

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JULY 11, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of minutes for the June 27, 2023 Planning and Zoning Commission meeting.

(3) **P2023-016 (HENRY LEE)**

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Master Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

(4) **P2023-017 (HENRY LEE)**

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Preliminary Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

(5) **P2023-019 (HENRY LEE)**

Consider a request by Greg Hesel of Spiars Engineering, Inc. on behalf of Katherine Hamilton of Arcadia Lakes of Somerset Holdings, LLC for the approval of a Replat of Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

(6) **SP2023-019 (BETHANY ROSS)**

Consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Site Plan for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 92-39*] for Zero Lot Line (ZL-5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.

(V) **PUBLIC HEARING ITEMS**

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(7) **Z2023-029 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 8 (PD-8) [*Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38 and Resolution No.'s 87-19 & 87-20*] for the purpose of consolidating the regulating ordinances and resolutions for a 230.80-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), generally located south of Summer Lee Drive and west of Ridge Road [*FM-740*], and take any action necessary.

(8) **Z2023-030 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Christopher Touoboun on behalf of Dennis Lewis of Meals on Wheels Senior Service of Rockwall County for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.

(9) **Z2023-031 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

(10) **Z2023-032 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 22-02 [S-266]* and allowing the expansion of an existing *Motor Vehicle Dealership* (i.e. *Clay Cooley Hyundai*) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(11) **MIS2023-008 (BETHANY ROSS)**

Discuss and consider a request by Guicherme Credidio Braga for the approval of a Miscellaneous Case for a Special Exception to the Minimum Lot Width/Frontage requirements stipulated by *Ordinance No. 16-01* to allow a lot less than 50-feet in width on a 0.495-acre tract of land identified as a portion of Lots 1354 & 1359 and all of Lots 1355 & 1356 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] for Single-Family 7 (SF-7) District land uses, addressed as 327 Nicole Drive, and take any action necessary.

(12) **SP2023-020 (HENRY LEE)**

Discuss and consider a request by Veronica O'Neal on behalf of Ashwani Agarwal and Azul Kumar for the approval of a Site Plan for a Daycare Facility on a 2.308-acre tract of land identified as Lot 21 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 5811 Horizon Road [*FM-3097*], and take any action necessary.

(13) **SP2023-021 (HENRY LEE)**

Discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a Site Plan for a New and/or Used Indoor Motor Vehicle Dealership/Showroom on a 1.99- acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development 46 (PD-46) District for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing, and take any action necessary.

(VII) DISCUSSION ITEMS

(14) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on July 7, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
JUNE 27, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT
3 [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR
4 SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT
5 FORM ON THE CITY'S WEBSITE.

6 7 I. CALL TO ORDER

8
9 **Vice-Chairman Womble called the meeting to order at 6:00 PM. Commissioners present were Jerry Welch, Jean Conway, Brian Llewelyn, Ross
10 Hustings and Kyle Thompson. Absent from the meeting was Chairman Derek Deckard. Staff members present were Director of Planning and Zoning
11 Ryan Miller, Planners Bethany Ross and Henry Lee. Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala, City Engineer Amy
12 Williams, Assistant City Engineer Jonathan Browning and Civil Engineer Sarah Johnston.**

13 14 II. APPOINTMENTS

15
16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on
17 the agenda requiring architectural review.

18
19 *Director of Planning and Zoning Ryan Miller advised that Staff would provide the ARB recommendations when they presented the cases.*

20 21 III. OPEN FORUM

22
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the
24 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN
25 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings
26 Act.*

27
28 **Vice-Chairman Womble explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time; there
29 being no one indicating such, Vice-Chairman Womble closed the open forum.**

30 31 IV. CONSENT AGENDA

32
33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)
34 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

35
36 2. Approval of minutes for the June 13, 2023 Planning and Zoning Commission meeting.

37 38 3. P2023-015 (BETHANY ROSS)

39 Consider a request by Robert Howman of Glenn Engineering on behalf of Tim Lyssy of Rockwall Independent School District (RISD) for the approval of a Final
40 Plat for Lot 1, Block A, Rochell Elementary School Addition being a 10.664-acre tract of land identified as Tract 17- 01 of the E. P. G. Chisum Survey, Abstract
41 No. 64, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 899
42 Rochell Court, and take any action necessary.

43 44 4. P2023-018 (ANGELICA GUEVARA)

45 Consider a request by Wayne Terry of R-Delta Engineers, Inc. on behalf of Stephen Geiger of Rayburn Country Electric Cooperation for the approval of a Final
46 Plat for Lots 1-3, Block A, REC Campus Addition being a 84.796-acre tract of land identified as a Lots 6-9, Block A, Rayburn Country Addition and Tract 3 of
47 the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) and Commercial (C) District, situated
48 within the SH-205 Overlay (SH-205 OV) District, located at the northwest corner of the intersection of S. Goliad Street [SH-205] and Mims Road, and take any
49 action necessary.

50 51 5. P2023-020 (ANGELICA GUEVARA)

52 Consider a request by Fred Gans of Garages of America for the approval of a Replat for Lot 22, Block A, Rainbo Acres Addition being a 13.53-acre tract of land
53 identified as Lots 8R, 9R & 10 of the Rainbo Acres Subdivision, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 96 (PD-96) for
54 limited Commercial (C) District land uses, addressed as 5879, 5917 & 5981 Horizon Road [FM-3097], and take any action necessary.

55
56 **Commissioner Welch made a motion to approve the Consent agenda. Commissioner Llewelyn seconded the motion which passed by a vote of 6-0.**

57 58 V. PUBLIC HEARING ITEMS

59
60 *This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please
61 submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning
62 Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments
63 to three (3) minutes out of respect for the time of other citizens.*

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6. **Z2023-024 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Chris Curra for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1278-acre parcel of land identified as Lot 6, Block C, Chandler's Landing #16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for zero lot line homes, addressed as 311 Valiant Drive, and take any action necessary.

Planning Technician Angelica Guevara provided a brief summary in regards to the request. This was a request for an approval for a SUP for a Residential Infill at 311 Valiant Drive. The Commission ultimately decided to table this request due to the applicant still working and making changes to his residential plot plan. The applicant has presented a new plot plan showing that it will now follow the traditional zero-lot line development scheme which makes it in conformance with the requirements of the home. The request met all of the density and dimensional requirements for a home in Planned Development District 8 (PD-8) with the exception of two residential standards; the garage orientation and the roof pitch. As of now, no changes have been made to either. The garage orientation is still protruding approximately 2-feet from the front facade of the home. However, Staff should point out that there are several houses in this area with the same garage configuration. The second standard was the roof pitch and, while the new elevations do show a 3:12 written on the roof plan, there are no overall changes to the style of the home. Staff should point out that the proposed home does not have a comparable look to the rest of the homes in the area. At the time that this report was drafted, no new notices have come into the office. As of now staff has received 1 email min opposition of the request, 2 responses to the Online Zoning and Specific Use Permit Input Form, 1 email from a property owner expressing concerns in regards to the request and 1 notice in favor of the applicant's request.

Commissioner Conway asked about the drainage issue brought up in one of the letters.

Vice-Chairman Womble opened public hearing and asked anyone who wished to speak to come forward at this time. There being no one indicating such; Vice-Chairman Womble closed the public hearing and brought the item back to the Commission for discussion or action.

Commissioner Welch asked if the main issue with the proposed home was the flat roof.

Commissioner Thompson asked if there have been any oppositions to the appearance of the home.

Commissioner Lewellyn made a motion to deny Z2023-024 without prejudice. Commissioner Welch seconded the motion to deny without prejudice which passed by a vote of 5-1, with Vice-Chairman Womble dissenting.

Vice-Chairman Womble advised that this case would go before the City Council for discussion or action on July 17, 2023.

VI. DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is July 11, 2023.

7. **Z2023-029 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 8 (PD-8) [Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38 and Resolution No.'s 87-19 & 87-20] for the purpose of consolidating the regulating ordinances and resolutions for a 230.80-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), generally located south of Summer Lee Drive and west of Ridge Road [FM-740], and take any action necessary.

Director of Planning & Zoning Ryan Miller provided a brief summary in regards to the request. Planned Development districts are commonly used in zoning to regulate many of the City's properties. Prior to 2015 the way they amended Planned Development districts was every time an amendment was adopted, instead of superseding the previous ordinance, they would stack ordinances on top of each other. This has occurred since the 1970s and, when they get amended multiple times, they accumulate a lot of ordinances and this creates some difficulty for property owners, developers and staff interpreting these. In 2015, staff started writing consolidated ordinances. Every time someone would propose a zoning case in a Planned Development district, since we view that case as amending the entire planned development district, we would notify the entire Planned Development district and write a consolidating ordinance superseding all ordinances. What this does is create a single ordinance that is easy to read and easy to use as a regulator and easy for property owner to open up and understand what the development standards are for their property. This has been done successfully with multiple Planned Development districts ordinances. Staff proposed a program at the June 5th City Council meeting on starting to initiate zoning on some of these older Planned Development Districts. Staff is not looking at changing any land uses permitted or any development standards in this district. Basically, staff is just trying to make it easier for people to pick up their zoning document and understand it.

Commissioner Welch asked how they would address setbacks.

Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.

8. **Z2023-030 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Christopher Touoboun on behalf of Dennis Lewis of Meals on Wheels Senior Service of Rockwall County for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.21-acre tract of land identified as a portion of

131 Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the
132 Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.

133
134 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting for a zoning change from**
135 **Agricultural (AG) District to Light Industrial (LI) District at 1770 and 1780 Airport Road. The proposed change is consistent with the Comprehensive**
136 **Plan.**

137
138 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.**
139

140 **9. Z2023-031 (ANGELICA GUEVARA)**

141 Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established
142 Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City
143 of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

144
145 **Planning Technician Angelica Guevara provided a brief summary in regards to the request. The applicant is requesting approval of an SUP for**
146 **Residential Infill at 709 Forest Trace. As of right now, the proposed homedoes meet all the density and dimensional requirements for a home in**
147 **Single Family (SF-10) District with the exception of the side yard setback. It should have a 6-foot setback and as of now it's showing 5-feet. The**
148 **applicant will just need to change that on the site plan.**

149
150 **Otilio Posadas**
151 **41 Anna Leigh Drive**
152 **Waxahachie, TX 75167**

153
154 **Mr. Posadas came forward and advised that the corrected plans have been completed and will be submitted.**

155
156 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.**
157

158 **10. Z2023-032 (BETHANY ROSS)**

159 Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall,
160 LLC for the approval of a Specific Use Permit (SUP) superseding Ordinance No. 22-02 [S-266] and allowing the expansion of an existing Motor Vehicle
161 Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall
162 County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action
163 necessary.

164
165 **Planner Bethany Ross provided a brief summary in regards to the request. The applicant has made ample changes to the proposed layout of the**
166 **expansion of the Clay Cooley Hyundai dealership including changing the orientation and expanding the auto repair garage and adding a new**
167 **reception bay. This proposed SUP, if approved, will supersede the original SUP that was approved in 2022. The applicant will need to clarify if it's a**
168 **major or minor auto repair shop. The applicant will also need to provide screening along Commerce Street for the bays.**

169
170 **Zachary Amick**
171 **1957 Stevens Road**
172 **Rockwall, TX 75032**

173
174 **Mr. Amick came forward and provided additional details in regards to the request.**

175
176 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.**
177

178 **11. P2023-016 (HENRY LEE)**

179 Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Master
180 Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R.
181 Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development
182 District 101 (PD-101) [Ordinance No. 23-11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the
183 intersection of Mims Road and National Drive, and take any action necessary.

184
185 **Planner Henry Lee provided a brief summary in regards to the request. He advised that this case needs to go before the Parks Board on July 10,**
186 **2023.**

187
188 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.**
189

190 **12. P2023-017 (HENRY LEE)**

191 Discuss and consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a
192 Preliminary Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the
193 J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned
194 Development District 101 (PD-101) [Ordinance No. 23-11] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road
195 west of the intersection of Mims Road and National Drive, and take any action necessary.

196
197 **Planner Henry Lee provided a brief summary in regards to the request. He advised that this case needs to go before the Parks Board on July 10,**
198 **2023.**

199 Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.
200
2013. MIS2023-008 (BETHANY ROSS)
202 Discuss and consider a request by Guicherme Credidio Braga for the approval of a Miscellaneous Case for a Special Exception to the Minimum Lot
203 Width/Frontage requirements stipulated by Ordinance No. 16-01 to allow a lot less than 50-feet in width on a 0.495-acre tract of land identified as a portion of
204 Lots 1354 & 1359 and all of Lots 1355 & 1356 of Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development
205 District 75 (PD-75) [Ordinance No. 16-01] for Single-Family 7 (SF-7) District land uses, addressed as 327 Nicole Drive, and take any action necessary.
206

207 Planner Bethany Ross provided a brief summary in regards to the request. This request would typically go to the Board of Adjustments; however, it
208 being in Lake Rockwall Estates Subdivision, it does have jurisdiction to consider a special request pending a recommendation from the Planning
209 and Zoning Commission. In this case, the applicant is creating their own hardship by subdividing the lot into three (3) lots. One of those lots has a
210 45-foot width and the City Council has yet to approve any lots below 50-feet in the Lake Rockwall Estates subdivision since it was established in
211 2009.

212
213 Guicherme Braga
214 327 Nicole Drive
215 Rockwall, TX 75032
216

217 Mr. Braga came forward and provided additional details in regards to the request.

218
219 Commissioner Welch asked if they can approve for 60-foot lot.

220
221 Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.
222

22314. SP2023-019 (BETHANY ROSS)
224 Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf of William Johnson of LTL Family Holdings, LLC for the approval of a Site
225 Plan for the Marina Village Subdivision being a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal
226 Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 92-39] for Zero Lot Line (ZL-
227 5) District land uses, generally located on the south side of Henry M. Chandler Drive west of Ridge Road [FM-740], and take any action necessary.
228

229 Planner Bethany Ross provided a brief summary in regards to the request. The applicant has met all requirements for this Planned Development.
230 The applicant will just need to meet the driveway length of 25-feet.
231

232 Ryan Joyce
233 767 Justin Road
234 Rockwall, TX 75087
235

236 Mr. Joyce came forward and provided additional details in regards to the request.

237
238 Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023
239

24015. SP2023-020 (HENRY LEE)
241 Discuss and consider a request by Veronica O'Neal on behalf of Ashwani Agarwal and Azul Kumar for the approval of a Site Plan for a Daycare Facility on a
242 2.308-acre tract of land identified as Lot 21 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed
243 as 5811 Horizon Road [FM-3097], and take any action necessary.
244

245 Planner Henry Lee provided a brief summary in regards to the request. The applicant is requesting approval of a site plan for a daycare facility.
246 They're having to request this because they are expanding the parking and updating the landscaping.
247

248 Dr. Veronica O'Neal
249 5485 FM 3097
250 Rockwall, TX 75032
251

252 Dr. O'Neal came forward and provided additional details in regards to the request.

253
254 Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.
255

25616. SP2023-021 (HENRY LEE)
257 Discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a Site Plan for a New and/or Used
258 Indoor Motor Vehicle Dealership/Showroom on a 1.99- acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey,
259 Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development 46 (PD-46) District for Commercial (C) District land uses, situated
260 within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate
261 Crossing, and take any action necessary.
262

263 Planner Henry Lee provided a brief summary in regards to the request. The applicant requested an SUP in the beginning of this year and now they
264 are requesting approval of a site plan for this project. Staff has identified a few variances to the articulation and the building material requirements
265 for the Overlay District.
266

267 **Jeff Toon**
268 **301 Bent Tree lane**
269 **Haslet, TX 76052**

270
271 **Mr. Toon came forward and provided additional details in regards to the request.**

272
273 **Vice-Chairman Womble advised that this item will come back before the Commission for discussion or action on July 11, 2023.**

274
275 17. *Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).*

- 276
277 • P2023-012: Final Plat for the Park Hills Subdivision (**APPROVED**)
278 • Z2023-024: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 311 Valiant Drive (**1ST READING; APPROVED**)
279 • Z2023-025: Specific Use Permit (SUP) for an *Accessory Building* at 3065 Winecup Lane (**1ST READING; APPROVED**)
280 • Z2023-026: Zoning Change from Agricultural (AG) District to a Single-Family 16 (SF-16) District for 2065 Airport Road (**APPROVED; 1ST READING**)
281 • Z2023-027: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* for 110 Mischief Lane (**APPROVED; 1ST READING**)
282 • Z2023-028: Specific Use Permit (SUP) for a *Residential Infill in an Established Subdivision* at 481 Blanche Drive (**APPROVED; 1ST READING**)

283
284 **Director of Planning and Zoning Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.**

285
286 VII. ADJOURNMENT

287
288 **Vice-Chairman Womble adjourned the meeting at 6:49 PM.**

289
290 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
291 _____, 2023.

292
293
294 _____
295 Derek Deckard, Chairman

296
297 Attest:
298 _____
299 Melanie Zavala, Planning Coordinator

300

301



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 11, 2023

APPLICANT: Meredith Joyce; *Michael Joyce Properties*

CASE NUMBER: P2023-016; *Master Plat for the Peachtree Meadows Subdivision*

SUMMARY

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Master Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50-acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting approval of a Master Plat for the Peachtree Meadows Subdivision. The Peachtree Meadows Subdivision will be constructed in two (2) phases that will consist of 292 residential lots on a 140.50-acre tract of land (*i.e. Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219*). The Master Plat indicates the phasing lines, the trail locations, and the open space lots for the proposed subdivision. Staff should note that in conjunction with the submittal of this Master Plat, the applicant has also submitted a Preliminary Plat (*Case No. P2023-017*) for the Peachtree Meadows Subdivision.
- Background. The subject property was annexed by the City Council on December 20, 1999 through the adoption of *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On March 6, 2023, the City Council approved a zoning case [*Case No. Z2023-003*] that changed the zoning designation of the subject property from Agricultural (AG) District to Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses. Under this Planned Development District ordinance, the subject property was permitted to be developed with a total of 292 single-family residential lots (*or a density of 2.08 dwelling units per acre*) and a minimum of 65.90-acres of open space (*i.e. 31.28% open space on the gross*). The following is a summary of the lot composition and density and dimensional standards contained within Planned Development District 101 (PD-101):

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

	Lot Type (see Concept Plan) ►	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾		82'	72'	62'	52'
<i>Minimum Lot Depth</i>		120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>		9,000 SF	8,400 SF	7,200 SF	6,000 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}		20'	20'	20'	20'
<i>Minimum Side Yard Setback</i>		6'	6'	6'	6'

Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	20'	20'	20'	20'
Minimum Length of Driveway Pavement ⁽⁷⁾	20'	20'	20'	20'
Maximum Height ⁽³⁾	35'	35'	35'	35'
Minimum Rear Yard Setback ⁽⁴⁾	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	65%	65%	65%	65%

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE FRONT PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE *FRONT YARD BUILDING SETBACK*. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN TABLE 1.
- 2: THE LOCATION OF THE *FRONT YARD BUILDING SETBACK* AS MEASURED FROM THE FRONT PROPERTY LINE.
- 3: THE *MAXIMUM HEIGHT* SHALL BE MEASURED TO THE EAVE OR TOP PLATE (*WHICHEVER IS GREATER*) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE *REAR YARD BUILDING SETBACK* AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE *FRONT YARD BUILDING SETBACK* BY UP TO TEN (10) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON *SIDE YARD SETBACKS*. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: *J-SWING* OR *TRADITIONAL SWING GARAGES* ARE PERMITTED TO ENCROACH INTO THE FRONT YARD BUILDING SETBACK A MAXIMUM OF FIVE (5) FEET.

Parks Board. On July 10, 2023, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:

- (1) The property owner shall pay pro-rata equipment fees of \$92,669.12 (i.e. \$317.36 x 292 Lots).
- (2) The property owner shall pay cash-in-lieu of land fees of \$98,742.72 (i.e. \$338.16 x 292 Lots).

Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

Conditional Approval. Conditional approval of this Master Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Master Plat for the *Peachtree Meadows Subdivision* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Master Plat; and,
- (2) Any construction resulting from the approval of this Master Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO.

P2023-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ²
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE ROUND UP TO ONE (1) ACRE
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50 LOT BLOCK

GENERAL LOCATION Southwest of Intersection Mims Rd & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING PD-101

CURRENT USE Single Family

PROPOSED ZONING

PROPOSED USE

ACREAGE 140.494

LOTS [CURRENT] 292

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY, STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E-MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION (REQUIRED)

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

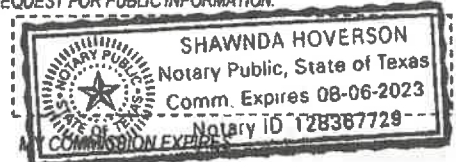
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 2,207.41 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF June, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

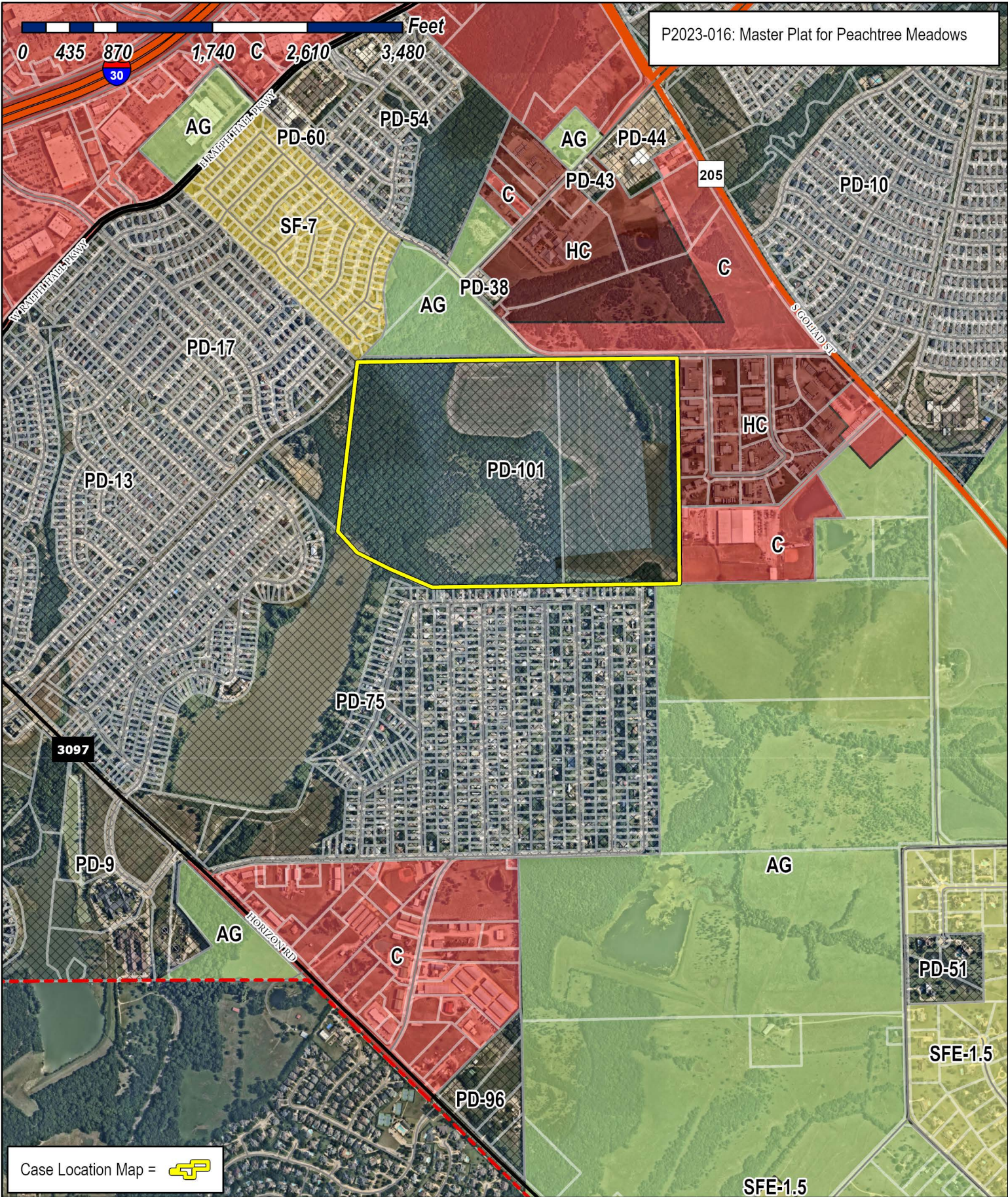
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June, 2023

OWNER'S SIGNATURE

John Vick
Shawnda Hoverson

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

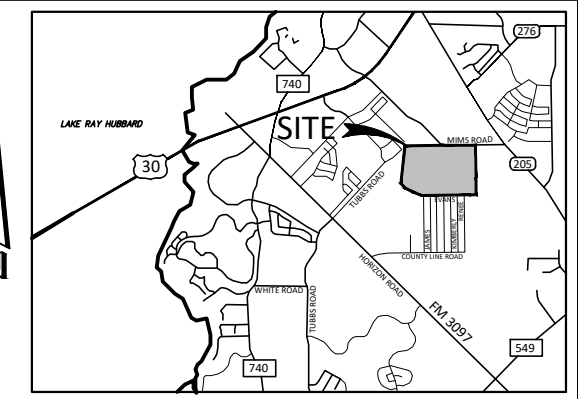


OPEN SPACE	ACRES
FLOOD PLAIN	43.8
OTHER	20.4
TOTAL	64.2
OPEN SPACE RATIO*	
[(43.8/2) + 20.4] / 140.5 = 30.1%	

*ASSUMING HALF OF FLOODPLAIN

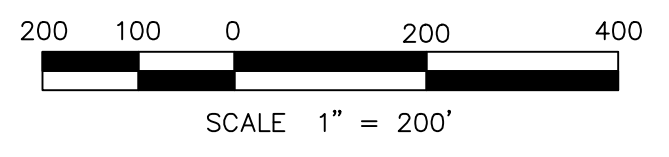
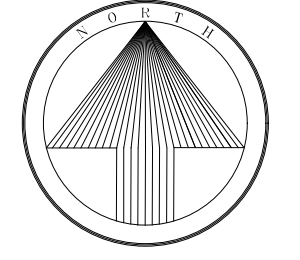
GENERAL NOTES:

- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
- THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - WATER – CONNECTIONS TO EXISTING WATER LINE AT MIMS ROAD
 - WASTEWATER – CONNECTION TO EXISTING WASTEWATER LINE AT MIMS ROAD
 - ROADWAY – CONNECTIONS TO EXISTING ROADWAYS MIMS ROAD & RENEE DRIVE
 - DRAINAGE – DRAINAGE TO DETENTION PONDS
- SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY AND DRAINAGE FACILITIES THAT HAVE ADEQUATE CAPACITY.



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas



MASTER PLAT PEACHTREE MEADOWS SUBDIVISION

BEING
292 SINGLE FAMILY LOTS,
4 OPEN SPACE LOTS AND
1 AMENITY CENTER
140.494 ACRES OR 6,119,939 SQ. FT.
SITUATED IN THE
GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2023-016

June 30, 2023

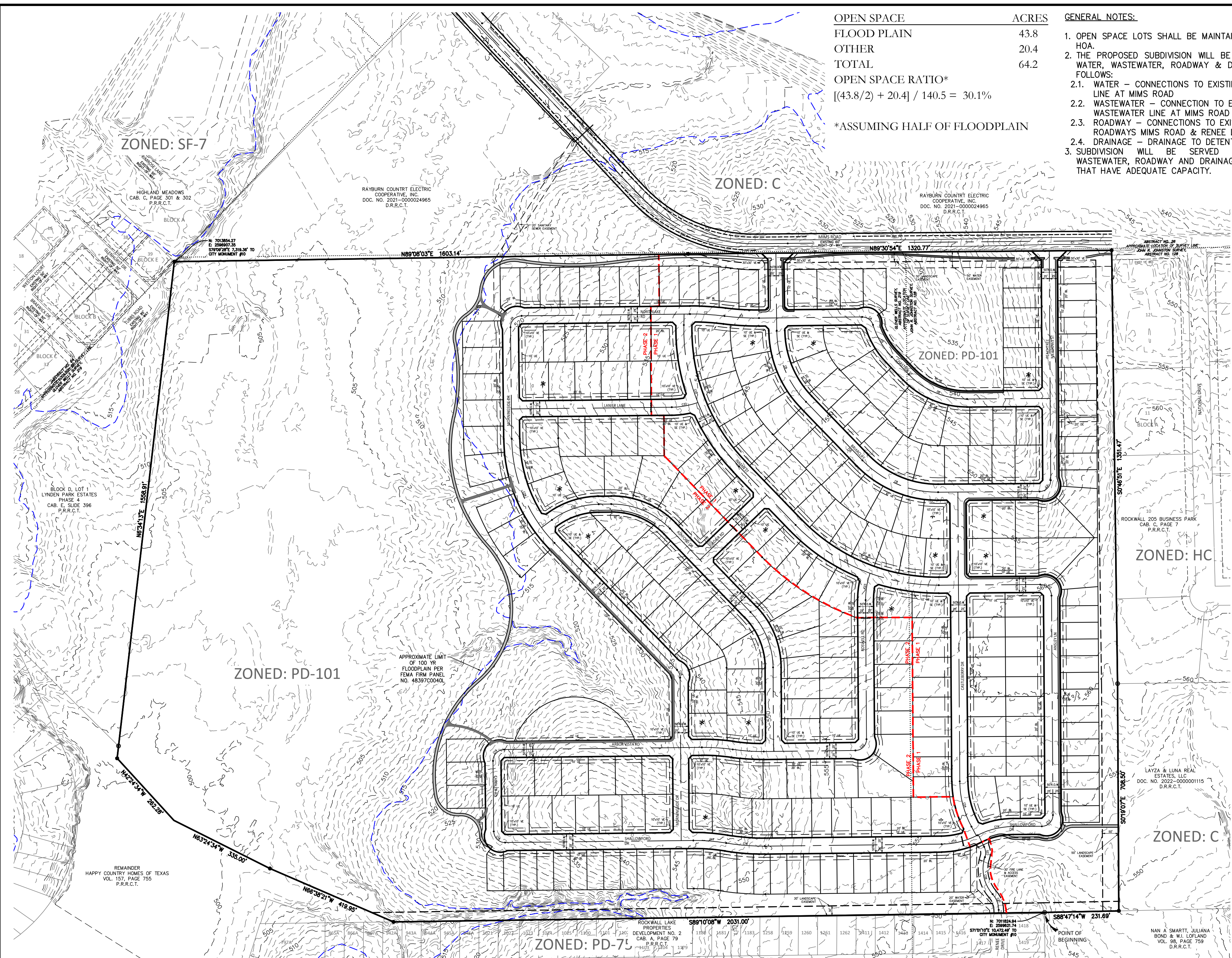
EXIST. ZONING: PD-101
LAND USE: SF-10

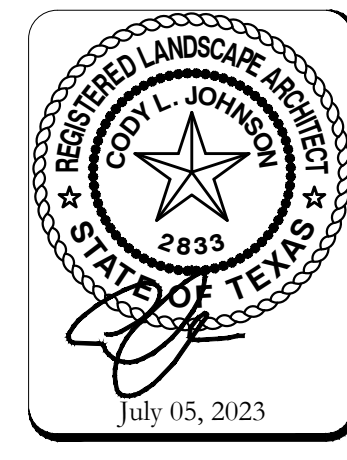
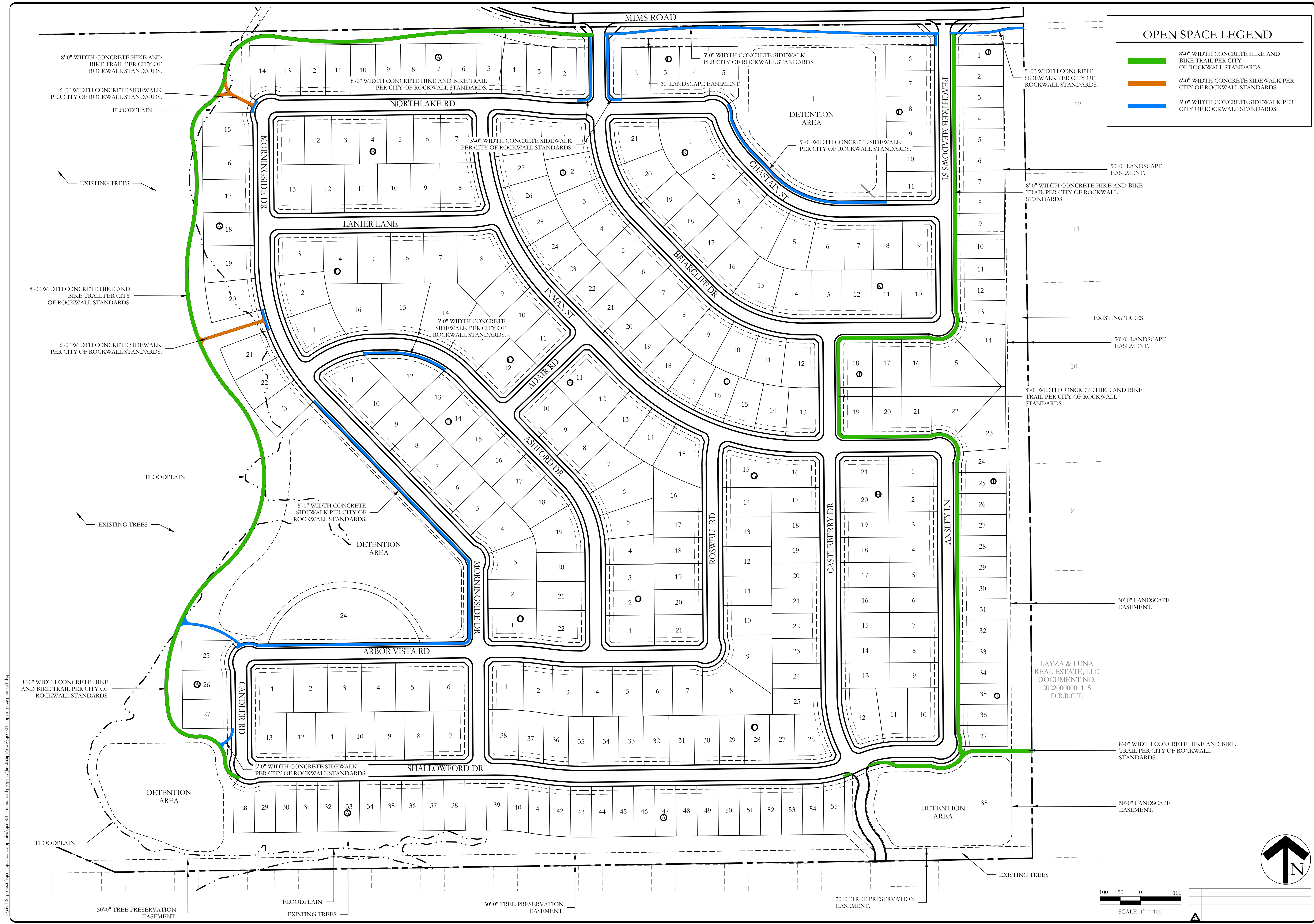
GROSS LOT DENSITY = 2.07 UNITS/ACRES

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100







CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 11, 2023

APPLICANT: Meredith Joyce; *Michael Joyce Properties*

CASE NUMBER: P2023-017; *Preliminary Plat for the Peachtree Meadows Subdivision*

SUMMARY

Consider a request by Meredith Joyce of Michael Joyce Properties on behalf of John Vick of Qualico Development, Inc. for the approval of a Preliminary Plat for the Peachtree Meadows Subdivision consisting of 292 single-family residential lots on a 140.50- acre tract of land identified as Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses, generally located on the southside of Mims Road west of the intersection of Mims Road and National Drive, and take any action necessary.

PLAT INFORMATION

Purpose. The purpose of the applicant’s request is to Preliminary Plat a 140.50-acre parcel of land (i.e. *Tract 5 of the J. R. Johnson Survey, Abstract No. 128 and Tract 3 of the G. Wells Survey, Abstract No. 219*) to show the future establishment of 292 single-family residential lots and four (4) open space lots (i.e. *Lots 1-55, Block A; Lots 1-13, Block B; Lots 1-16, Block C; Lots 1-22, Block D; Lots 1-21, Block E; Lots 1-13, Block F; Lots 1-38, Block G; Lots 1-21, Block H; Lots 1-38, Block I; Lots 1-28, Block J; Lots 1-21, Block K; Lots 1-11, Block L, Park Hills Subdivision*). The proposed Preliminary Plat also lays out the necessary easements (e.g. *fire lane, public access/right-of-way, utilities, and drainage*) for the future development of the residential subdivision. Staff should note that in conjunction with the submittal of this Preliminary Plat, the applicant has also submitted a Master Plat [*Case No. P2023-016*] for the Peachtree Meadows Subdivision.

Background. The subject property was annexed by the City Council on December 20, 1999 through the adoption of *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On March 6, 2023, the City Council approved a zoning case [*Case No. Z2023-003*] that changed the zoning designation of the subject property from Agricultural (AG) District to Planned Development District 101 (PD-101) [*Ordinance No. 23-11*] for Single-Family 10 (SF-10) District land uses. Under this Planned Development District ordinance, the subject property was permitted to be developed with a total of 292 single-family residential lots (or a density of 2.08 dwelling units per acre) and a minimum of 65.90-acres of open space (i.e. 31.28% open space on the gross). The following is a summary of the lot composition and density and dimensional standards contained within Planned Development District 101 (PD-101):

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	82' x 120'	9,000 SF	32	10.96%
B	72' x 120'	8,400 SF	98	33.56%
C	62' x 120'	7,200 SF	105	35.96%
D	52' x 120'	6,000 SF	57	19.52%
<i>Maximum Permitted Units:</i>			292	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

	Lot Type (see Concept Plan) ►	A	B	C	D
<i>Minimum Lot Width</i> ⁽¹⁾		82'	72'	62'	52'
<i>Minimum Lot Depth</i>		120'	120'	120'	120'
<i>Minimum Lot Area (SF)</i>		9,000 SF	8,400 SF	7,200 SF	6,000 SF

Minimum Front Yard Setback (2), (5) & (6)	20'	20'	20'	20'
Minimum Side Yard Setback	6'	6'	6'	6'
Minimum Side Yard Setback (Adjacent to a Street) (2) & (5)	20'	20'	20'	20'
Minimum Length of Driveway Pavement (7)	20'	20'	20'	20'
Maximum Height (3)	35'	35'	35'	35'
Minimum Rear Yard Setback (4)	10'	10'	10'	10'
Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]	2,500 SF	2,200 SF	2,200 SF	2,000 SF
Maximum Lot Coverage	65%	65%	65%	65%

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE FRONT PROPERTY LINE PROVIDED THAT THE LOT WIDTH WILL BE MET AT THE FRONT YARD BUILDING SETBACK. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN TABLE 1.
- 2: THE LOCATION OF THE FRONT YARD BUILDING SETBACK AS MEASURED FROM THE FRONT PROPERTY LINE.
- 3: THE MAXIMUM HEIGHT SHALL BE MEASURED TO THE EAVE OR TOP PLATE (WHICHEVER IS GREATER) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE REAR YARD BUILDING SETBACK AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE FRONT YARD BUILDING SETBACK BY UP TO TEN (10) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON SIDE YARD SETBACKS. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: J-SWING OR TRADITIONAL SWING GARAGES ARE PERMITTED TO ENCROACH INTO THE FRONT YARD BUILDING SETBACK A MAXIMUM OF FIVE (5) FEET.

Parks Board. On July 10, 2023, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:

- (1) The property owner shall pay pro-rata equipment fees of \$92,669.12 (i.e. \$317.36 x 292 Lots).
- (2) The property owner shall pay cash-in-lieu of land fees of \$98,742.72 (i.e. \$338.16 x 292 Lots).

Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for the *Peachtree Meadows Subdivision* staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

02223-017

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1, 4, 7}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT FOR REQUESTS ON LESS THAN ONE ACRE ROUND UP TO ONE (1) ACRE
⁴ A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Mims Rd, TX

SUBDIVISION A0219 G Wells, Tract 3, Acres 90.5 & A0128 J R Johnson, Tract 5, Acres 50 LOT _____ BLOCK _____

GENERAL LOCATION Southwest of Intersection Mims Rd & National Dr

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-101

CURRENT USE Single Family

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE 140.494

LOTS [CURRENT] 292

LOTS [PROPOSED] _____

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Qualico Developments (US), Inc.

APPLICANT Michael Joyce Properties

CONTACT PERSON John Vick

CONTACT PERSON Meredith Joyce

ADDRESS 6950 TPC Drive, Suite 350

ADDRESS 767 Justin Road

CITY, STATE & ZIP McKinney, TX 75070

CITY STATE & ZIP Rockwall, TX 75087

PHONE 469-769-6150

PHONE 512-694-6394

E-MAIL John.Vick@qualico.com

E MAIL meredith@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Vick [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION, ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT AND THE APPLICATION FEE OF \$ 2,307.41 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2023 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

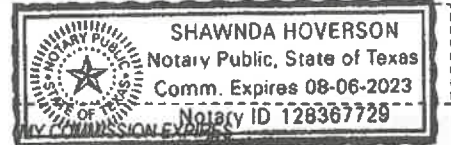
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF June 2023

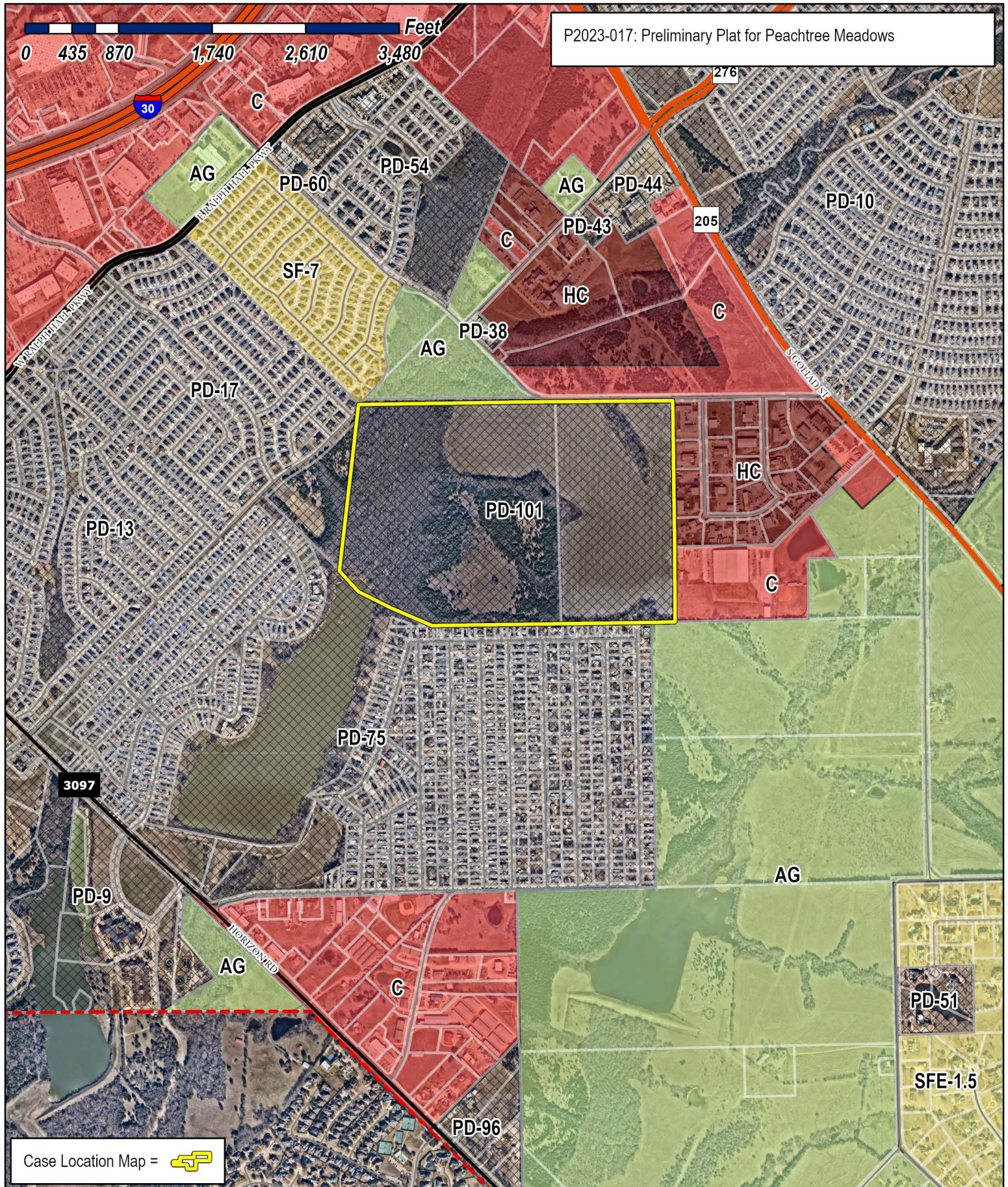
OWNER'S SIGNATURE

John Vick

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Shawnda Hoiverson





P2023-017: Preliminary Plat for Peachtree Meadows

0 435 870 1,740 2,610 3,480 Feet

Case Location Map = 

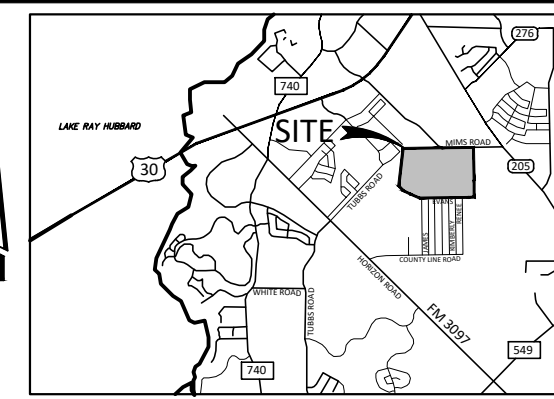


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





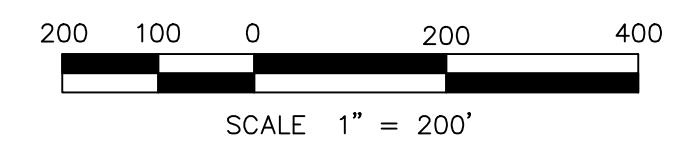
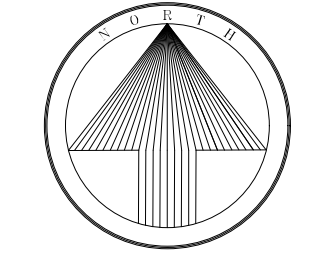
VICINITY MAP
N.T.S.

