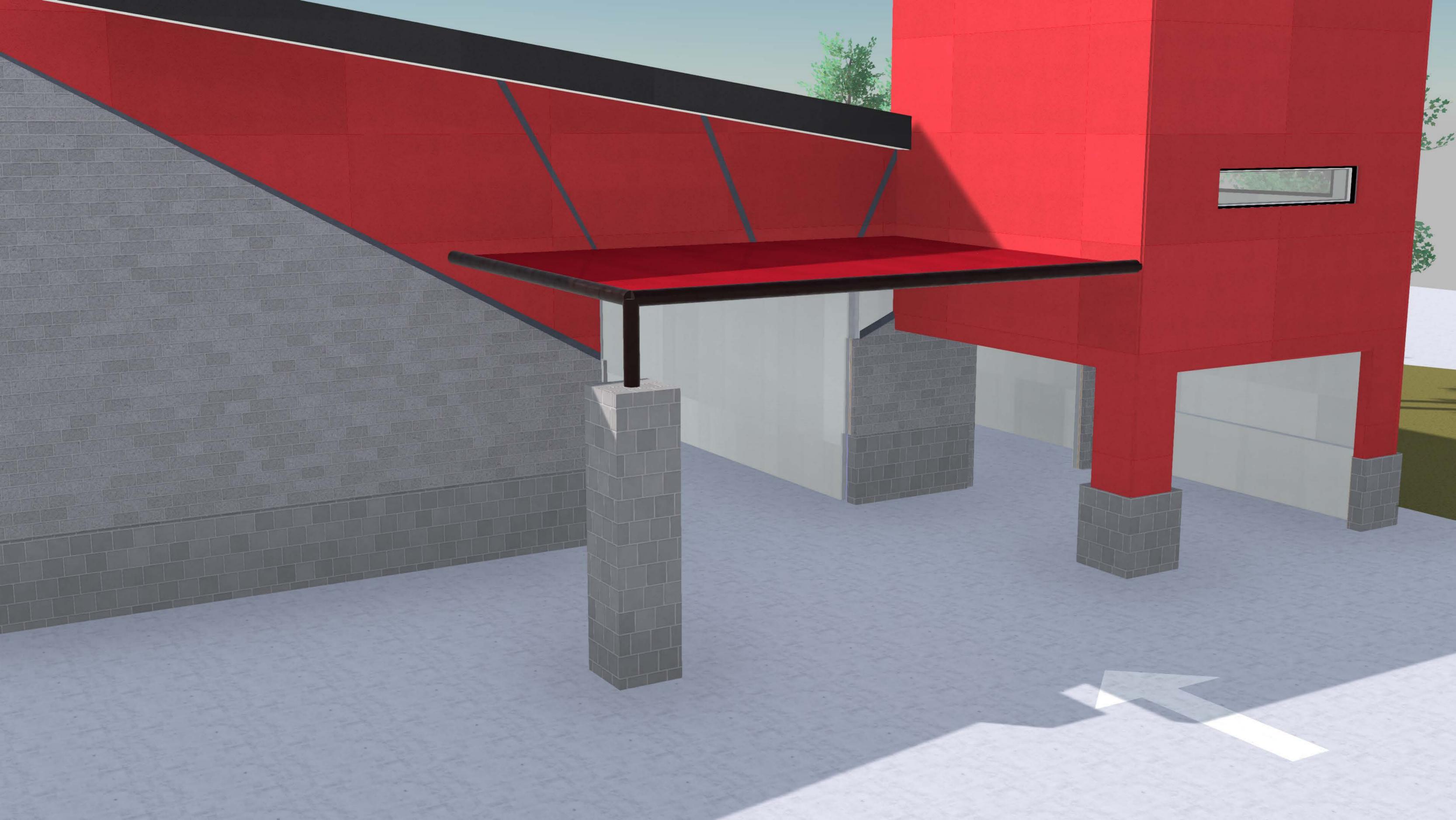
Car Wash

	Basic Wash	\$5		First Wash	\$10
	Super Wash	\$10		Deluxe Wash	\$20