OPEN SPACE	ACRES
FLOOD PLAIN	43.8
OTHER	20.4
TOTAL	64.2
OPEN SPACE RATIO*	$[(43.8/2) + 20.4] / 140.5 = 30.1\%$

*ASSUMING HALF OF FLOODPLAIN

- GENERAL NOTES:**
- OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.
 - THE PROPOSED SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY & DRAINAGE AS FOLLOWS:
 - WATER - CONNECTIONS TO EXISTING WATER LINE AT MIMS ROAD
 - WASTEWATER - CONNECTION TO EXISTING WASTEWATER LINE AT MIMS ROAD
 - ROADWAY - CONNECTIONS TO EXISTING ROADWAYS MIMS ROAD & RENEE DRIVE
 - DRAINAGE - DRAINAGE TO DETENTION PONDS
 - SUBDIVISION WILL BE SERVED BY WATER, WASTEWATER, ROADWAY AND DRAINAGE FACILITIES THAT HAVE ADEQUATE CAPACITY.

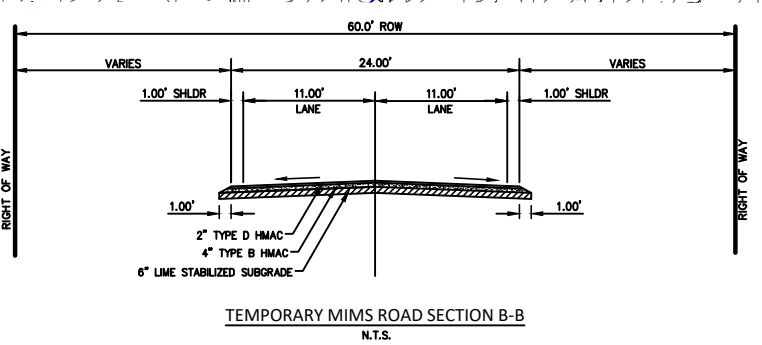
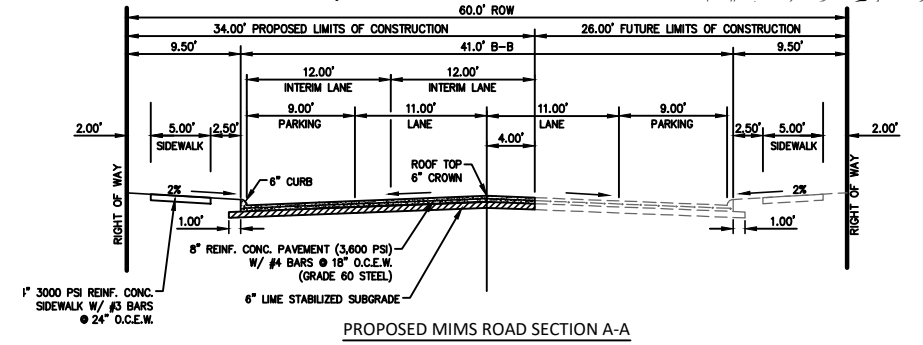
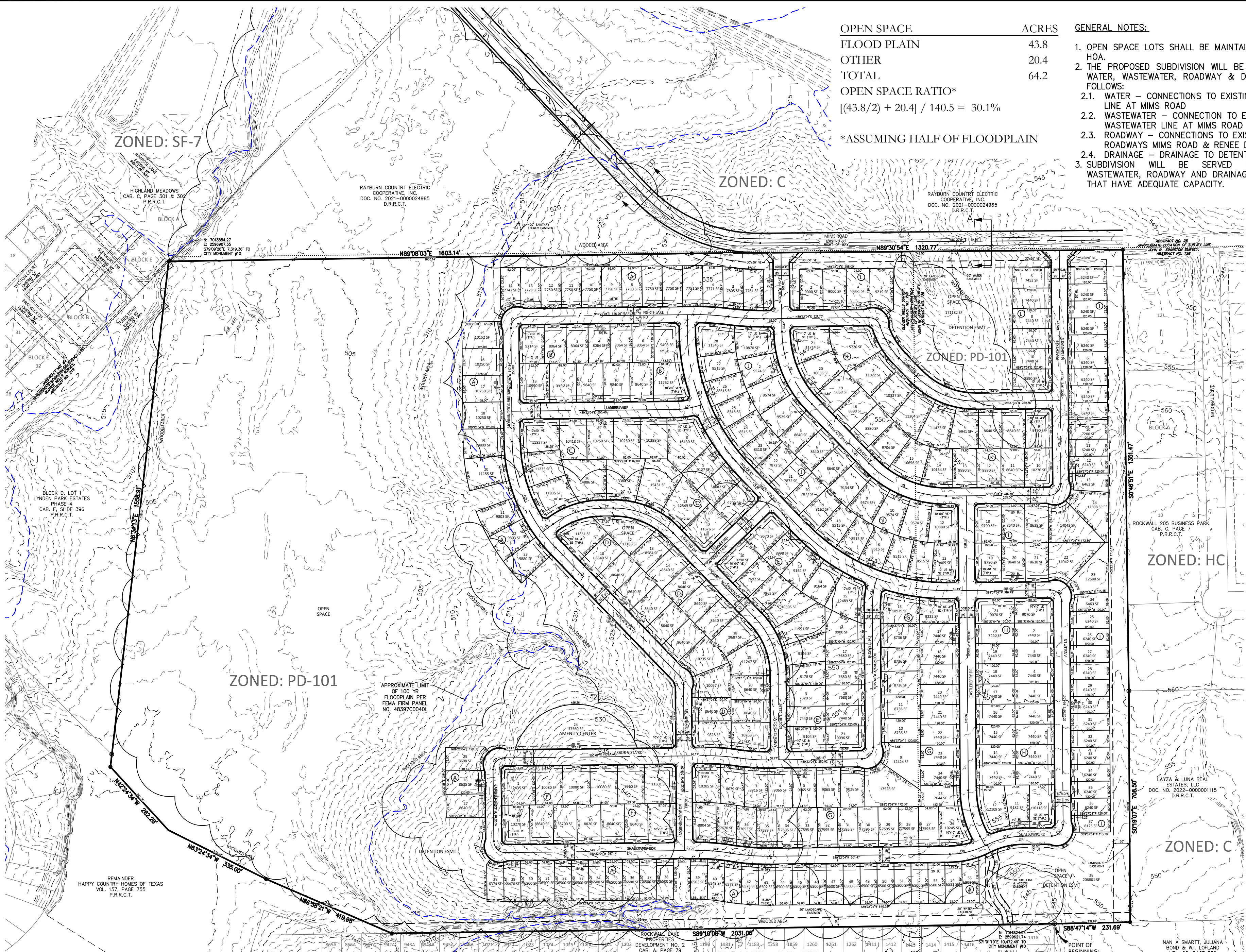
- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VE Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas



PRELIMINARY PLAT
LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;

**PEACHTREE MEADOWS
SUBDIVISION**

BEING
292 SINGLE FAMILY LOTS, 4 OPEN SPACE LOTS AND
1 AMENITY CENTER
140.494 ACRES OR 6,119,939 SQ. FT.
SITUATED IN THE
G. WELLS SURVEY, ABSTRACT NO. 219 AND
J. R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-017
June 30, 2023
EXIST. ZONING: PD-101
LAND USE: SF-10
SHEET 1 OF 3



Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

**LEGAL DESCRIPTION:
140.494 ACRES**

BEING a 140.494 acre tract of land situated in the Glover Wells Survey, Abstract Number 219 and the John R. Johnston Survey, Abstract Number 128 of Rockwall County, Texas, being that tract of land conveyed to VICMAR I, LTD. According to the document filed of record in Volume 2016, Page 200, Deed Records Rockwall County, Texas (D.R.R.C.T.)and being more particularly described as follows:

BEGINNING at a 1” iron pipe found in the south line of said VICMAR I tract, same being the common northeast corner of that tract of land conveyed to Happy Country Homes of Texas, according to the document filed of record in Volume 157, Page 755 (D.R.R.C.T.) and being the common northwest corner of that tract of land conveyed to Nan A. Smartt, Juliana Bond and W.I. Lofland according to the document filed of record in Volume 98, Page 759 (D.R.R.C.T.);

THENCE S 89° 10’ 08” W with the south line of said VICMAR I tract, same being the common north line of said Happy Country Homes tract, for a distance of 2031.00 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a corner of this tract;

THENCE leaving said common line, continuing with the south line of said VICMAR I tract the following three (3) courses and distances:

- N 66° 38’ 21” W, a distance of 419.95 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a corner of this tract;
- N 63° 24’ 34” W, a distance of 335.00 feet to a point for corner of this tract, located within the limits of the current water level of a large pond;
- N 42° 24’ 34” W, a distance of 262.28 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a corner of this tract;

THENCE N 06° 34’ 13” E, passing at a distance of 40.96 feet a 1/2” iron rod found for the southeast corner of Lot 1, Block D, Lynden Park Estates, Phase 4, an addition to the City of Rockwall according to the plat filed of record in Cabinet E, Slide 396 Plat Records Rockwall County, Texas (P.R.R.C.T.), continuing with the east line of said Lynden Park Estates, Phase 4 for a distance of 1558.91 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for the northeast corner of said Lynden Park Estates, same being the southeast corner of Highland Meadows, an addition to the City of Rockwall according to the plat filed of record in Cabinet C, Page 301/302 (P.R.R.C.T.), also being the southwest corner of that tract of land conveyed to Rayburn Country Electric Cooperative, Inc. according to the document filed of record in Document Number 20210000024965 (D.R.R.C.T.) and being the common northwest corner of this tract;

THENCE N 89° 08’ 03” E with the south line of said Rayburn Country Electric Cooperative, Inc. tract, same being common with the north line of this tract, a distance of 1603.14 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for a common corner of said tract and this tract, from which a found 60–D Nail found for a reference to said corner bears S 31° 40’ 24” E, 0.71 feet, also from said corner, a 5/8” iron rod found for reference to said corner bears S 43° 21’ 16” E, 28.37 feet;

THENCE N 89° 30’ 54” E, continuing with said common line, for a distance of 1320.77 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set for the northeast corner of this tract, from which a 3/8” iron rod found for reference to said corner bears S 82° 16’ 02” E, 3.04 feet;

THENCE S 00° 46’ 51” E, leaving said common line, with the west line of Rockwall 205 Business Park, an addition to the City of Rockwall, according to the plat filed of record in Cabinet C, Page 7 (P.R.R.C.T.) for a distance of 1351.47 feet to a 1/2” iron rod found for the southwest corner of said addition, the northwest corner of that tract of land conveyed to Layza & Luna Real Estate, LLC according to the document filed of record in Document Number 20220000001115 (D.R.R.C.T.) and common corner of this tract;

THENCE S 00° 19’ 07” E with the west line of said Layza & Luna Real Estate, LLC tract, for a distance of 708.50 feet to a 1/2” iron rod with yellow plastic cap stamped “JVC” set in the north line of the above–mentioned Nan A. Smartt, Juliana Bond and W.I. Lofland tract, for the southwest corner of said Layza & Luna Real Estate, LLC tract and common southeast corner of this tract;

THENCE S 88° 47’ 14” W, with said north line, a distance of 231.69 feet to the POINT OF BEGINNING and containing 6,119,939 square feet or 140.494 acres of land.

GENERAL NOTES:

1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS UNLAWFUL AND A VIOLATION OF THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL AND CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE, AND SHALL BE SUBJECT TO THE CITY OF ROCKWALL WITHHOLDING UTILITIES AND BUILDING PERMITS.
2. IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A SUBDIVISION PLAT BY THE CITY OF ROCKWALL DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH SUBDIVISION PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER AND SANITARY SEWER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH SUBDIVISION PLAT, AS REQUIRED UNDER THE SUBDIVISION ORDINANCE OF THE CITY OF ROCKWALL.
3. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTAINING, REPAIRING, AND REPLACING AND SHALL BEAR SOLE LIABILITY OF ALL SYSTEMS WITHIN THE DRAINAGE AND DETENTION EASEMENTS.
4. ALL FIRE LANES WILL BE CONSTRUCTED, MAINTAINED, REPAIRED AND REPLACED BY THE PROPERTY OWNER. FIRE LANES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CIVIL ENGINEERING PLANS FOR BOTH ON–SITE AND OFF–SITE FIRE LANE IMPROVEMENTS.
5. ALL DECORATIVE SIGNAGE, POSTS OR LIGHTS INSTALLED IN PUBLIC RIGHT–OR–WAY SHALL BE INSTALLED, MAINTAINED, REPAIRED AND REPLACED BY THE HOMEOWNER’S ASSOCIATION (HOA).

OWNER’S CERTIFICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the PEACHTREE MEADOWS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever any streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the PEACHTREE MEADOWS subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of there respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm sewers, and alleys all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city’s engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay the same out of the escrow deposit, should the developer and/or owner fail to refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exactions made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Property Owner Signature

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2023.

Notary public in and for the State of Texas

My Commission Expires

STATE OF TEXAS §
COUNTY OF ROCKWALL §

BEFORE ME, the undersigned authority, on this day personally appeared L.T.L. Family Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office, this ____ day of _____, 2023.

Notary public in and for the State of Texas

My Commission Expires

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

SURVEYOR’S CERTIFICATE:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS::

THAT I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

RYAN S. REYNOLDS, R.P.L.S.
Texas Registered Professional Land Surveyor No. 6385.

APPROVED:

I hereby certify that the above and foregoing Preliminary Plat was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall for the preparation of a Final Plat on ____ day of _____, 2023.

Mayor, City of Rockwall

Planning & Zoning Commission Chairman

PRELIMINARY PLAT
PEACHTREE MEADOWS
SUBDIVISION

BEING
292 SINGLE FAMILY LOTS, 4 OPEN SPACE LOTS AND
1 AMENITY CENTER
140.494 ACRES OR 6.119,939 SQ. FT.
SITUATED IN THE
G. WELLS SURVEY, ABSTRACT NO. 219 AND
J. R. JOHNSTON SURVEY, ABSTRACT NO. 128
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
P2023-017
June 30, 2023
EXIST. ZONING: PD-101
LAND USE: SF-10
SHEET 2 OF 3



JOHNSON VOLK
CONSULTING
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100

Line Table		
Line	Length	Direction
L1	34.00	S1° 17' 33"W
L2	76.12	N43° 59' 40"W
L3	88.96	N89° 37' 04"E
L4	32.43	N28° 31' 41"W
L5	16.94	N26° 21' 17"W
L6	10.02	S0° 49' 52"E
L7	39.38	N89° 22' 04"E
L8	40.36	S53° 31' 39"W
L9	14.69	S6° 14' 46"W
L10	3.96	S53° 31' 39"W
L11	3.96	S53° 31' 39"W
L12	14.69	N79° 11' 29"W
L13	6.08	N43° 59' 40"W
L14	6.08	S43° 59' 40"E
L15	14.14	N88° 59' 40"W
L16	14.14	S1° 00' 20"W
L17	14.14	N88° 59' 40"W
L18	14.14	S1° 00' 20"W
L19	15.39	S63° 57' 28"E
L20	15.11	N30° 45' 11"E
L21	14.14	S44° 22' 04"W
L22	14.14	S45° 37' 56"E
L23	14.14	S44° 22' 04"W
L24	20.00	N46° 56' 47"W
L25	14.35	N44° 45' 59"W

Line Table		
Line	Length	Direction
L26	14.28	S45° 44' 30"W
L27	20.00	N89° 22' 04"E
L28	14.14	S44° 22' 04"W
L29	14.14	S45° 37' 56"E
L30	20.00	S89° 22' 04"W
L31	14.14	S44° 22' 04"W
L32	4.64	N0° 37' 56"W
L33	4.64	S0° 37' 56"E
L34	14.14	S45° 37' 56"E
L35	20.00	N89° 22' 04"E
L36	14.64	S0° 37' 56"E
L37	15.97	S53° 37' 04"E
L38	28.93	S54° 36' 39"W
L39	23.00	S0° 22' 56"E
L40	21.50	S0° 22' 56"E
L41	14.14	S44° 37' 04"W
L42	14.14	S45° 22' 56"E
L43	14.14	S44° 37' 04"W
L44	10.14	N89° 37' 04"E
L45	14.14	S44° 37' 04"W
L46	14.14	S45° 22' 56"E
L47	14.14	S44° 37' 04"W
L48	14.14	S45° 22' 56"E
L49	14.14	S44° 37' 04"W
L50	14.14	S45° 22' 56"E

Line Table		
Line	Length	Direction
L51	14.14	S45° 22' 56"E
L52	14.14	S44° 37' 04"W
L53	15.06	S70° 28' 23"E
L54	12.86	S21° 27' 06"W
L55	20.91	S89° 22' 04"W
L56	20.91	S89° 22' 04"W
L57	2.68	S89° 22' 04"W
L58	14.02	S45° 30' 26"E
L59	14.27	S44° 29' 34"W
L60	12.08	S89° 22' 04"W
L61	20.00	N37° 01' 42"E
L62	14.14	S45° 37' 56"E
L63	20.75	N40° 07' 35"W
L64	14.14	S44° 22' 04"W
L65	14.20	S45° 30' 26"E
L66	14.17	S44° 29' 34"W
L67	14.11	S45° 30' 26"E
L68	14.08	S44° 29' 34"W
L69	14.16	S44° 41' 27"W
L70	14.11	S45° 30' 26"E
L71	18.57	S22° 11' 18"E
L72	14.17	S44° 29' 34"W
L73	13.43	S59° 20' 12"W
L74	15.27	S27° 12' 21"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	54.98	35.00	090°00'00"	49.50	S44° 22' 04"W
C2	107.91	775.00	007°58'39"	107.82	N86° 38' 36"W
C3	107.91	775.00	007°58'39"	107.82	S86° 38' 36"E
C4	44.91	35.00	073°31'21"	41.89	N53° 52' 15"W
C5	117.31	250.00	026°53'05"	116.23	S30° 33' 08"E
C6	202.40	250.00	046°23'15"	196.92	S67° 11' 18"E
C7	54.98	35.00	090°00'00"	49.50	N44° 37' 04"E
C8	263.13	325.00	046°23'15"	256.00	S67° 11' 18"E
C9	245.97	325.00	043°21'45"	240.14	S22° 18' 48"E
C10	486.10	615.00	045°17'13"	473.54	S21° 21' 04"E
C11	497.91	615.00	046°23'15"	484.43	S67° 11' 18"E
C12	54.98	35.00	090°00'00"	49.50	N45° 22' 56"W
C13	54.98	35.00	090°00'00"	49.50	N44° 37' 04"E
C14	116.77	250.00	026°45'44"	115.71	S76° 14' 12"W
C15	82.21	250.00	018°50'30"	81.84	N79° 56' 49"E
C16	120.91	675.00	010°15'47"	120.75	S85° 30' 02"E
C17	103.00	575.00	010°15'47"	102.86	N85° 30' 02"W
C18	54.98	35.00	090°00'00"	49.50	S45° 37' 56"E
C19	54.98	35.00	090°00'00"	49.50	S44° 22' 04"W
C22	54.83	35.00	089°45'00"	49.39	N44° 29' 34"E

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C23	85.13	250.00	019°30'36"	84.72	S09° 22' 22"W
C24	147.37	300.00	028°08'46"	145.90	S14° 27' 18"E
C25	32.85	42.00	044°48'48"	32.02	S03° 56' 53"E
C26	123.66	117.50	060°18'03"	118.03	S11° 41' 31"E
C27	53.68	75.00	041°00'40"	52.54	S21° 20' 12"E
C28	26.64	35.00	043°36'45"	26.00	N22° 11' 18"W
C29	359.49	475.00	043°21'45"	350.97	S22° 18' 48"E
C30	156.38	250.00	035°50'26"	153.85	S71° 26' 51"W
C31	203.49	250.00	046°38'15"	197.92	N67° 18' 48"W
C32	190.30	250.00	043°36'45"	185.73	N22° 11' 18"W
C33	82.86	250.00	018°59'27"	82.48	N79° 52' 21"E

PRELIMINARY PLAT
 LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
 LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
 LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
PEACHTREE MEADOWS
SUBDIVISION

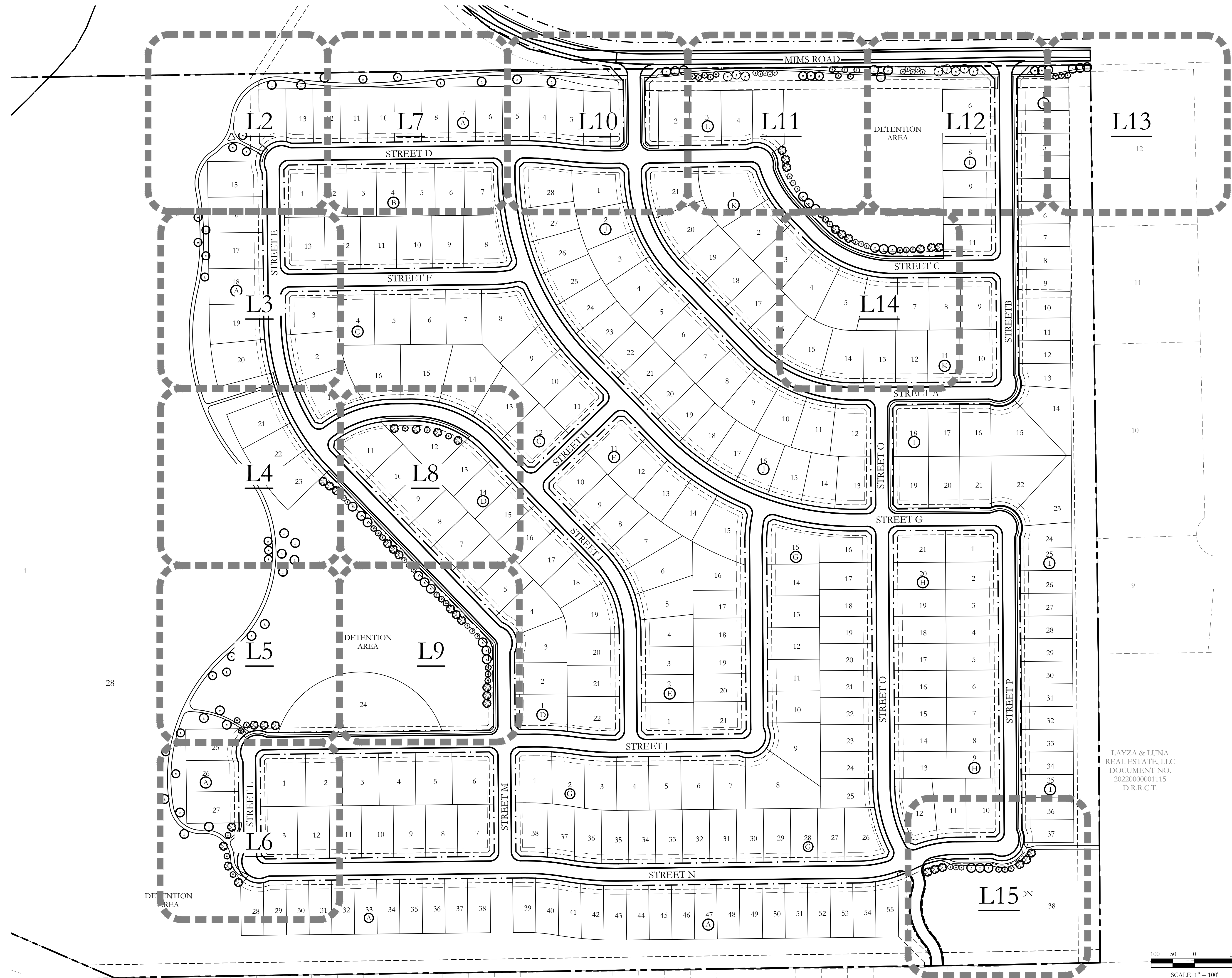
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 292 SINGLE FAMILY LOTS, 4 OPEN SPACE LOTS AND
 1 AMENITY CENTER
 140.494 ACRES OR 6,119,939 SQ. FT.
 SITUATED IN THE
 G. WELLS SURVEY, ABSTRACT NO. 219 AND
 J. R. JOHNSTON SURVEY, ABSTRACT NO. 128
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
 P2023-017
 June 30, 2023
 EXIST. ZONING: PD-101
 LAND USE: SF-10
 SHEET 3 OF 3

Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

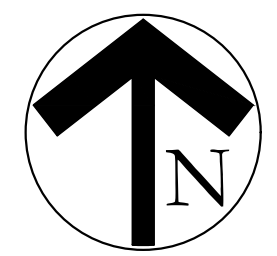
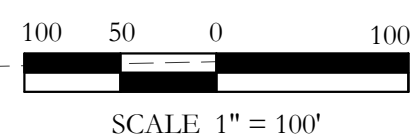
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE



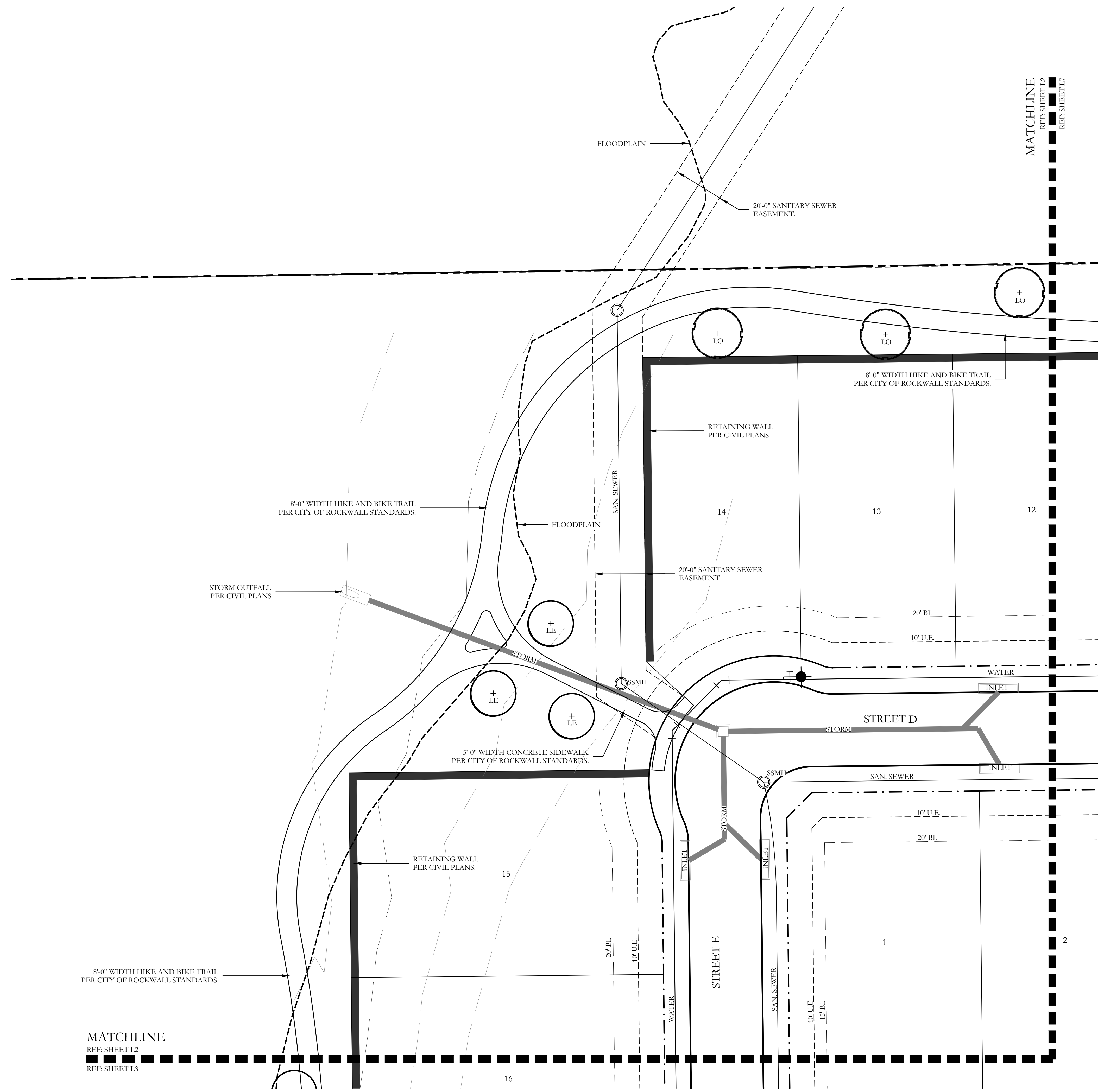
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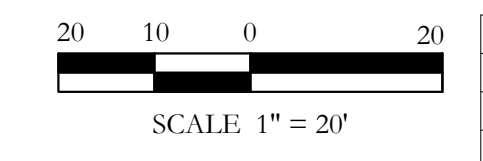
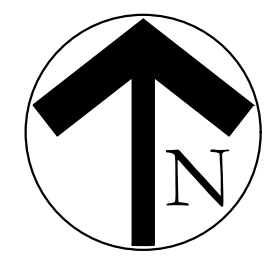
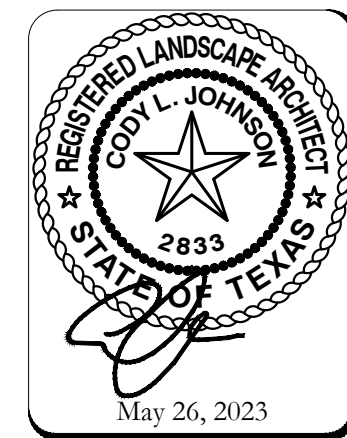
LAYZA & LUNA
REAL ESTATE, LLC
DOCUMENT NO.
2022000001115
D.R.R.C.T.



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



MATCHLINE

REF: SHEET L2
REF: SHEET L3

MATCHLINE

REF: SHEET L3
REF: SHEET L4

FLOODPLAIN

8'-0" WIDTH CONCRETE TRAIL
PER CITY OF ROCKWALL STANDARDS.

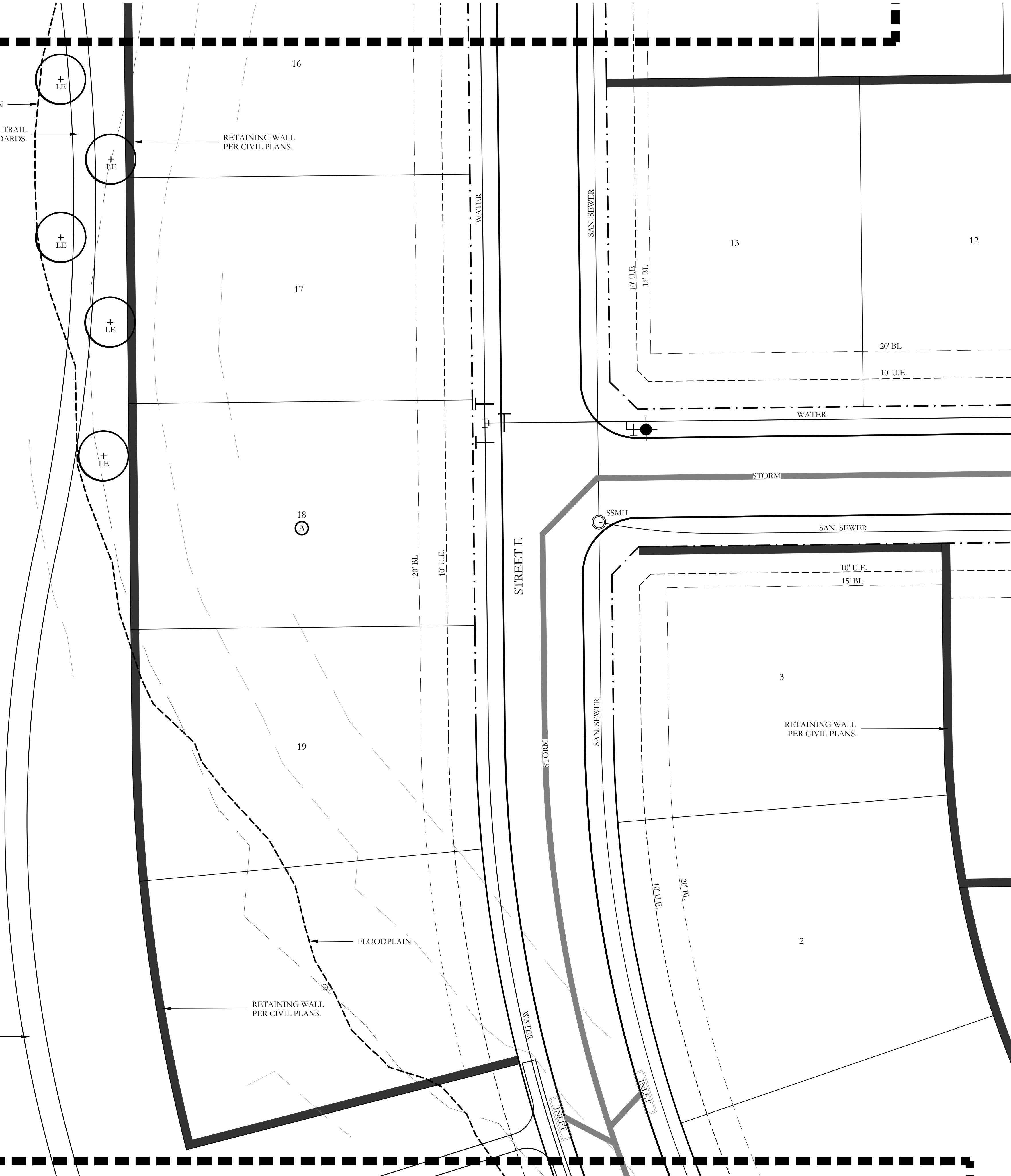
RETAINING WALL
PER CIVIL PLANS.

FLOODPLAIN

RETAINING WALL
PER CIVIL PLANS.

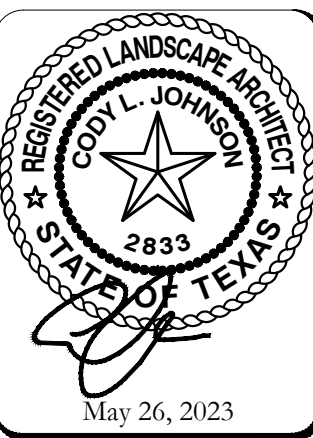
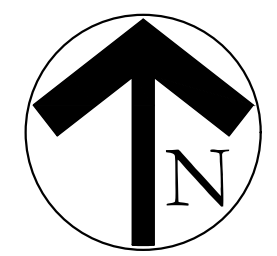
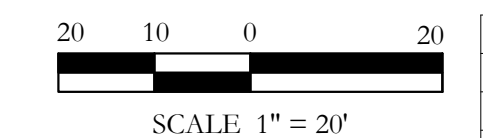
8'-0" WIDTH CONCRETE TRAIL
PER CITY OF ROCKWALL STANDARDS.

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PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



MATCHLINE

REF: SHEET L3

REF: SHEET L4

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

RETAINING WALL
PER CIVIL PLANS.

21

22

23

FLOODPLAIN

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

POND EDGE

DETENTION
POND

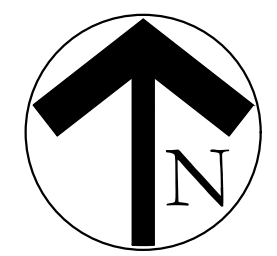
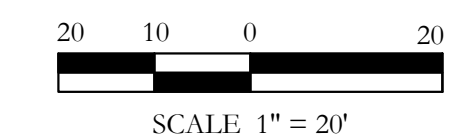
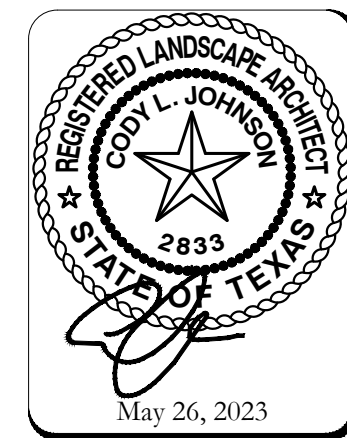
MATCHLINE

REF: SHEET L4

REF: SHEET L5

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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MATCHLINE

REF: SHEET L4

REF: SHEET L5

M

REF

REF

MATCHLINE
REF: SHEET L5
REF: SHEET L9

8'-0" WIDTH HIKE AND BIKE TRAIL
PER CITY OF ROCKWALL STANDARDS.

FLOODPLAIN

POND EDGE

DETENTION
POND

POND EDGE

FUTURE AMENITY
CENTER

STORM OUTFALL PER
CIVIL PLANS.

POND EDGE

FLOODPLAIN

WATER

INLET

5'-0" WIDTH CONCRETE SIDEWALK
PER CITY OF ROCKWALL STANDARDS.

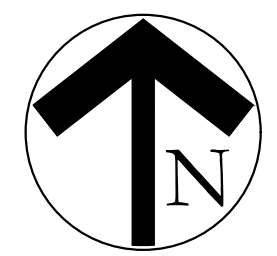
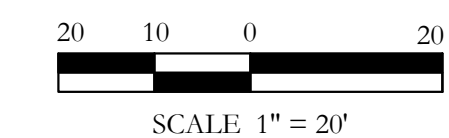
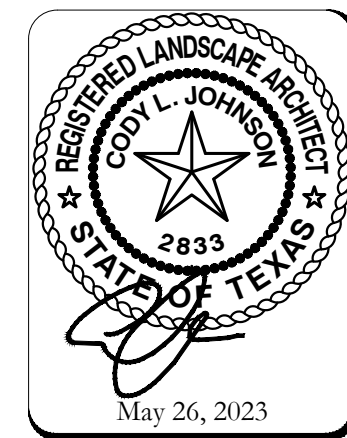
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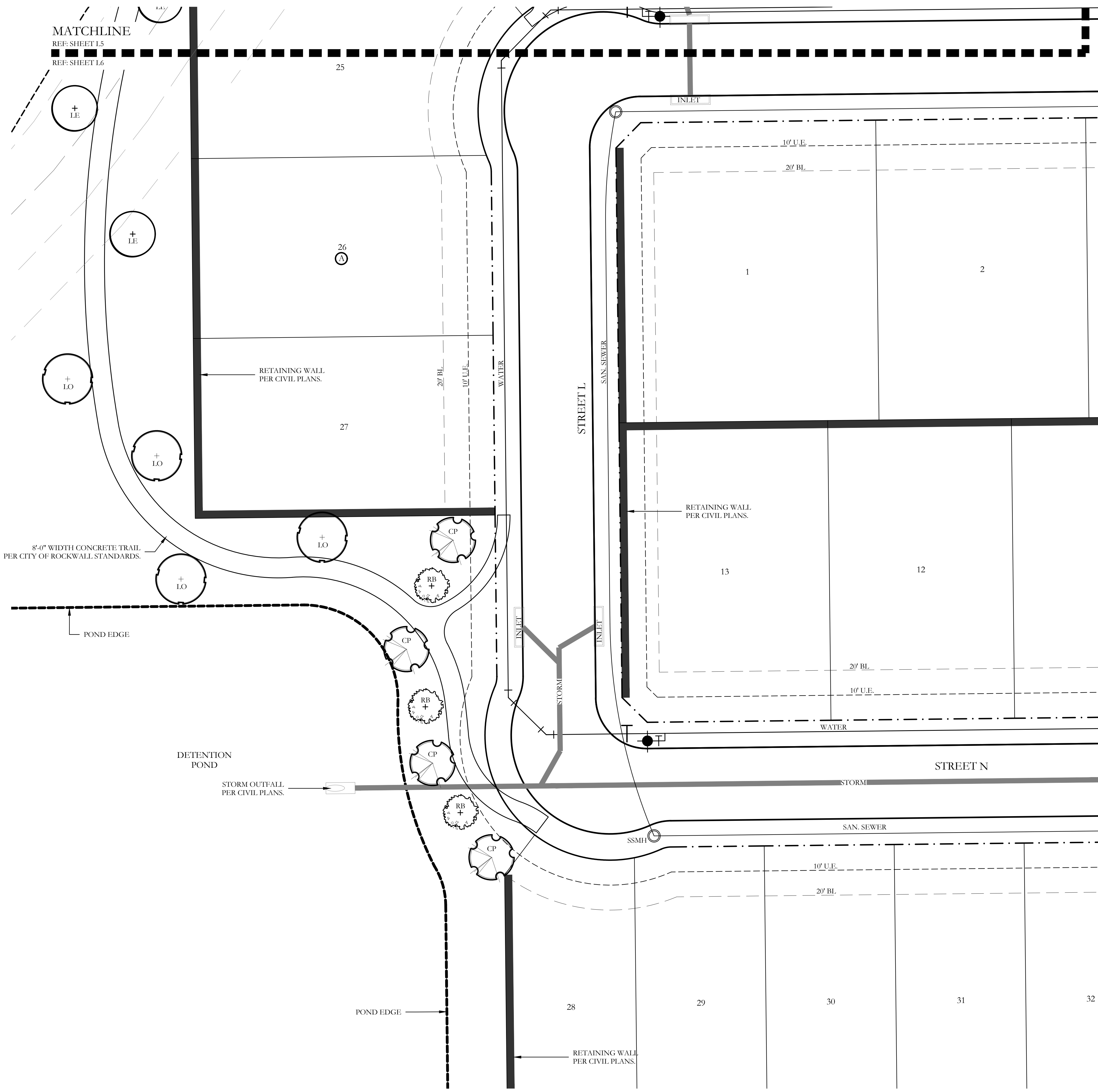
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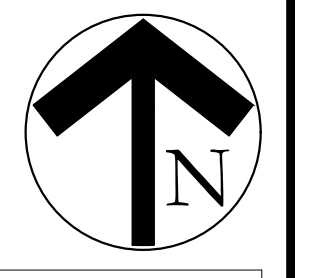
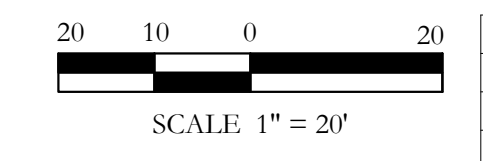
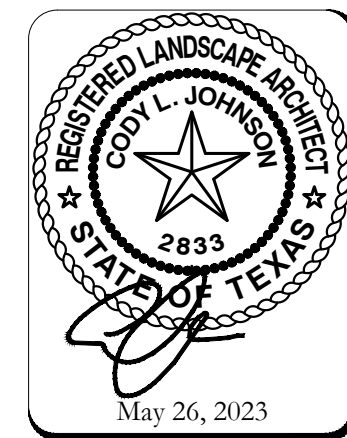
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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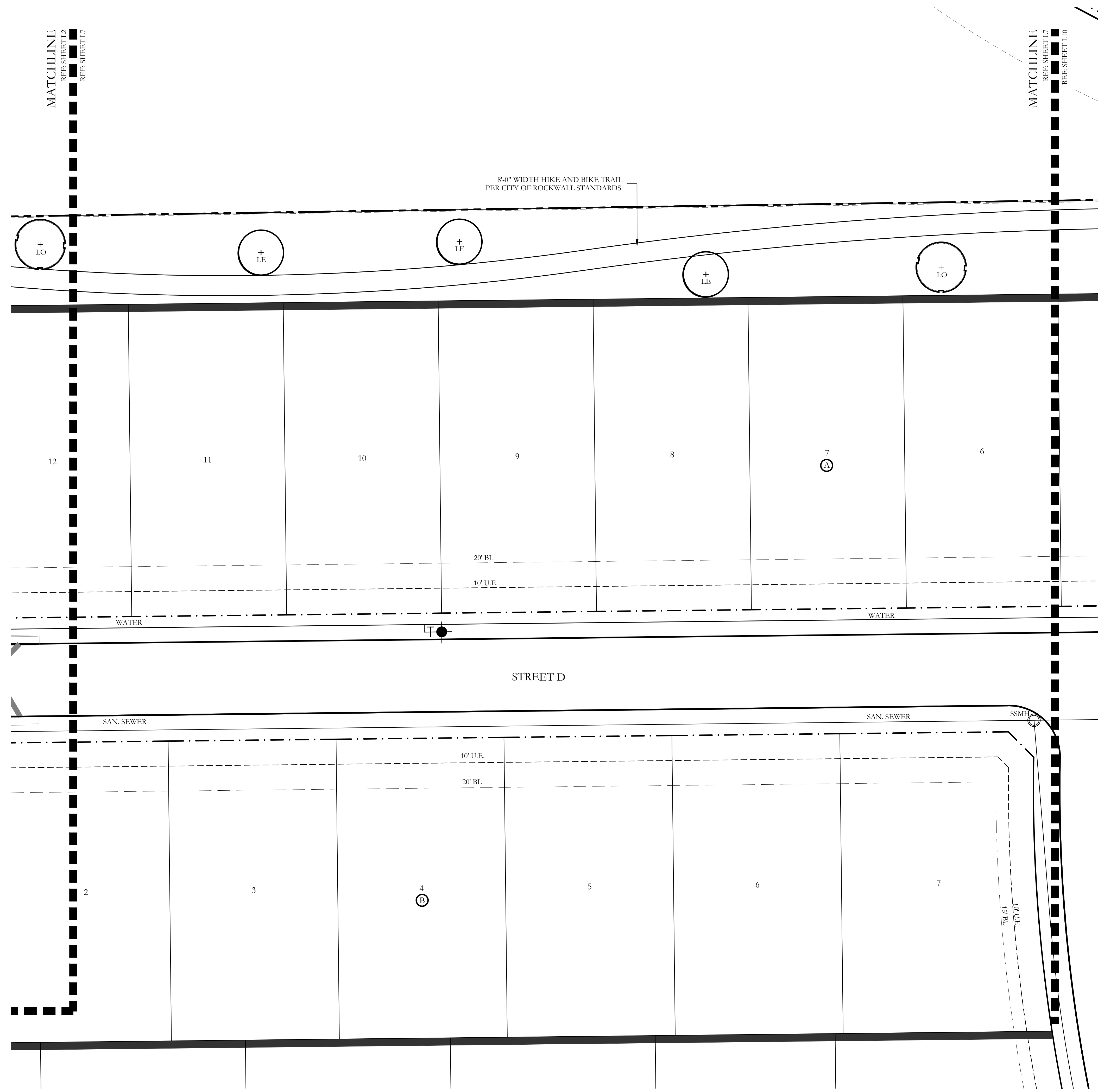


PLANT LEGEND					
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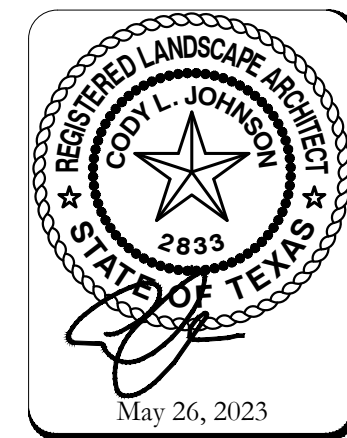
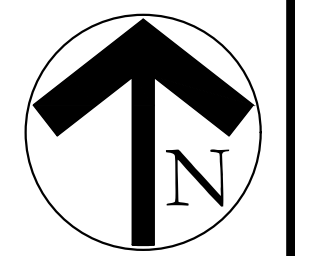
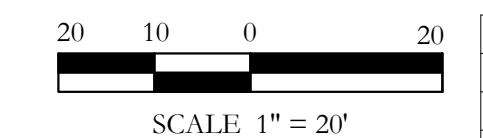


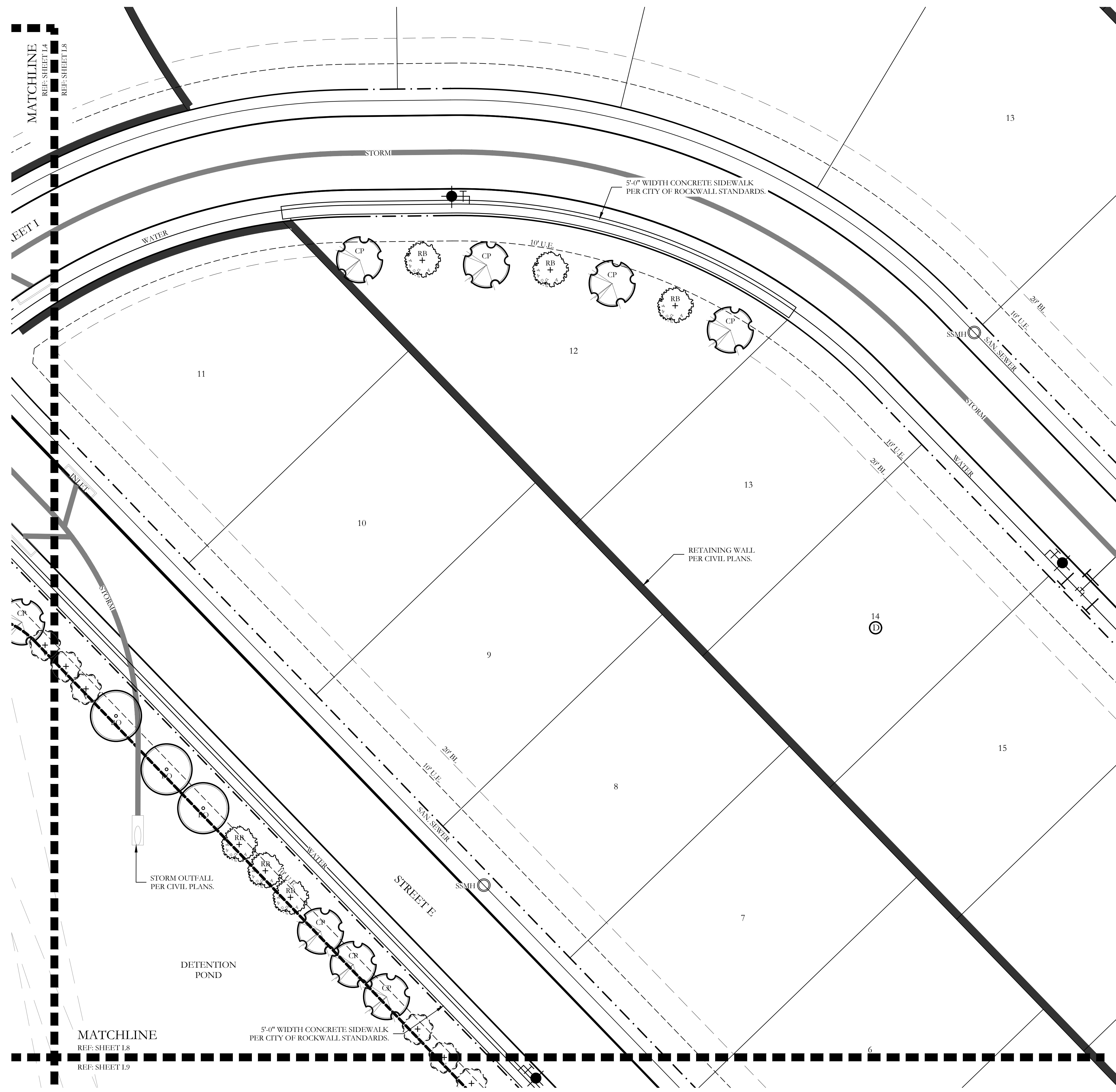
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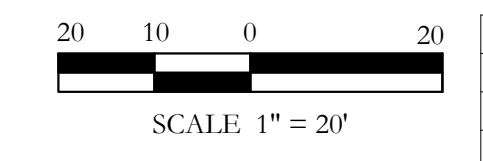
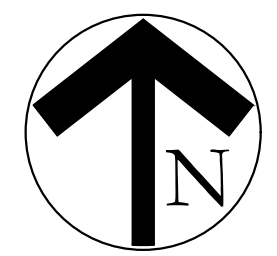
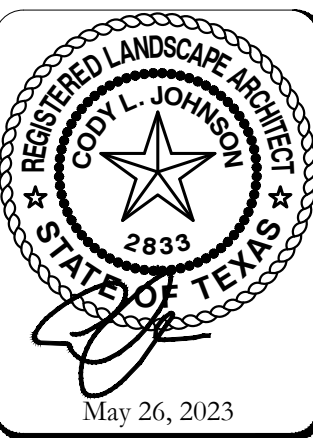


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

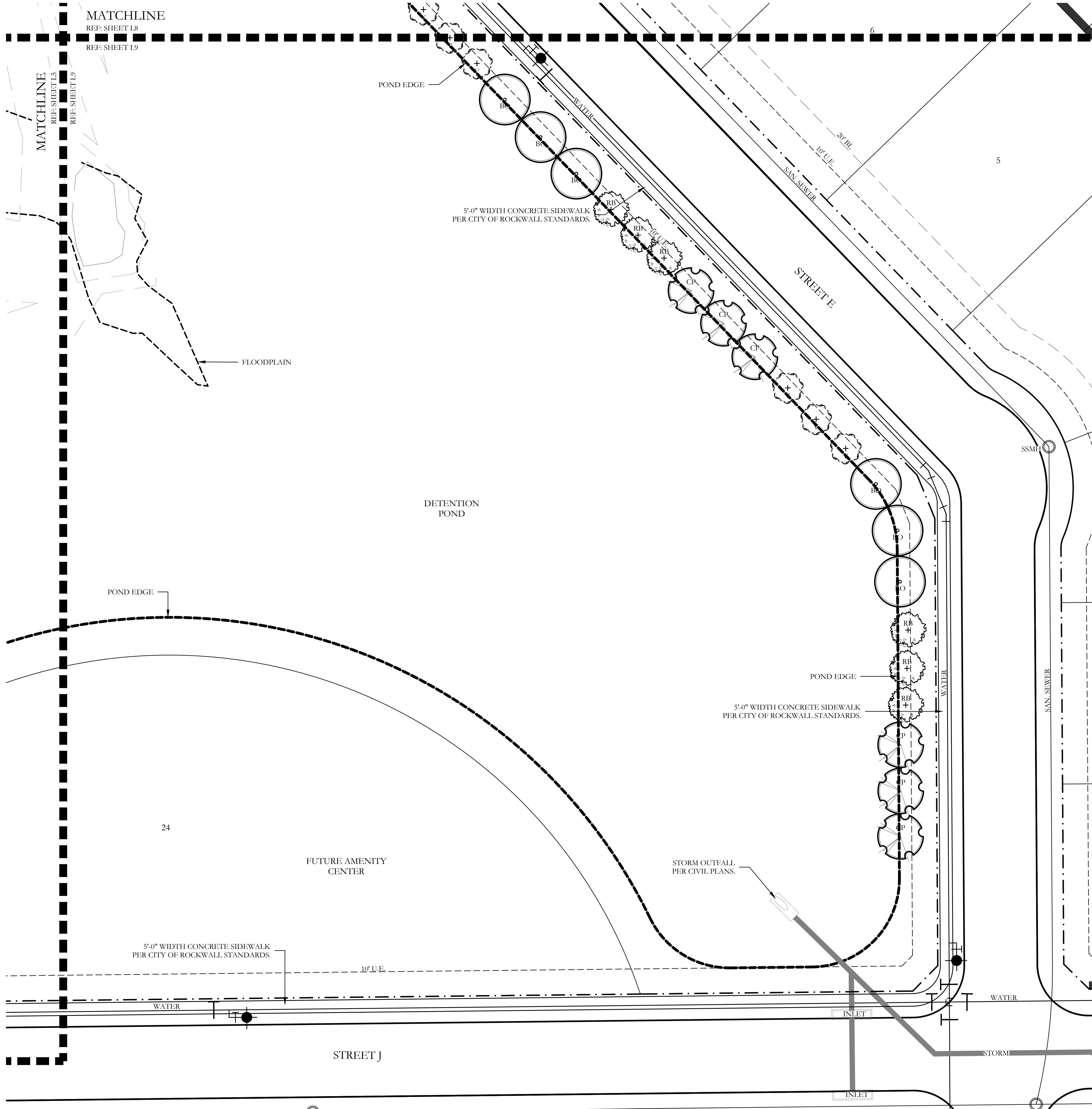




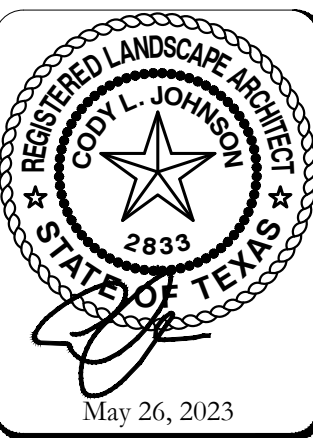
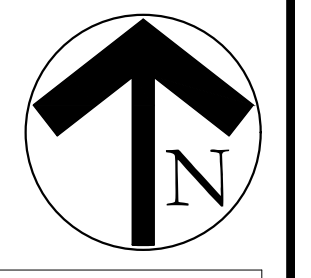
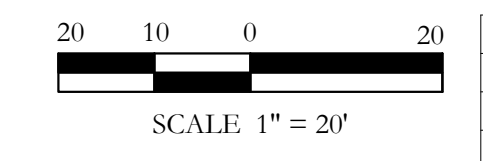
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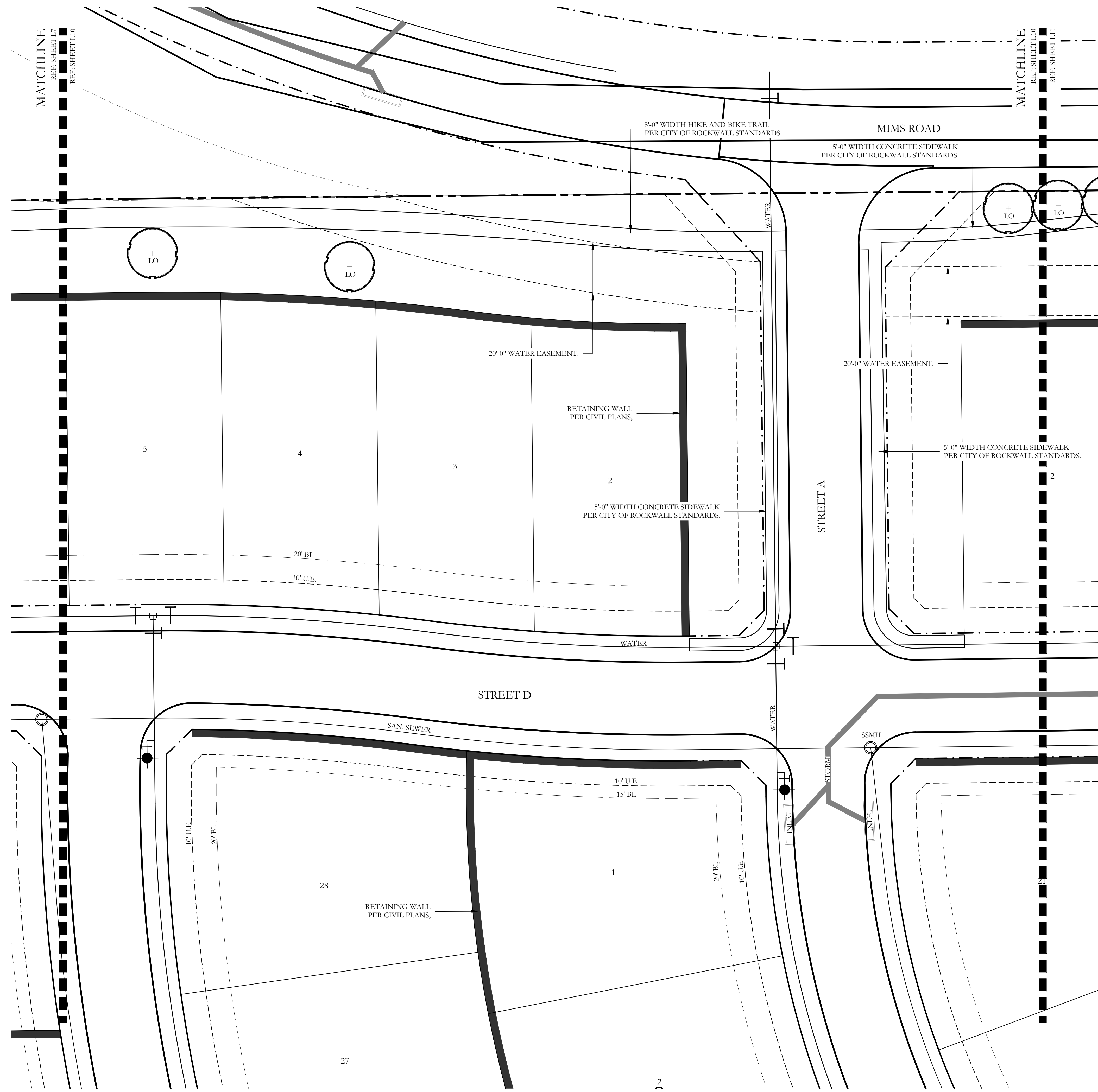
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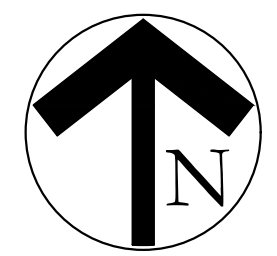
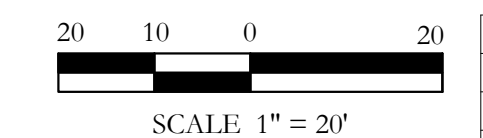
PLANT LEGEND					
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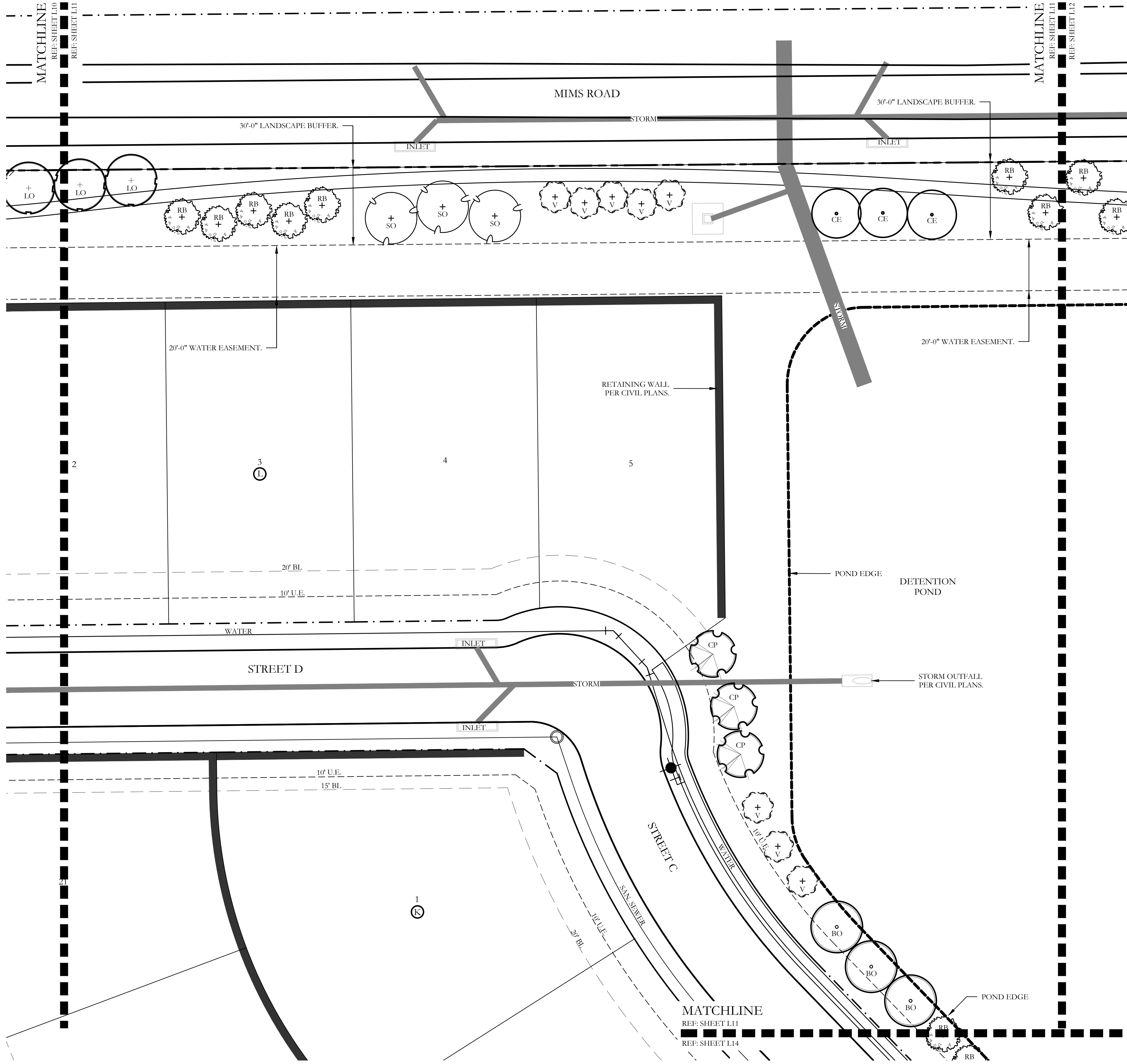


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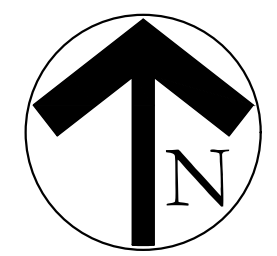
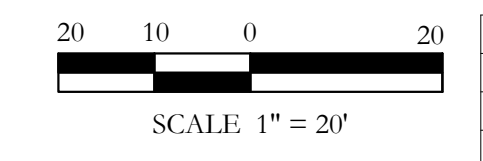
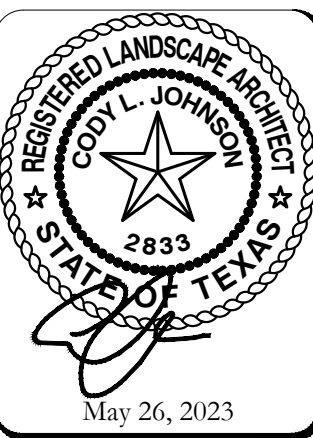


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
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	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



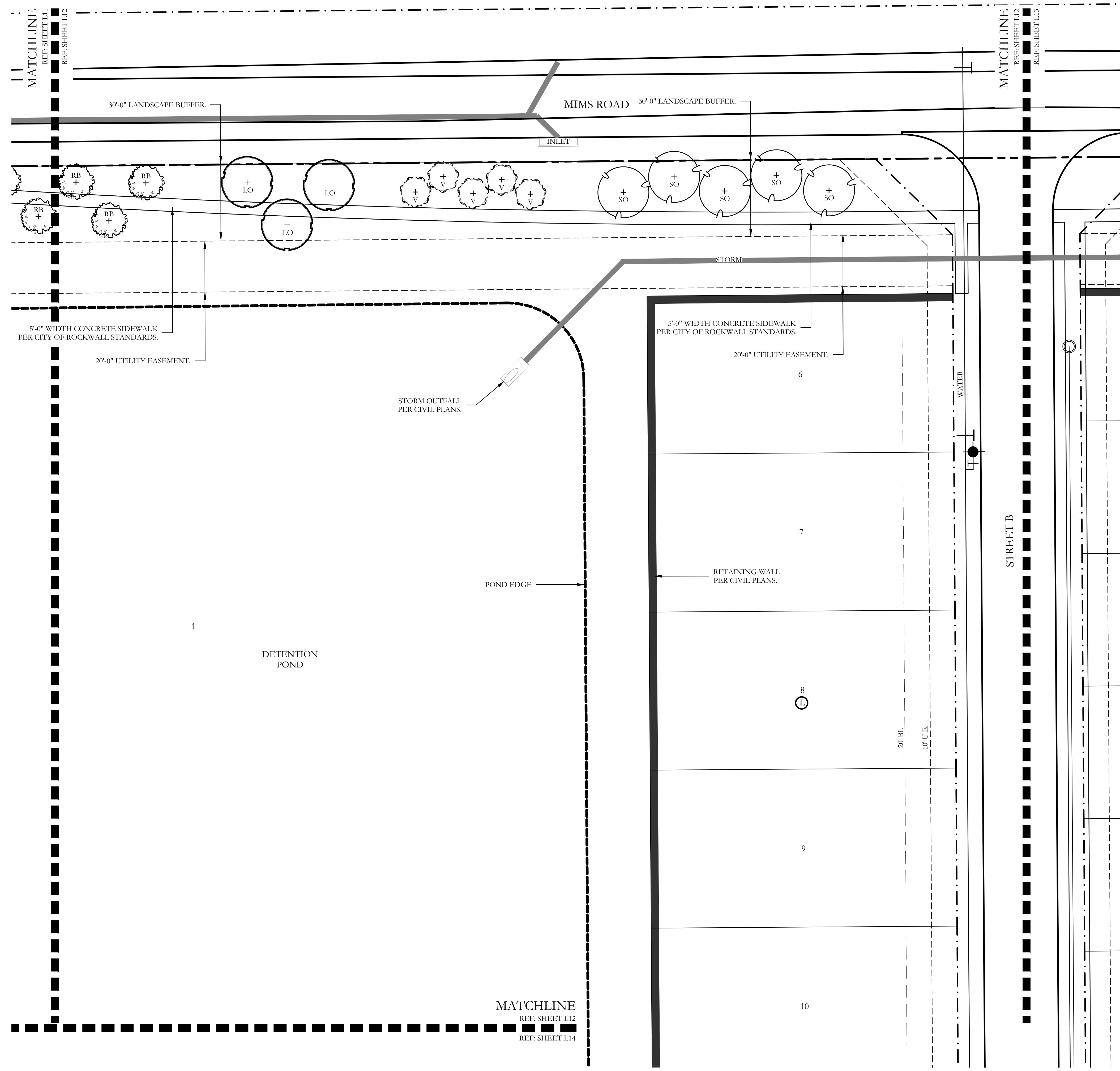


PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN

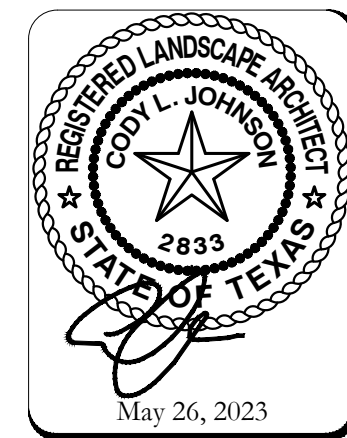
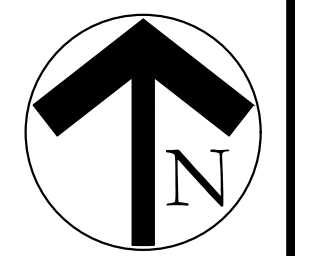
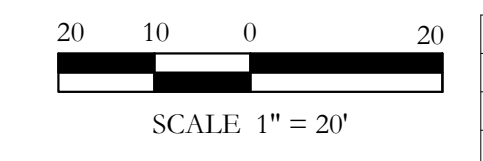


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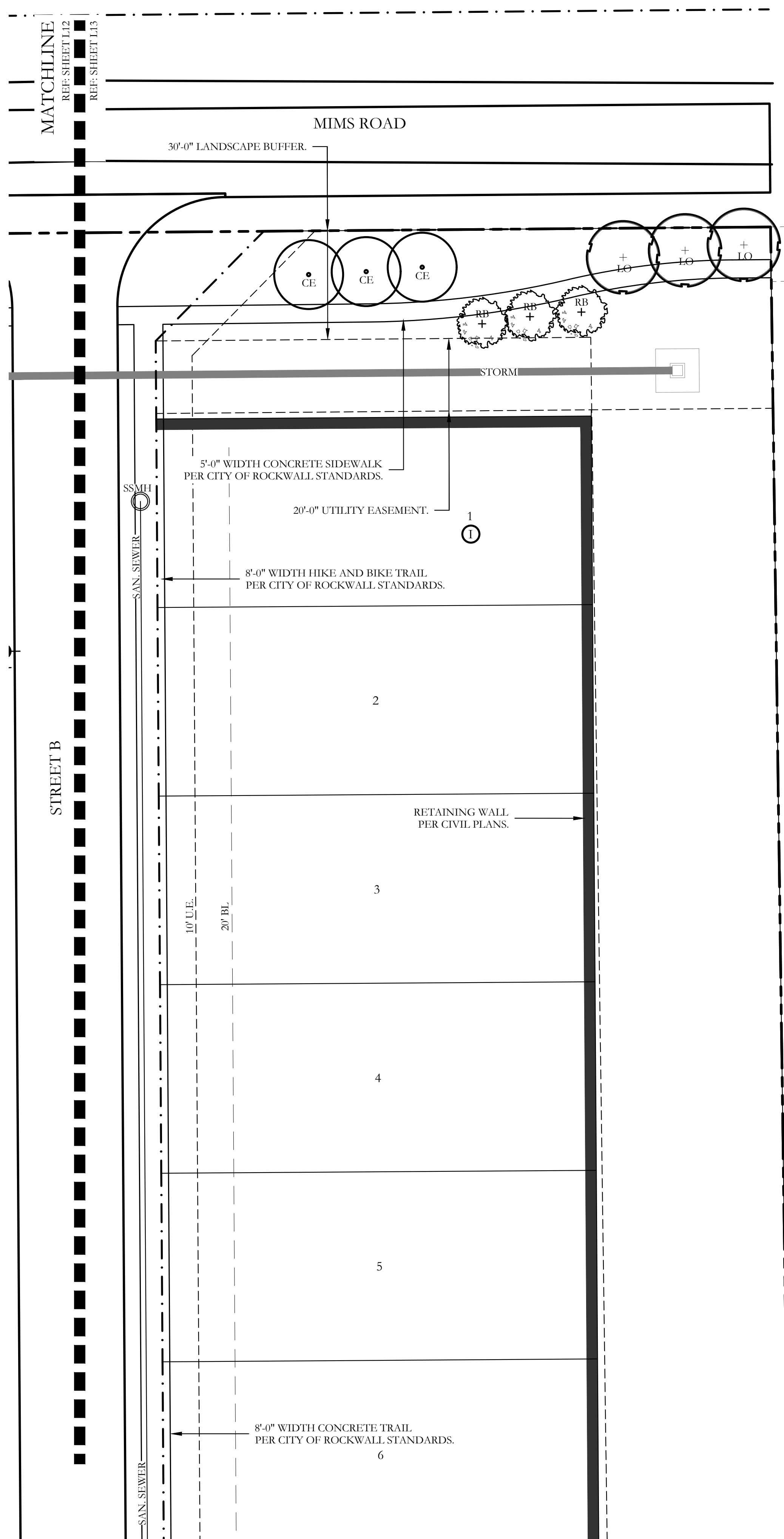
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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	STORM ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
	CE	5'-0" WIDTH CONCRETE SIDEWALK PER CITY OF ROCKWALL STANDARDS.		4" CALIPER	AS SHOWN
	UE	20'-0" UTILITY EASEMENT.			

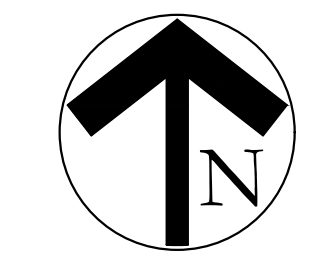
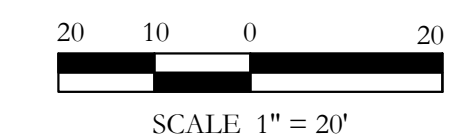


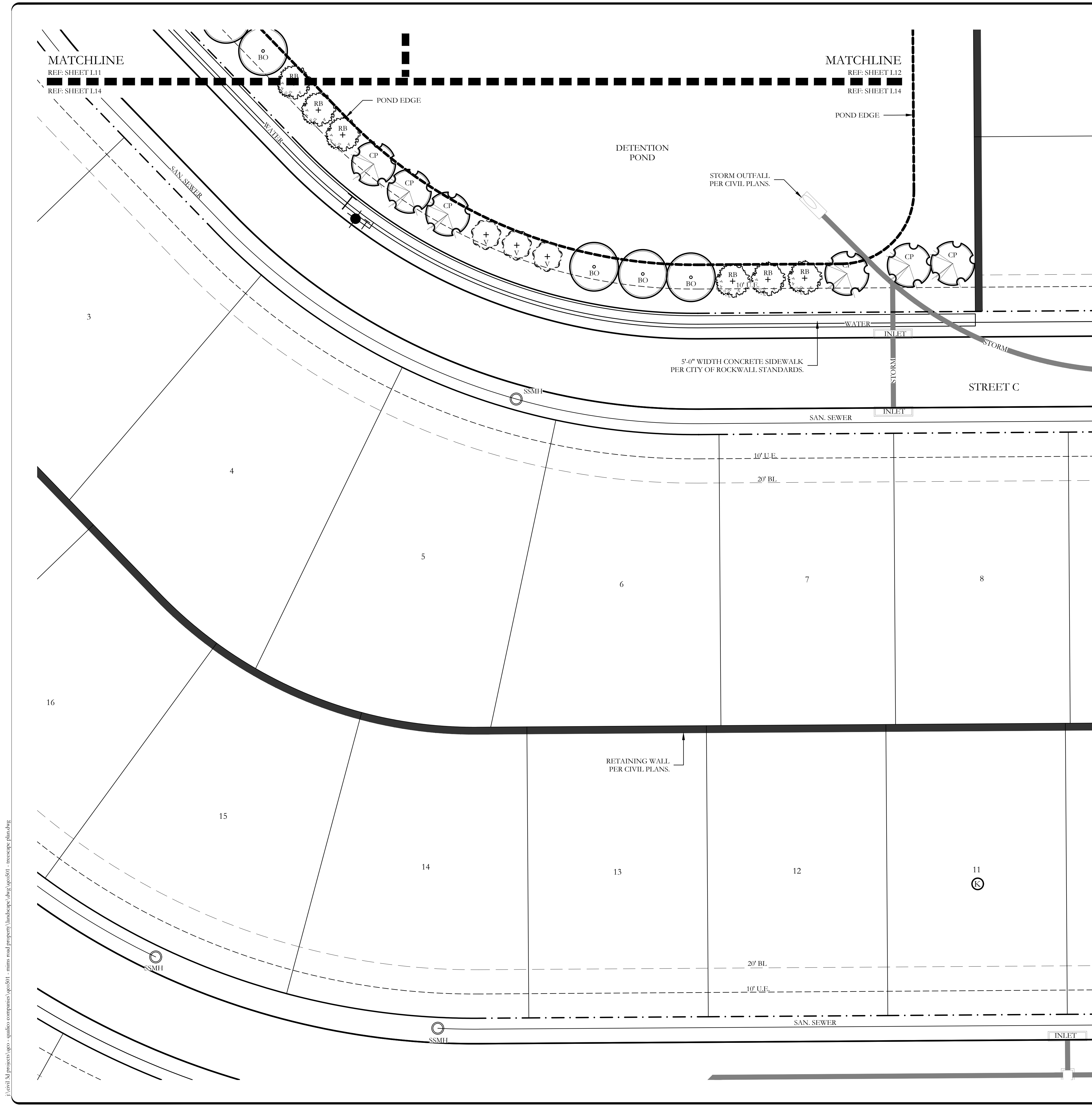
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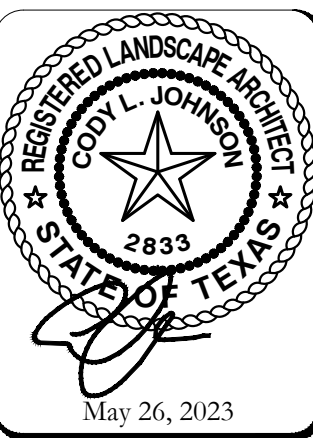
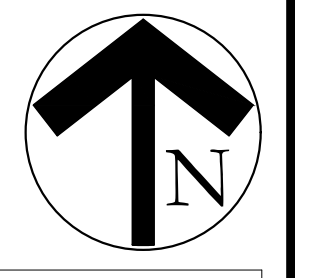
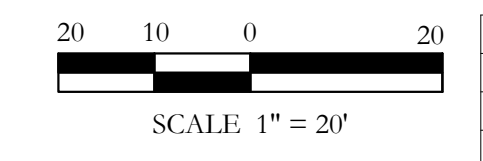
PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	LE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	CP	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN
	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



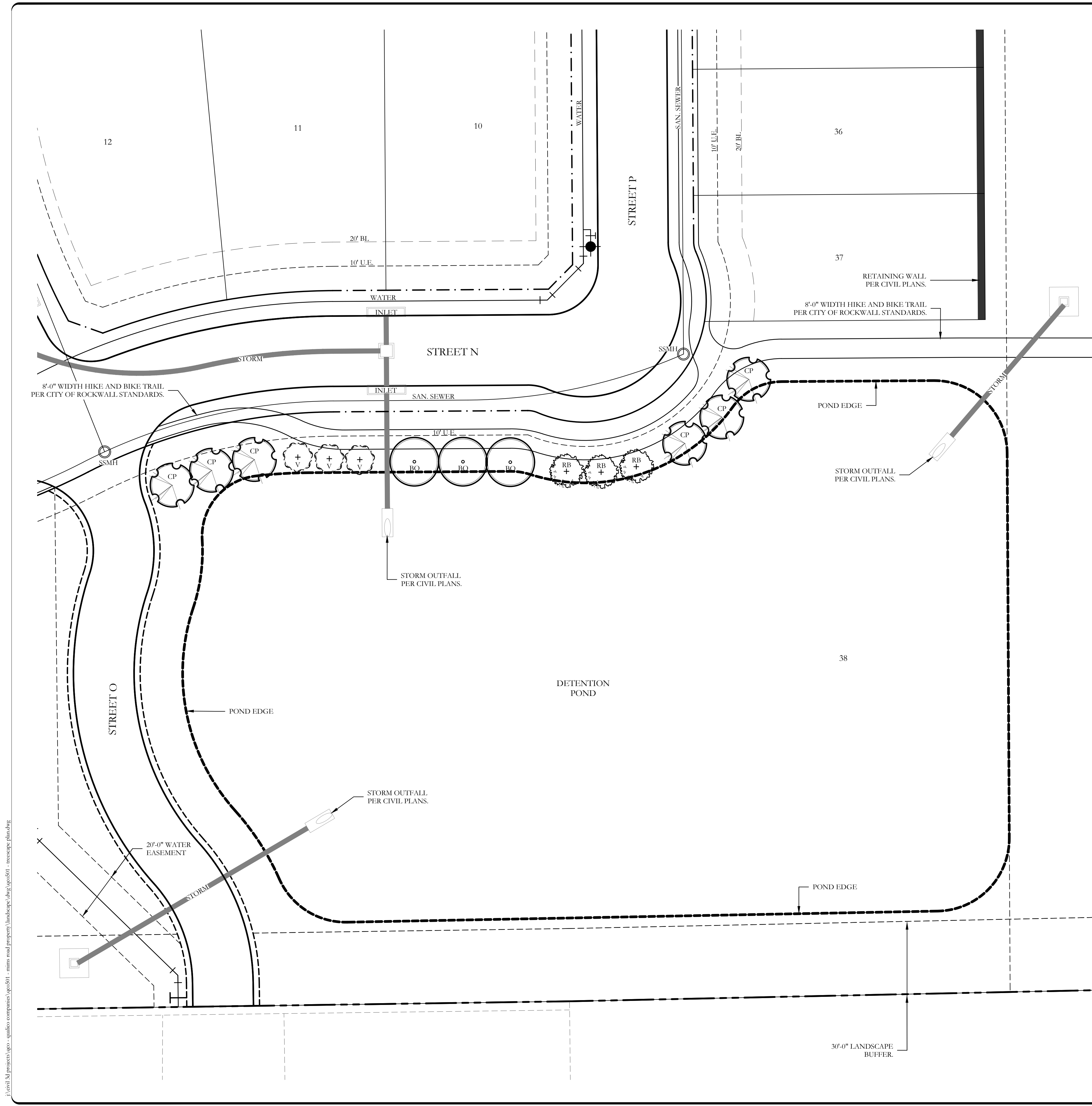


**GENERAL LANDSCAPE NOTES
PLANT LEGEND**

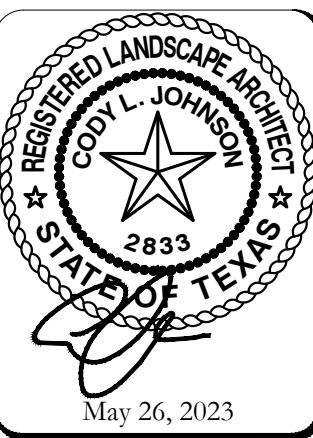
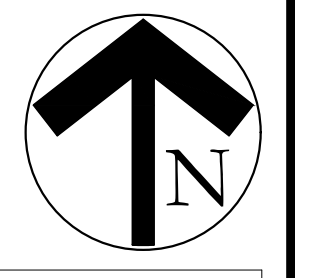
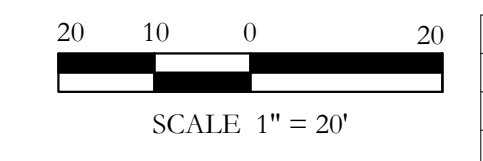
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
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	V	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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PLANT LEGEND					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
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	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN



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LANDSCAPE PROVIDED

MIMS ROAD

- A. 1-4" CAL. CANOPY TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 4" CAL. TREES REQUIRED.
PROVIDED: 23 - 4" CALIPER AND GREATER CANOPY TREES PROVIDED
- A. 1-2" CAL. ACCENT TREE / 50 LF OF LANDSCAPE EDGE
1,087 LF OF FRONTAGE / 50 LF = 22 - 2" CAL. TREES REQUIRED.
PROVIDED: 23 - 2" CALIPER AND GREATER CANOPY TREES PROVIDED

PLANT LIST

KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	24	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	8	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	24	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
LE	20	LACEBARK ELM	ULMUS PARVIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	6	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CP	38	CHINESE PISTACHE	PISTACIA CHINENSIS	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
V	28	CHASTE TREE	VITEX ANGUS-CASTUS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	40	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.