Xpress
CAR WASH







CAR WASH ENTRANCE

**Xpress
CAR WASH**

1

2

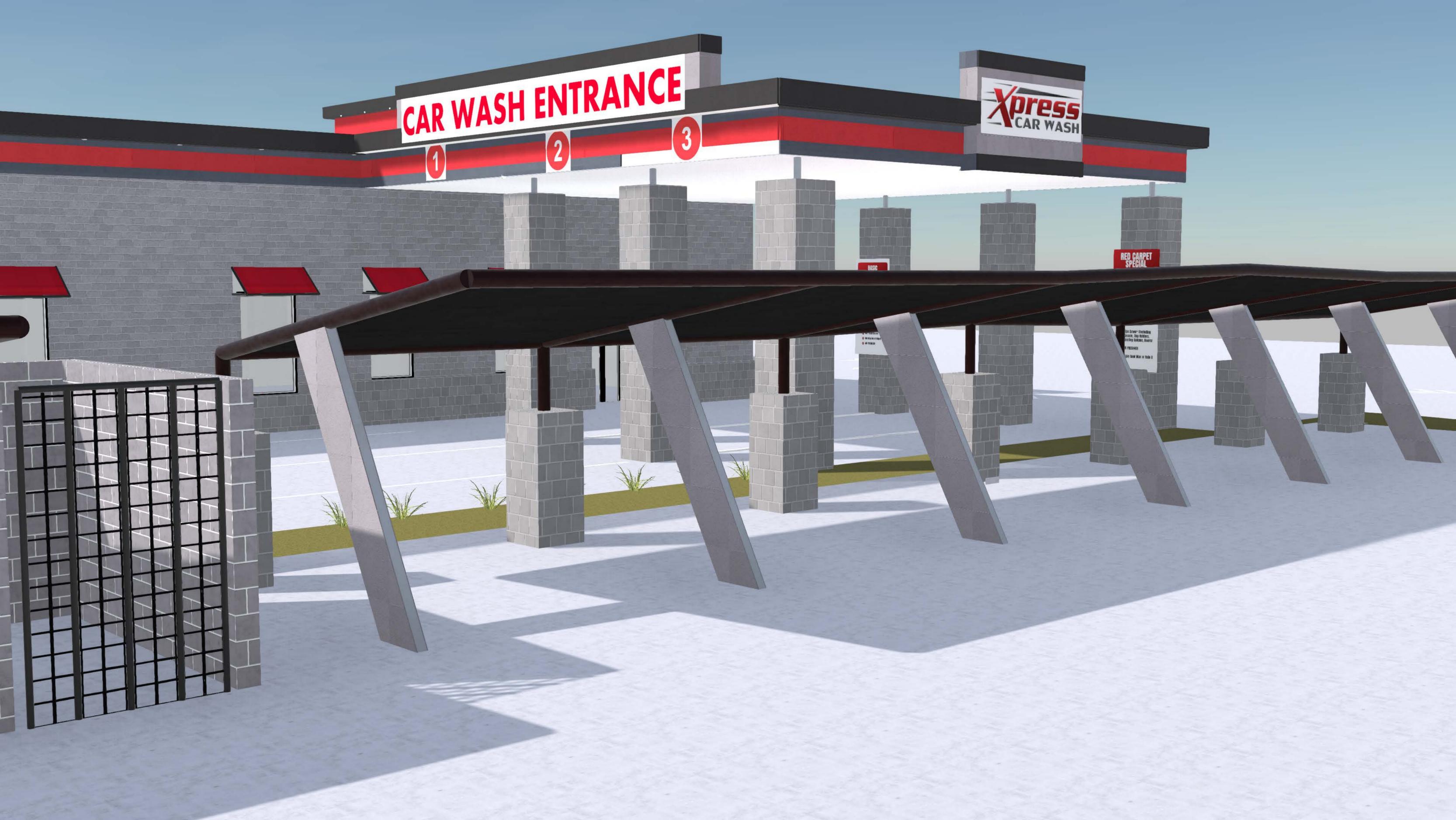