GENERAL LANDSCAPE NOTES

INSPECTIONS:

1. NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
2. THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
3. THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

1. PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS.
2. UNLESS OTHERWISE SPECIFIED, TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
3. A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
4. STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
5. THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
6. TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
7. A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
8. TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
9. ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
10. ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
11. NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

1. ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
2. IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
3. MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
4. ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
5. VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
6. THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
7. IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
8. NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

1. THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
2. LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
3. NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
4. TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
5. TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

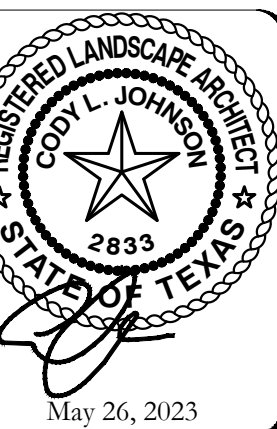
TREE PROTECTION NOTES:

1. CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
2. ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4') TALL, BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
3. PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
4. NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
5. NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
6. VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
7. GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
8. NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
9. ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
10. ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



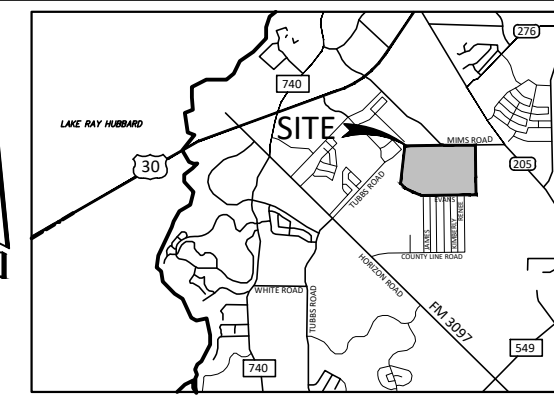
PEACHTREE MEADOWS
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TREESCAPE PLAN
LANDSCAPE SCHEDULE & DETAILS

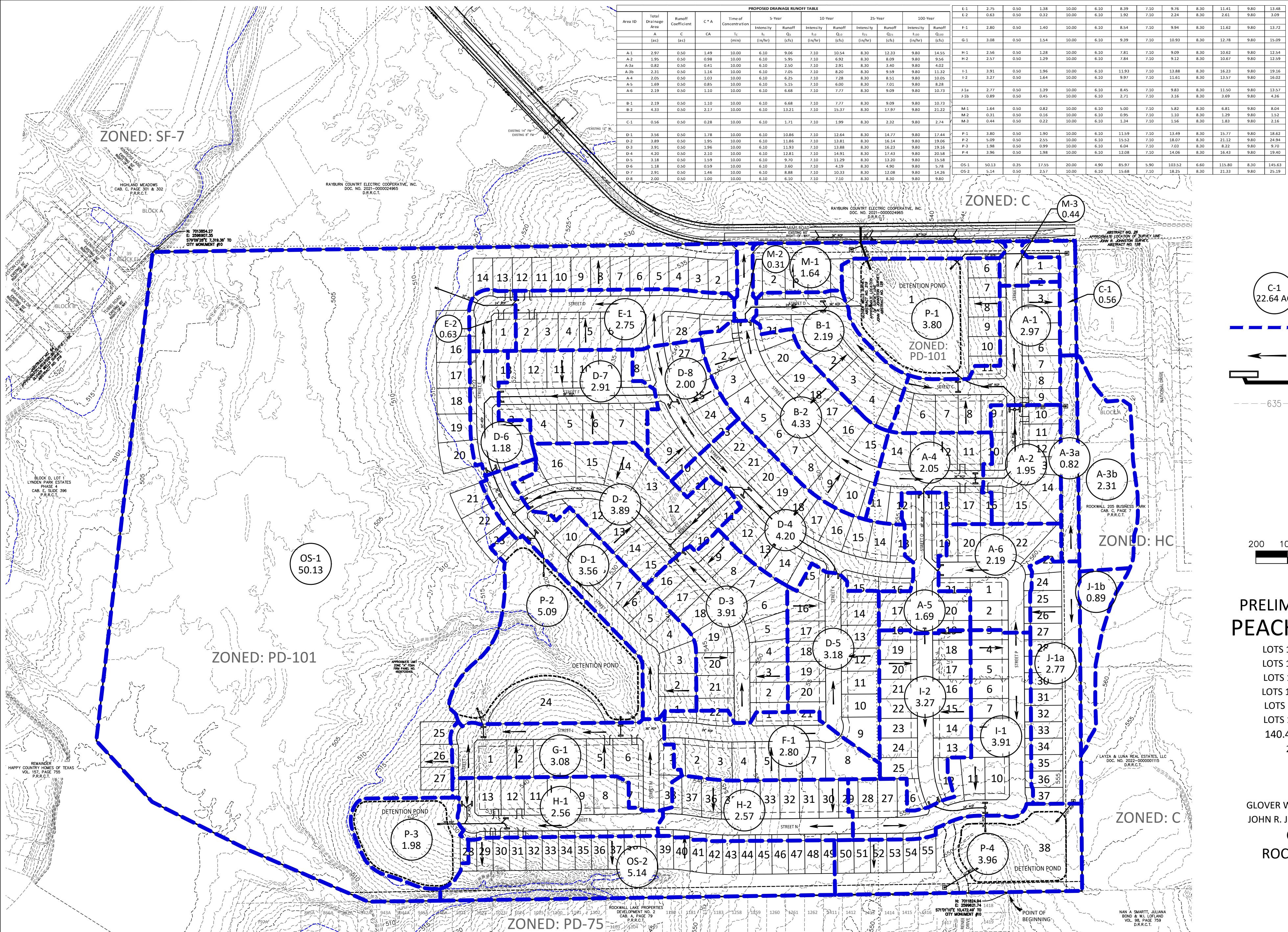


SCALE:
REFER TO
DETAILS
One Inch
JVC No QCO501

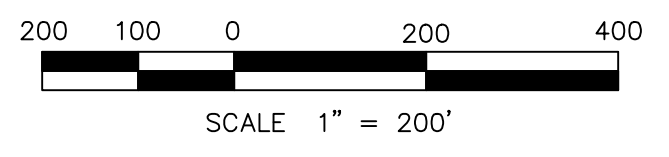
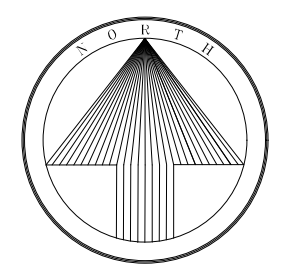
Area ID	Total Drainage Area (ac)	Runoff Coefficient	C * A	Time of Concentration (min)	PROPOSED DRAINAGE RUNOFF TABLE							
					5-Year Intensity (in/hr)	5-Year Runoff (cfs)	10-Year Intensity (in/hr)	10-Year Runoff (cfs)	25-Year Intensity (in/hr)	25-Year Runoff (cfs)	100-Year Intensity (in/hr)	100-Year Runoff (cfs)
A-1	2.97	0.50	1.49	10.00	6.10	9.06	7.10	10.54	8.30	12.33	9.80	14.55
A-2	1.95	0.50	0.98	10.00	6.10	5.95	7.10	6.92	8.30	8.09	9.80	9.56
A-3a	0.82	0.50	0.41	10.00	6.10	2.50	7.10	2.91	8.30	3.40	9.80	4.02
A-3b	2.31	0.50	1.16	10.00	6.10	7.05	7.10	8.20	8.30	9.59	9.80	11.32
A-4	2.05	0.50	1.03	10.00	6.10	6.25	7.10	7.28	8.30	8.51	9.80	10.05
A-5	1.69	0.50	0.85	10.00	6.10	5.15	7.10	6.00	8.30	7.01	9.80	8.28
A-6	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-1	2.19	0.50	1.10	10.00	6.10	6.68	7.10	7.77	8.30	9.09	9.80	10.73
B-2	4.33	0.50	2.17	10.00	6.10	13.21	7.10	15.37	8.30	17.97	9.80	21.22
C-1	0.56	0.50	0.28	10.00	6.10	1.71	7.10	1.99	8.30	2.32	9.80	2.74
D-1	3.56	0.50	1.78	10.00	6.10	10.86	7.10	12.64	8.30	14.77	9.80	17.44
D-2	3.89	0.50	1.95	10.00	6.10	11.86	7.10	13.81	8.30	16.14	9.80	19.06
D-3	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
D-4	4.20	0.50	2.10	10.00	6.10	12.81	7.10	14.91	8.30	17.43	9.80	20.58
D-5	3.18	0.50	1.59	10.00	6.10	9.70	7.10	11.29	8.30	13.20	9.80	15.58
D-6	1.18	0.50	0.59	10.00	6.10	3.60	7.10	4.19	8.30	4.90	9.80	5.78
D-7	2.91	0.50	1.46	10.00	6.10	8.88	7.10	10.33	8.30	12.08	9.80	14.26
D-8	2.00	0.50	1.00	10.00	6.10	6.10	7.10	7.10	8.30	8.30	9.80	9.80
E-1	2.75	0.50	1.38	10.00	6.10	8.39	7.10	9.76	8.30	11.41	9.80	13.48
E-2	0.63	0.50	0.32	10.00	6.10	1.92	7.10	2.24	8.30	2.61	9.80	3.09
F-1	2.80	0.50	1.40	10.00	6.10	8.54	7.10	9.94	8.30	11.62	9.80	13.72
G-1	3.08	0.50	1.54	10.00	6.10	9.39	7.10	10.93	8.30	12.78	9.80	15.09
H-1	2.56	0.50	1.28	10.00	6.10	7.81	7.10	9.09	8.30	10.62	9.80	12.54
H-2	2.57	0.50	1.29	10.00	6.10	7.84	7.10	9.12	8.30	10.67	9.80	12.59
I-1	3.91	0.50	1.96	10.00	6.10	11.93	7.10	13.88	8.30	16.23	9.80	19.16
I-2	3.27	0.50	1.64	10.00	6.10	10.97	7.10	11.61	8.30	13.57	9.80	16.02
J-1a	2.77	0.50	1.39	10.00	6.10	8.45	7.10	9.83	8.30	11.50	9.80	13.57
J-1b	0.89	0.50	0.45	10.00	6.10	2.71	7.10	3.16	8.30	3.69	9.80	4.36
M-1	1.64	0.50	0.82	10.00	6.10	5.00	7.10	5.83	8.30	6.81	9.80	8.04
M-2	0.31	0.50	0.16	10.00	6.10	0.96	7.10	1.10	8.30	1.29	9.80	1.52
M-3	0.44	0.50	0.22	10.00	6.10	1.34	7.10	1.56	8.30	1.83	9.80	2.16
P-1	3.80	0.50	1.90	10.00	6.10	11.59	7.10	13.49	8.30	15.77	9.80	18.62
P-2	5.09	0.50	2.55	10.00	6.10	15.52	7.10	18.07	8.30	21.12	9.80	24.94
P-3	1.98	0.50	0.99	10.00	6.10	6.04	7.10	7.03	8.30	8.22	9.80	9.70
P-4	3.96	0.50	1.98	10.00	6.10	12.08	7.10	14.06	8.30	16.43	9.80	19.40
OS-1	50.13	0.35	17.55	20.00	4.90	85.97	5.90	103.52	6.60	115.80	8.30	145.63
OS-2	5.14	0.50	2.57	10.00	6.10	15.68	7.10	18.25	8.30	21.33	9.80	25.19



VICINITY MAP
N.T.S.



- DRAINAGE AREA DESIGNATION
- PROPOSED DRAINAGE AREA DIVIDE
- DIRECTION OF FLOW
- STORM DRAIN LINE & INLET
- EXISTING CONTOUR



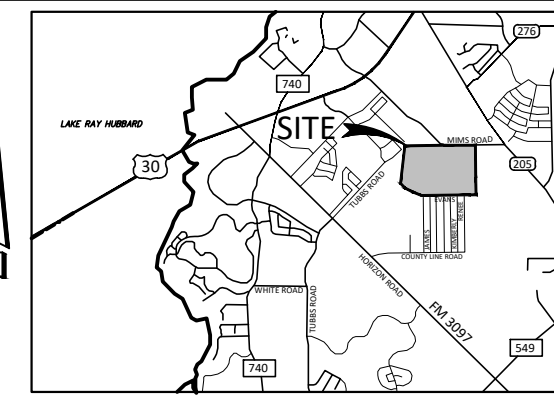
PRELIMINARY DRAINAGE PLAN PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
 LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
 LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
 LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
 LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
 LOTS 1-21, BLOCK K; LOTS 1-11, BLOCK L;
 140.494 ACRES OR 6,119,939 SQ. FT.
 292 SINGLE FAMILY LOTS AND
 4 OPEN SPACE LOTS AND
 1 AMENITY CENTER
 SITUATED WITHIN THE
 GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
 JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 P2023-xxx
 June 12, 2023
 EXIST. ZONING: PD-101
 LAND USE: SF

Owner/Applicant:
 Qualico Developments (U.S.), Inc.
 6950 TPC Drive, Suite 350
 McKinney, Texas 75070
 Phone: 469-659-6150

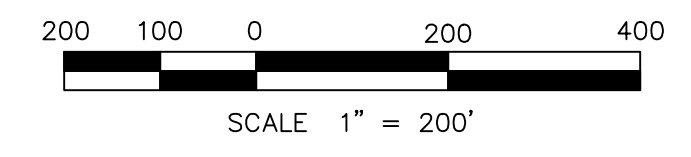
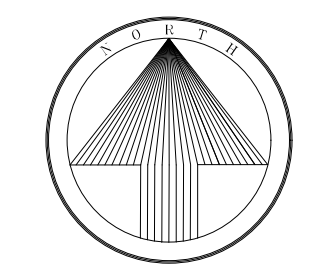
Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite. 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Tom Dayton, PE

**JOHNSON VOLK
 CONSULTING**
 TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
 704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - ⊙ 1/2" IRF (unless otherwise noted)
- AC Acre
BL Building Line
C1 Curve No.
<CM> Control Monument
DE Drainage Easement
DUE Drainage Utility Easement
Esmt Easement
L1 Line No.
SF Square Feet
UE Utility Easement
VAM Visibility Easement
D.R.R.C.T.= Deed Records of Rockwall County, Texas
P.R.R.C.T.= Plat Records of Rockwall County, Texas

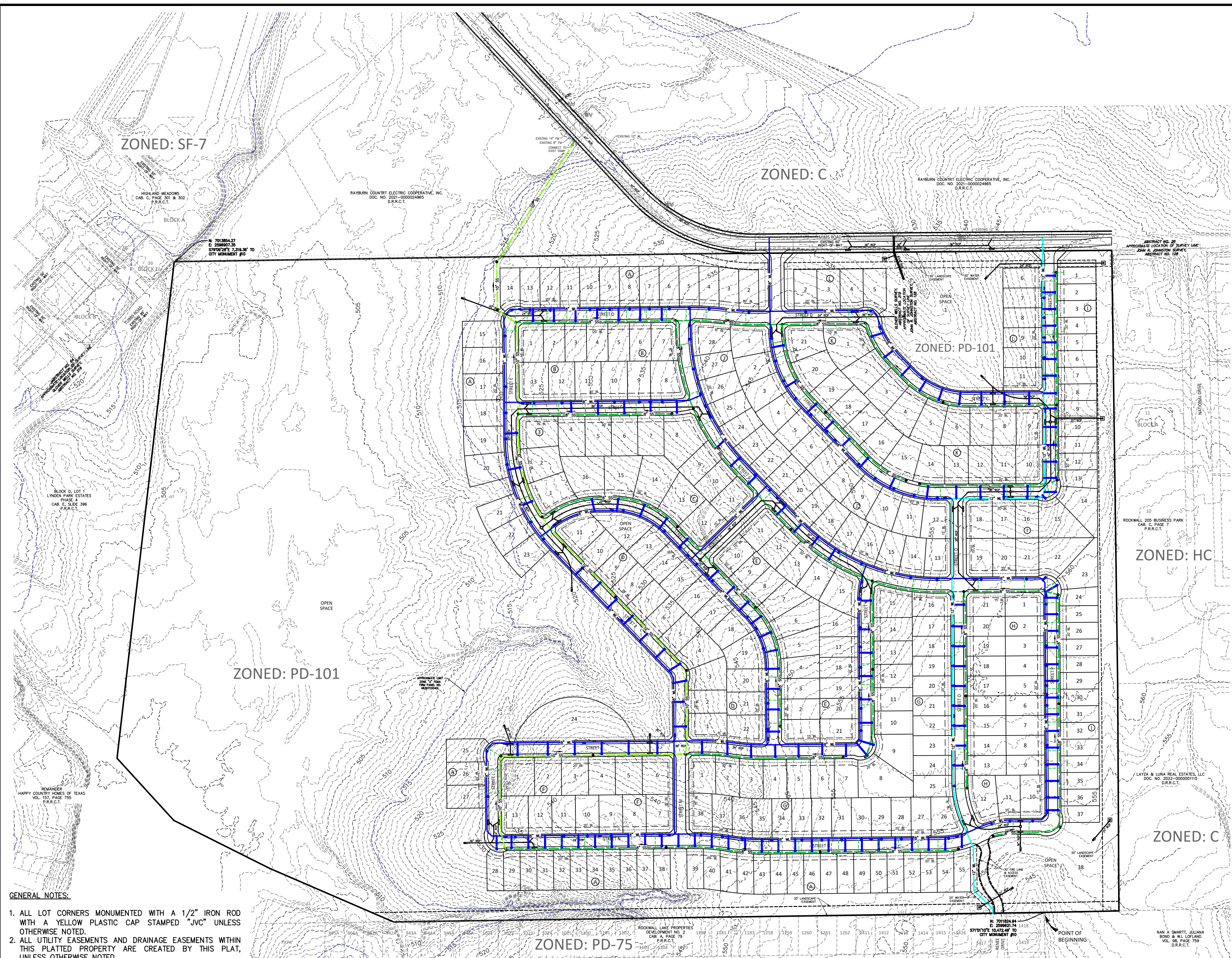


PRELIMINARY UTILITY PLAN PEACHTREE MEADOWS

LOTS 1-55, BLOCK A; LOTS 1-13, BLOCK B;
LOTS 1-16, BLOCK C; LOTS 1-22, BLOCK D;
LOTS 1-21, BLOCK E; LOTS 1-13, BLOCK F;
LOTS 1-38, BLOCK G; LOTS 1-21, BLOCK H;
LOTS 1-38, BLOCK I; LOTS 1-28, BLOCK J;
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140.494 ACRES OR 6,119,939 SQ. FT.
292 SINGLE FAMILY LOTS AND
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GLOVER WELLS SURVEY, ABSTRACT NO. 219 AND
JOHN R. JOHNSTON SURVEY, ABSTRACT NO. 128
**CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS**
P2023-xxx

June 12, 2023

EXIST. ZONING: PD-101
LAND USE: SF



- GENERAL NOTES:**
- ALL LOT CORNERS MONUMENTED WITH A 1/2" IRON ROD WITH A YELLOW PLASTIC CAP STAMPED "JVC" UNLESS OTHERWISE NOTED.
 - ALL UTILITY EASEMENTS AND DRAINAGE EASEMENTS WITHIN THIS PLATTED PROPERTY ARE CREATED BY THIS PLAT, UNLESS OTHERWISE NOTED.
 - BASIS OF BEARING AND COORDINATES SHOWN HEREON REFER TO "TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983 ON GRID COORDINATE VALUES.
 - LOCATION OF 1% ANNUAL FLOOD CHANCE ESTIMATED FROM FEMA FIRM PANEL 48397C0040L, DATED SEPTEMBER 26, 2008.
 - LOTS ADJACENT TO FLOODPLAIN SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2' ABOVE THE 100-YR WSEL.
 - DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
 - OPEN SPACE LOTS SHALL BE MAINTAINED BY THE HOA.

Owner/Applicant:
Qualico Developments (U.S.), Inc.
6950 TPC Drive, Suite 350
McKinney, Texas 75070
Phone: 469-659-6150

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Tom Dayton, PE

**JOHNSON VOLK
CONSULTING**
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100



CITY OF ROCKWALL
PLANNING AND ZONING CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 11, 2023
APPLICANT: Greg Helsel, *Spiars Engineering, Inc.*
CASE NUMBER: P2023-019; *Replat for Phase 2 of the Somerset Park Subdivision*

SUMMARY

Consider a request by Greg Helsel of Spiars Engineering, Inc. on behalf of Katherine Hamilton of Arcadia Lakes of Somerset Holdings, LLC for the approval of a Replat of Phase 2 of the Somerset Park Subdivision consisting of 165 single-family residential lots on a 82.809-acre tract of land identified as Tract 7 of the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses, generally located at the northwest corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

PLAT INFORMATION

- The applicant is requesting the approval of a Replat for an 82.809-acre parcel of land (*i.e. Somerset Park, Phase 2 Addition*) for the purpose of establishing additional easements and adjusting the floodplain per the approved flood study. The single-family residential subdivision will be composed of 165 single-family homes zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) District land uses.
- The subject property was annexed into the City of Rockwall on July 21, 1997 by *Ordinance No. 97-14*. On November 17, 2014, the City Council approved *Ordinance No. 14-49 [Case No. Z2014-025]*, establishing the development standards for Planned Development District 63 (PD-63) [*i.e. the Lakes of Somerset Subdivision*]. On February 16, 2015, the City Council approved a Master Plat [*Case No. P2015-003*] that established the Lakes of Somerset Subdivision as Phase 1 [*i.e. 144 single-family homes*], Phase 2 [*i.e. 86 single-family homes*], and Phase 3 [*i.e. 79 single-family homes*]. This preliminary plat combines Phases 2 & 3 in to a single phase consisting of 165 single-family homes. On November 15, 2021, the City Council approved a Final Plat [*Case No. P2021-056*] that establish the subject property as Phase 2 of the Somerset Park Subdivision. On November 9, 2021, the Planning and Zoning Commission approved a PD Site Plan [*Case No. SP2021-029*] that outlined the hardscape and landscape elements for the Somerset Park Phase 2 Subdivision.
- The surveyor has completed the majority of the technical revisions requested by staff, and this Replat -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a Replat for Phase 2 of the *Somerset Park Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans;

- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____
NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.
DIRECTOR OF PLANNING: _____
CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES: <input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹ <input checked="" type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00) <input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00) SITE PLAN APPLICATION FEES: <input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ <input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)	ZONING APPLICATION FEES: <input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹ <input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2} <input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹ OTHER APPLICATION FEES: <input type="checkbox"/> TREE REMOVAL (\$75.00) <input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ² NOTES: ¹ : IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE. ² : A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.
---	---

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: N/A

SUBDIVISION: SOMERSET PARK PHASE 2 LOT: - BLOCK: -

GENERAL LOCATION: NORTHEAST OF THE INTERSECTION OF S.M. 205 AND F.M. 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: PD-63 CURRENT USE: UNDER CONSTRUCTION

PROPOSED ZONING: - PROPOSED USE: SINGLE-FAMILY RESIDENTIAL

ACREAGE: 82.809 LOTS [CURRENT]: 65 (Res) 6 (Hou) LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

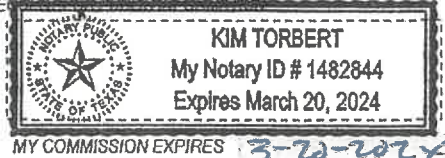
<input type="checkbox"/> OWNER	<u>ARCADIA LAKES OF SOMERSET HOLDINGS, LLC</u>	<input checked="" type="checkbox"/> APPLICANT	<u>SPARS ENGINEERING SURVEYING</u>
CONTACT PERSON	<u>KATHERINE HAMILTON</u>	CONTACT PERSON	<u>GREG HELSER</u>
ADDRESS	<u>P.O. BOX 670069</u>	ADDRESS	<u>501 W. PRES. GEORGE BUSH HWY. SUITE 200</u>
CITY, STATE & ZIP	<u>DALLAS, TX 75367</u>	CITY, STATE & ZIP	<u>RICHARDSON, TX 75080</u>
PHONE	<u>(214) 529-3642</u>	PHONE	<u>(903) 408-7486</u>
E-MAIL	<u>katherine@arcadia.realty.net</u>	E-MAIL	<u>greg.helser@sparsengineering.com</u>

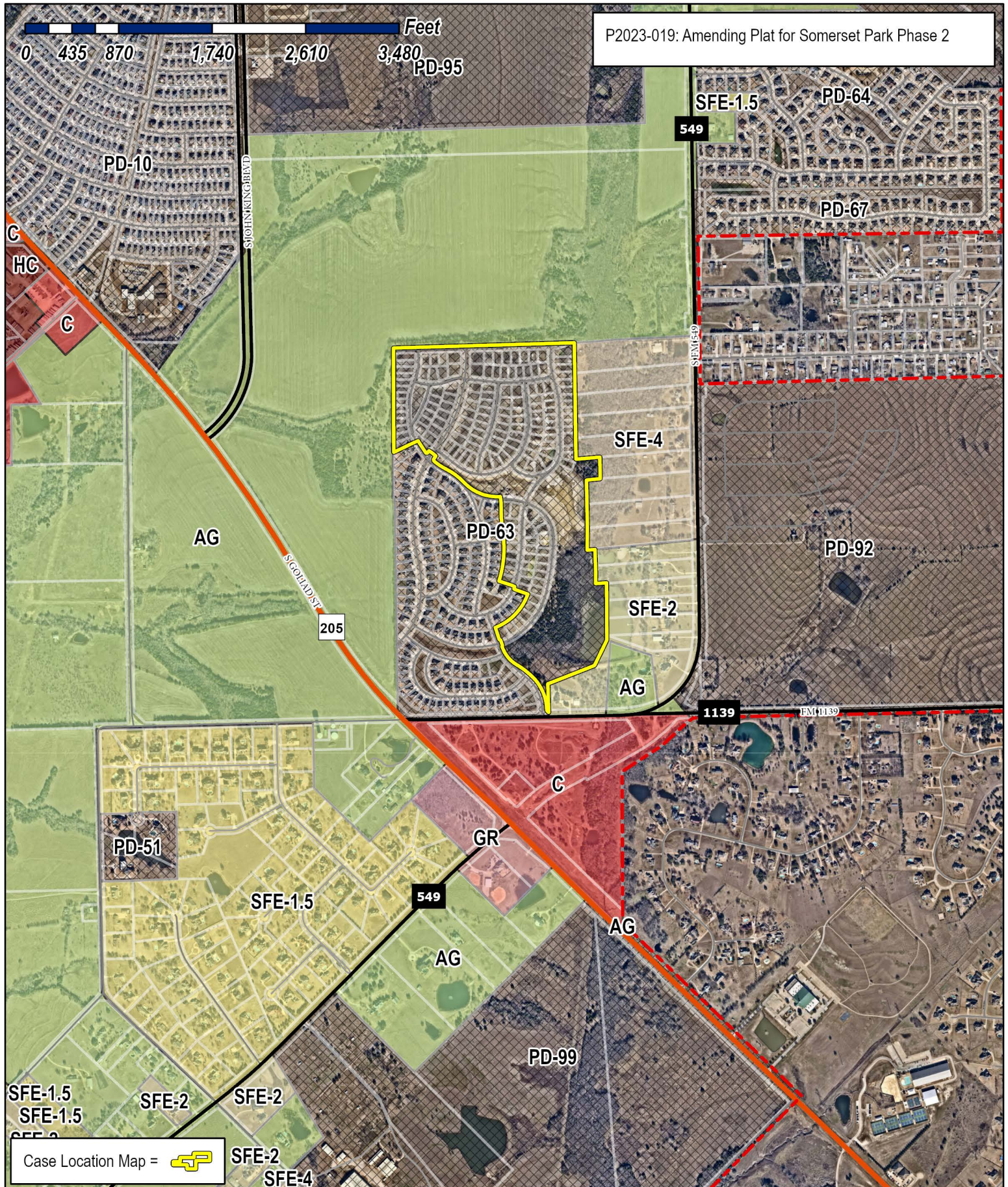
NOTARY VERIFICATION [REQUIRED]


BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Katherine Hamilton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,950.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30th DAY OF JUNE, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30 DAY OF June 2023
OWNER'S SIGNATURE: [Signature]
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]





Case Location Map = 

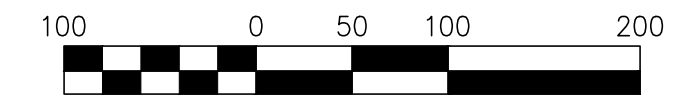
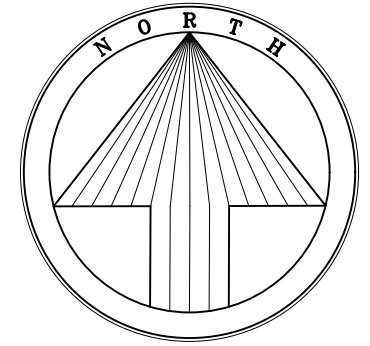


City of Rockwall

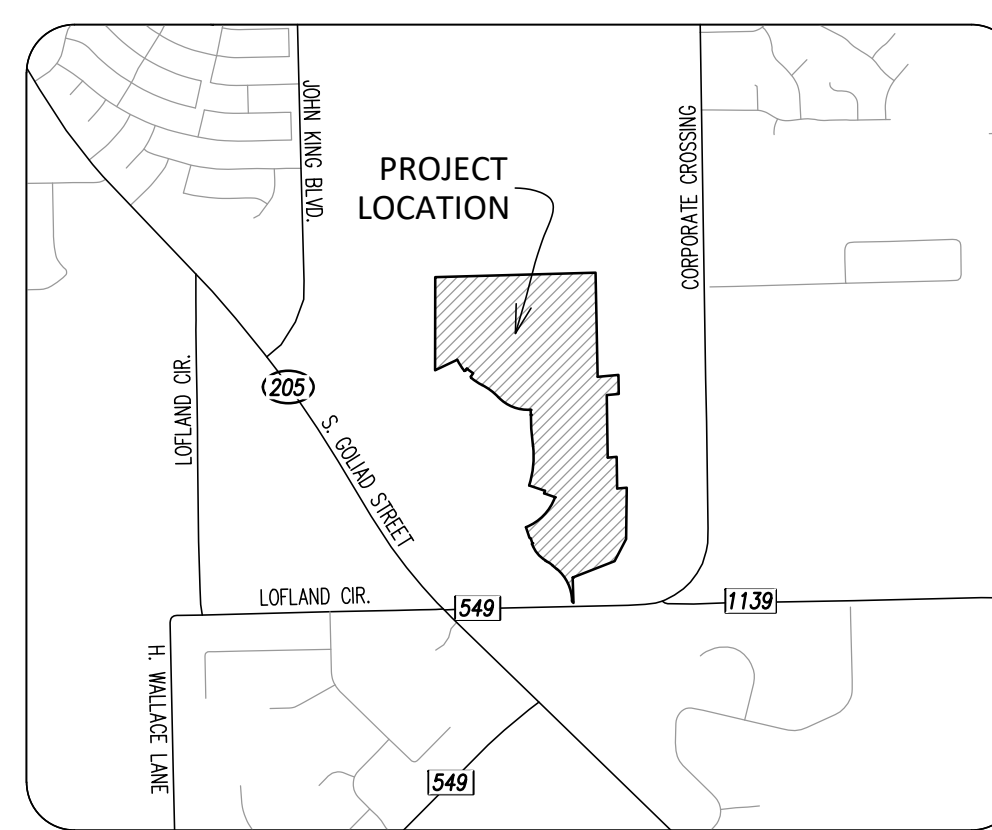
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 inch = 100ft.
Basis of bearing: State Plane
Coordinate System, North Texas
Central Zone 4202, North American
Datum of 1983. Adjustment
Realization 2011.



LOCATION MAP
1" = 2000'

- NOTES:
- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - According to Flood Insurance Rate Map (FIRM) 48397C0045L dated September 26, 2008, prepared by the Federal Emergency Management Agency (FEMA) for Rockwall County, Texas, a portion of this property is within Zone AE.
 - All corners are 1/2 inch iron pins with yellow plastic caps stamped "SPIARSENS" unless otherwise noted.
 - All open space/common areas, Lot 1, Block 11, Lot 1, Block 12, Lot 1, Block 13, Lot 7, Block 14, Lot 13 Block 18, Lot 17, Block 18 are to be owned and maintained by the H.O.A.
 - H.O.A. and Property owners shall maintain all Lot to Lot drainage.
 - All sidewalk trails not adjacent to houses to be maintained, repaired, and replaced by H.O.A.
 - All drainage and detention easements to be maintained, repaired, and replaced by property owner.
 - All decorative street signs, poles, foundations and appurtenances shall be owned and maintained by the H.O.A.
 - No building permits will be issued until all public improvements are accepted by the city.

LEGEND	
(Not all items may be applicable)	
○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSENS" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
IPF	IRON PIPE FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
Esm't	EASEMENT
Util.	UTILITY
AC	ACCESS EASEMENT
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
FAUE	FIRELANE, ACCESS, & UTILITY EASEMENT
WW	WASTE WATER EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
◆	STREET NAME CHANGE
Ⓐ	BLOCK DESIGNATION
▶	STREET FRONTAGE
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
NTS	NOT TO SCALE
Inst./Doc.	INSTRUMENT OR DOCUMENT
(DRCT)	DEED RECORDS, ROCKWALL COUNTY, TEXAS
(PRGCT)	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
(OPRGCT)	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

PLAT AMENDMENT PURPOSE:
1. Removed Floodplain per Effective LOMR.

CASE NO. P2023-019
FINAL PLAT

SOMERSET PARK PHASE II

Being A Replat of
Somerset Park Phase II
Being
165 Residential Lots and 6 Open Space Lots
82.809-Acres or 3,607,167 SF
Situated in the
A. JOHNSON SURVEY, ABSTRACT NO. 123
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
Arcadia Lakes Of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, Texas 75219
Telephone (214) 642-1135
Contact: Katherine Hamilton

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: Greg T. Helsel

NEWMAN LOFLAND
Vol. 9, Pg. 548 DRRCT

Printed by: Hologram Plot Date: 6/28/2023 4:05 PM

Drawing: © 2020, J05520-112 Somerset Park, 20-112 - Amending Plat, Drawn By: Hologram, Saw Time: 6/28/2023 3:59:15 PM



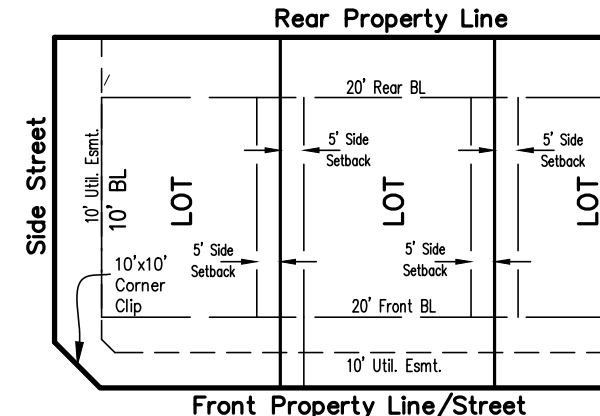
R=574.00'
D=13°44'06"
T=64.13'
L=137.60'
CB=S56°23'09"E
CL=137.27'

R=606.00'
D=19°54'48"
T=106.38'
L=210.62'
CB=N53°17'48"W
CL=209.56'

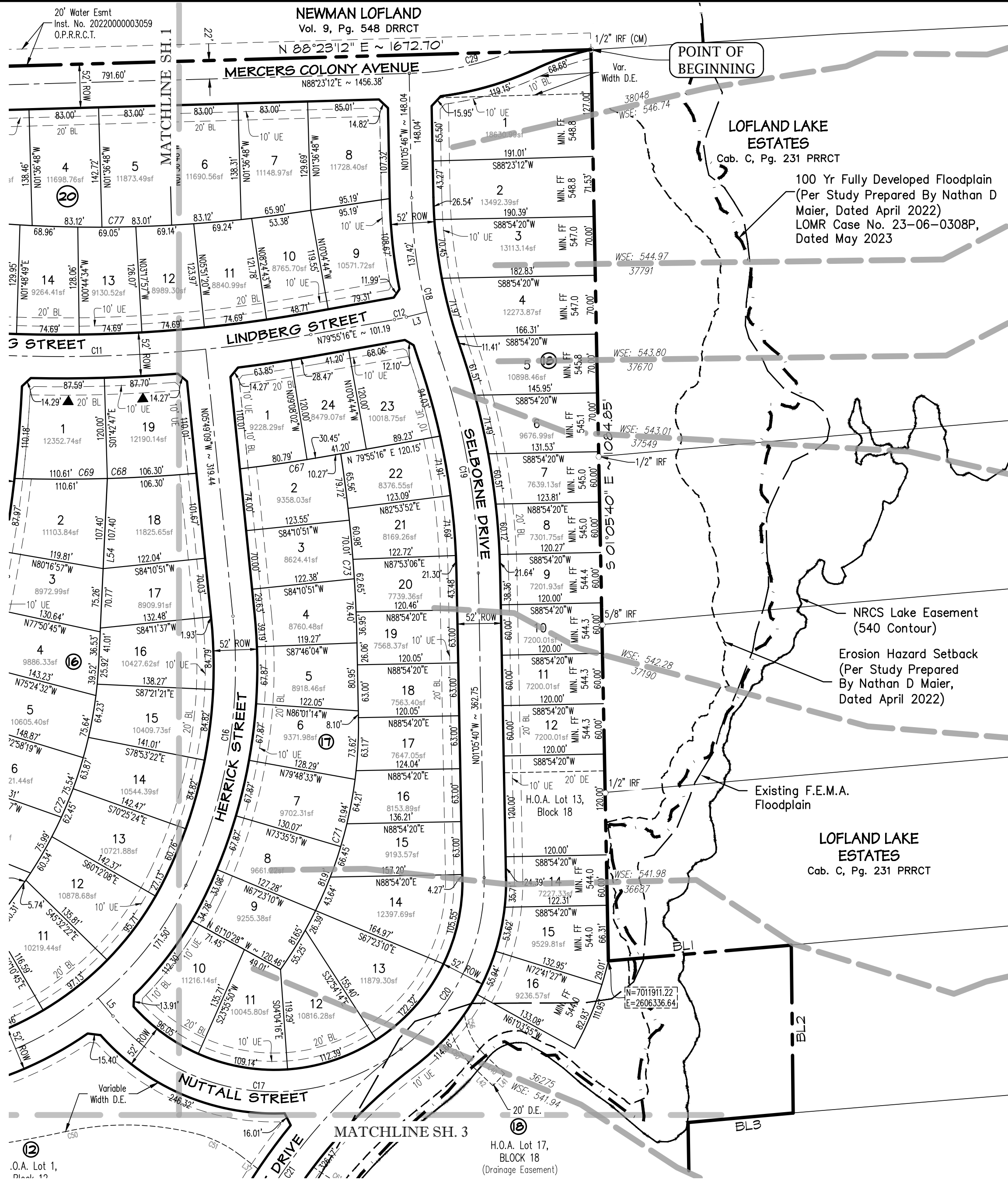
Boundary Curve Table

Curve #	Radius	Delta	Length	Chord Bearing	Chord
BC1	960.00'	2°27'29"	41.19'	S 33°44'27" W	41.18'
BC2	1040.00'	1°26'00"	26.02'	S 34°15'07" W	26.02'
BC3	574.00'	13°40'50"	137.05'	S 32°28'31" E	136.73'

LAND USE SUMMARY	
RESIDENTIAL LOTS	165
H.O.A. LOTS (OPEN SPACE)	6
RIGHT-OF-WAY	14.58 AC.
TOTAL :	171 LOTS



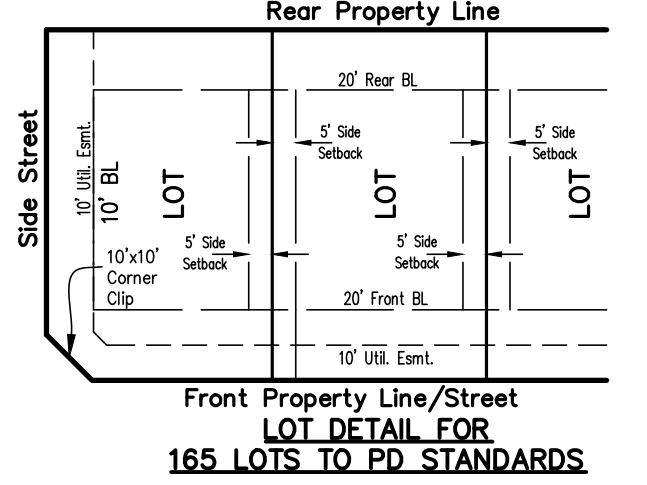
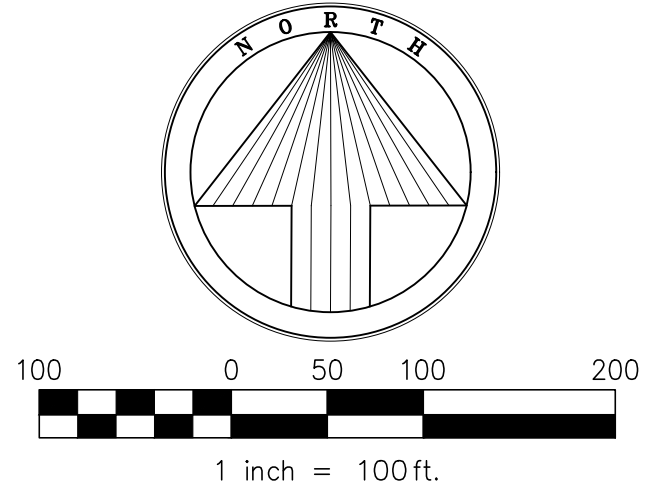
Front Property Line/Street
LOT DETAIL FOR
165 LOTS TO PD STANDARDS



Line #	Length	Direction
L26	90.40'	N 00°08'16" E
L27	34.79'	N 87°41'33" E
L28	21.76'	N 87°41'33" E
L29	22.17'	N 51°09'21" W
L30	16.52'	S 38°50'39" W
L31	16.86'	N 38°50'39" E
L32	7.58'	N 08°34'14" E
L33	83.49'	S 35°31'48" E
L34	83.64'	S 35°31'48" E
L36	10.05'	S 55°32'41" E
L37	27.71'	N 52°33'37" W
L38	77.46'	N 52°33'30" W
L40	32.49'	S 46°23'53" E

Line #	Length	Direction
L41	20.00'	S 43°36'07" W
L42	32.48'	N 46°23'53" W
L43	20.00'	N 22°30'23" E
L44	53.83'	N 89°36'56" E
L45	2.89'	N 00°59'52" E
L46	16.47'	N 90°00'00" E
L47	18.25'	S 00°00'00" E
L48	240.00'	S 84°20'20" E
L49	240.00'	S 84°20'20" E
L50	35.64'	S 84°20'20" E
L51	20.00'	S 05°39'40" W
L52	35.64'	N 84°20'20" W
L56	10.05'	S 55°32'41" E

Curve #	Radius	Delta	Length	Chord Bearing	Chord
C67	1846.00'	002°30'27"	80.79'	S 82°07'12" W	80.78'
C68	1846.00'	003°17'58"	106.30'	N 86°38'15" E	106.29'
C69	1846.00'	003°25'59"	110.61'	S 89°59'47" E	110.59'
C70	1160.00'	001°05'07"	21.97'	N 21°29'23" E	21.97'
C71	499.37'	003°14'01"	28.18'	N 15°08'14" E	28.18'
C72	500.00'	004°12'14"	36.68'	S 22°24'59" W	36.68'
C73	1694.21'	000°47'04"	23.20'	N 04°04'14" W	23.20'
C74	204.00'	016°51'06"	60.00'	N 37°13'15" W	59.78'
C75	1596.01'	002°20'42"	65.32'	N 09°44'12" E	65.32'
C76	526.00'	048°44'05"	447.41'	N 44°09'09" E	434.04'
C77	1600.00'	001°26'32"	40.27'	N 89°07'04" E	40.27'
C78	1500.00'	004°59'13"	130.56'	N 03°21'57" E	130.51'
C79	2763.08'	002°29'18"	120.00'	N 00°56'21" W	119.99'



PLAT AMENDMENT PURPOSE:
1. Removed Floodplain per Effective LOMR.

CASE NO. P2023-019
FINAL PLAT

SOMERSET PARK PHASE II

Being A Replat of
Somerset Park Phase II
Being
165 Residential Lots and 6 Open Space Lots
82,809-Acres or 3,607,167 SF
Situated in the
A. JOHNSON SURVEY, ABSTRACT NO. 123
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
Arcadia Lakes Of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, Texas 75219
Telephone (214) 642-1135
Contact: Katherine Hamilton

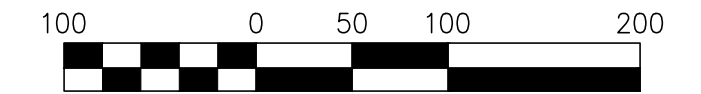
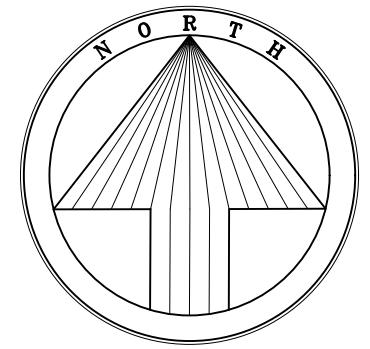
ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: Greg T. Helsen

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C34	186.74'	476.00'	185.54'	N 11°22'35" E	22°28'39"
C36	46.83'	575.98'	46.81'	N 02°11'29" W	4°39'29"
C37	297.20'	990.00'	296.09'	N 24°03'10" E	17°12'02"
C38	37.21'	109.57'	37.03'	S 46°24'25" E	19°27'31"
C39	18.57'	94.57'	18.54'	S 42°23'27" E	11°15'04"
C42	25.33'	72.50'	25.20'	S 45°32'15" E	20°00'52"

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C43	30.57'	87.50'	30.41'	S 45°32'15" E	20°00'52"
C46	146.65'	571.40'	146.24'	N 55°51'24" W	14°42'16"
C47	142.97'	618.74'	142.65'	N 56°35'22" W	13°14'21"
C48	228.59'	311.25'	223.49'	N 71°00'35" W	42°04'47"
C49	226.59'	1246.58'	226.27'	S 82°44'36" W	10°24'52"
C50	162.01'	336.37'	160.45'	N 88°39'58" W	27°35'45"

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C51	53.34'	150.74'	53.06'	N 63°00'58" W	20°16'25"
C56	55.13'	79.57'	54.04'	S 26°35'00" E	39°42'01"
C60	50.19'	99.57'	49.66'	N 31°59'30" W	28°53'01"
C61	78.88'	335.00'	78.70'	S 60°44'52" E	13°29'30"
C62	83.73'	355.00'	83.53'	S 60°44'13" E	13°30'49"

Drawing: © 2020, J08520-112 Somerset Park, 20-112 - Amending Platting. Saved By: Hagan, Saw Time: 6/29/2023 3:59:15 PM
 Printed by: Hagan, Plot Date: 6/29/2023 4:05 PM



1 inch = 100ft.

Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.

LEGEND

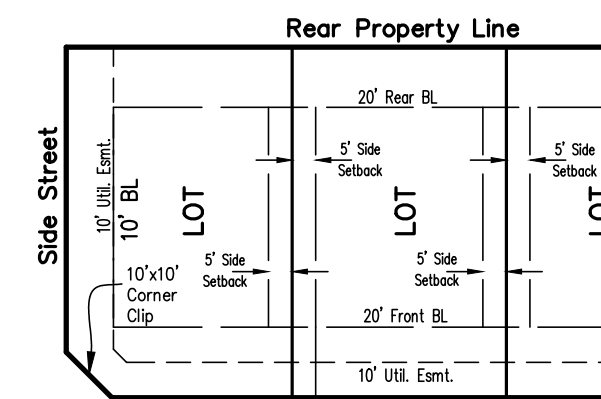
(Not all items may be applicable)

○	1/2" IRON ROD WITH PLASTIC CAP STAMPED "SPIARSEN" SET, UNLESS OTHERWISE NOTED
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
IPF	IRON PIPE FOUND
AMF	ALUMINUM MONUMENT FOUND
CM	CONTROL MONUMENT
Esmt.	EASEMENT
Util.	UTILITY
AC	ACCESS EASEMENT
DE	DRAINAGE EASEMENT
DUE	DRAINAGE AND UTILITY EASEMENT
UE	UTILITY EASEMENT
WE	WATER EASEMENT
SSE	SANITARY SEWER EASEMENT
SE	SIDEWALK EASEMENT
STE	STREET EASEMENT
FAUE	FIRELANE, ACCESS, & UTILITY EASEMENT
WW	WASTE WATER EASEMENT
WME	WALL MAINTENANCE EASEMENT
HBE	HIKE & BIKE TRAIL EASEMENT
VAM	VISIBILITY, ACCESS & MAINTENANCE EASEMENT
(BTP)	BY THIS PLAT
R.O.W.	RIGHT-OF-WAY
BL	BUILDING LINE
◆	STREET NAME CHANGE
Ⓐ	BLOCK DESIGNATION
▶	STREET FRONTAGE
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY
FIRM	FLOOD INSURANCE RATE MAP
NTS	NOT TO SCALE
Inst./Doc.	INSTRUMENT OR DOCUMENT
(DRCT)	DEED RECORDS, ROCKWALL COUNTY, TEXAS
(PRCT)	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
(OPRCT)	OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS

Curve #	Radius	Delta	Length	Chord Bearing	Chord
BC1	960.00'	2°27'29"	41.19'	S 33°44'27" W	41.18'
BC2	1040.00'	1°26'00"	26.02'	S 34°15'07" W	26.02'
BC3	574.00'	13°40'50"	137.05'	S 32°28'31" E	136.73'

Line #	Length	Direction
BL1	218.65'	N 85°04'06" E
BL2	199.86'	S 00°39'37" E
BL3	125.70'	S 84°51'02" W
BL4	93.68'	N 84°29'46" E
BL5	100.25'	N 85°06'41" E
BL6	24.04'	N 46°14'45" W
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BL8	26.18'	N 59°29'38" W
BL9	9.95'	N 26°04'37" E
BL10	52.01'	N 18°38'49" W

Line #	Length	Direction
BL11	14.08'	N 63°53'15" W
BL12	118.21'	N 18°38'49" W
BL13	120.00'	N 70°12'54" W
BL14	173.23'	N 71°48'05" W
BL15	142.77'	N 00°58'02" W
BL16	52.00'	N 03°59'25" W
BL17	15.18'	N 08°24'11" W
BL18	80.00'	N 55°02'47" W
BL19	11.91'	S 86°43'21" W



Front Property Line/Street
LOT DETAIL FOR
165 LOTS TO PD STANDARDS

LOFLAND LAKE ESTATES NO. 2
Cab. C, Pg. 251 PRRCT

PLAT AMENDMENT PURPOSE:
1. Removed Floodplain per Effective LOMR.

CASE NO. P2023-019
FINAL PLAT

SOMERSET PARK PHASE II

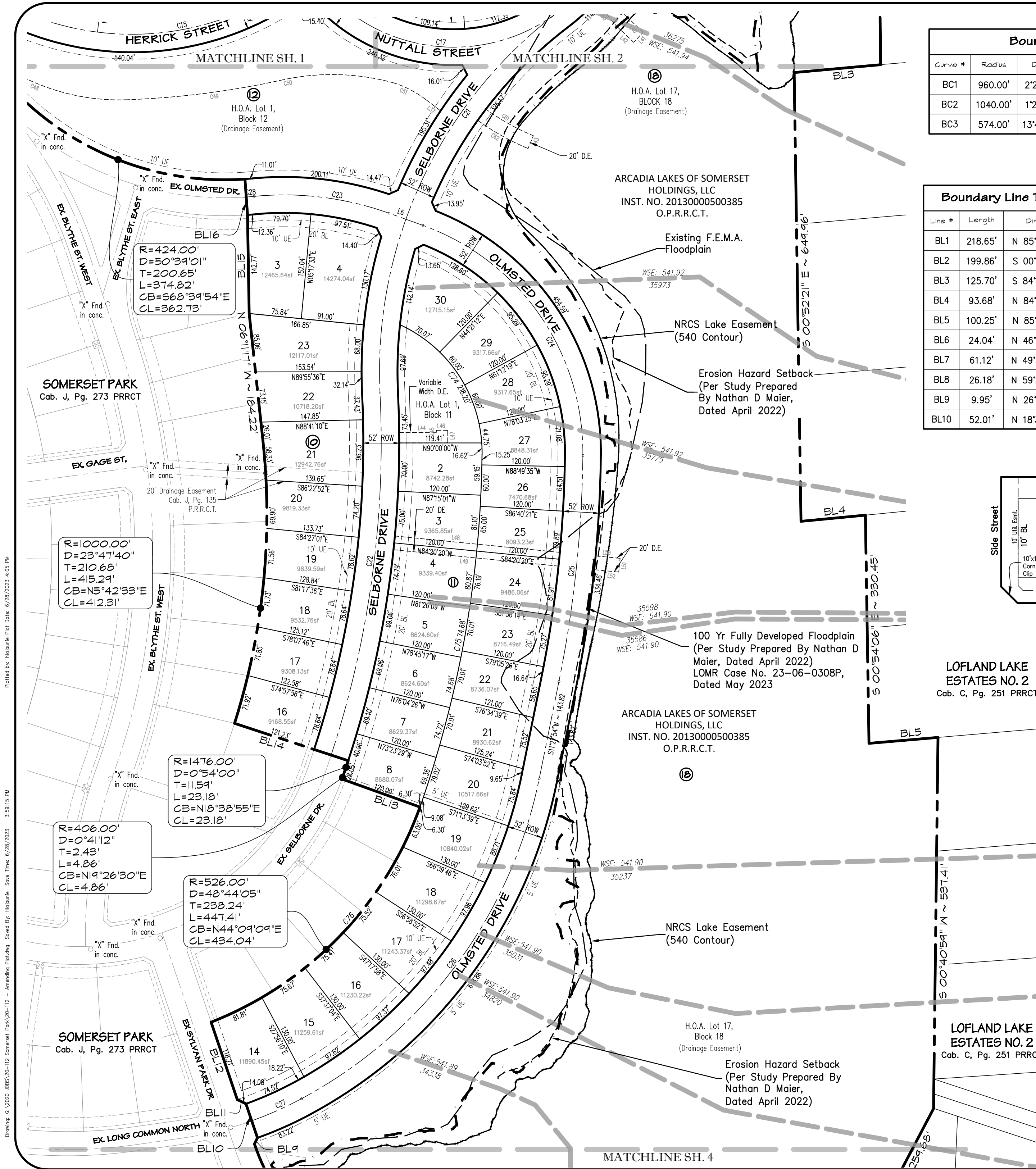
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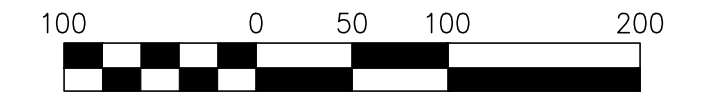
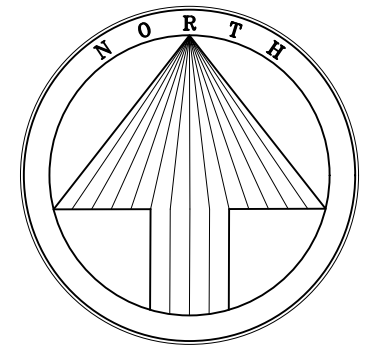
SHEET 3 OF 6

Scale: 1"=100' June, 2023 SBI Job No. 20-112

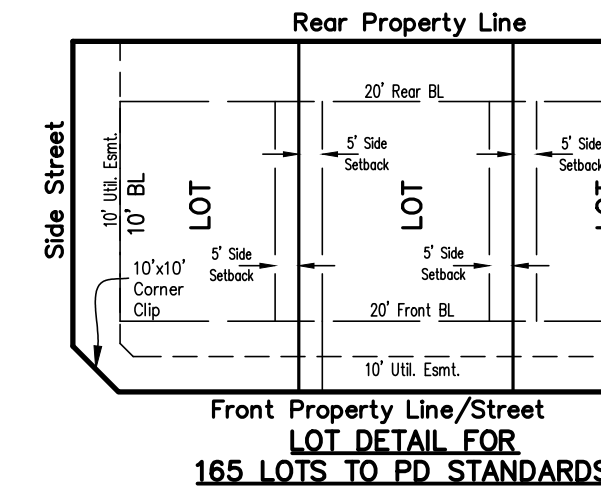


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Basis of bearing: State Plane
Coordinate System, North Texas
Central Zone 4202, North American
Datum of 1983. Adjustment
Realization 2011.



LEGEND

(Not all items may be applicable)

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Boundary Line Table

Line #	Length	Direction
BL1	218.65'	N 85°04'06" E
BL2	199.86'	S 00°39'37" E
BL3	125.70'	S 84°51'02" W
BL4	93.68'	N 84°29'46" E
BL5	100.25'	N 85°06'41" E
BL6	24.04'	N 46°14'45" W
BL7	61.12'	N 49°52'36" W
BL8	26.18'	N 59°29'38" W
BL9	9.95'	N 26°04'37" E
BL10	52.01'	N 18°38'49" W

Boundary Line Table

Line #	Length	Direction
BL11	14.08'	N 63°53'15" W
BL12	118.21'	N 18°38'49" W
BL13	120.00'	N 70°12'54" W
BL14	173.23'	N 71°48'05" W
BL15	142.77'	N 00°58'02" W
BL16	52.00'	N 03°59'25" W
BL17	15.18'	N 08°24'11" W
BL18	80.00'	N 55°02'47" W
BL19	11.91'	S 86°43'21" W

Boundary Curve Table

Curve #	Radius	Delta	Length	Chord Bearing	Chord
BC1	960.00'	2°27'29"	41.19'	S 33°44'27" W	41.18'
BC2	1040.00'	1°26'00"	26.02'	S 34°15'07" W	26.02'
BC3	574.00'	13°40'50"	137.05'	S 32°28'31" E	136.73'

PLAT AMENDMENT PURPOSE:

- Removed Floodplain per Effective LOMR.

CASE NO. P2023-019
FINAL PLAT

SOMERSET PARK PHASE II

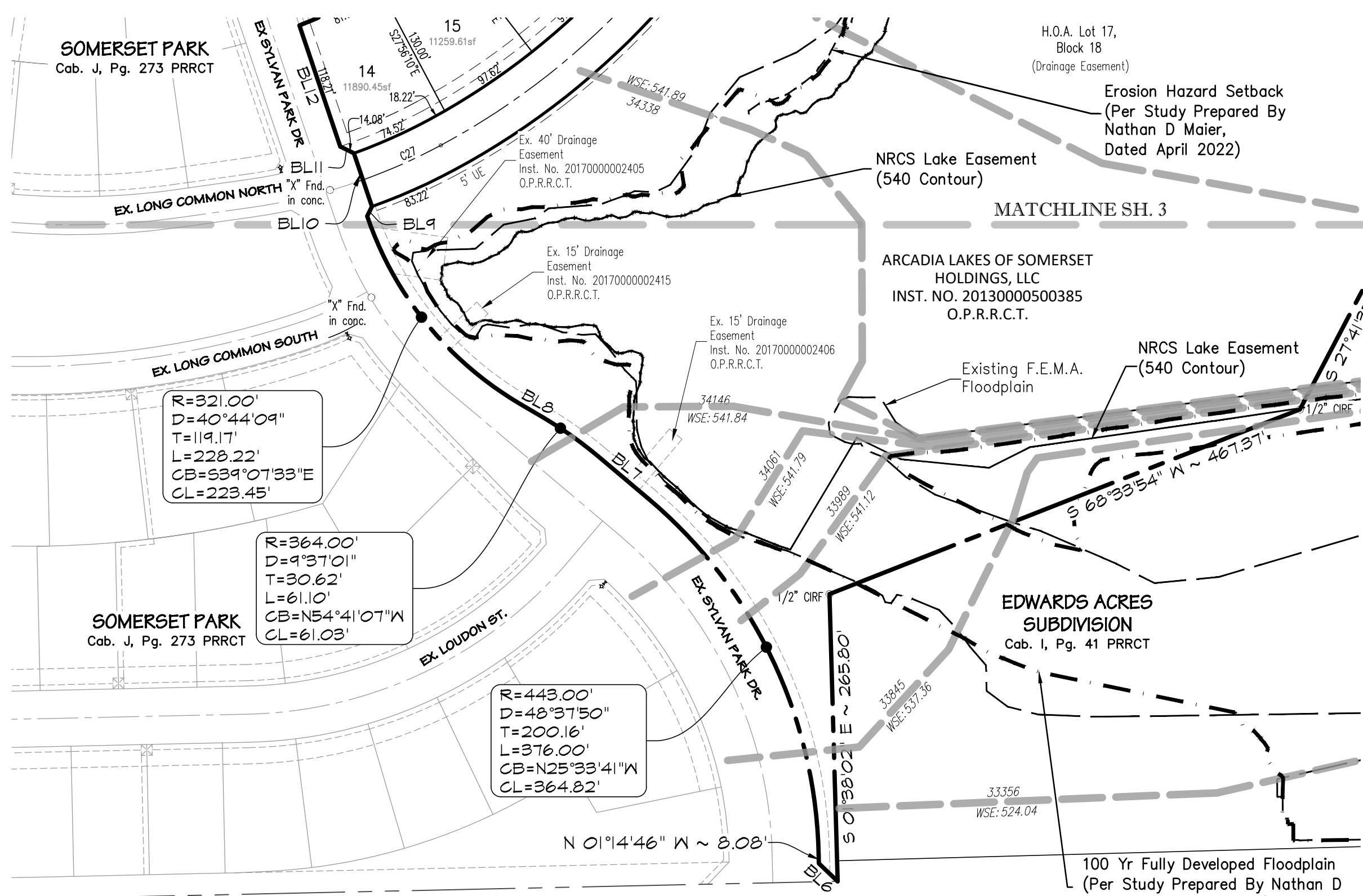
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SHEET 4 OF 6

Scale: 1"=100' June, 2023 SEI Job No. 20-112



R=321.00'
D=40°44'09"
T=119.17'
L=228.22'
CB=S39°07'33"E
CL=223.45'

R=364.00'
D=9°37'01"
T=30.62'
L=61.10'
CB=N54°41'07"W
CL=61.03'

R=443.00'
D=48°37'50"
T=200.16'
L=376.00'
CB=N25°33'41"W
CL=364.82'

100 Yr Fully Developed Floodplain
(Per Study Prepared By Nathan D
Maier, Dated April 2022)
LOMR Case No. 23-06-0308P,
Dated May 2023

Centerline Curve Table

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C1	188.52'	500.00'	187.41'	N09°11'17"E	21°36'10"
C2	173.24'	500.00'	172.37'	N10°03'49"E	19°51'06"
C3	269.61'	599.99'	267.34'	N12°44'06"W	25°44'45"
C4	425.49'	1014.00'	422.38'	N24°12'13"E	24°02'32"
C5	305.51'	391.35'	297.81'	N87°37'31"E	44°43'42"
C6	305.51'	391.35'	297.81'	N87°37'31"E	44°43'42"
C7	137.84'	250.00'	136.10'	N81°03'24"E	31°35'29"
C8	196.51'	1330.00'	196.34'	N02°37'11"E	8°27'57"
C9	717.10'	1330.00'	708.45'	N22°17'55"E	30°53'33"
C10	66.61'	1000.00'	66.60'	N35°50'12"E	3°49'00"
C11	502.37'	1700.00'	500.54'	N88°23'12"E	16°55'53"
C12	14.45'	200.00'	14.44'	N77°51'06"E	4°08'19"
C13	622.82'	1600.00'	618.90'	N13°32'29"E	22°18'12"
C14	106.99'	350.00'	106.57'	N15°56'08"E	17°30'52"
C15	712.81'	400.00'	622.17'	N76°41'36"E	102°06'11"

Centerline Curve Table

Curve #	Length	Radius	Chord	Chord Bearing	Delta
C16	329.46'	600.00'	325.34'	N09°54'41"E	31°27'40"
C17	381.10'	250.00'	345.26'	S83°27'47"E	87°20'32"
C18	188.54'	600.00'	187.76'	N10°05'47"W	18°00'15"
C19	267.10'	850.00'	266.00'	N10°05'47"W	18°00'15"
C20	235.47'	249.73'	226.84'	N25°53'08"E	54°01'25"
C21	633.32'	652.00'	608.71'	N25°02'20"E	55°39'14"
C22	532.80'	1450.00'	529.81'	N07°42'24"E	21°03'12"
C23	198.17'	450.00'	196.57'	S82°51'45"E	25°13'53"
C24	432.94'	350.00'	405.86'	S34°48'37"E	70°52'24"
C25	329.54'	1742.00'	329.05'	S06°02'44"W	10°50'19"
C26	596.03'	679.00'	577.08'	S36°36'45"W	50°17'41"
C27	85.56'	529.56'	85.47'	S66°24'12"W	9°15'28"
C28	16.66'	450.00'	16.66'	N85°34'57"E	2°07'17"
C29	143.42'	350.00'	142.41'	N76°36'53"E	23°28'39"

Centerline Line Table

Line #	Length	Direction
L1	25.43	S70° 00' 37.66"E
L2	10.25	S83° 08' 51.05"E
L3	25.28	N75° 46' 56.89"E
L4	26.00	N2° 23' 22.75"E
L5	27.76	S39° 47' 30.79"E
L6	26.02	S70° 14' 49.34"E

Drawing: C:\2020_J085\20-112 Somerset Park\20-112 - Amending Plat.dwg Saved By: Haganita, Saw Time: 6/29/2023 3:59:15 PM
 Printed By: Haganita Plot Date: 6/29/2023 4:05 PM

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS ARCADIA LAKES OF SOMERSET HOLDINGS, LLC, is the owner of a tract of land situated in the A. Johnson Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, being part of a tract conveyed by deed recorded in Document No. 2013-0000500385, Deed Records, Rockwall County, Texas (DRRCT), with the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod found on a south line of a tract conveyed to N.L. Lofland and Annie Lofland, recorded in Volume 28, Page 487 DRRCT, for the northwest corner of Lofland Lake Estates, an addition recorded in Cabinet C, Page 231, Plat Records, Rockwall County, Texas (PRRCT);

THENCE along the west line of Lofland Lake Estates, the following:

- S 01°05'40" E, 1084.85 feet;
N 85°04'06" E, 218.65 feet;
S 00°39'37" E, 199.86 feet;
S 84°51'02" W, 125.70 feet;
S 00°52'21" E, 649.96 feet;

And N 84°29'46" E, 93.68 feet to the northwest corner of Lofland Lake Estates No. 2, an addition recorded in Cabinet C, Page 251 PRRCT;

THENCE along the west line of Lofland Lake Estates No. 2, the following:

- S 00°54'06" E, 330.45 feet;
N 85°06'41" E, 100.25 feet;

And S 00°40'59" W, 537.41 feet to a northerly corner of Lot 2, Block A, Edwards Acres Subdivision, an addition recorded in Cabinet I, Page 41 PRRCT;

THENCE along the common line thereof, the following:

- S 27°41'37" W, 259.68 feet to a 1/2" iron rod with plastic cap found;
S 68°33'54" W, 467.37 feet to a 1/2" iron rod with plastic cap found;

And S 01°38'02" E, 265.80 feet to a point in the north line of Farm to Market Road 549, a public right-of-way, for the most southerly southeast corner of Somerset Park, an addition recorded in Cabinet J, Page 273 PRRCT to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set;

THENCE along the easterly lines thereof, the following:

- N 46°14'45" W, 24.04 feet to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set;
N 01°14'46" W, 8.08 feet;

A tangent curve to the left having a central angle of 48°37'50", a radius of 443.00 feet, a chord of N 25°33'41" W - 364.82 feet, an arc length of 376.00 feet;

- N 49°52'36" W, 61.12 feet;

A tangent curve to the left having a central angle of 09°37'01", a radius of 364.00 feet, a chord of N 54°41'07" W - 61.03 feet, an arc length of 61.10 feet;

- N 59°29'38" W, 26.18 feet;

A tangent curve to the right having a central angle of 40°44'09", a radius of 321.00 feet, a chord of N 39°07'33" W - 223.45 feet, an arc length of 228.22 feet;

- N 26°04'37" E, 9.95 feet;
N 18°38'49" W, 52.01 feet;

- N 63°53'15" W, 14.08 feet;

N 18°38'49" W, 118.21 feet to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set;

A non-tangent curve to the left having a central angle of 48°44'05", a radius of 526.00 feet, a chord of N 44°09'09" E - 434.04 feet, an arc length of 447.41 feet to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set;

N 70°12'54" W, 120.00 feet to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set;

A non-tangent curve to the left having a central angle of 00°41'12", a radius of 406.00 feet, a chord of N 19°26'30" E - 4.86 feet, an arc length of 4.86 feet;

A compound curve to the left having a central angle of 00°54'00", a radius of 1476.00 feet, a chord of N 18°38'55" E - 23.18 feet, an arc length of 23.18 feet;

N 71°48'05" W, 173.23 feet to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set;

A non-tangent curve to the left having a central angle of 23°47'40", a radius of 1000.00 feet, a chord of N 05°42'33" E - 412.31 feet, passing at an arc length of 376.03 feet an "X" found in concrete, continuing a total arc length of 415.29 feet;

N 06°11'17" W, 184.22 feet to a 1/2" iron rod with a yellow cap stamped "SPIARSENG" set;

- N 00°58'02" W, 142.77 feet;

N 03°59'25" W, 52.00 feet;

A non-tangent curve to the right having a central angle of 50°39'01", a radius of 424.00 feet, a chord of N 68°39'54" W - 362.73 feet, an arc length of 374.82 feet;

A reverse curve having a central angle of 19°54'48", a radius of 606.00 feet, a chord of N 53°17'48" W - 209.56 feet, an arc length of 210.62 feet;

A reverse curve having a central angle of 13°44'06", a radius of 574.00 feet, a chord of N 56°23'09" W - 137.27 feet, an arc length of 137.60 feet;

N 08°24'11" W, 15.18 feet;

A non-tangent curve to the right having a central angle of 02°27'29", a radius of 960.00 feet, a chord of N 33°44'27" E - 41.18 feet, an arc length of 41.19 feet;

N 55°02'47" W, 80.00 feet;

A non-tangent curve to the left having a central angle of 01°26'00", a radius of 1040.00 feet, a chord of S 34°15'07" W - 26.02 feet, an arc length of 26.02 feet;

S 86°43'21" W, 11.91 feet;

A non-tangent curve to the right having a central angle of 13°40'50", a radius of 574.00 feet, a chord of N 32°28'31" W - 136.73 feet, an arc length of 137.05 feet;

And S 64°21'54" W, 255.05 feet to a 5/8" iron rod with plastic cap found on an east line of said Lofland tract;

THENCE N 00°08'16" E, 973.07 feet along the east line thereof to a 1/2" iron rod found

THENCE N 88°23'12" E, 1672.70 feet to the POINT OF BEGINNING with the subject tract containing 3,607,167 square feet or 82.809 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, ARCADIA LAKES OF SOMERSET HOLDINGS, LLC, do hereby adopt this plat designating the hereinabove described property as SOMERSET PARK PHASE II, an Addition to the City of Rockwall, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Rockwall, Texas.

We Further understand and acknowledge the following:

- 1. No building shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easements strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities and maintenance to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house, dwelling, unit, or other structure shall be constructed on any lot in the addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding Improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, and storm sewers, all according to the specifications of the City of Rockwall.

Witness our hands at Rockwall County, Texas, this ___ day of _____, 2023.

ARCADIA LAKES OF SOMERSET HOLDINGS, LLC

By: Katherine Hamilton, Manager

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Katherine Hamilton, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ___ day of _____, 2023.

Notary Public, State of Texas

RECOMMENDED FOR FINAL APPROVAL

APPROVED

I hereby certify that the above and foregoing subdivision plat --- being an addition to the City of Rockwall, Texas --- was approved by City Council of the City of Rockwall, Texas on the ___ day of _____, 20____.

Mayor Of The City of Rockwall

Planning And Zoning Commission Chairman

Director Of Planning & Zoning

City Engineer

Public Improvement Statement:

It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use an fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

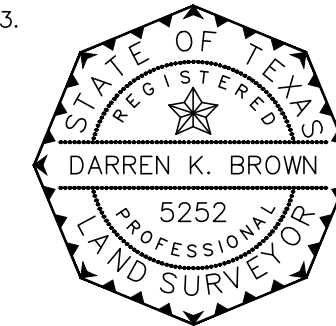
Drainage and Detention Easements:

The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spiars Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Rockwall, Texas.

Dated this the ___ day of _____, 2023.



darren.brown@spiarsengineering.com

DARREN K. BROWN, RPLS No. 5252

PLAT AMENDMENT PURPOSE:

- 1. Removed Floodplain per Effective LOMR.

CASE NO. P2023-019
FINAL PLAT

SOMERSET PARK PHASE II

Being A Replat of
Somerset Park Phase II
Being

165 Residential Lots and 6 Open Space Lots
82.809-Acres or 3,607,167 SF

Situated in the
A. JOHNSON SURVEY, ABSTRACT NO. 123
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS

OWNER
Arcadia Lakes Of Somerset Holdings, LLC
3500 Maple Avenue, Suite 1165
Dallas, Texas 75219
Telephone (214) 642-1135
Contact: Katherine Hamilton

ENGINEER / SURVEYOR
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: Greg T. Helsel

PLAT CLOSURE

Segment #1 : Line

Course: S 1°05'40" E Length: 1084.85'

Segment #2 : Line

Course: N 85°04'06" E Length: 218.65'

Segment #3 : Line

Course: S 0°39'37" E Length: 199.86'

Segment #4 : Line

Course: S 84°51'02" W Length: 125.70'

Segment #5 : Line

Course: S 0°52'21" E Length: 649.96'

Segment #6 : Line

Course: N 84°29'46" E Length: 93.68'

Segment #7 : Line

Course: S 0°54'06" E Length: 330.45'

Segment #8 : Line

Course: N 85°06'41" E Length: 100.25'

Segment #9 : Line

Course: S 0°40'59" W Length: 537.41'

Segment #10 : Line

Course: S 27°41'37" W Length: 259.68'

Segment #11 : Line

Course: S 68°33'54" W Length: 467.37'

Segment #12 : Line

Course: S 1°38'02" E Length: 265.80'

Segment #13 : Line

Course: N 46°14'45" W Length: 24.04'

Segment #14 : Line

Course: N 1°14'46" W Length: 8.08'

Segment #15 : Curve

Length: 376.00' Radius: 443.00'

Delta: 48°37'50" Tangent: 200.16'

Chord: 364.82' Course: N 25°33'41" W

Segment #16 : Line

Course: N 49°52'36" W Length: 61.12'

Segment #17 : Curve

Length: 61.10' Radius: 364.00'

Delta: 9°37'01" Tangent: 30.62'

Chord: 61.03' Course: N 54°41'07" W

Segment #18 : Line

Course: N 59°29'38" W Length: 26.18'

Segment #19 : Curve

Length: 228.22' Radius: 321.00'

Delta: 40°44'09" Tangent: 119.17'

Chord: 223.45' Course: N 39°07'33" W

Segment #20 : Line

Course: N 26°04'37" E Length: 9.95'

Segment #21 : Line

Course: N 18°38'49" W Length: 52.01'

Segment #22 : Line

Course: N 63°53'15" W Length: 14.08'

Segment #23 : Line

Course: N 18°38'49" W Length: 118.21'

Segment #24 : Curve

Length: 447.41' Radius: 526.00'

Delta: 48°44'05" Tangent: 238.24'

Chord: 434.04' Course: N 44°09'09" E

Segment #25 : Line

Course: N 70°12'54" W Length: 120.00'

Segment #26 : Curve

Length: 4.86' Radius: 406.00'

Delta: 0°41'12" Tangent: 2.43'

Chord: 4.86' Course: N 19°26'30" E

Segment #27 : Curve

Length: 23.18' Radius: 1476.00'

Delta: 0°54'00" Tangent: 11.59'

Chord: 23.18' Course: N 18°38'55" E

Segment #28 : Line

Course: N 71°48'05" W Length: 173.23'

Segment #29 : Curve

Length: 415.29' Radius: 1000.00'

Delta: 23°47'40" Tangent: 210.68'

Chord: 412.31' Course: N 5°42'33" E

Segment #30 : Line

Course: N 6°11'17" W Length: 184.22'

Segment #31 : Line

Course: N 0°58'02" W Length: 142.77'

Segment #32 : Line

Course: N 3°59'25" W Length: 52.00'

Segment #33 : Curve

Length: 374.82' Radius: 424.00'

Delta: 50°39'01" Tangent: 200.65'

Chord: 362.73' Course: N 68°39'54" W

Segment #34 : Curve

Length: 210.62' Radius: 606.00'

Delta: 19°54'48" Tangent: 106.38'

Chord: 209.56' Course: N 53°17'48" W

Segment #35 : Curve

Length: 137.60' Radius: 574.00'

Delta: 13°44'06" Tangent: 69.13'

Chord: 137.27' Course: N 56°23'09" W

Segment #36 : Line

Course: N 8°24'11" W Length: 15.18'

Segment #37 : Curve

Length: 41.19' Radius: 960.00'

Delta: 2°27'29" Tangent: 20.60'

Chord: 41.18' Course: N 33°44'27" E

Segment #38 : Line

Course: N 55°02'47" W Length: 80.00'

Segment #39 : Curve

Length: 26.02' Radius: 1040.00'

Delta: 1°26'00" Tangent: 13.01'

Chord: 26.02' Course: S 34°15'07" W

Segment #40 : Line

Course: S 86°43'21" W Length: 11.91'

Segment #41 : Curve

Length: 137.05' Radius: 574.00'

Delta: 13°40'50" Tangent: 68.85'

Chord: 136.73' Course: N 32°28'31" W

Segment #42 : Line

Course: S 64°21'54" W Length: 255.05'

Segment #43 : Line

Course: N 0°08'16" E Length: 973.07'

Segment #44 : Line

Course: N 88°23'12" E Length: 1672.70'

Perimeter: 10810.81' Area: 3607166.94 Sq. Ft.

Error Closure: 0.0128 Course: S 52°23'00" W

Error North: -0.00782 East: -0.01015

Precision 1: 840987.50



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: July 11, 2023
SUBJECT: SP2023-019; *Site Plan for the Marina Village Subdivision*

The applicant, Ryan Joyce of Michael Joyce Properties, is requesting the approval of a site plan for the Marina Village Subdivision. The subject property is a 6.88-acre tract of land (*i.e. Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207*) generally located on the south side of Henry M. Chandler Drive, west of Ridge Road [FM 740]. The Marina Village Subdivision has been approved for a *Preliminary Plat* [Case No. P2022-008] and *Final Plat* [Case No. P2022-008] in accordance with the submittal schedule contained in the Planned Development District. As part of this site plan application the applicant has submitted a site plan, building elevations, landscape plan, and treescape plan.

The site plan indicates that 36 townhome lots and three (3) open space lots will be provided in accordance with the requirements of Planned Development District 8 (PD-8) [Ordinance No. 21-38]. The landscape plan shows that one (1) canopy and one (1) accent tree will be provided per 50 linear feet of frontage along Henry M. Chandler Drive. Staff should note that the tree mitigation balance identified in the treescape plan has been accounted for in the landscape plan, and that the mitigation balance has been satisfied. The landscape plan details the entry monumentation signage, and the fence type for each lot (*i.e. four (4) - eight (8) foot wrought iron fence*) as required throughout the subdivision by the Planned Development District ordinance. The submitted site plan conforms to all the applicable technical requirements of Planned Development District 8 (PD-8) [Ordinance No. 21-38] and the Unified Development Code (UDC), and -- *based on the case being in compliance* -- the case is being placed on the consent agenda for approval. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 11, 2023 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS A0207 E Teal, Tract 134-12, Acres 2.564 Prop ID# 30591; Spyglass Hill #4, Block A, Lot 4, Acres 4.316 Prop ID# 29883

SUBDIVISION Marina Village LOT BLOCK

GENERAL LOCATION Henry M Candler Dr, Behind Marina

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-8, Ord No. 21-38 CURRENT USE Multi-Family Residential

PROPOSED ZONING PROPOSED USE

ACREAGE 6.889 LOTS [CURRENT] 36 LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER LTL Family Holdings, LLC APPLICANT Michael Joyce Properties

CONTACT PERSON William Johnson CONTACT PERSON Ryan Joyce

ADDRESS 14918 Mystic Terrace Lane ADDRESS 767 Justin Road

CITY, STATE & ZIP Cypress, TX 77429 CITY, STATE & ZIP Rockwall, TX 75087

PHONE PHONE 512-965-6280

E-MAIL E-MAIL ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kinda Johnson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

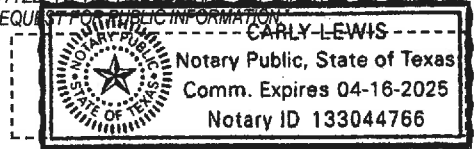
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 387.78 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF June 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF June 2023

OWNER'S SIGNATURE

[Handwritten signature of Kinda Johnson]

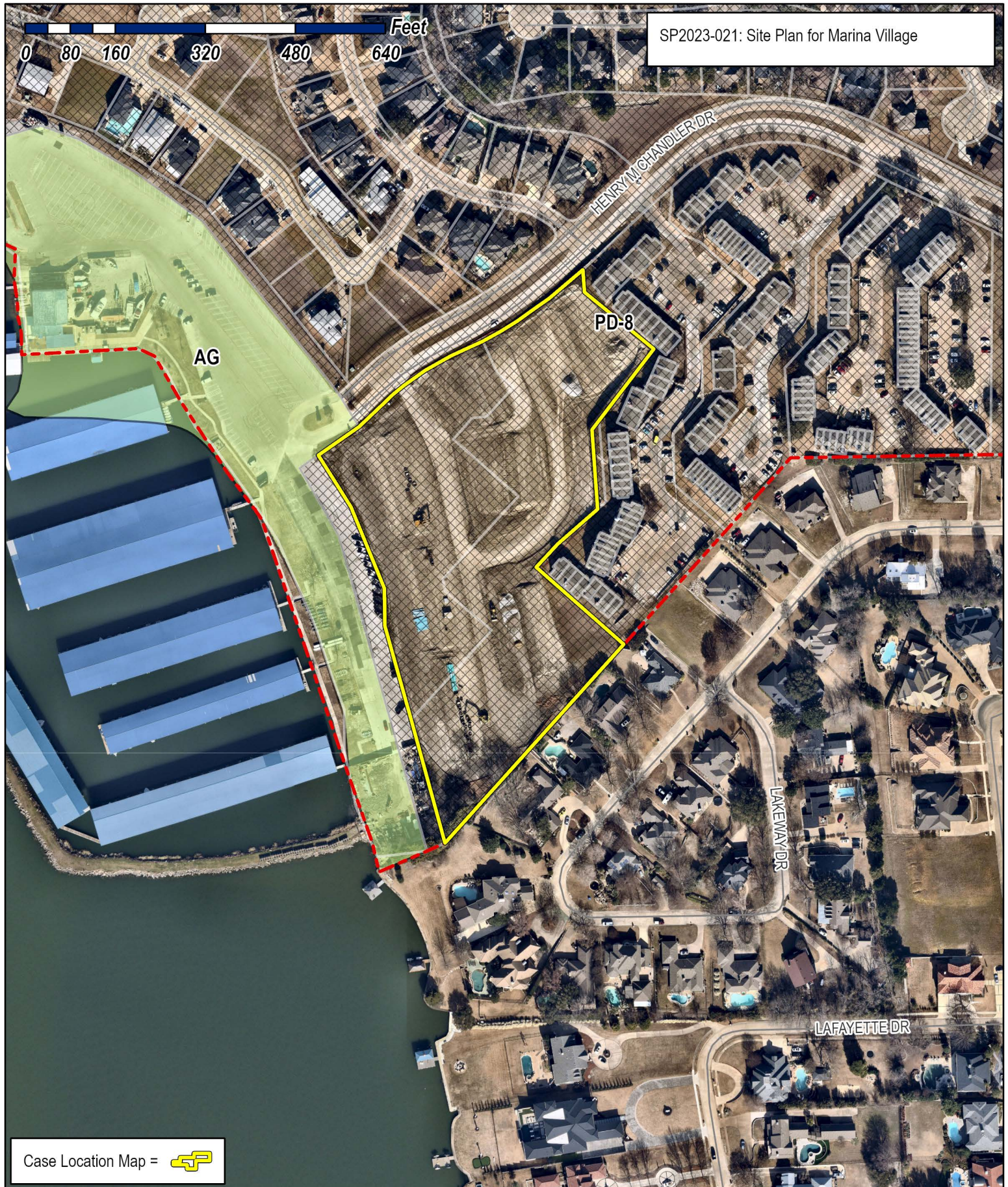
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS




MY COMMISSION EXPIRES 4-16-25



SP2023-021: Site Plan for Marina Village



Case Location Map = 

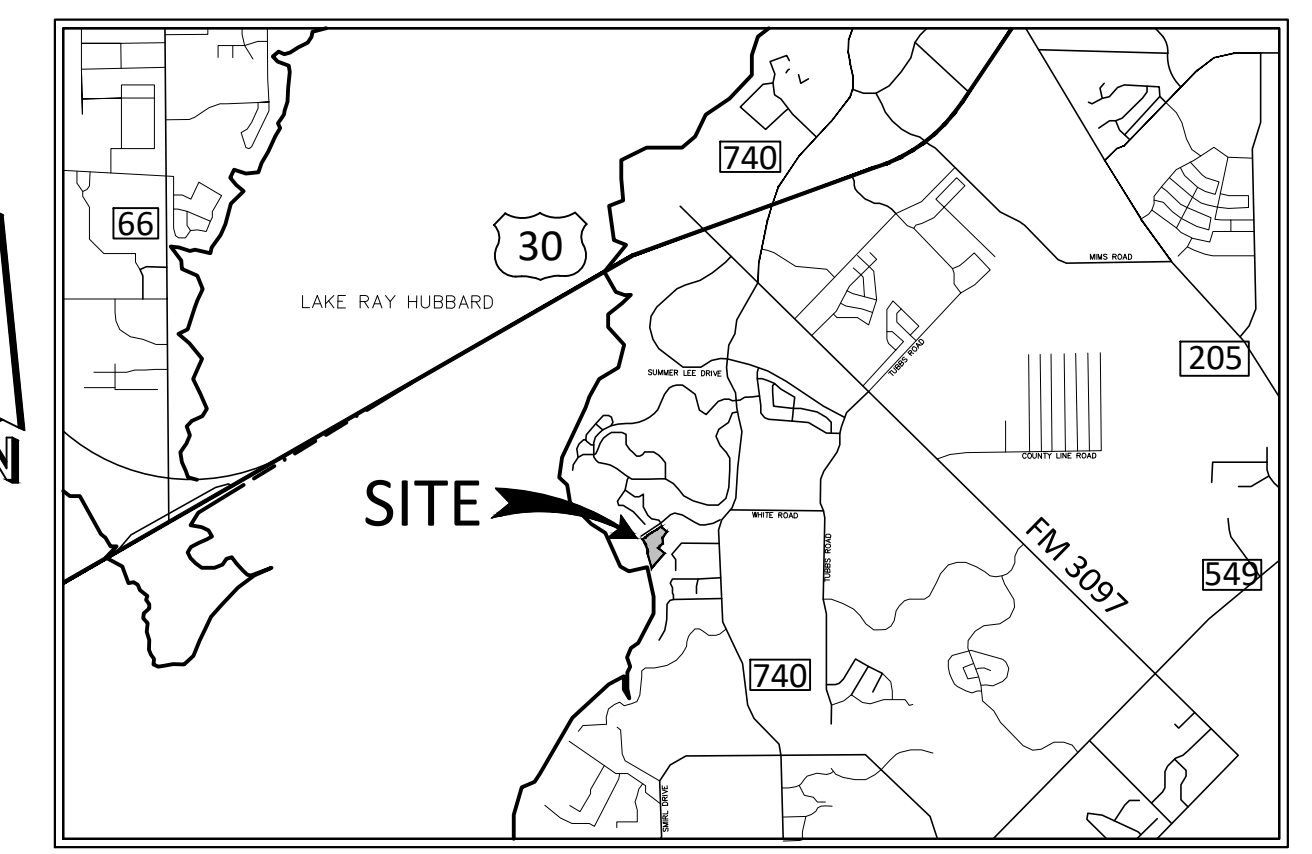


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

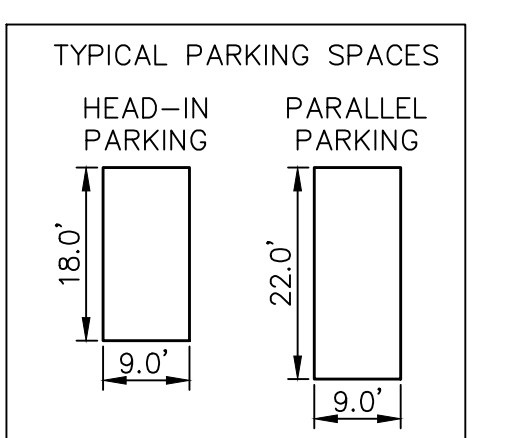




VICINITY MAP
N.T.S.