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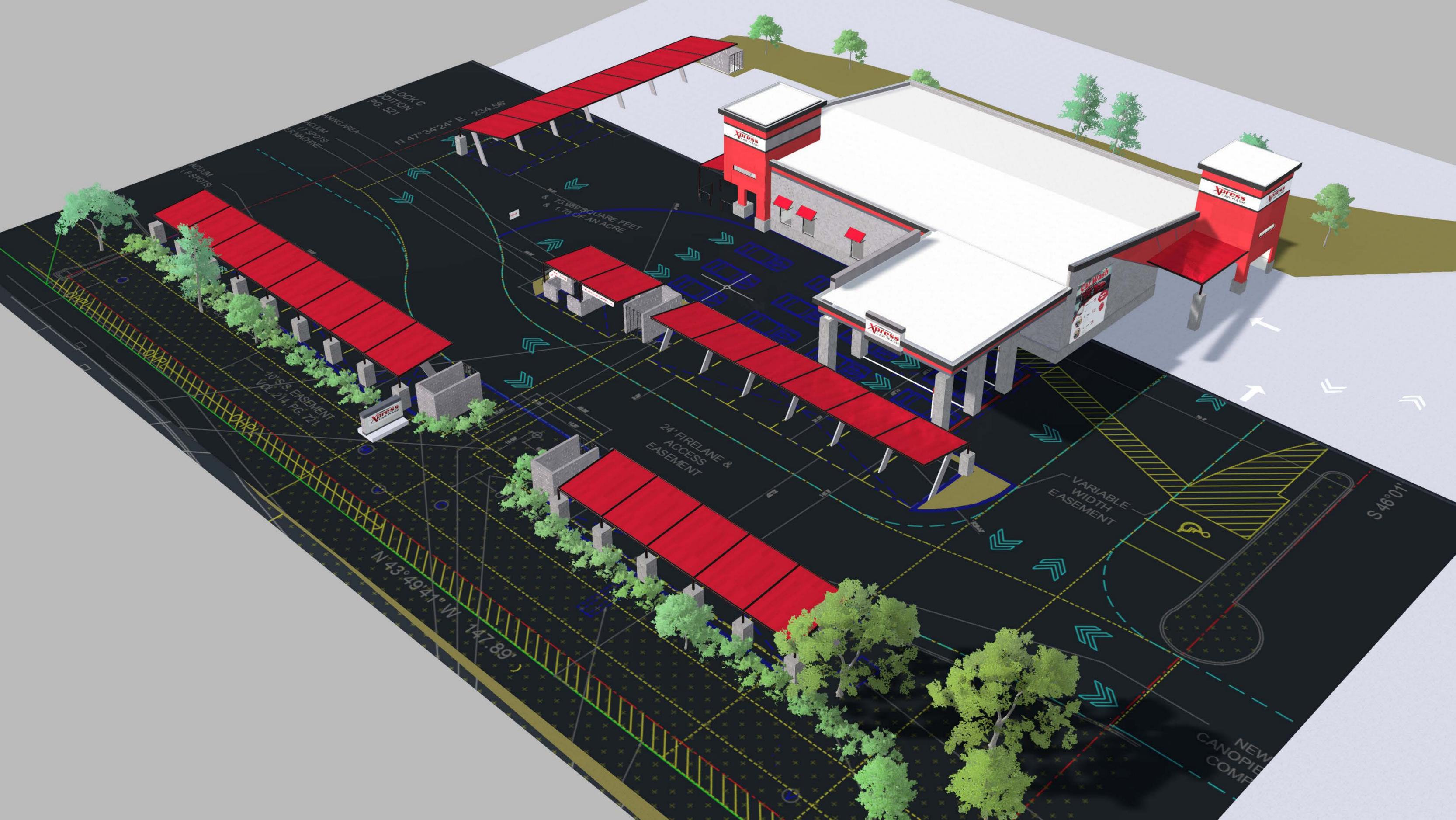
**RED CARPET
SPECIAL**