LEGEND

- 6" PAVEMENT
- SIDEWALK (DEVELOPER)
- SIDEWALK (BUILDER)

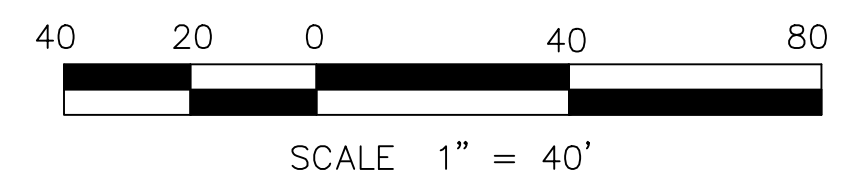
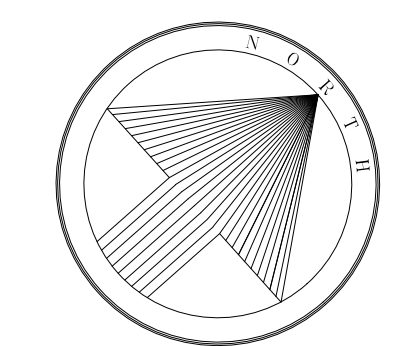


PARKING SUMMARY

REQUIRED PER ZONING	PROVIDED
2 PER DWELLING UNIT - 72	PROPOSED - 95
ACCESSIBLE SPOTS REQ.	ACCESSIBLE SPOTS PROV.
4	0

SITE PLAN DATA

EXISTING ZONING	PD-8 / ZL-5
PROPOSED ZONING	PD-8 / ZL-5
LOT AREA (SF/ACRES)	233,500.62 SF / 5.36 AC
TOTAL BUILDING AREA (SF)	78,536 SF
BUILDING HEIGHT	34'
BUILDING COVERAGE AREA (SF)	90,197 SF
BUILDING LOT COVERAGE (%)	73.00%
OPEN SPACE AREA (ACRES)	2.57 AC
OPEN SPACE (%)	37.30%



**SITE PLAN
MARINA VILLAGE**

LOTS 1X, 2-29, 30X, 31X, 32-39 BLOCK A
6.889 ACRES
36 TOWNHOME LOTS
SITUATED WITHIN THE
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

P2022-008
SP2023-019
June 29, 2023
SHEET 1 OF 1

BENCHMARKS

CITY OF ROCKWALL MONUMENT NO. COR-5:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND COMMODORE PLAZA APPROXIMATELY 400' WEST OF THE INTERSECTION OF HENRY W. CHANDLER DRIVE AND RIDGE ROAD.
ELEVATION = PLAN 560.58' FIELD 561.09'

CITY OF ROCKWALL MONUMENT NO. COR-7:
STANDARD CITY OF ROCKWALL CONTROL MONUMENT LOCATED ON THE SOUTH SIDE OF SUMMER LEE DRIVE APPROXIMATELY 250' WEST OF THE INTERSECTION OF SUMMER LEE DRIVE AND RIDGE ROAD.
ELEVATION = PLAN 567.52' FIELD 567.78'

CITY OF ROCKWALL MONUMENT NO. COR-10:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTHEAST SIDE OF LAGUNA DRIVE AT THE SOUTHEAST CORNER OF A CURB INLET APPROXIMATELY 325' NORTHEAST OF THE INTERSECTION OF VILLAGE LANE AND LAGUNA DRIVE.
ELEVATION = PLAN 521.61' FIELD 521.57'

CITY OF ROCKWALL MONUMENT NO. COR-11:
BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE NORTHEAST SIDE OF MIMS ROAD AT THE SOUTHERLY END OF A CONCRETE HEADWALL AT THE INTERSECTION OF THE NORTHEAST LINE OF MIMS ROAD WITH THE SOUTHEAST LINE OF L-30.
ELEVATION = PLAN 565.98' FIELD 566.02'

SITE PLAN SIGNATURE BLOCK:

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 20____.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 20____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING & ZONING

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN."

NOTES:

- ALL EQUIPMENT SHALL BE SCREENED WITH EVERGREEN SHRUBS A MINIMUM OF 36 INCH HEIGHT AT TIME OF PLANTING.

CAUTION!!!
EXISTING UTILITIES

THE UTILITIES SHOWN ON THESE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES IN ORDER TO DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

Owner/Applicant:
LTL Family Holdings, LLC
William Johnson
14918 Mystic Terrace Lane
Cyprus, Texas 77429
Phone: 713-325-4294

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East, Suite. 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Jay Volk, PE





4 LEFT SIDE ELEVATION
1/8" = 1'-0"

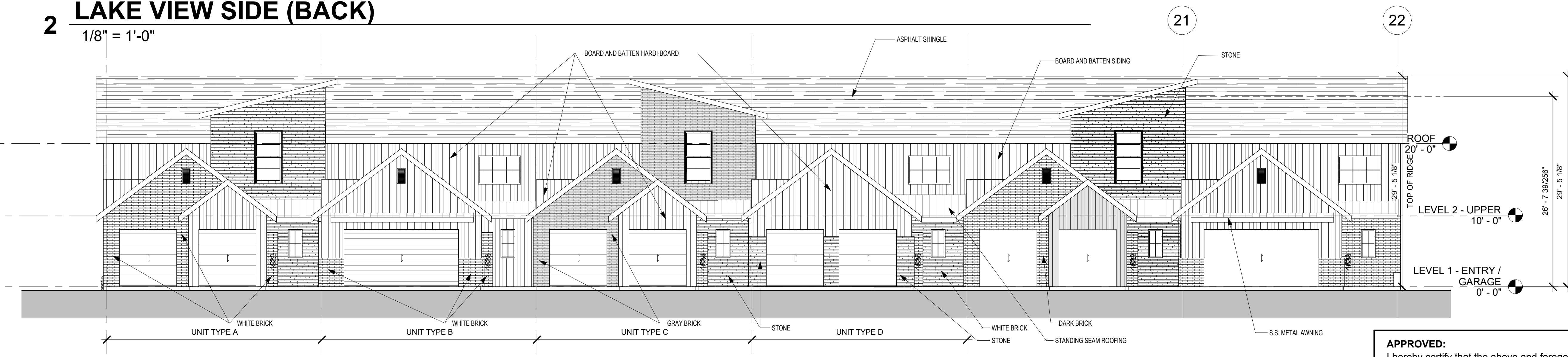


3 RIGHT SIDE ELEVATION
1/8" = 1'-0"

MATERIAL CALCULATIONS		CLUSTER A6	
		AREA	%
FRONT ELEVATION			
MASONRY	2,492	63.6%	
HARDI BOARD	1,429	36.4%	
LEFT ELEVATION			
MASONRY	1,257	81.9%	
HARDI BOARD	278	18.1%	
BACK ELEVATION			
MASONRY	4,647	84.2%	
HARDI BOARD	869	15.8%	
RIGHT ELEVATION			
MASONRY	1,142	75.5%	
HARDI BOARD	371	24.5%	



2 LAKE VIEW SIDE (BACK)
1/8" = 1'-0"



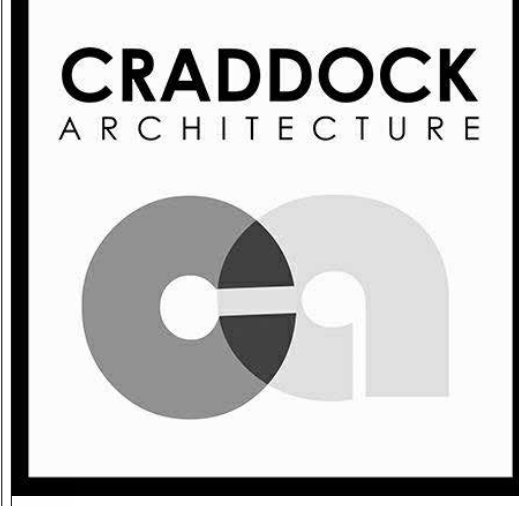
1 GARAGE ENTRY SIDE (FRONT)
1/8" = 1'-0"

ELEVATION CLUSTER A6

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



6.2.2023
ARCHITECT: PHIL CRADDOCK

CRADDOCK ARCHITECTURE
P.O. BOX #188 Rockwall, TX 75087 214-952-0527
MARINA VILLAGES

REVISION	
#	Revision Description

MARINA VILLAGES
HENRY M. CHANDLER DR.
ROCKWALL, TX 75087
Project number 2023-019 Date 6.2.2023
ELEVATIONS CLUSTER A6
Scale: As indicated

A100

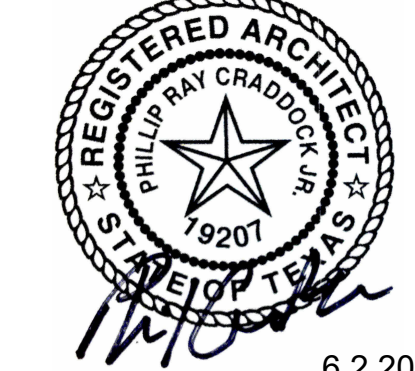
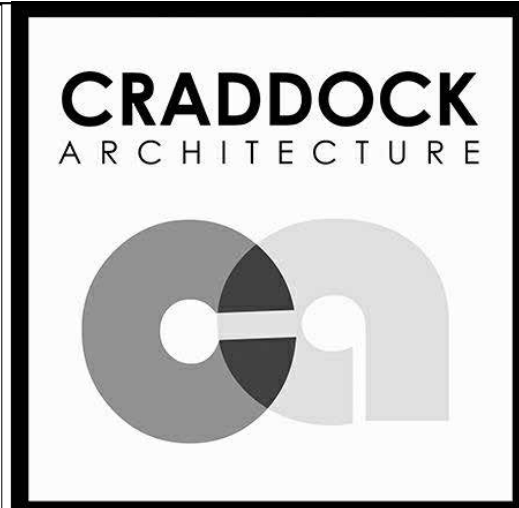
6/15/2023 7:56:46 AM

COPYRIGHT 2023 - CRADDOCK ARCHITECTURE PLLC. FOR USE ONLY ON A SPECIFIC SITE.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

WITNESS OUR HANDS, this ____ day of _____, 2023.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning



ARCHITECT: PHIL CRADDOCK

CRADDOCK ARCHITECTURE
 P.O. BOX #188 Rockwall, TX 75087 214-952-0527
MARINA VILLAGES

COPYRIGHT 2023 - CRADDOCK ARCHITECTURE PLLC. FOR USE ONLY ON A SPECIFIC SITE.

REVISION		
#	Revision Date	Revision Description

MARINA VILLAGES
 HENRY M. CHANDLER DR.
 ROCKWALL, TX 75087

Project number 2023-019 Date 6.2.2023

PERSPECTIVES CLUSTER A6

Scale: 1" = 1'-0"

A101

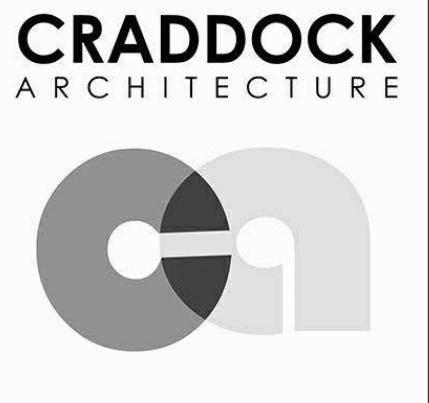


6/15/2023 7:56:47 AM

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
 WITNESS OUR HANDS, this _____ day of _____, 2023.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



6.15.2023
 ARCHITECT: PHIL CRADDOCK

CRADDOCK ARCHITECTURE
 P.O. BOX #188 Rockwall, TX 75087 214-952-0527
MARINA VILLAGES

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REVISION	
#	Revision Description

MARINA VILLAGES
 HENRY M. CHANDLER DR.
 ROCKWALL, TX 75087

Project number 2023-019 Date 5.24.2023
ELEVATIONS CLUSTER A4

Scale: As indicated

A100



4 LEFT SIDE ELEVATION
 1/8" = 1'-0"



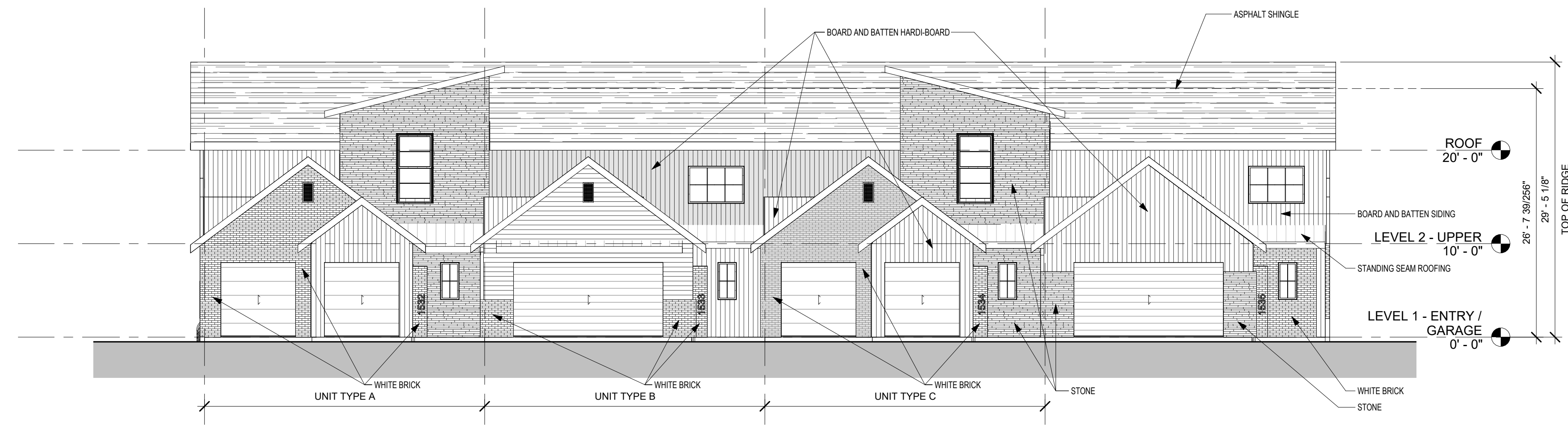
3 RIGHT SIDE ELEVATION
 1/8" = 1'-0"



2 LAKE VIEW SIDE (BACK)
 1/8" = 1'-0"

MATERIAL CALCULATIONS	CLUSTER A4	
	AREA	%
FRONT ELEVATION	2,164	100.0%
MASONRY	1,346	62.2%
HARDI BOARD	818	37.8%
LEFT ELEVATION	1,267	100.0%
MASONRY	1,032	81.5%
HARDI BOARD	235	18.5%
BACK ELEVATION	3,055	100.0%
MASONRY	2,317	75.8%
HARDI BOARD	738	24.2%
RIGHT ELEVATION	1,311	100.0%
MASONRY	993	75.7%
HARDI BOARD	318	24.3%

NOTE: ALL ELEVATIONS ARE 100% MASONRY (STONE, BRICK OR HARDI BOARD)



1 GARAGE ENTRY SIDE (FRONT)
 1/8" = 1'-0"

ELEVATION CLUSTER A4

6/15/2023 10:47:08 AM

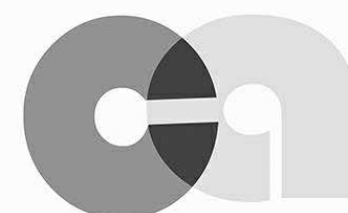
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2023.

WITNESS OUR HANDS, this ____ day of ____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CRADDOCK
ARCHITECTURE



6.15.2023

ARCHITECT: PHIL CRADDOCK

CRADDOCK ARCHITECTURE

P.O. BOX #188 Rockwall, TX 75087 214-952-0527

MARINA VILLAGES

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REVISION

#	Revision Date	Revision Description

MARINA VILLAGES
HENRY M. CHANDLER DR.
ROCKWALL, TX 75087

5.24.2023

Date

2023-019

Project number

PERSPECTIVES CLUSTER A4

Scale: 1" = 1'-0"

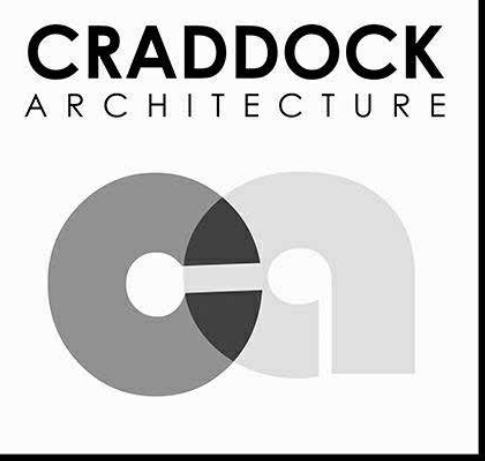
A101



6/15/2023 10:47:09 AM

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.
 WITNESS OUR HANDS, this ____ day of _____, 2023.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning



CRADDOCK ARCHITECTURE
 P.O. BOX #188 Rockwall, TX 75087 214-952-0527
MARINA VILLAGES

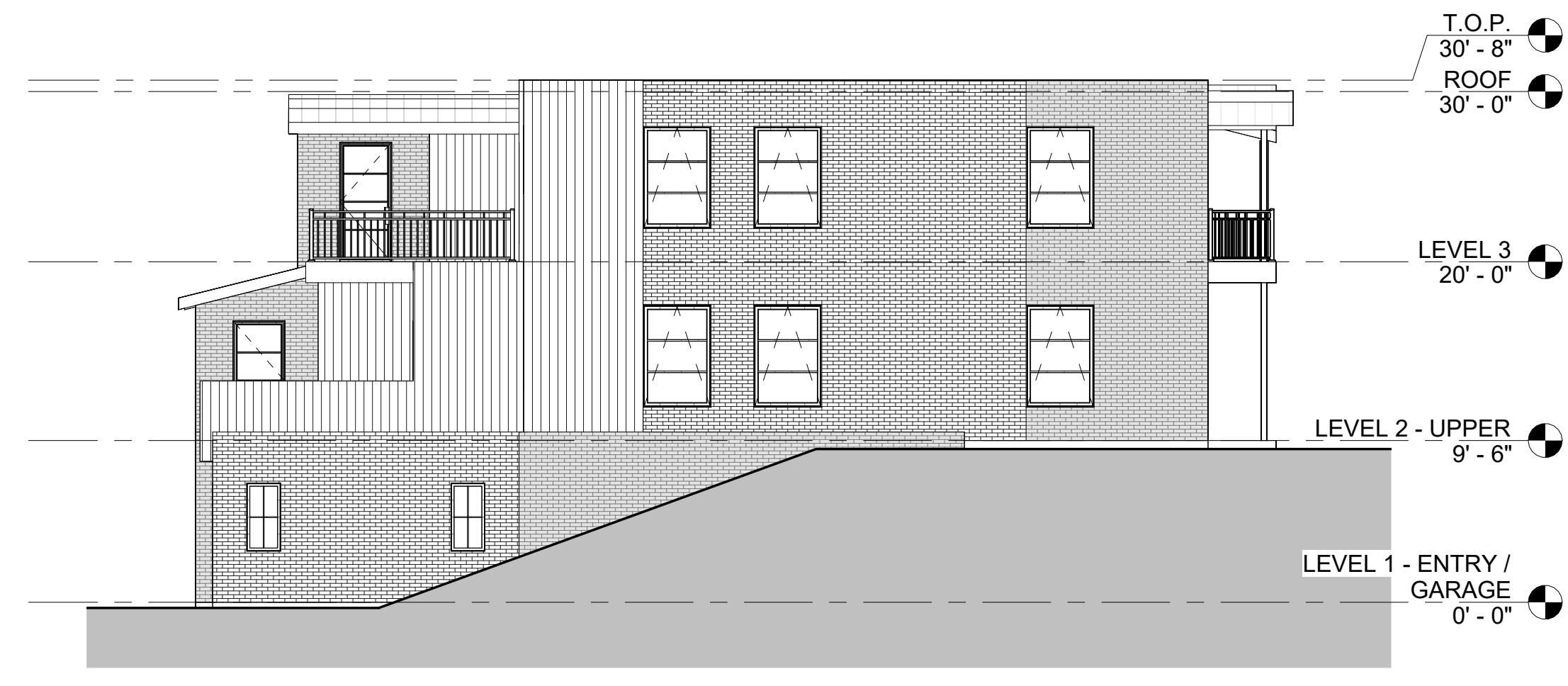
REVISION		
#	Revision Date	Revision Description

MARINA VILLAGES
 HENRY M. CHANDLER DR.
 ROCKWALL, TX 75087
 Project number 2023-019 Date 6.2.2023
ELEVATIONS CLUSTER B5
 Scale: As indicated

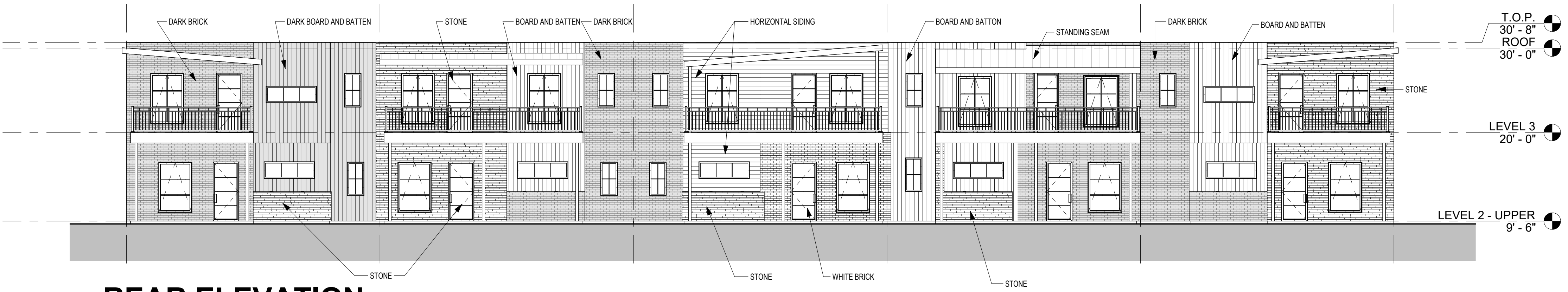
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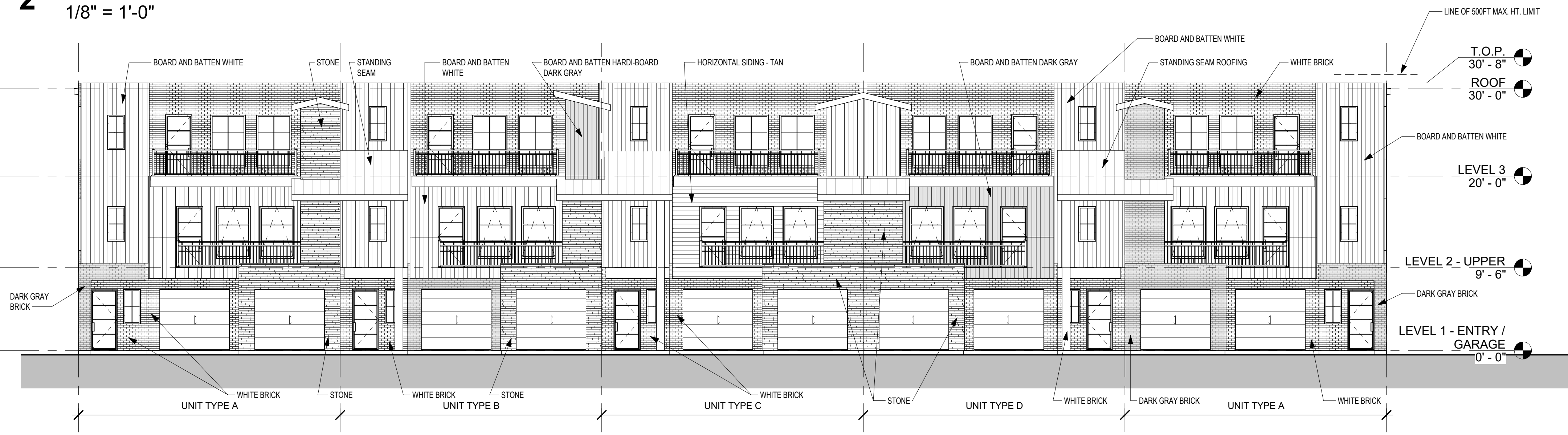
4 LEFT SIDE ELEVATION
 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION
 1/8" = 1'-0"



2 REAR ELEVATION
 1/8" = 1'-0"



1 GARAGE / LAKE VIEWSIDE (FRONT)
 1/8" = 1'-0"
 ELEVATION CLUSTER B5

MATERIAL CALCULATIONS CLUSTER B5		
	AREA	%
FRONT ELEVATION	3,802	100.0%
MASONRY	2,430	63.9%
HARDI BOARD	1,372	36.1%
LEFT ELEVATION	1,154	100.0%
MASONRY	887	76.9%
HARDI BOARD	267	23.1%
BACK ELEVATION	2,624	100.0%
MASONRY	1,463	55.8%
HARDI BOARD	1,161	44.2%
RIGHT ELEVATION	1,133	100.0%
MASONRY	864	76.3%
HARDI BOARD	269	23.7%

6/15/2023 10:59:03 AM

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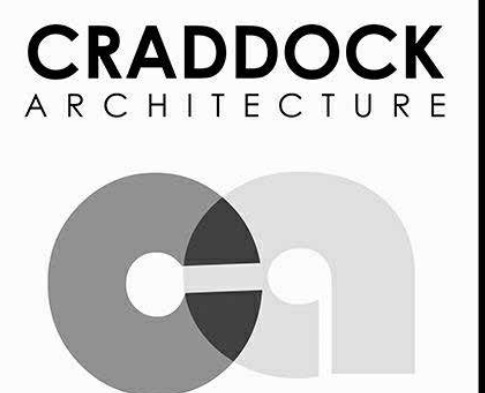


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WITNESS OUR HANDS, this ____ day of _____, 2023.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



6.15.2023
 ARCHITECT: PHIL CRADDOCK



CRADDOCK ARCHITECTURE
 P.O. BOX #188 Rockwall, TX 75087 214-952-0527
MARINA VILLAGES

MARINA VILLAGES
 HENRY M. CHANDLER DR.
 ROCKWALL, TX 75087

Project number 2023-019 Date 6.2.2023
PERSPECTIVES CLUSTER B5

REVISION	
#	Revision Description

A101

6/15/2023 10:59:04 AM

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Scale: 1" = 1'-0"

GENERAL CONSTRUCTION NOTES

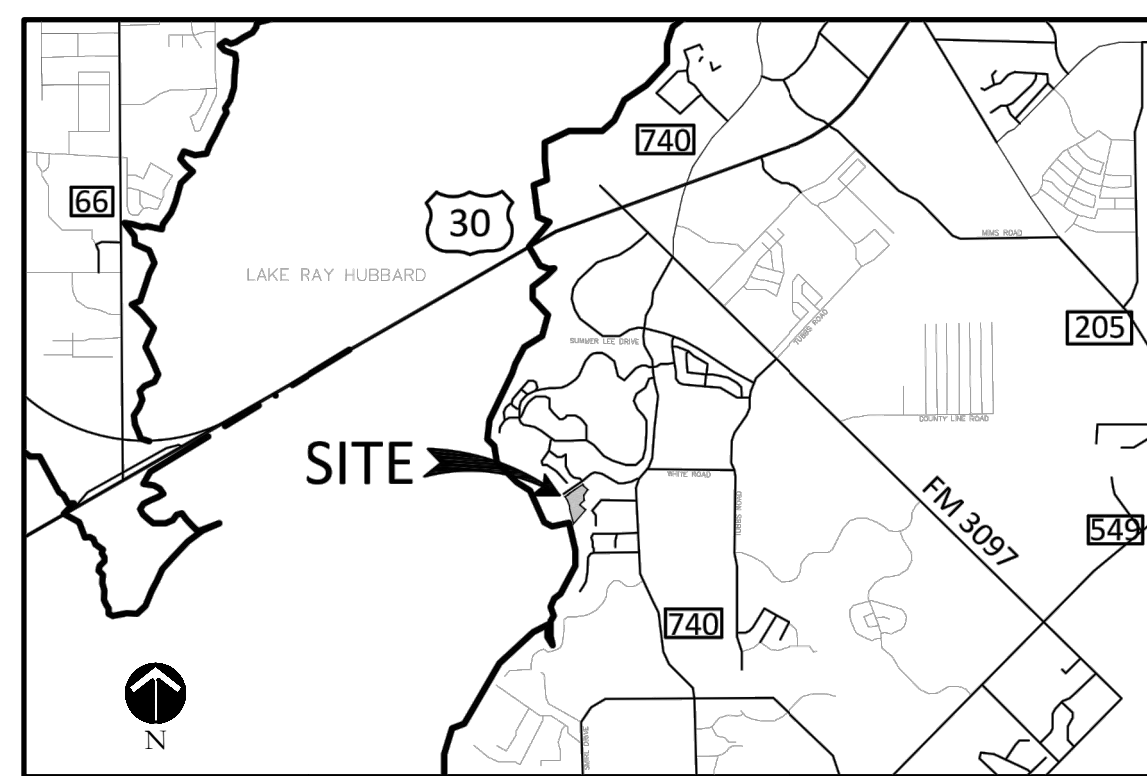
- ALL CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS.
- BEFORE ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARD SPECIFICATIONS, DETAILS, AND CITY STANDARDS.
- TESTING AND INSPECTION OF MATERIALS SHALL BE PERFORMED BY A COMMERCIAL TESTING LABORATORY APPROVED BY THE CLIENT AND CITY. CONTRACTOR SHALL FURNISH MATERIALS OR SPECIMENS FOR TESTING, AND SHALL FURNISH SUFFICIENT EVIDENCE THAT THE MATERIALS PROPOSED TO BE INCORPORATED INTO THE WORK ARE IN ACCORDANCE WITH THE SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO BEGINNING ANY CONSTRUCTION.
- CONTRACTOR MUST KEEP AVAILABLE ON-SITE AT ALL TIMES APPROVED CONSTRUCTION PLANS AND COPIES OF ANY REQUIRED PERMITS ALONG WITH THE CURRENT VERSIONS OF THE FOLLOWING REFERENCES: CITY OF ROCKWALL ENGINEERING STANDARDS, NCTCOG SPECIFICATIONS, TXDOT SPECIFICATIONS, AND STANDARD DRAWINGS.
- ALL SHOP DRAWINGS, WORKING DRAWINGS OR OTHER DOCUMENTS WHICH REQUIRE REVIEW BY THE CITY SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF SCHEDULED CONSTRUCTION TO ALLOW NO LESS THAN 14 CALENDAR DAYS FOR REVIEW AND RESPONSE BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED CONSTRUCTION SURVEYING AND STAKING AND SHALL NOTIFY THE CLIENT AND CITY OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL SURVEY MARKERS INCLUDING IRON RODS, PROPERTY CORNERS, OR SURVEY MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION AND OUTSIDE ROW DURING CONSTRUCTION. ANY SURVEY MARKERS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND DRIVEWAYS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS AT ALL TIMES. CONTRACTOR SHALL CLEAN UP AND REMOVE ALL LOOSE MATERIAL RESULTING FROM CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST.
- THE EXISTENCE AND LOCATIONS OF THE PUBLIC AND FRANCHISE UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND / OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PUBLIC AGENCIES AND FRANCHISE UTILITIES 48 HOURS PRIOR TO CONSTRUCTION. (DIG-TESS 1-800-344-8377) THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT NO COST TO THE CITY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO UTILITIES IF THE DAMAGE IS CAUSED BY NEGLIGENCE OR FAILURE TO HAVE LOCATES PERFORMED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES OR ADJACENT PROPERTIES DURING CONSTRUCTION. ANY REMOVAL OR DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED OR REPAIRED TO EQUAL OR BETTER CONDITION BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL TEMPORARY AND PERMANENT TRAFFIC CONTROL IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST REVISION OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) AND TXDOT BARRICADE AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL NOT IMPEDE TRAFFIC ON EXISTING STREETS, DRIVEWAYS, ALLEYS, OR FIRE LANES OPEN TO THE PUBLIC. IN THE EVENT THE CONSTRUCTION WORK REQUIRES THE CLOSURE OF AN EXISTING STREET, ALLEY, OR FIRE LANE, THE CONTRACTOR SHALL REQUEST THE ROAD CLOSURE THROUGH THE CITY TRAFFIC DIVISION.
- CONTRACTOR SHALL NOT STORE MATERIALS, EQUIPMENT OR OTHER CONSTRUCTION ITEMS ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE PROPERTY OWNER AND THE CITY.
- TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE REMOVAL OF EXISTING FENCING. TEMPORARY FENCING SHALL BE REMOVED AFTER PROPOSED FENCING IS APPROVED BY THE CITY. ALL TEMPORARY AND PROPOSED FENCING LOCATIONS SHALL BE SUBJECT TO FIELD REVISIONS AS DIRECTED BY THE CITY.
- UNUSABLE EXCAVATED MATERIAL, OR CONSTRUCTION DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED DISPOSAL FACILITY BY THE CONTRACTOR AT HIS EXPENSE.
- CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES. WHEN NECESSARY, TREES AND SHRUB TRIMMING FOR CONSTRUCTION SHALL BE PERFORMED BY CERTIFIED TREE WORKER OR UNDER THE DIRECTION OF A REGISTERED LANDSCAPE ARCHITECT OR CERTIFIED ARBORIST.
- EROSION CONTROL DEVICES SHALL BE INSTALLED ON ALL PROJECTS PRIOR TO BEGINNING CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN A CONDITION ACCEPTABLE TO THE CITY.
- CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING LANDSCAPE IRRIGATION SYSTEMS. DAMAGE TO EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY OR CLIENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN A NEAT AND ACCURATE RECORD OF CONSTRUCTION FOR THE CLIENT'S AND CITY'S RECORDS.

CONSTRUCTION PLANS FOR SCREENING AND BUFFERING

~MARINA VILLAGE TOWNHOMES~

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SUBMITTAL DATE: October 27, 2022



LOCATION MAP
NOT TO SCALE

SHEET INDEX	
L1	OVERALL LAYOUT PLAN
L2-L6	HARDSCAPE & LANDSCAPE PLANS
L7-L8	HARDSCAPE DETAILS
L9	LANDSCAPE DETAILS
IR1-IR5	IRRIGATION PLANS
IR6-IR7	IRRIGATION DETAILS

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

LANDSCAPE ARCHITECT:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100
CONTACT: CODY JOHNSON, RLA, ASLA, LI

OWNER / DEVELOPER:

LTL FAMILY HOLDINGS, LLC
WILLIAM JOHNSON
14918 MYSTIC TERRACE LANE
CYPRUS, TEXAS 77429
PH. (713) 325-4294

CIVIL ENGINEER:

JOHNSON VOLK CONSULTING
704 CENTRAL PARKWAY EAST, SUITE 1200
PLANO, TEXAS 75074
PH. (972) 201-3100

GENERAL LANDSCAPE NOTES:

INSPECTIONS:

- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT-CONTACT THE PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
- THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

LANDSCAPE STANDARDS:

- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC R.O.W. VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
- A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
- STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
- THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
- TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
- A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
- TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
- ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL FILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
- ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
- NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AND ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

IRRIGATION STANDARDS:

- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY.
- CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
- IRRIGATION OVER-SPRAY ON STREETS AND WALKS IS PROHIBITED.
- MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
- ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
- VALVES SHALL BE LOCATED A MINIMUM OF (5') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
- THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
- IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES; SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
- NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

MAINTENANCE STANDARDS:

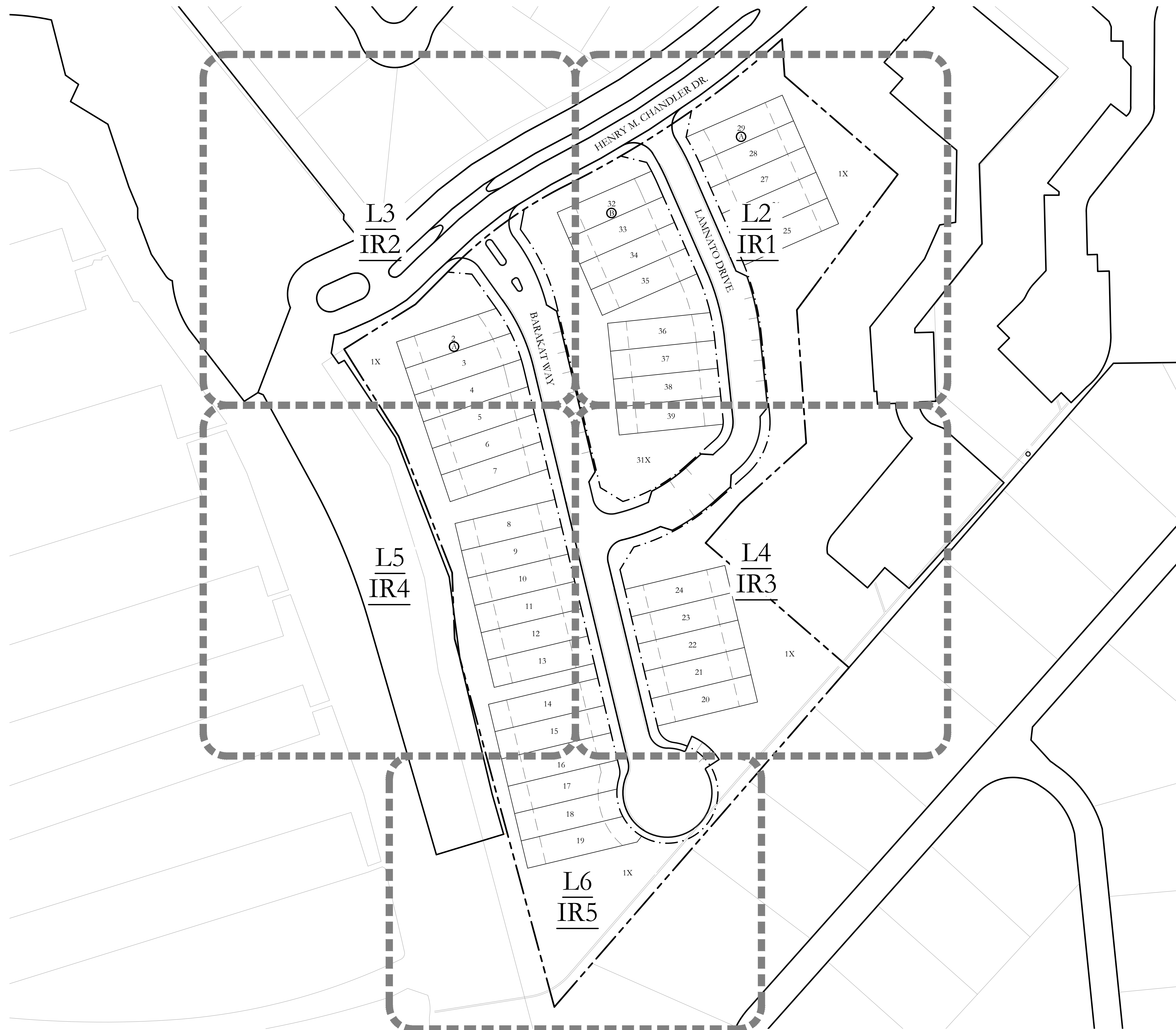
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
- LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
- NO PLANT MATERIAL SHALL BE ALLOWED TO ENCROACH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
- TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
- TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

TREE PROTECTION NOTES:

- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4") TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HULDED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.



F:\civil_3\projects\mp - marina villas - townhomes - rockwall\landscape\mp2209 - ls - l5.dwg

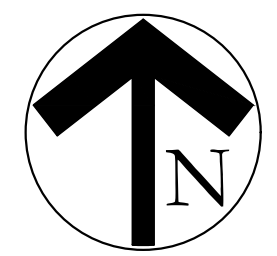
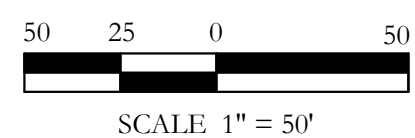


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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



SCALE:
1" = 50'
One Inch
JVC No MJP2209

L1 of 9



October 27, 2022

SCREENING AND BUFFERING
OVERALL LAYOUT PLAN

MARINA VILLAGE TOWNHOMES
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

**JOHNSON VOLK
CONSULTING**
704 Central Parkway East | Suite 1200 | Plano, TX 75074 | 972.201.3100
TBPELS: Engineering Firm No. 11962 / Land Surveying Firm No. 10194033

CITY PROJECT NO. - SP2022-059



HARDSCAPE LEGEND

	6'-0" HT. MAIN ENTRY MONUMENT REFER TO DETAILS 1/1.7.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&2/1.8.

NOTE:
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

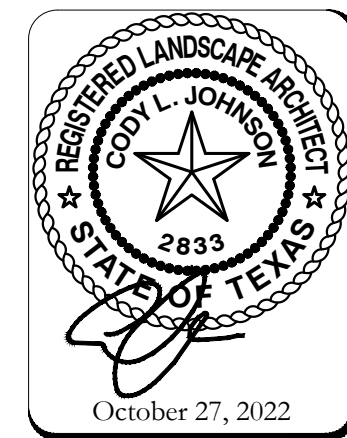
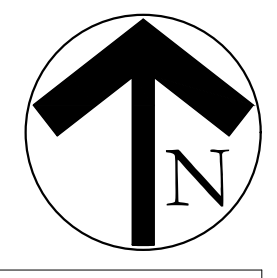
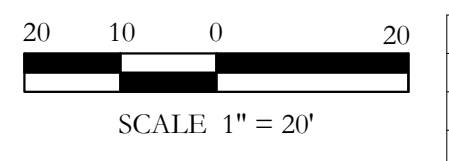
NOTE:
ALL GROUND-MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED WITH EVERGREEN SHRUBS A MINIMUM OF 36" HT. AT TIME OF PLANTING.

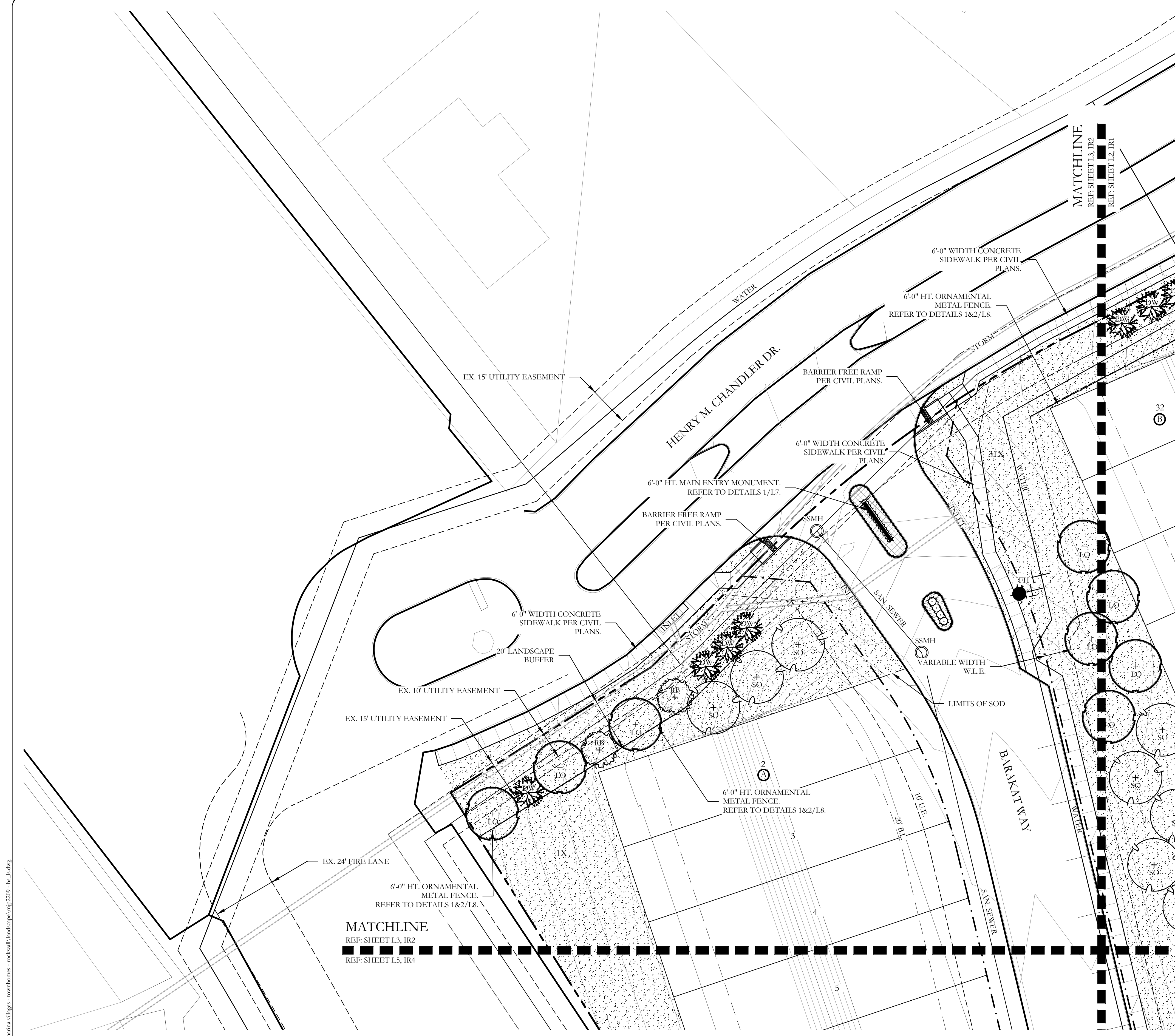
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning





HARDSCAPE LEGEND

	6'-0" HT. MAIN ENTRY MONUMENT REFER TO DETAILS 1/1.7.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&2/L.8.