BASIC

**Red Carpet - Includes
Wax, Clay Bar, Wheel
Cleaning, Shampoo,
Conditioner
and Dryer**

**Basic - Includes
Wash, Rinse, Wax
and Dryer**





LOOK C
ADDITION
PG. 521

AWING AREA
ACQUIM
17 SPOTS
PER MACHINE

73,989 SQUARE FEET
& 1.70 OF AN ACRE

10' S/S EASEMENT
Vol. 214, PG. 721

24' FIRELANE &
ACCESS
EASEMENT

VARIABLE
WIDTH
EASEMENT

N 43°49'41" W
147.89'

S 46°0'11"

NEW
CANOPIE
COMP

Horizon Car Wash

Material List

Bottom existing stone painted



Exterior Brick walls painted Existing



Red Stucco accent lines



Black Stucco above windows



Ross, Bethany

From: Ibrahim Kassem <ikassem@hotmail.com>
Sent: Wednesday, February 8, 2023 1:28 PM
To: Ross, Bethany
Subject: Noise specs
Attachments: 30HP - 40E - 07003030.pdf; 40HP - 40E - 07004036.pdf

Bethany,

Attached are the specs on the equipment.

At 10 feet distance, the noise level is at 89db.

After adding the cinder block enclosure, it will drop the noise level to (34db-44db). Those specs meet your noise level requirements of 62db.

Please call me if you still have any questions.

Sent via the Samsung Galaxy S21 Ultra 5G, an AT&T 5G smartphone

----- Original message -----

From: Luis Hernandez <luis@leengineeringllc.com>

Date: 2/8/23 12:01 PM (GMT-06:00)

To: Ibrahim Kassem <ikassem@hotmail.com>, leengineeringws@gmail.com

Subject: FW: Noise specs

LE ENGINEERING

Thank you for your business,

Luis Hernandez

Director Of Operations

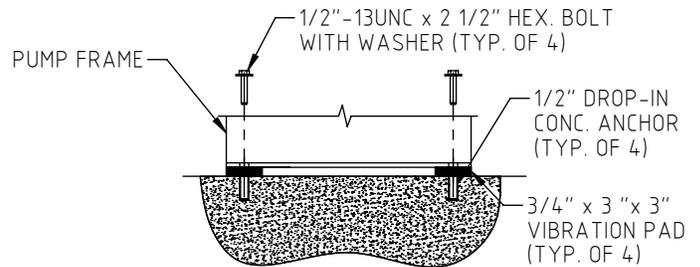
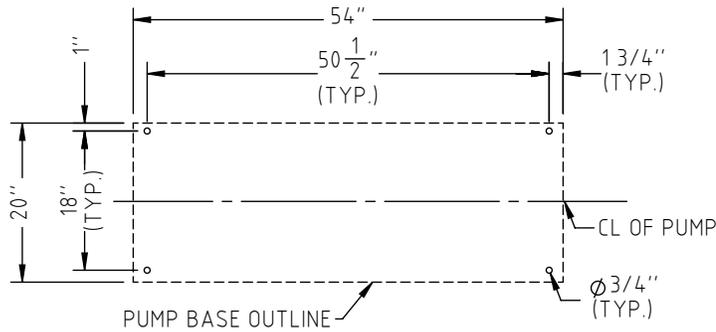
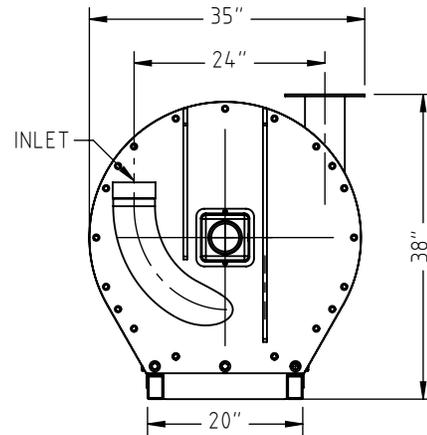
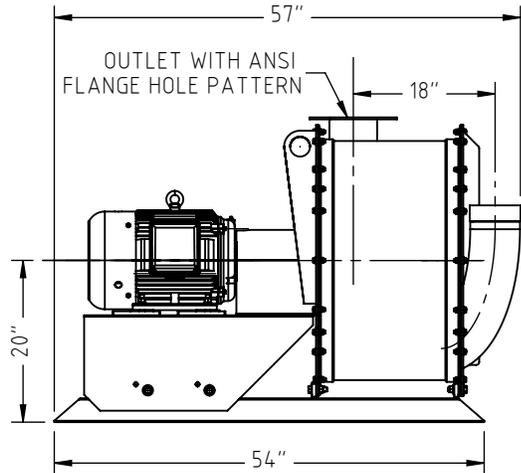
Mobile- 817-714-2165

PRODUCT SPECIFICATIONS

PRODUCT:
30HP MULTI-STAGE CENTRIFUGAL EXHAUSTER

PART NO.
30HP-40E-07003030

DATE
12/15/2018



SECTION DETAIL
NOTE: DO NOT TIGHTEN BOLT. WASHER MUST BE ABLE TO SPIN FREELY AFTER INSTALLATION.

CATALOGUE NUMBER	POWER HP (KW)	MOTOR RPM	MAX VOLUME CFM	VACUUM IN Hg (IN Wg)	VOLT/PHASE/FREQ. FLA	NUMBER OF STAGES	INLET O.D. IN(mm)	OUTLET O.D. IN(mm)	APPROX. WT. lb (kg)	HEAT RATE (BTU/Hr)	DISTANCE (FT.)	SOUND LEVEL (dBA)
422B30	30 (22.5)	3600	880	7.0 (95)	460/3/60 34A	4	6(150)	6(150)	804 (364)	9212	3	85
					575/3/60 28A						10	75
											50	61
											100	55
											150	51

NOTES:

1. ALL DIMENSIONS SHOWN ARE FOR REFERENCE PURPOSES ONLY, NOT FOR CONSTRUCTION USE.
2. HEIGHT OF UNIT DOES NOT INCLUDE VIBRATION ISOLATOR.
3. NO SPECIAL FOUNDATION IS REQUIRED FOR EXHAUSTERS; DO NOT FASTEN DOWN TO CONCRETE FLOOR.
4. STANDARD ROTATION IS CW WHEN VIEWED FROM MOTOR END.
5. INLET FURNISHED STANDARD WITH BUTTERFLY THROTTLING VALVE.
6. SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE.

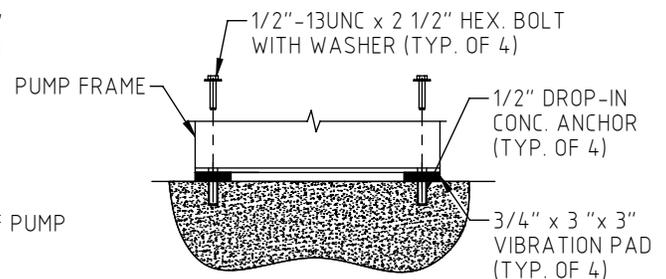
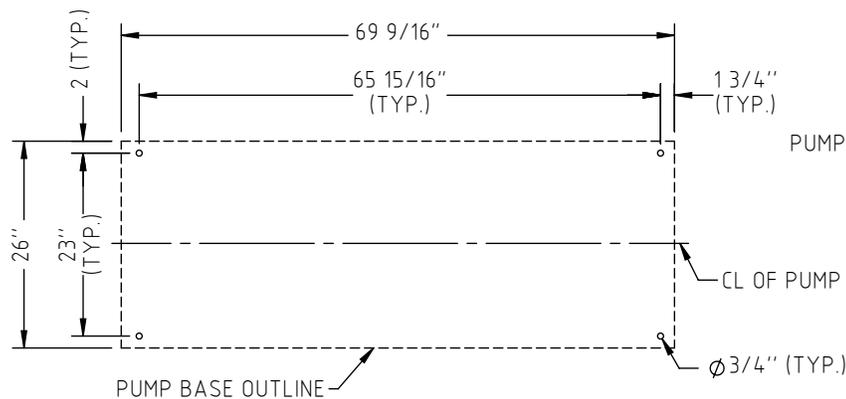
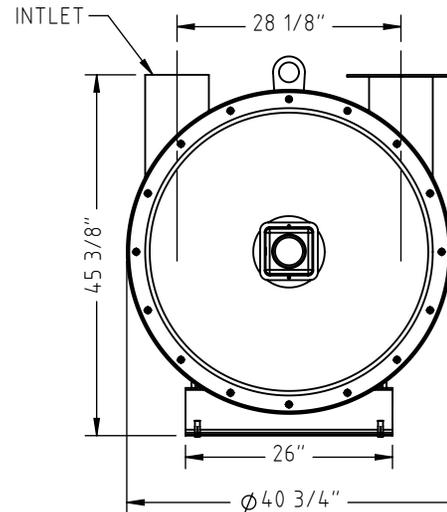
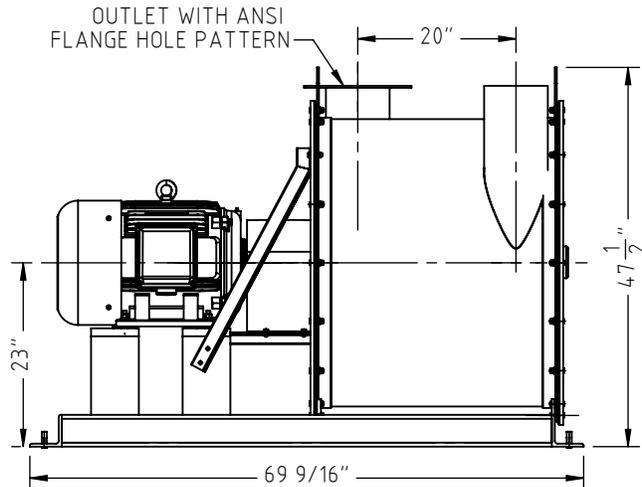
NOTE: ALL DIMENSIONS ARE IN INCHES.