NOTE:
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

PLANT LEGEND

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	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
	CE	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN
	DW	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN
	RB	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN
		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

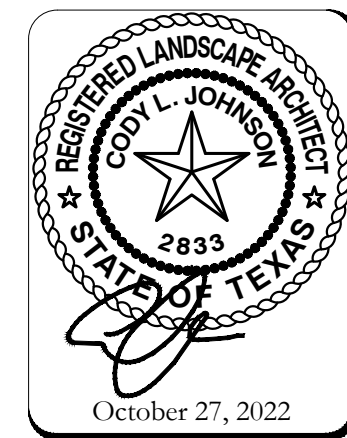
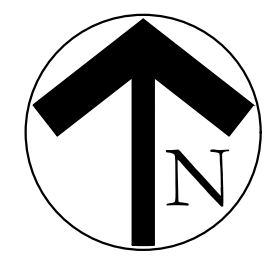
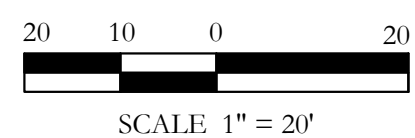
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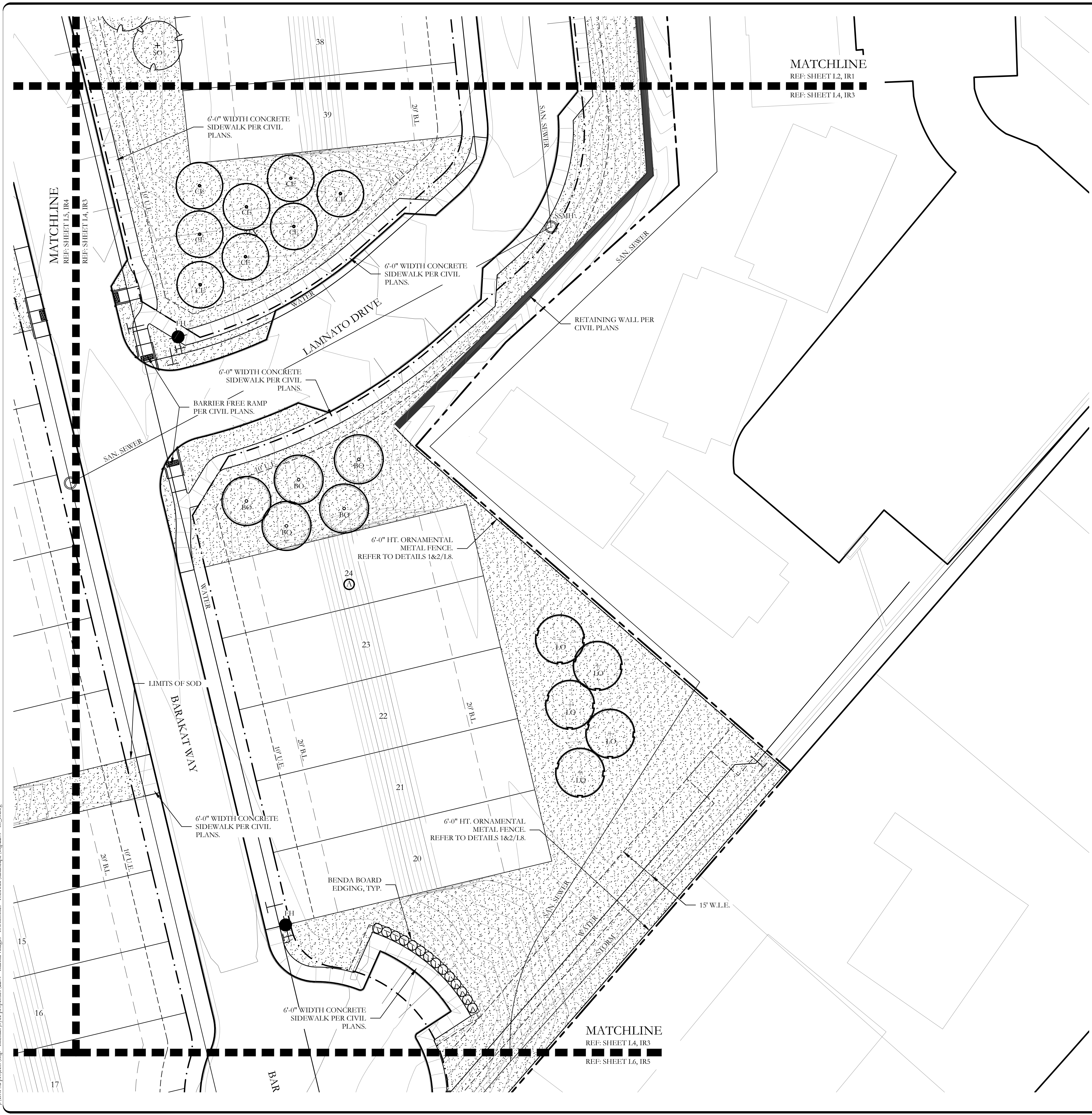
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



P:\civil_3\projects\imp - michael jovic\properties\2209 - marina villages - townhomes - rockwall\landscaps\imp2209 - hv_hdwg



HARDSCAPE LEGEND

	6'-0" HT. MAIN ENTRY MONUMENT REFER TO DETAILS 1/1.7.
	6'-0" HT. ORNAMENTAL METAL FENCE. REFER TO DETAILS 1&2/1.8.

NOTE:
REFER TO CIVIL ENGINEERING PLANS FOR RETAINING WALL AND SIDEWALK LAYOUT AND DETAILS.

PLANT LEGEND

SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING
	LO	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN
	SO	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN
	BO	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN
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		TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.
		SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.
		LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.
		ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.
		COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD

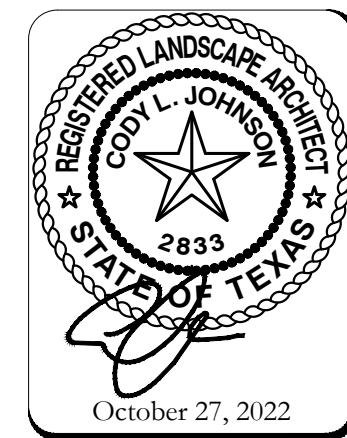
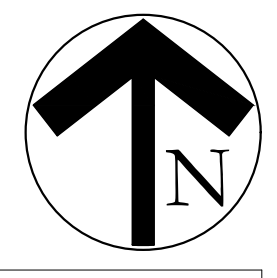
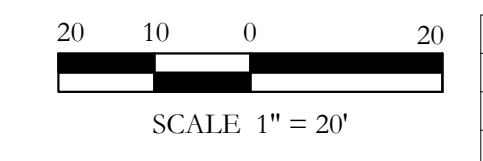
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WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning





HARDSCAPE LEGEND

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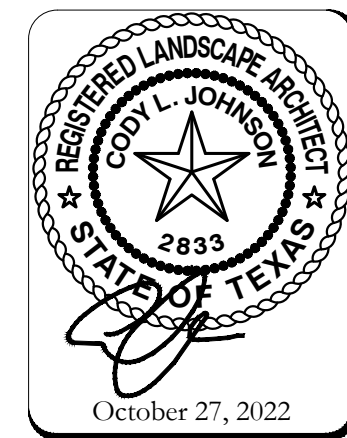
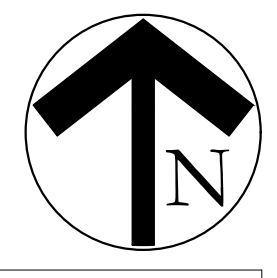
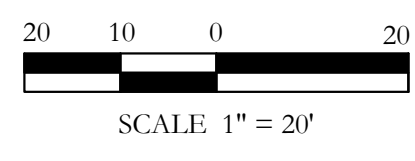
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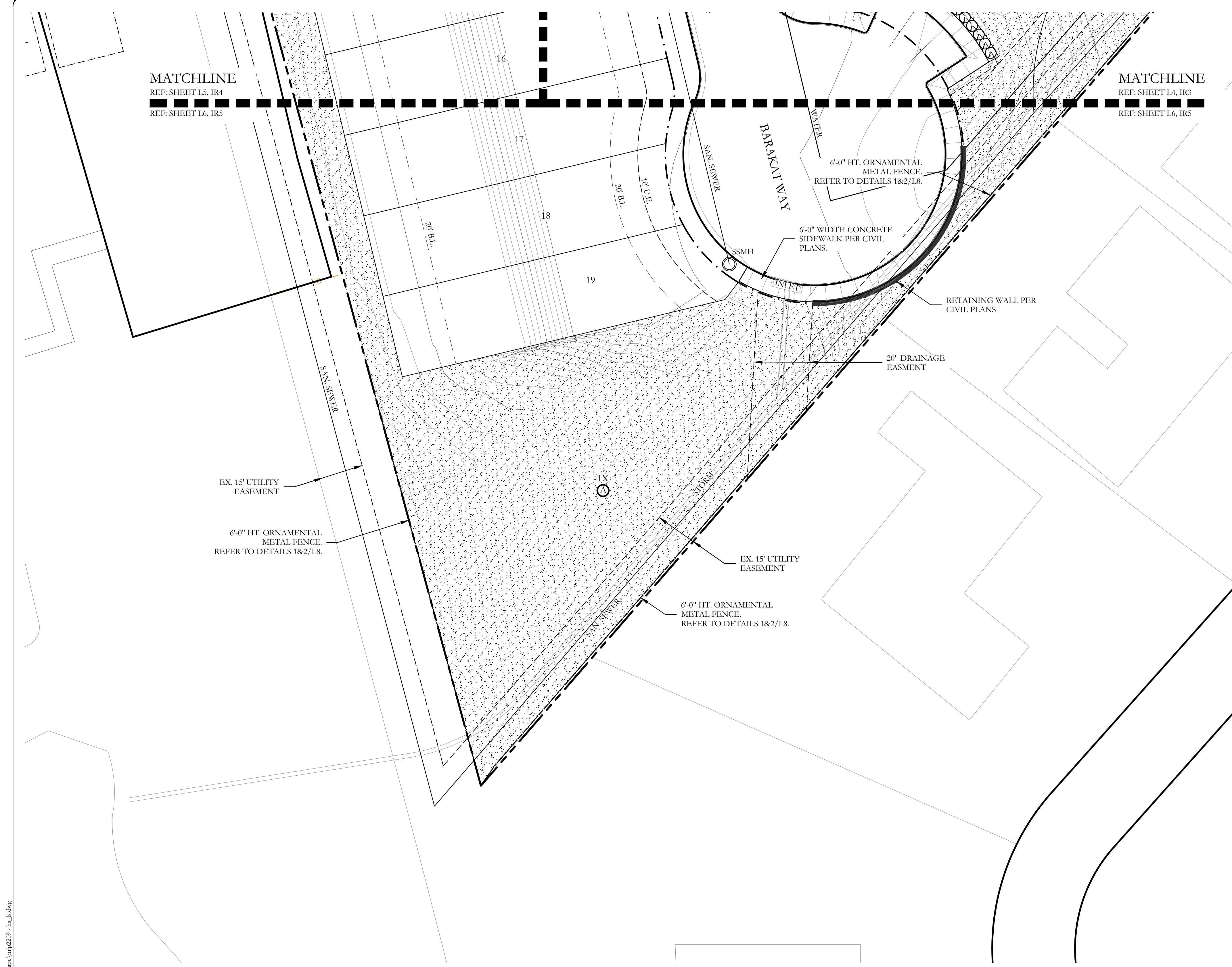
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning



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HARDSCAPE LEGEND

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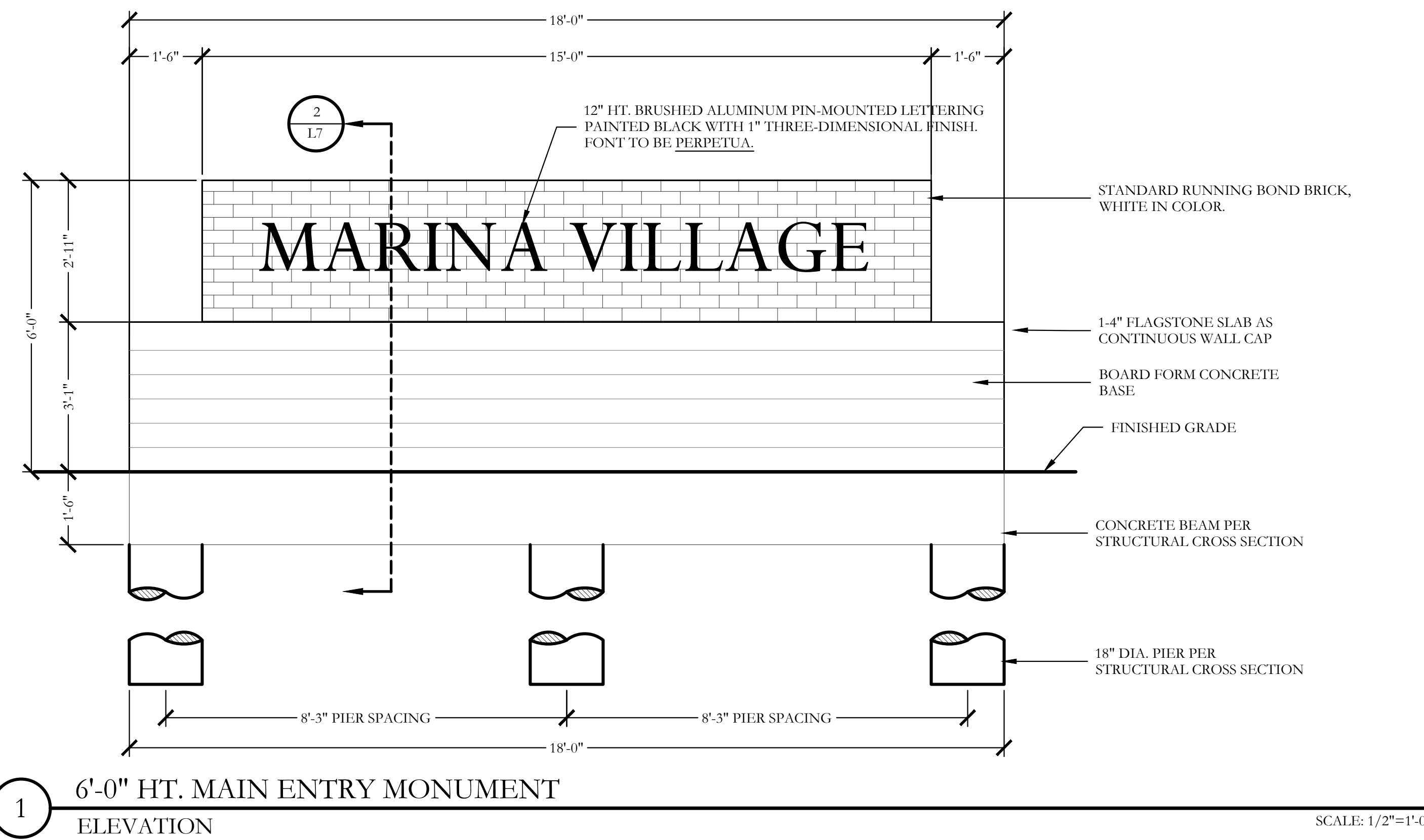
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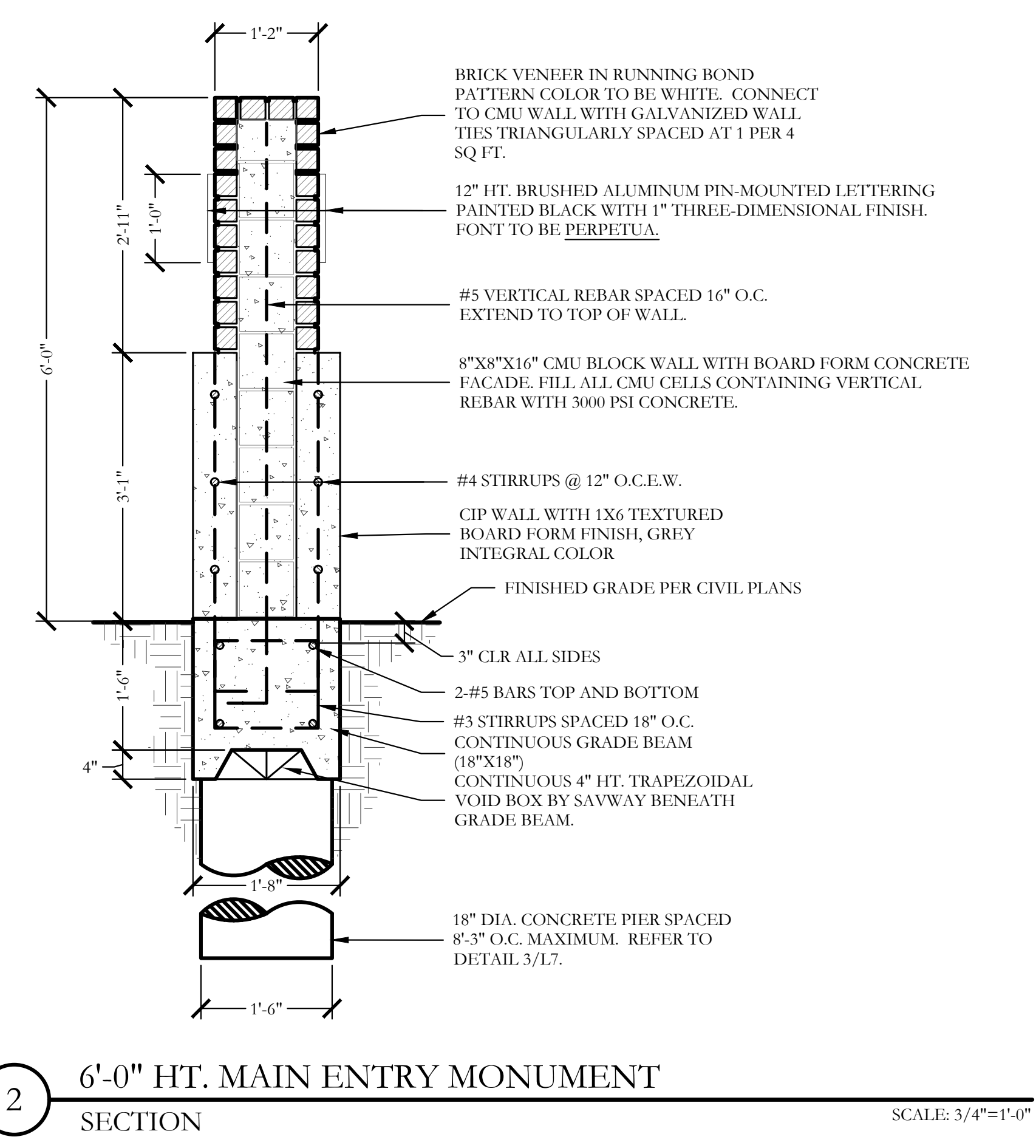


1 6'-0" HT. MAIN ENTRY MONUMENT
ELEVATION

SCALE: 1/2"=1'-0"

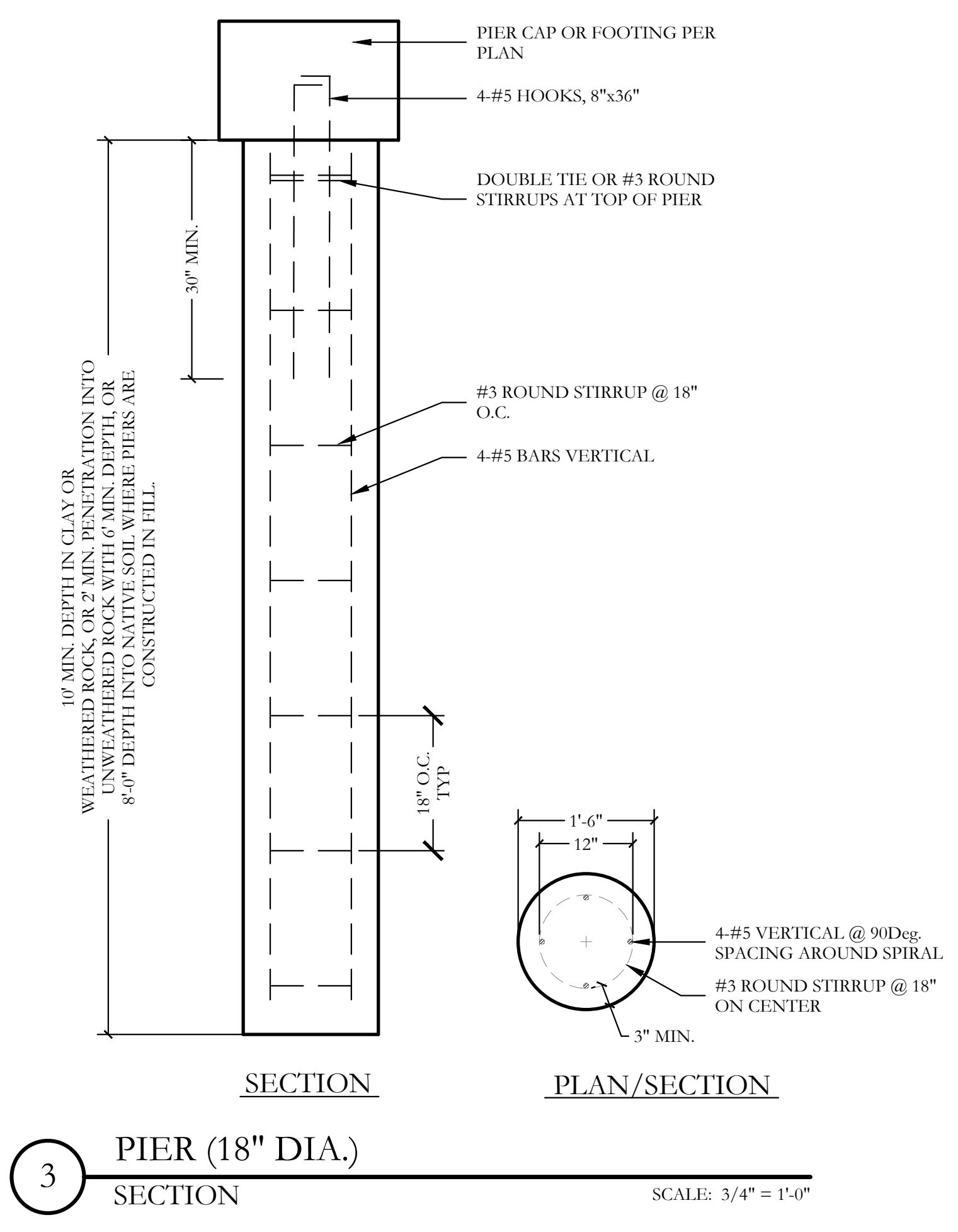
GENERAL NOTES - HARDSCAPE CONSTRUCTION

- CAST-IN-PLACE CONCRETE**
- ALL CONCRETE SHALL BE 3000 PSI, NORMAL WEIGHT, 28 DAY STRENGTH WITH A 4 TO 6 INCH SLUMP. THE CEMENT SHALL BE TYPE 1 AND SHALL CONFORM TO ASTM C150. AGGREGATES SHALL CONFORM TO ASTM C33.
 - ALL MIXING, TRANSPORTING, PLACING, AND CURING OF CONCRETE SHALL COMPLY WITH ACI 318.
 - CONCRETE SHALL NOT BE PLACED IN RAINING OR FREEZING WEATHER.
 - CHLORIDES SHALL NOT BE USED.
 - MAXIMUM AGGREGATE SIZE = 1".
- CONCRETE REINFORCING STEEL**
- ALL REINFORCEMENT SHALL CONFORM TO ASTM A615 60 GRADE AND DEFORMED PER ASTM A305. PROVIDE 3/8 BAR DIAMETER LAP SPLICES FOR ALL CONTINUOUS BARS UNLESS NOTED OTHERWISE.
 - PROVIDE THE FOLLOWING MINIMUM COVER FOR CONCRETE CAST IN PLACE REINFORCEMENT:
 - CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - (A) BARS LARGER THAN NO. 5: 2 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1-1/2 INCHES
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLABS, WALLS AND JOISTS
 - (A) BARS LARGER THAN NO. 11: 1-1/2 INCHES
 - (B) BARS NO. 11 AND SMALLER: 3/4 INCHES
 - BEAMS AND COLUMNS: 1-1/2 INCHES
 - SHELLS AND FOLDED PLATES
 - (A) BAR LARGER THAN NO. 5: 3/4 INCHES
 - (B) BARS NO. 5 AND SMALLER: 1/2 INCHES
 - ALL REINFORCING STEEL SHALL BE CLEAN AND FREE OF GREASE.
- DRILLED PIERS**
- PIERS NOT SPECIFICALLY LOCATED ON THE PLAN SHALL BE CENTERED ON WALL OR BEAM.
 - PIER REINFORCING AND CONCRETE SHALL BE PLACED IMMEDIATELY OR TO WITHIN A MAXIMUM OF 8 HOURS AFTER DRILLING IS COMPLETE.
 - STEEL CASING IS REQUIRED WHEN MORE THAN 2 INCHES OF STANDING WATER IS PRESENT AT THE BOTTOM OF THE SHAFTS PRIOR TO PLACEMENT OF STEEL AND CONCRETE.
 - PROVIDE 64 BAR DIAMETER LAP SPLICES IN ALL VERTICAL PIER REINFORCING AS REQUIRED
 - PROVIDE PIER TO GRADE BEAM DOWELS TO MATCH SIZE, QUANTITY, AND LOCATION OF LONGITUDINAL PIER REINFORCING. MIN DOWEL PROJECTION INTO PIER = 30 BAR DIA. MIN DOWEL PROJECTION INTO BEAM = TOP LONGITUDINAL GRADE BEAM REINFORCING. PROVIDE STANDARD HOOK AT TERMINAL END OF DOWEL IN GRADE BEAM.
- STRUCTURAL CONCRETE MASONRY UNIT**
- CONCRETE MASONRY UNITS SHALL BE HOLLOW LOAD-BEARING TYPE N-1 CONFORMING TO ASTM C90 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI.
 - CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM PRISM STRENGTH OF 1500 PSI AT 28 DAYS.
 - MORTAR SHALL BE ASTM C270, TYPE S, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI IN ACCORDANCE WITH ASTM C780. MASONRY CEMENT IS PROHIBITED.
 - COARSE GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AND A MAXIMUM AGGREGATE SIZE OF 1/2" IN ACCORDANCE WITH ASTM C476. REFER TO DETAILS FOR WALL REINFORCING BAR SIZE AND SPACING.
 - REINFORCE HORIZONTAL JOINTS WITH GALVANIZED LADDER-TYPE STEEL IN ACCORDANCE WITH ANSI/ASTM A82. SIDE AND CROSS RODS SHALL BE 9 GA MINIMUM.
 - HORIZONTAL REINFORCEMENT SHALL BE SPACED AT 16" MAXIMUM. PROVIDE A 16" LAP AT SPLICES.
 - JOINT REINFORCING SHALL BE DISCONTINUOUS AT CONTROL AND EXPANSION JOINTS.
 - LAP VERTICAL REINFORCING BARS AT 72 BAR DIAMETERS.
 - LAP HORIZONTAL REINFORCING BARS AT 48 BAR DIAMETERS.
 - PLACE GROUT USING LOW-LIFT METHOD, 6'-8" MAXIMUM LIFTS.



2 6'-0" HT. MAIN ENTRY MONUMENT
SECTION

SCALE: 3/4"=1'-0"



3 PIER (18" DIA.)
SECTION

SCALE: 3/4"=1'-0"

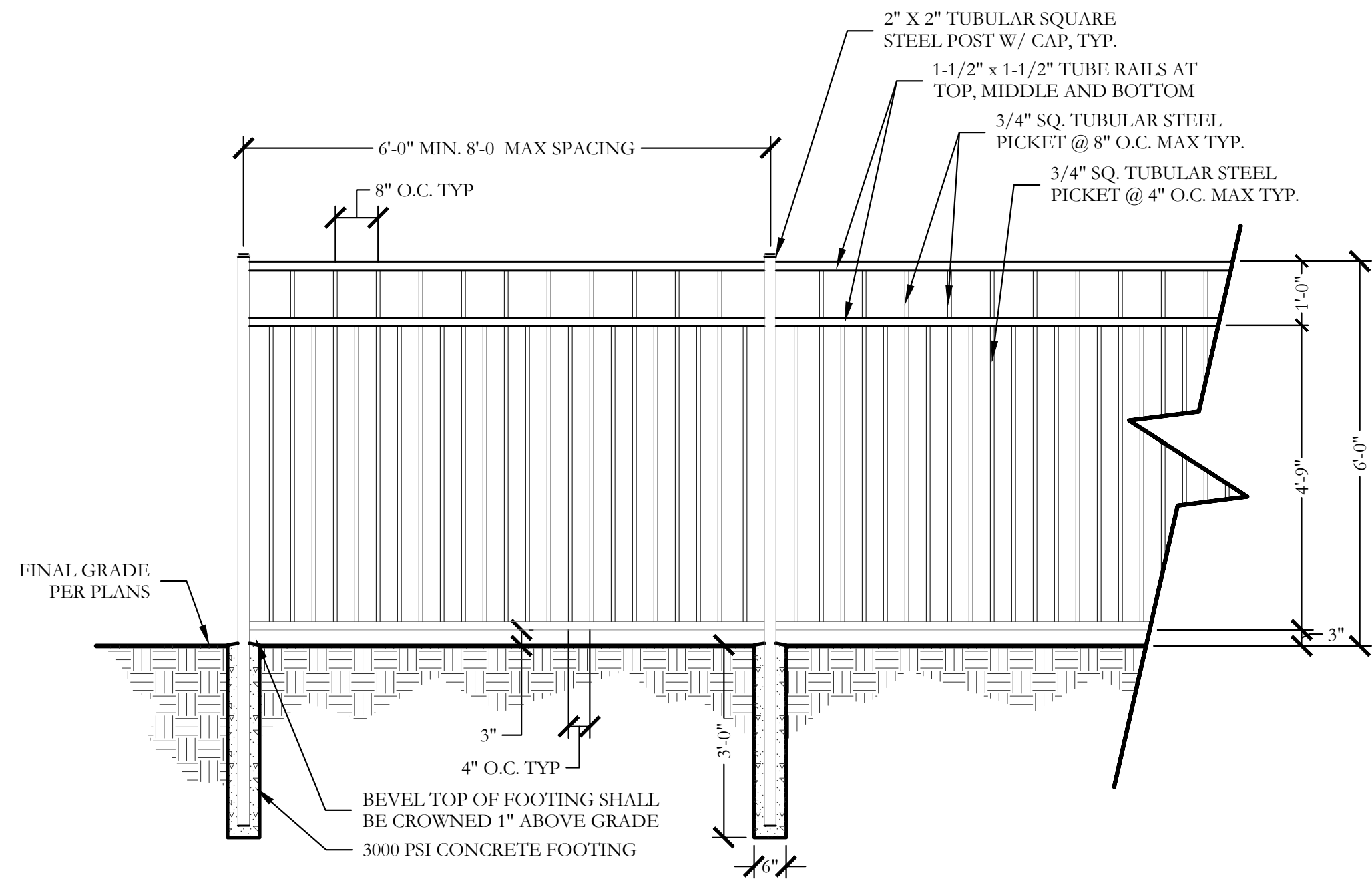
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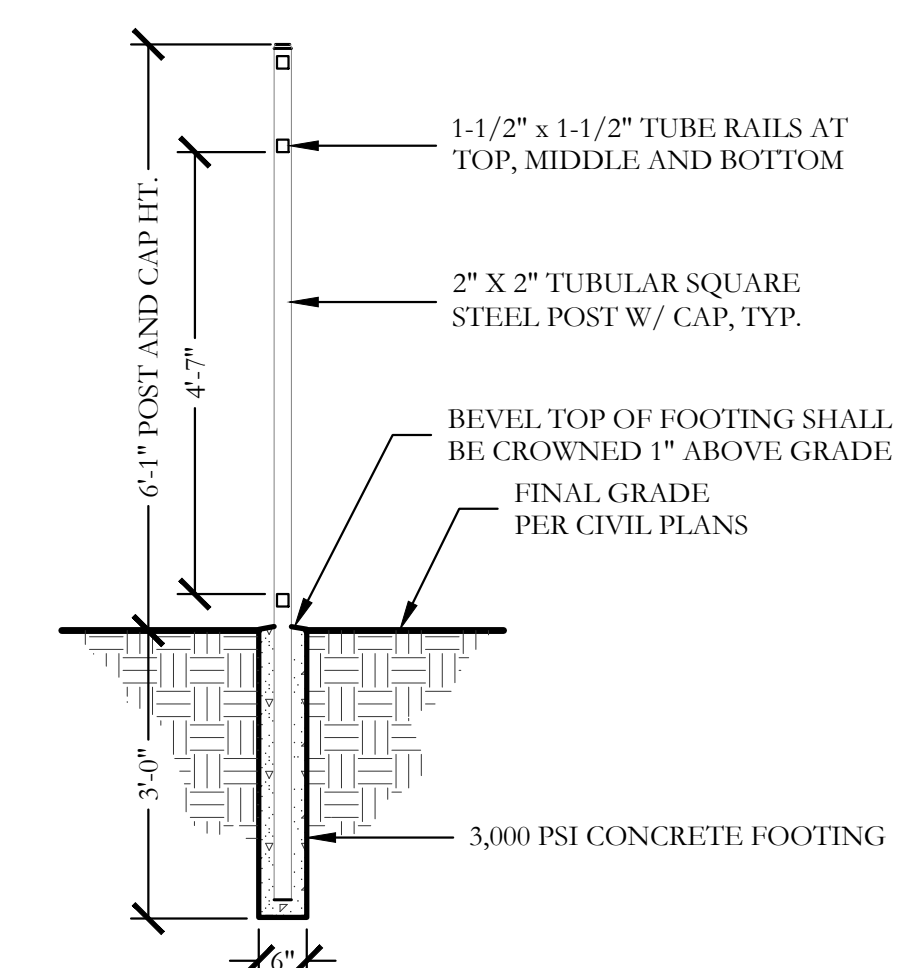
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

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1 6'-0" HT. ORNAMENTAL METAL FENCE ELEVATION SCALE: 1/2"=1'-0"



2 TYP. METAL POST FOOTING SECTION SCALE: 1/2"=1'-0"

ORNAMENTAL METAL FENCE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES EITHER SHOWN OR NOT SHOWN ON THE PLANS. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID UTILITIES AND STRUCTURES CAUSED BY HIS FORCES.
2. ALL CONCRETE USED IN FOOTING AND PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND TOWN INSPECTIONS.
4. ALL ORNAMENTAL METAL TUBES, POSTS, RAILS AND PICKETS SHALL BE FLUSH AND FREE OF ALL DENTS, SPURS, AND SHARP EDGES AND SHALL BE INSTALLED LEVEL, PLUMB, AND SQUARE.
5. PROVIDE CONTINUOUS WELDS ALONG ALL EDGES OF FENCE MEMBERS.
6. GRIND SMOOTH ALL WELDS.
7. ALL METAL SURFACES SHALL BE PRIMED AND PAINTED WITH TWO COATS OF RUSTPROOF PAINT, COLOR TO BE FLAT BLACK. CONTRACTOR TO SUBMIT SAMPLES AS REQUIRED.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS BEFORE MANUFACTURING GATES AND FENCE. GATE LOCKING MECHANISM SHALL BE SELECTED BY OWNER.
9. ALL ORNAMENTAL METAL FENCE MEMBERS ARE TO BE TUBULAR MEMBERS IN ACCORDANCE WITH ASTM 513 HOT ROLLED STRUCTURAL STEEL 50,000 PSI TENSILE STRENGTH, 60,000 PSI YIELD STRENGTH.
10. FENCE MEMBER SIZES TO BE AS FOLLOWS:
 - 10.1. PICKETS, 3/4" SQUARE 16 GA.
 - 10.2. RAILS, 1-1/2" X 1-1/2" SQUARE 16 GA.
 - 10.3. POSTS, 2" SQUARE 11 GA.
11. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL FENCE GATES AND OPENERS. SHOP DRAWINGS SHALL INCLUDE ALL PRODUCT CUT SHEETS AS WELL AS INSTALLATION AND MANUFACTURING DETAILS. CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL DESIGN OF GATES.
12. CONCRETE FOOTING FOR POSTS SHALL BE 3X POST WIDTH FOR 2" SQUARE POSTS AND 2X POST WIDTH FOR 6" SQUARE POSTS.
13. POSTS SHALL BE PLACED AT A MINIMUM DISTANCE OF 6'-0" O.C. AND A MAXIMUM DISTANCE OF 8'-0" O.C.
14. FENCE SHALL MEET LOCAL CODES AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE INCLUDING NECESSARY UPSIZING OF POSTS, PICKETS AND HORIZONTAL BARS AND INCREASING THE HEIGHT OF THE FENCE AS IT APPEARS IN THIS DETAIL AT NO ADDITIONAL COST TO THE OWNER FOR MATERIALS AND/OR LABOR.

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WITNESS OUR HANDS, this _____ day of _____, _____.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

LANDSCAPE PROVIDED

HENRY M. CHANDLER DR.

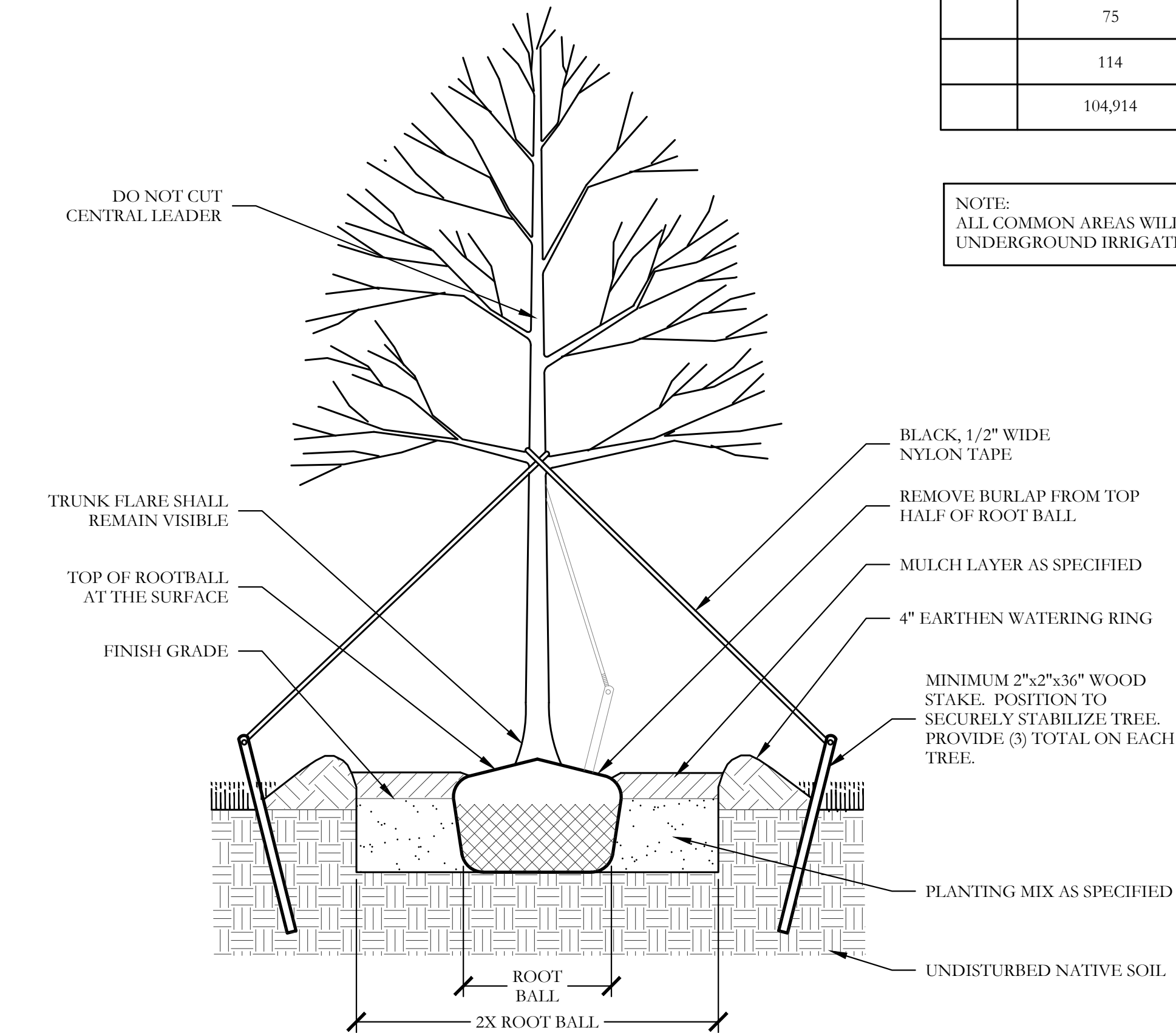
MINIMUM TEN (10) FOOT LANDSCAPE BUFFER PROVIDED

1 - 4" CAL. CANOPY TREE & 1 ACCENT TREE / 50 LF OF LINEAR FRONTAGE
576 LF OF FRONTAGE / 50 LF = 12 - 4" CAL. TREES & 12 ACCENT TREES REQUIRED
PROVIDED: 12 - 4" CALIPER CANOPY TREES & 13 ACCENT TREES PROVIDED

TREE MITIGATION

191.5 CAL. INCHES REMOVED

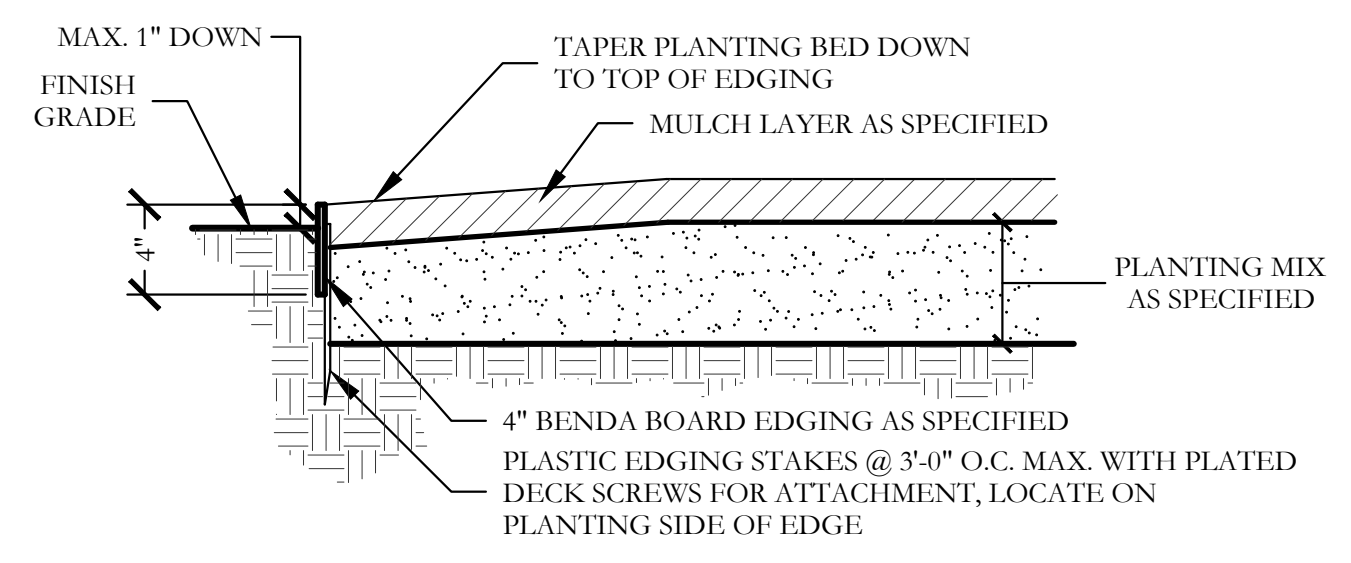
43 - 4" CAL. CANOPY TREES & 13 - 2" CAL. ACCENT TREES = 198 CAL. INCHES REPLACED.