PRODUCT SPECIFICATIONS

PRODUCT:
40 HP MULTI-STAGE CENTRIFUGAL EXHAUSTER

PART NO.
40HP-40E-07004036

DATE
12/15/2018



SECTION DETAIL
NOTE: DO NOT TIGHTEN BOLT. WASHER MUST BE ABLE TO SPIN FREELY AFTER INSTALLATION.

CATALOGUE NUMBER	POWER HP (Kw)	MOTOR RPM	MAX VOLUME CFM	VACUUM IN Hg (IN Wg)	VOLT/PHASE/FREQ. FLA	NUMBER OF STAGES	INLET O.D. IN(mm)	OUTLET O.D. IN(mm)	APPROX. WT. lb (kg)	HEAT RATE (BTU/Hr)	DISTANCE (FT.)	SOUND LEVEL (dBA)
422B40	40 (29.8)	3600	1250	7.0 (95)	460/3/60 45A	4	8(200)	8(200)	1071 (486)	13648	3	89
					575/3/60 37A						10	79
											50	65
											100	59
											150	53

NOTES:

1. ALL DIMENSIONS SHOWN ARE FOR REFERENCE PURPOSES ONLY, NOT FOR CONSTRUCTION USE.
2. HEIGHT OF UNIT DOES NOT INCLUDE VIBRATION ISOLATOR.
3. NO SPECIAL FOUNDATION IS REQUIRED FOR EXHAUSTERS; DO NOT FASTEN DOWN TO CONCRETE FLOOR.
4. STANDARD ROTATION IS CW WHEN VIEWED FROM MOTOR END.
5. INLET FURNISHED STANDARD WITH BUTTERFLY THROTTLING VALVE.
6. SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE.

NOTE: ALL DIMENSIONS ARE IN INCHES.

ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE.
(SUBSECTION 05.03.E, OF ARTICLE 08, OF THE UDC)

LOT 1, BLOCK C
STEGER TOWNE
CROSSING-PHASE II/CAB. D, PG. 41

LOT SIZE
74,088 SQ FT

LOT 1, BLOCK C
KWIK ADDITION
CAB. D, PG. 521

**HORIZON ROAD
(F.M. 3097)**

NOTE:
IRRIGATION WILL MEET REQUIREMENTS OF UDC. (SUBSECTION 05.04, OF ARTICLE 08, OF THE UDC)

**PROPOSED REAR LANDSCAPE
AREA 9,727 SQ FT
PLANT LEGEND**

TYPE	QUANTITY
CT	4
DB	54
OT	
PINE	
ELM	
OT	
OT	
PINE	
PINE	
LO	
	3

LOT SIZE
AREA 74,088 SQ FT
PROPOSED LANDSCAPE
AREA 18,061 SQ FT
20% OF LANDSCAPE REQUIRED:
24.38% PROPOSED
IMPERVIOUS AREA:
50,237 SQ FT
(includes new vacuum service area)

**PROPOSED FRONT LANDSCAPE
AREA 8,334 SQ FT**

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, ___.
WITNESS OUR HANDS, this ___ day of ___, ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

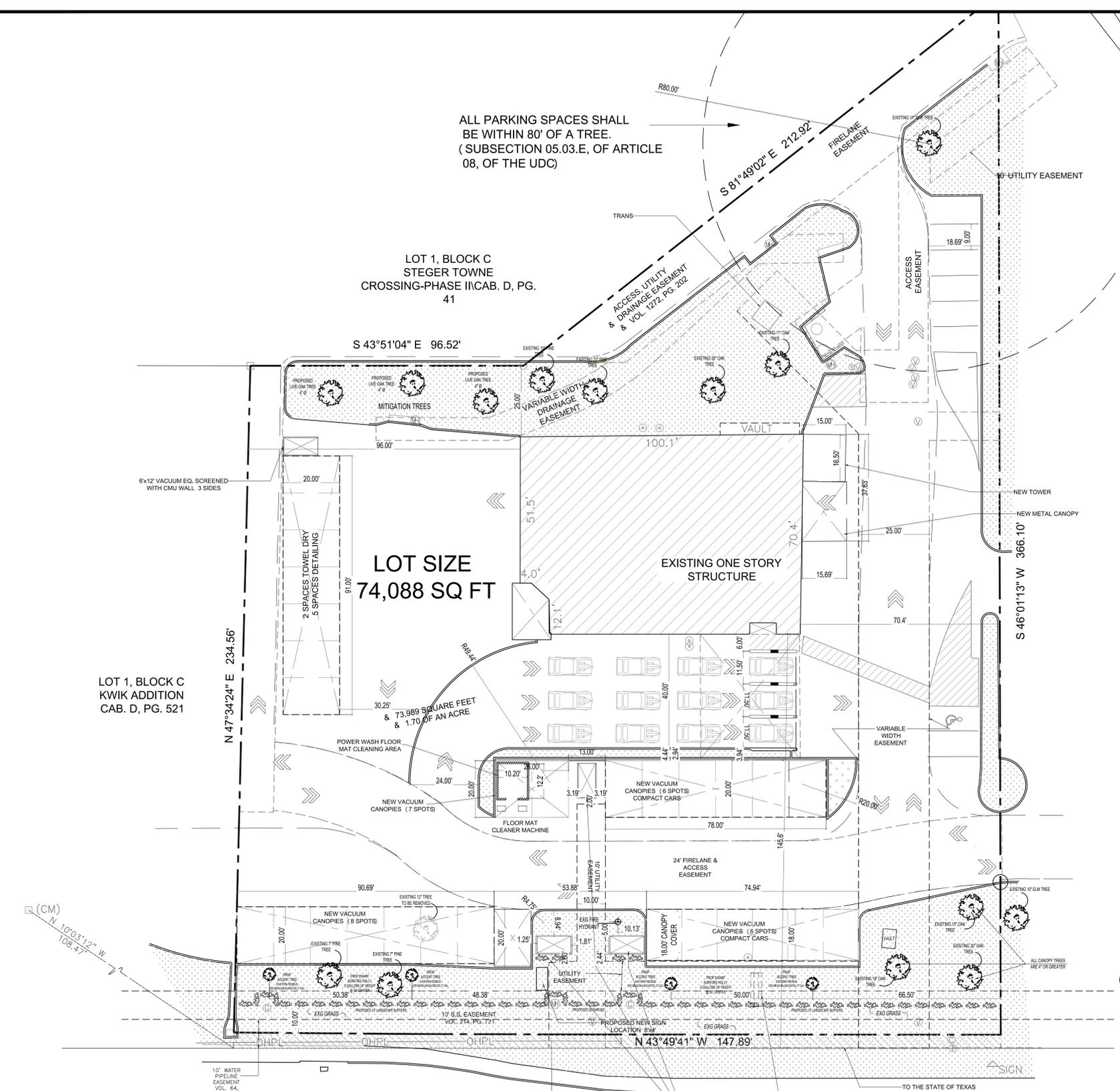
ADDRESS:
2525 HORIZON ROAD
ROCKWALL, TX 75032
PROJECT NAME:
HORIZON CAR WASH
EXTERIOR & LANDSCAPE
IBRAHIM KASSEM TEL. 214-532-7018
CASE NUMBER:
SP2023-004

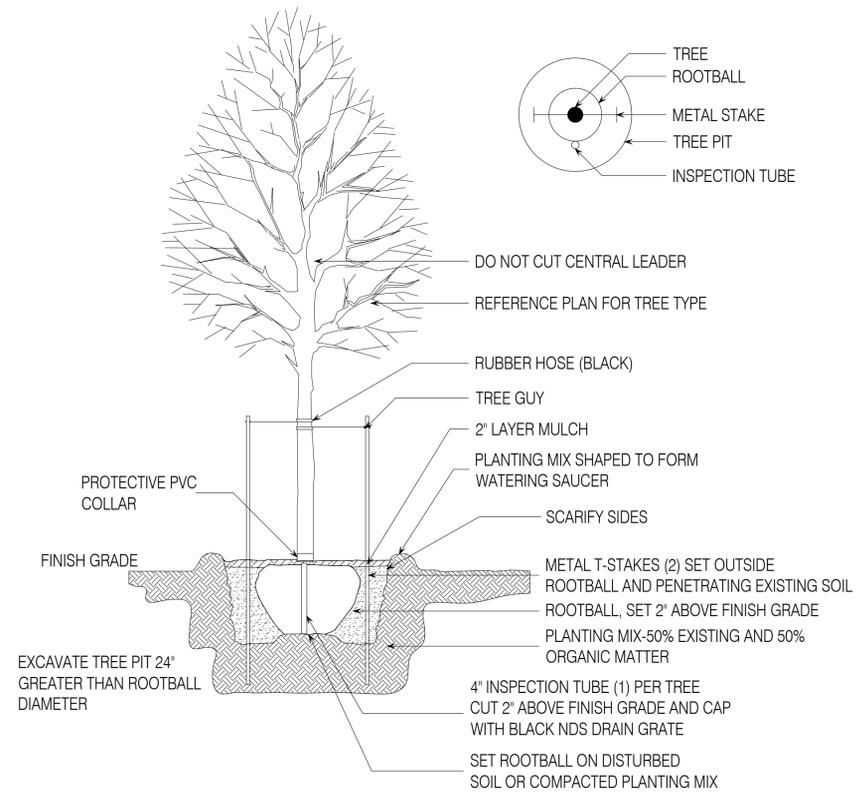
STAMP:

FILE NAME
LANDSCAPE PLAN
SCALE
1" = 20'
DATE
01/31/2023
SHEET
LD-1

PROPOSED LANDSCAPE PLAN

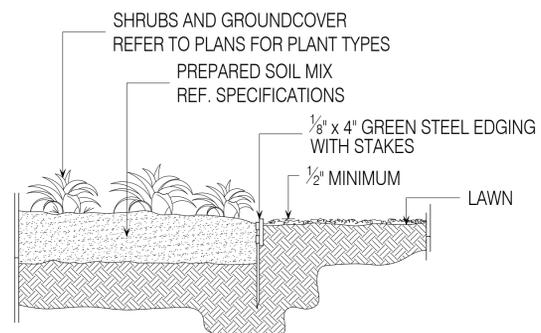
Horizontal Scale: 1" = 20'
0' 20' 40'





TYP. TREE PLANTING DETAILS
scale: N.T.S.

1.1
A



STEEL EDGING PLANTING DETAILS
scale: N.T.S.

1.1
B

ADDRESS: 2525 HORIZON ROAD ROCKWALL, TX 75032 PROJECT NAME: HORIZON CAR WASH EXTERIOR & LANDSCAPE IBRAHIM KASSEM TEL. 214-532-7018 CASE NUMBER: SP2023-004	STAMP:	FILE NAME LANDSCAPE PLAN
		SCALE 1" = 20'
		DATE 01/31/2023
		SHEET LD-2