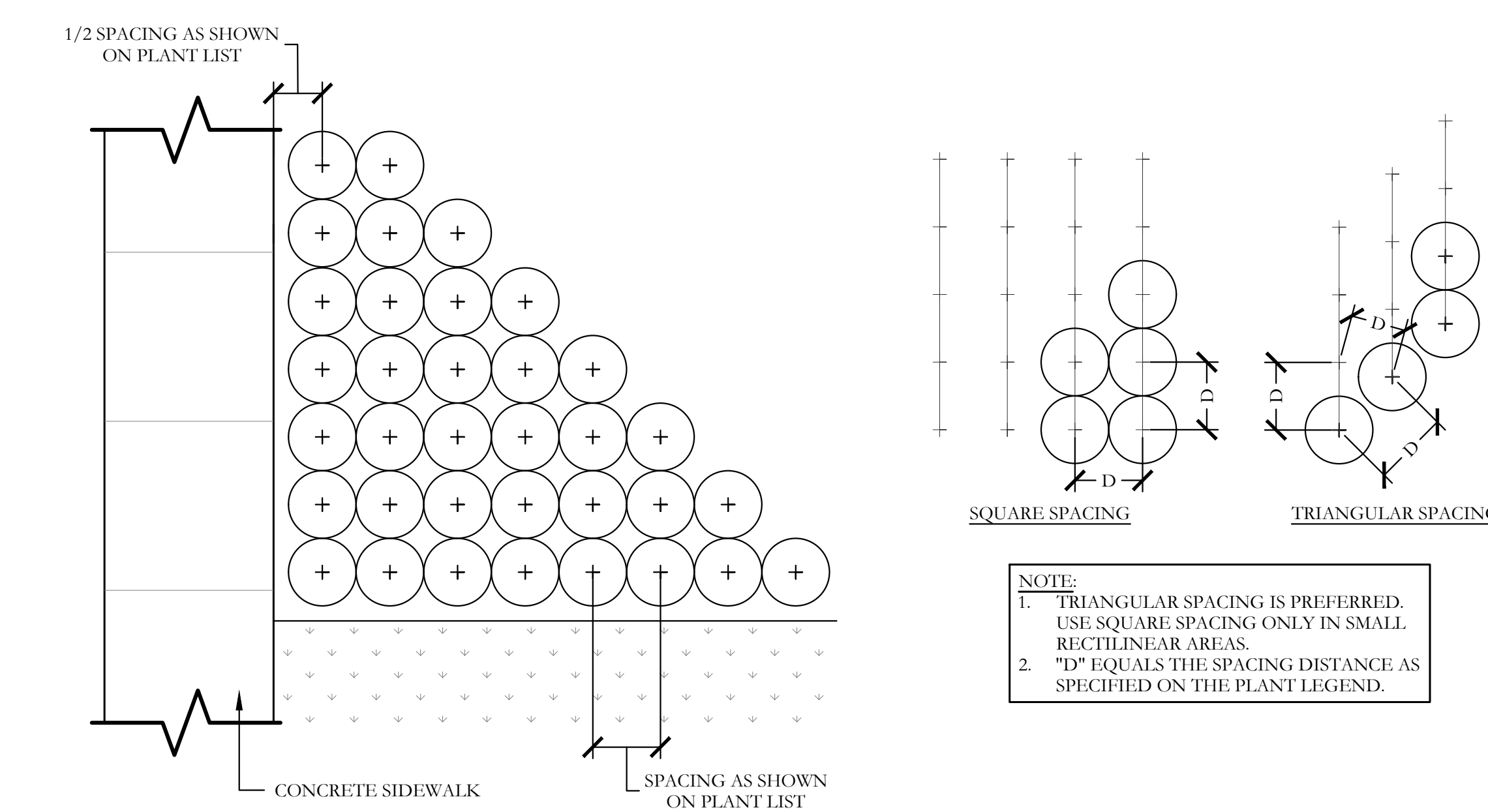
1 TYPICAL TREE PLANTING SECTION
NOT TO SCALE

NOTE:
ALL COMMON AREAS WILL RECEIVE PERMANENT UNDERGROUND IRRIGATION SYSTEM.

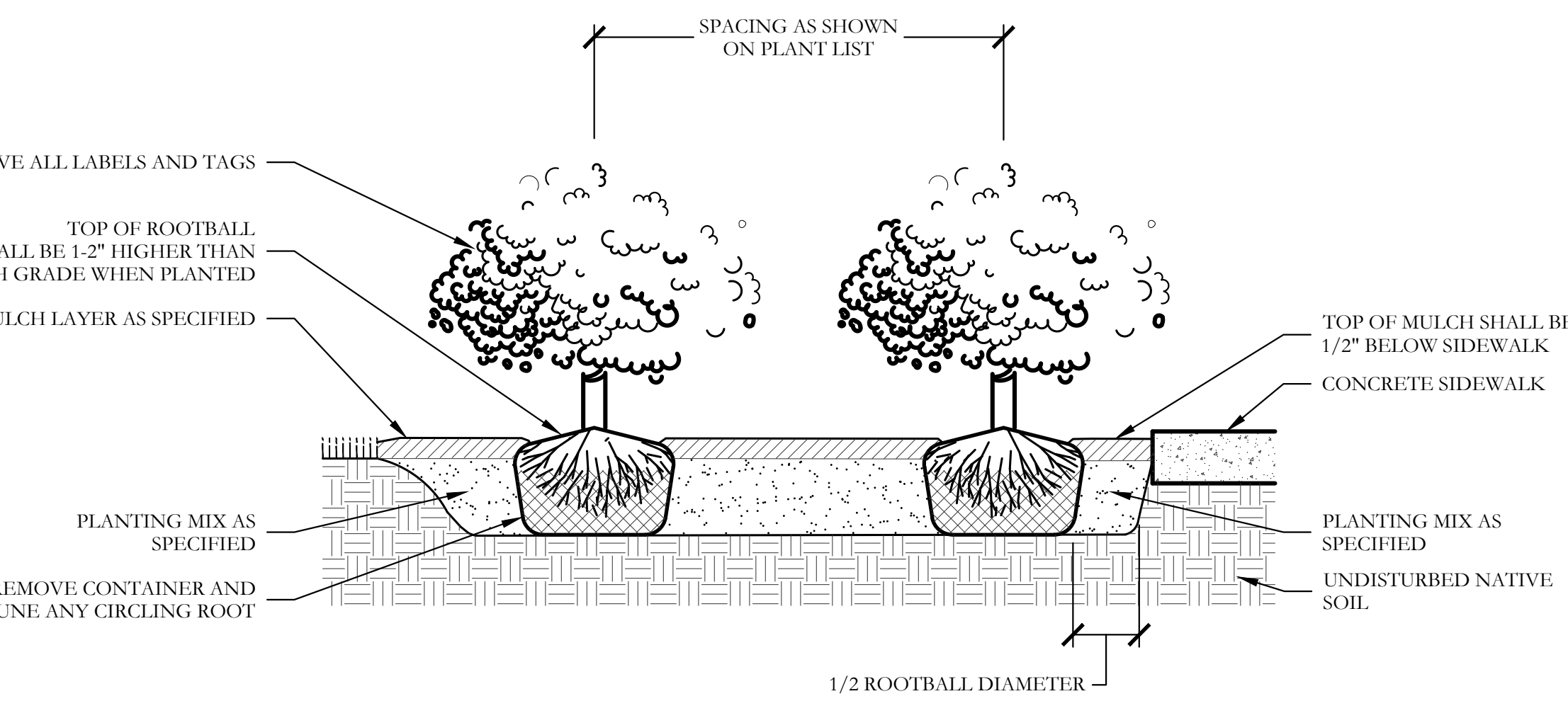
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3 TYPICAL BED EDGING DETAIL SECTION
NOT TO SCALE



2 TYPICAL SHRUB AND GROUND COVER PLANTING PLAN/SECTION
NOT TO SCALE



4 TYPICAL BED EDGING DETAIL SECTION
NOT TO SCALE

NOTE:
1. TRIANGULAR SPACING IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.
2. *D* EQUALS THE SPACING DISTANCE AS SPECIFIED ON THE PLANT LEGEND.

REMOVE ALL LABELS AND TAGS
TOP OF ROOTBALL SHALL BE 1-2" HIGHER THAN FINISH GRADE WHEN PLANTED
MULCH LAYER AS SPECIFIED
PLANTING MIX AS SPECIFIED
REMOVE CONTAINER AND PRUNE ANY CIRCLING ROOT
TOP OF MULCH SHALL BE 1/2" BELOW SIDEWALK
CONCRETE SIDEWALK
PLANTING MIX AS SPECIFIED
UNDISTURBED NATIVE SOIL
1/2 ROOTBALL DIAMETER

NOT TO SCALE

PLANT LIST						
KEY	ESTIMATED QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	REMARKS
LO	13	LIVE OAK	QUERCUS VIRGINIANA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
SO	11	SHUMARD OAK	QUERCUS SHUMARDII	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
BO	8	BUR OAK	QUERCUS MACROCARPA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
CE	11	CEDAR ELM	ULMUS CRASSIFOLIA	4" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM BRANCHING HEIGHT AT 6'-0"; MINIMUM 10'-0" OVERALL HEIGHT.
DW	7	DESERT WILLOW	CHILOPSIS LINEARIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
RB	6	TEXAS REDBUD	CERCIS CANADENSIS VAR. TEXENSIS	2" CALIPER	AS SHOWN	NURSERY GROWN; FULL HEAD; MINIMUM 8'-0" OVERALL HEIGHT.
	14	TEXAS SAGE	LEUCOPHYLLUM FRUTESCENS	7 GALLON	48" O.C.	CONTAINER GROWN; FULL PLANT.
	4	SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE 'SUNSHINE'	3 GALLON	36" O.C.	CONTAINER GROWN; FULL PLANT.
	75	LIRIOPE GRASS	LIRIOPE MUSCARI	1 GALLON	18" O.C.	CONTAINER GROWN; FULL PLANT.
	114	ANNUAL COLOR	TO BE SELECTED BY OWNER	4" POT	8" O.C.	CONTAINER GROWN; FULL PLANT.
	104,914	COMMON BERMUDA GRASS	CYNODON DACTYLON	SQUARE FEET	SOLID SOD	MINIMUM 100% COVERAGE ALL AREAS SHOWN

GENERAL LANDSCAPE NOTES

- INSPECTIONS:**
- NO EXCAVATION SHALL OCCUR IN CITY R.O.W. WITHOUT A R.O.W. PERMIT--CONTACT THE PUBLIC WORKS DEPARTMENT.
 - THE CONTRACTOR SHALL MARK ALL WATER LINES, SEWER LINES, AND TREE LOCATIONS PRIOR TO CALLING FOR ROW INSPECTION AND PERMIT.
 - THE LANDSCAPE INSTALLATION SHALL COMPLY WITH APPROVED LANDSCAPE DRAWINGS PRIOR TO FINAL ACCEPTANCE BY THE CITY AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 - WATER METERS, CLEANOUTS AND OTHER APPURTENANCES, SHALL BE ACCESSIBLE, ADJUSTED TO GRADE, CLEARLY MARKED WITH FLAGGING AND COMPLIANT WITH PUBLIC WORKS DEPARTMENT STANDARDS PRIOR TO CALLING FOR FINAL LANDSCAPE AND ROW INSPECTIONS.

- LANDSCAPE STANDARDS:**
- PLANTINGS AND LANDSCAPE ELEMENTS SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS, PUBLIC ROW VISIBILITY REQUIREMENTS, UNLESS OTHERWISE SPECIFIED. TREES SHALL BE PLANTED NO LESS THAN 4' FROM CURBS, SIDEWALKS, UTILITY LINES, SCREENING WALLS AND OTHER STRUCTURES. THE CITY HAS FINAL APPROVAL FOR ALL TREE PLACEMENTS.
 - A MINIMUM THREE FEET (3') RADIUS AROUND A FIRE HYDRANT MUST REMAIN CLEAR OF LANDSCAPE PURSUANT TO THE FIRE CODE.
 - STREET TREES, WHERE REQUIRED, SHALL BE (10') MINIMUM FROM THE EDGE OF A STORM SEWER CURB INLET BOX AND THE EDGE OF THE ROOT BALL SHALL BE (4') MINIMUM FROM THE WATER METER.
 - THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) SPECIFICATIONS SHALL GOVERN PLANT QUALIFICATIONS, GRADES, AND STANDARDS.
 - TREE PLANTING SHALL COMPLY WITH DETAILS HEREIN AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS.
 - A 2-3" LAYER OF MULCH SHALL BE PROVIDED AROUND THE BASE OF THE PLANTED TREE. THE MULCH SHALL BE PULLED BACK 4" FROM THE TRUNK OF THE TREE.
 - TREE PITS SHALL BE TESTED FOR WATER PERCOLATION. IF WATER DOES NOT DRAIN OUT OF TREE PIT WITHIN 24-HOURS, THE TREE SHALL BE MOVED OR DRAINAGE SHALL BE PROVIDED.
 - ALL BEDS TO HAVE 3" OF COMPOSTED SOIL, LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL TILLED AND TURNED TO A DEPTH OF 8" MINIMUM.
 - ALL PLANT BEDS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3 INCHES OF HARDWOOD MULCH.
 - NATIVE SITE TOPSOIL IS TO BE PROTECTED FROM EROSION OR STOCKPILED. NATIVE SITE TOPSOIL SHALL BE LABORATORY TESTED BY AN ACCREDITED LABORATORY AND AMENDED PER SAID LABORATORY'S RECOMMENDATIONS.

- IRRIGATION STANDARDS:**
- ANY CHANGES TO THESE APPROVED IRRIGATION DRAWINGS SHALL BE AUTHORIZED BY THE CITY. CONTACT DEVELOPMENT SERVICES FOR AN IRRIGATION PERMIT PRIOR TO INSTALLING THE IRRIGATION SYSTEM.
 - IRRIGATION OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
 - MAINLINES, VALVES, OR CONTROL WIRES SHALL NOT BE LOCATED IN THE CITY'S ROW.
 - ET IRRIGATION CONTROLLERS SHALL BE PROGRAMMED AND ADJUSTED TO NOT EXCEED THE LANDSCAPE WATER ALLOWANCE (LWA) PRIOR TO APPROVAL OF LANDSCAPE INSTALLATION.
 - VALVES SHALL BE LOCATED A MINIMUM OF (3') AWAY FROM STORM SEWERS, AND SANITARY SEWER LINES AND 5 FEET FROM CITY FIRE HYDRANTS AND WATER VALVES.
 - THE BORE DEPTH UNDER STREETS, DRIVE AISLES, AND FIRE LANES SHALL PROVIDE (2') OF CLEARANCE (MINIMUM).
 - IRRIGATION HEADS THAT RUN PARALLEL AND NEAR PUBLIC WATER AND SANITARY SEWER LINES, SHALL BE FED FROM STUBBED LATERALS OR BULL-BEADS. A MINIMUM FIVE FOOT (5') SEPARATION IS REQUIRED BETWEEN IRRIGATION MAIN LINES AND LATERALS THAT RUN PARALLEL TO PUBLIC WATER AND SANITARY SEWER LINES.
 - NO VALVES, BACKFLOW PREVENTION ASSEMBLIES, QUICK COUPLERS ETC. SHALL BE LOCATED CLOSER THAN 10' FROM THE CURB AT STREET OR DRIVE INTERSECTION.

- MAINTENANCE STANDARDS:**
- THE OWNER SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, AND VIGOR OF PLANT MATERIAL IN ACCORDANCE WITH THE DESIGN INTENT AND AS APPROPRIATE FOR THE SEASON OF THE YEAR.
 - LANDSCAPE AND OPEN AREAS SHALL BE FREE OF TRASH, LITTER AND WEEDS.
 - NO PLANT MATERIAL SHALL BE ALLOWED TO ENCRUCH ON R.O.W., SIDEWALKS OR EASEMENTS TO THE EXTENT THAT VISION OR ROUTE OF TRAVEL FOR VEHICULAR, PEDESTRIAN, OR BICYCLE TRAFFIC IS IMPEDED.
 - TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE.
 - TREE STAKING MATERIALS, IF USED, SHALL BE REMOVED AFTER (1) GROWING SEASON, NO MORE THAN (1) YEAR AFTER INSTALLATION (STEEL TREE STAKES, WIRES, AND HOSES ARE PROHIBITED).

- TREE PROTECTION NOTES:**
- CONTACT DEVELOPMENT SERVICES FOR A TREE REMOVAL PERMIT PRIOR TO REMOVAL OR TRANSPLANTING OF ANY TREES.
 - ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
 - PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND BE INSPECTED BY DEVELOPMENT SERVICES.
 - NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
 - NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
 - VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
 - GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
 - NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP-LINE OF A TREE, UNLESS APPROVED BY THE CITY.
 - ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
 - ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2022.
WITNESS OUR HANDS, this _____ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: July 11, 2023
SUBJECT: Planned Development District Review

As the Planning and Zoning Commission is aware, Planned Development Districts have become a common practice within the City's zoning code, with there being over 100 active Planned Development Districts currently regulating the majority of property within the City. When a Planned Development District is created, a regulating ordinance is written, and -- *prior to 2015* -- when a Planned Development District was amended an additional regulating ordinance was written that may have superseded or changed sections of the original regulating ordinance without completely superseding it. The issue with this process is that older Planned Development Districts -- *or Planned Development Districts that have been amended multiple times* -- tend to accumulate a large number of regulating ordinances. In these cases, unless the person interpreting the Planned Development District understands the timing and intent of each of the ordinances, it can be difficult to determine what the actual development requirements are for a particular property. Based on this, the City Council directed staff on June 5, 2023 to begin the process of initiating zoning to amend the City's older Planned Development (PD) Districts that have multiple regulating ordinances.

In accordance with this direction staff has prepared a consolidating ordinance (*i.e. writing one [1] ordinance that superseded all previous ordinances for a Planned Development District*) for Planned Development District 8 (PD-8), also known as the Chandler's Landing Subdivision. Planned Development District 8 (PD-8) currently consists of over 200 pages of regulations within 20 regulating ordinances and two (2) resolutions and over 100 development cases (*see attached Planned Development District 8 [PD-8]*). To give an idea of the size of this Planned Development District, the current Unified Development Code (UDC) (*i.e. the zoning code for the City of Rockwall*) is only 248 pages. The proposed draft ordinance consolidates these regulating ordinances, resolutions, and development cases into a single document. Staff should note that under the proposed amendment, staff is required to initiate zoning; however, the proposed consolidating ordinance will not change any of the requirements, concept plans, or development standards stipulated for any property in the Chandler's Landing Subdivision.

The main purpose of this consolidated ordinance is to [1] make the document easier for residents, homebuilders, and City staff to interpret, and [2] to make staff more efficient when reviewing and issuing permits in the subdivision. Currently, there are only 37 vacant lots left in Chandler's Landing; however, from June 2022 to the date of this memorandum the City has received 355 permit requests for properties in the subdivision. These permits consist of requests for new homes, remodels of existing homes, and accessory structures. Due to the number of ordinances associated with the existing Planned Development District and the disjointed nature of these ordinances, it can take staff an extended amount of time and effort to research zoning requirements for simple permits in this Planned Development District. The consolidated ordinance should alleviate this moving forward.

This being a zoning case, staff sent out 1,809 notices to all property owners and occupants of the Chandler's Landing Subdivision and within 500-feet of the Chandler's Landing Subdivision. In addition, staff notified the Chandler's Landing, The Cabana's at Chandler's Landing, Cutter Hill, Spyglass, Benton Woods, Rainbow Lakes, Fox Chase, Signal Ridge, Water's Edge at Lake Ray Hubbard, and the Lago Vista Homeowner's Associations (HOA's), which were the only HOA's within 1,500-feet of the subject property. Included within the notice was a link to the City's website -- *which had all of the zoning documents (i.e. the old Planned Development District 8 (PD-8) ordinances and the proposed draft ordinance) associated with the case* --, and included with the notice was a letter explaining the purpose of the zoning amendment. To date, staff has received five (5) property owner notifications from five (5) property owners in the Chandler's Landing Subdivision. One (1) of these notices was in favor of the amendment and four (4) notices were opposed to the amendment. Staff should note that two (2) of the notice stating opposition to the amendment indicated that the amendment would create an *unsafe* condition or was *suspicious*; however, as stated by staff the proposed amendment does not change any of the requirements, concept plans, or

development standards stipulated for any property in the Chandler's Landing Subdivision. In addition, staff received one (1) email from a resident of the subdivision requesting a work session with the neighborhood, City staff, and the Chandler's Landing Homeowner's Association (HOA); however, staff did not receive a request for a work session from the Chandler's Landing Homeowner's Association (HOA), and as a result did not hold a work session. Staff has included all of these responses in the attached packet.

To assist the Planning and Zoning Commission in understanding this zoning change and the proposed program, staff has provided the memorandum from the June 5, 2023 City Council meeting. In addition, staff has included a copy of the current and proposed Planned Development District 8 (PD-8) for comparison. The proposed amendment to Planned Development District 8 (PD-8) will move forward in accordance with the following schedule:

~~Planning and Zoning Commission Work Session: June 27, 2023~~
Planning and Zoning Commission [*Public Hearing*]: July 11, 2023
City Council [*Public Hearing/First Reading*]: July 17, 2023
City Council [*Second Reading*]: August 7, 2023

If this process proves to be successful, then staff, with City Council's concurrence, will begin researching and writing consolidating ordinances for the remainder of the multi-ordinance Planned Development Districts. Should the Planning and Zoning Commission have any questions, staff will be available at the July 11, 2023 Planning and Zoning Commission meeting.



CITY OF ROCKWALL
CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

CC: Mary Smith, *City Manager*
Joey Boyd, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: June 5, 2023

SUBJECT: Planned Development District Review

As the City Council is aware, Planned Development Districts have become a common practice within the City's zoning code, with there being over 100 active Planned Development Districts currently regulating the majority of property within the City. When a Planned Development District is created, a regulating ordinance is written, and -- *prior to 2015* -- when a Planned Development District was amended an additional regulating ordinance was written that may have superseded or changed sections of the original regulating ordinance without completely superseding it. The issue with this process is that older Planned Development Districts -- *or Planned Development Districts that have been amended multiple times* -- tend to accumulate a large number of regulating ordinances. In these cases, unless the person interpreting the Planned Development District understands the timing and intent of each of the ordinances, it can be difficult to determine what the actual development requirements are for a particular property. For example, Planned Development District 8 (PD-8) -- *which currently regulates the Chandler's Landing Subdivision* -- consists of over 200 pages of regulations within 20 regulating ordinances and two (2) resolutions and over 100 development cases (*see attached Planned Development District 8 [PD-8]*). To give an idea of the size of this Planned Development District, the current Unified Development Code (UDC) (*i.e. the zoning code for the City of Rockwall*) is only 248 pages.

In 2015, staff changed how Planned Development Districts were amended by writing consolidating ordinances (*i.e. writing one [1] ordinance that superseded all previous ordinances for a Planned Development District*) when a development case proposed amending a Planned Development District. The purpose of instituting this change in procedure was to make zoning easier to understand for the City's external customers (*i.e. developers and citizens*), and also to make it easier for ordinances to be interpreted internally by City staff. The rationale behind making this change was also tied to how the Director interpreted the process of amending a Planned Development District. Prior to 2015, only the property affected by a proposed amendment was considered in the zoning and notification process; however, a Planned Development District is typically centered around an overall concept plan, and all properties within a Planned Development District are affected through changes in a concept plan or development regulations. Based on this rationale, staff started to notify all properties within a Planned Development District when an amendment was proposed. This allowed staff to write consolidating ordinances for Planned Development Districts. This process has been successfully utilized in consolidating PD-1, PD-7, PD-10, PD-32, PD-59, PD-70, and PD-74; however, there are multiple Planned Development Districts that are fully developed and have a low likelihood of being amended, but still which staff deals with interpreting the requirements on a regular basis. This includes Planned Development Districts like PD-2 (*the Lakeside Village and Turtle Cove Subdivisions*), PD-3 (*the Shores Subdivision*), PD-8 (*the Chandler's Landing Subdivision*), PD-9 (*the Hospital/Medical District*), PD-11 (*the Hillcrest Shores Subdivision*), and PD-13 (*the Windmill Ridge Subdivision*). Based on this staff is requesting that the City Council consider directing staff to initiate zoning changes for these Planned Development Districts. It should be noted that the proposed zoning change would not change any development requirements or the concept plans associated with these Planned Development Districts, but would simply consolidate the multiple regulating ordinances that make up these zoning districts for the purpose of making the districts easier to read and interpret. As previously stated, this not only assists staff in understanding these ordinances, but will also make the ordinances easier to read for citizens and developers who may own property or are looking to develop property in these areas.

The program that staff is proposing is somewhat similar to a program already referenced by the City's zoning code under Subsection 03.05, *Periodic Review*, of Article 10, *Planned Development Regulations*, the Unified Development Code (UDC). This section calls for the Planning and Zoning Commission to periodically review Planned Development Districts to determine

if a Planned Development District is reflective of the City's current growth patterns or community design policies, and authorizes them to request the City Council initiate zoning to change the requirements of a Planned Development District. This practice was discontinued in 2010, due to the difficulties for a City to change zoning and/or entitlements that have been granted through a previous zoning process without the property owner's consent. In addition, it was determined that many property owners did not want to participate in allowing the City to change their zoning or entitlements. As was stated previously, staff wants to initiate zoning in a similar manner, but not for the purpose of changing the concept plan or development requirements for a Planned Development District; rather, staff is simply proposing to consolidate the regulating ordinances associated with older Planned Development Districts that consist of multiple regulating ordinances. Staff has conferred with the City Attorney, and feels comfortable that what is being proposed avoids any of the aforementioned issues.

To assist the City Council in determining if this program is warranted, staff has prepared a consolidating ordinance for Planned Development District 8 (PD-8) along with the current ordinances associated with the Planned Development District as a comparison. Should the City Council direct staff to proceed, staff will bring the proposed amendment to Planned Development District 8 (PD-8) forward in accordance with the following schedule:

Planning and Zoning Commission Work Session: June 27, 2023
Planning and Zoning Commission [*Public Hearing*]: July 11, 2023
City Council [*Public Hearing/First Reading*]: July 17, 2023
City Council [*Second Reading*]: August 7, 2023

If this process proves to be successful, then staff, with City Council's concurrence, will begin researching and writing consolidating ordinances for the remainder of the multi-ordinance Planned Development Districts. Should the City Council have any questions, staff will be available at the June 5, 2023 City Council meeting.



Z2023-029: Amendment to Planned Development District 8 (PD-8)



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

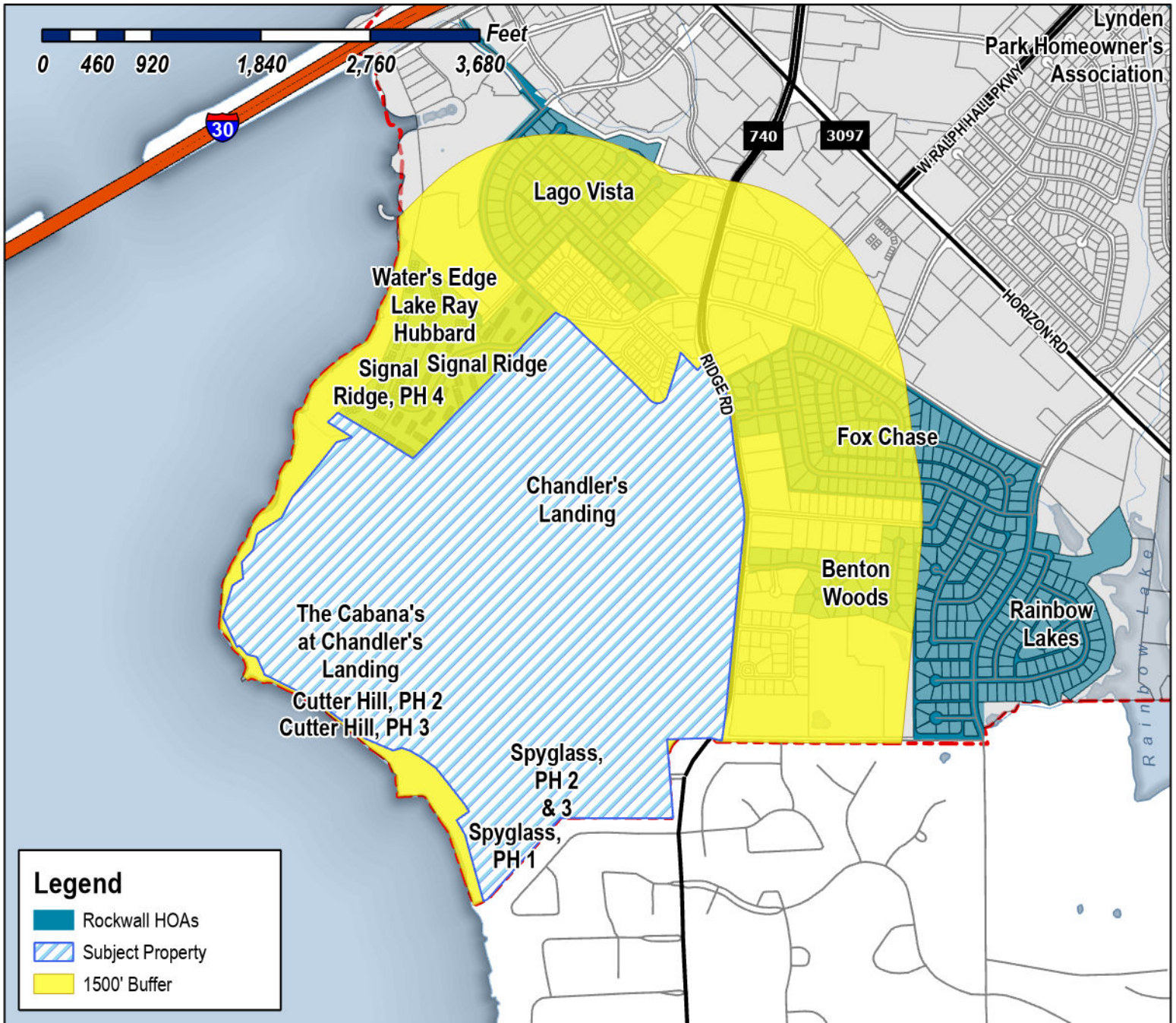




City of Rockwall

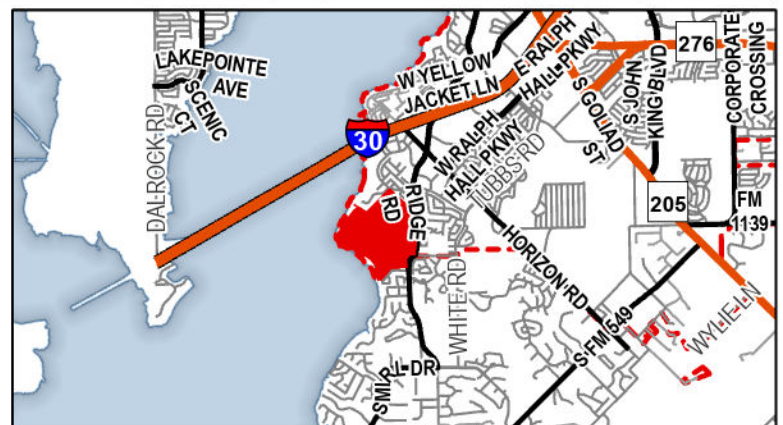
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Case Number: Z2023-029
Case Name: Amendment to PD-8
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: Chandler's Landing Subdivision

Date Saved: 6/15/2023
 For Questions on this Case Call (972) 771-7745



Lynden
Park Homeowner's
Association

Lee, Henry

From: Zavala, Melanie
Sent: Monday, June 19, 2023 3:53 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-029]
Attachments: Public Notice Letter (06.16.2023).pdf; HOA Map (06.15.2023).pdf; Public Notice (P&Z) (06.16.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [June 23, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 11, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, June 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-029: Amendment to PD-8

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a [Zoning Change](#) amending Planned Development District 8 (PD-8) [*Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38 and Resolution No.'s 87-19 & 87-20*] for the purpose of consolidating the regulating ordinances and resolutions for a 230.80-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), generally located south of Summer Lee Drive and west of Ridge Road [*FM-740*], and take any action necessary.

Thank you,

Melanie Zavala

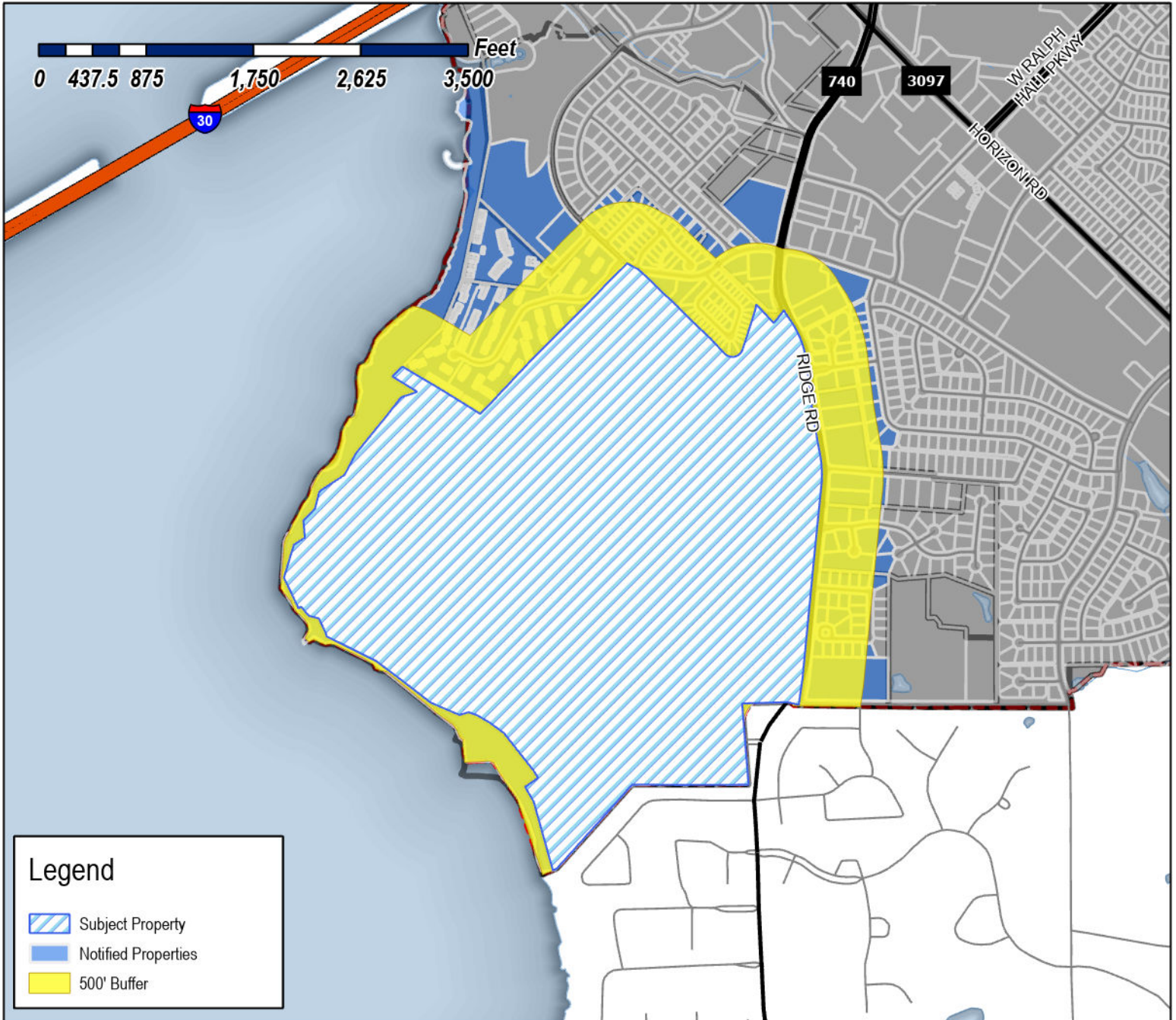
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2023-029
Case Name: Amendment to PD-8
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: Adjacent to 1 Harborview Drive

Date Saved: 6/14/2023

For Questions on this Case Call: (972) 771-7746



LOVEJOY ROMA DIANE HUMPHREYS
1 INTREPID CIRCLE
ROCKWALL, TX 75032

HATFIELD CLAUDETTE
1 SHADY DALE LN
ROCKWALL, TX 75032

SESSUMS BILLY A
10 CLARKSVILLE ST
PARIS, TX 75460

PATON BRUCE R &
DR DARIAH L MORGAN
10 INTREPID CIR
ROCKWALL, TX 75032

PATON FAMILY CHARITABLE TR
10 INTREPID CIR
ROCKWALL, TX 75032

DUFFEY GAIL M
100 MANOR DRIVE
HEATH, TX 75032

THE DOYLE REVOCABLE TRUST
1000 EVENING SHADE LANE
MCKINNEY, TX 75070

JACCK RESIDENTIAL HOLDINGS LLC
1000 PULLEN ROAD
MCLENDON CHISHOLM, TX 75032

MILLER DIXIE
1001 BELLEVIEW ST APT 607
DALLAS, TX 75215

BELOTE GARLAND III
1001 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

MEAVE DAVID MICHAEL
1002 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1003 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SINNOTT KATHY
1004 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1005 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SEPEHRI SUSAN M
1006 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROYLES STEPHANIE
1007 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN PAMELA JEAN
1008 SIGNAL RIDGE
ROCKWALL, TX 75032

MIEROW SHARON A
1009 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
101 EASTERNER PL
ROCKWALL, TX 75032

RESIDENT
101 FRANCE CT
ROCKWALL, TX 75032

RESIDENT
101 GENESTA PL
ROCKWALL, TX 75032

RESIDENT
101 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
101 WEATHERLY CIR
ROCKWALL, TX 75032

RESIDENT
101 YANKEE CT
ROCKWALL, TX 75032

SEELEY LISA JONI
101 AURORA CIR
ROCKWALL, TX 75032

GOODMAN CARLA
101 DAME PATTIE DR
ROCKWALL, TX 75032

BECKER CHRISTIANE AND
JOSEPH WORRALL
101 INDEPENDENCE PLACE
ROCKWALL, TX 75032

LANGSTON JOHN AND FRIEDA
101 MAYFLOWER CT
ROCKWALL, TX 75032

SWEET CHASE AND SADIE
101 RELIANCE CT
ROCKWALL, TX 75032

MCHARGUE SCOTT W & PATRICIA L
101 RESOLUTE LN
ROCKWALL, TX 75032

PLUTUS21 DEVELOPMENT FUND V LLC
101 S BROOKSIDE DR APT 2505
DALLAS, TX 75214

ARNOLD MICHAEL J & KATHY RENEE
101 SCEPTRE DR
ROCKWALL, TX 75032

WELCH JANIS M
101 VALKYRIE PL
ROCKWALL, TX 75032

ROTH JEFFREY STEPHEN
10-10 166 ST
WHITESTONE, NY 11357

MCAFFEE CANDACE
1010 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FOREMAN JANET
1011 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTILL KENNETH W & CONNIE R
1012 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1013 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRICE JASON ALAN
1013 15TH PL APT 343
PLANO, TX 75074

WORTHY SHARON A
1014 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ROGERS JOE ELLIS
1015 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GRAGG CAROL
1016 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1017 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANGUARD PORTABLE SOLUTIONS INC
1017 NATIVE TR
HEATH, TX 75032

RESIDENT
1018 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1019 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
102 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
102 RESOLUTE LN
ROCKWALL, TX 75032

RESIDENT
102 THISTLE PL
ROCKWALL, TX 75032

REED CHARLES E AND LISHA K
102 AURORA CIRCLE
ROCKWALL, TX 75032

THOMAS BRETT JORDAN & CASSIDY BO
102 CLIPPER CT
ROCKWALL, TX 75032

HUNTER STEVEN R AND KAREN J
102 DAME PATTIE DRIVE
ROCKWALL, TX 75032

BRIGHT WILLIAM MARK AND SHERRYL J
102 EASTERNER PLACE
ROCKWALL, TX 75032

WARREN JEFFREY DWAYNE ETUX
102 GENESTA PL
ROCKWALL, TX 75032

GARDNER PAUL S AND CINDY
102 INDEPENDENCE PL
ROCKWALL, TX 75032

RINK HEIDI MARIE
102 JESSICA DRIVE
BELLE CHASSE, LA 70037

HARRELL STEVEN R AND ROBERTA J
102 MAYFLOWER CT
ROCKWALL, TX 75032

HALL CORI
102 MISCHIEF LANE
ROCKWALL, TX 75032

FARRAR ROBERT CARY & NANCY N
102 MUSTANG DR
FATE, TX 75087

CHENAULT JOSH & NATHALIE
102 RELIANCE COURT
ROCKWALL, TX 75032

TINDLE FLORENCE
102 WEATHERLY CIR
ROCKWALL, TX 75032

GALLAGHER CHRISTOPHER
102 YANKEE CT
ROCKWALL, TX 75032

WAGNER JULIE A
1020 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1021 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GIBBS STEPHANIE L
1022 SIGNAL RIDGE PLACE
ROCKWALL, TX 75087

RESIDENT
1023 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAIL SYDNEY
1024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1025 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

WHITE RANDY
1026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1027 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOSEPH JACOB
1028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1029 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RODRIGUEZ GUILLERMO AND DEBORAH
1029 SILVERTHORN CT
MESQUITE, TX 75150

RESIDENT
103 AURORA CIR
ROCKWALL, TX 75032

RESIDENT
103 DAME PATTIE
ROCKWALL, TX 75032

RESIDENT
103 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
103 MAYFLOWER CT
ROCKWALL, TX 75032

RESIDENT
103 THISTLE PL
ROCKWALL, TX 75032

WHITE KATIE AND JAMES ARCHER
103 DAME PATTIE
ROCKWALL, TX 75032

CEPAK JANET BAIN
103 DEFENDER COURT
ROCKWALL, TX 75032

MORENO SUSAN C
103 EASTERNER PL
ROCKWALL, TX 75032

BARR JOHNATHAN & CHRISTY
103 FRANCE COURT
ROCKWALL, TX 75032

GAY JEFFREY & TAMI
103 FREEDOM CT
ROCKWALL, TX 75032

WEEKS MARY
103 GENESTA PL
ROCKWALL, TX 75032

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

BCL REAL ESTATE LLC
ATTN:TOM LORENZ
103 GROSS RD BLDG A
MESQUITE, TX 75149

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

UNDERHILL TERESA D AND STEPHEN
103 INDEPENDENCE PL
ROCKWALL, TX 75032

AUSTIN CHRISTI LYNN
103 RELIANCE COURT
ROCKWALL, TX 75032

HARPER DANIEL
103 RESOLUTE LN
ROCKWALL, TX 75032

SELL KIMBERLEE Z
103 SCEPTRE DR
ROCKWALL, TX 75032

HALAMA STEFAN & ANN
103 VALKYRIE PL
ROCKWALL, TX 75032

ARNOLD GEORGE
103 WEATHERLY CIR
ROCKWALL, TX 75032

GARELIS AARON D AND VICKIE
103 YANKEE CT
ROCKWALL, TX 75032

DUKE HEATHER
1030 SIGNAL RIDGE PL UNIT 1030
ROCKWALL, TX 75032

RESIDENT
1031 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PERROTTA SHARON
1032 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNSTON SHARRON
1033 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1035 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PRYOR MICA MALONEY
1036 SIGNAL RIDGE PLACE #1036
ROCKWALL, TX 75032

RESIDENT
1037 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1038 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CONNER JANICE S
1039 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
104 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
104 RELIANCE CT
ROCKWALL, TX 75032

O'BRIEN PATRICIA C
104 AURORA CIRCLE
ROCKWALL, TX 75032

HLUS-HAWKINS TAMI
104 BRENTWOOD
HEATH, TX 75032

FAYAD HUSSAIN
104 DAME PATTIE DRIVE
ROCKWALL, TX 75032

RANEY CURT AND
BRENDA GAIL SMITH
104 EASTERNER PLACE
ROCKWALL, TX 75032

NEWMAN DONALD T
104 FRANCES CT
ROCKWALL, TX 75032

MORRIS GARY GLEN & SANDRA J
104 FREEDOM CT
ROCKWALL, TX 75032

GARZA ROY A & DULCE R
104 GENESTA PLACE
ROCKWALL, TX 75032

MCKIBBEN KATHLEEN D
104 INDEPENDENCE PL
ROCKWALL, TX 75032

SMITH BRYAN
104 MAYFLOWER CT
ROCKWALL, TX 75032

CARR LORI
104 MISCHIEF LN
ROCKWALL, TX 75032

TODD HOLLY J
104 RESOLUTE LN
ROCKWALL, TX 75032

JONES ANGELA DENISE
104 THISTLE PLACE
ROCKWALL, TX 75032

MANDRELL JAMES R & KRISTIN MANDRELL
104 VALKYRIE PLACE
ROCKWALL, TX 75032

HAM EDWARD C & BRENDA
104 WEATHERLY CIR
ROCKWALL, TX 75032

HOWARD KATALIN J
104 YANKEE CT
ROCKWALL, TX 75032

RESIDENT
1040 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1041 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1043 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER ROBERT F III AND CAROLYN
1043 PANORAMIC DR
MONUMENT, CO 80132

TRINGALI CAHTERINE
1044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KILGORE MADISON
1045 SIGNAL RIDGE PL
ROCKWALL, TX 75032

YANGER LISA
1046 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1047 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ZAJDL SALLY A
1048 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
105 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
105 YANKEE CT
ROCKWALL, TX 75032

LANCASTER RONALD R & BRENDA R
105 AURORA CIR
ROCKWALL, TX 75032

SPOKES JULIE
105 CLIPPER COURT
ROCKWALL, TX 75032

SCHUBERT LAURIE LEE
105 EASTERNER PLACE
ROCKWALL, TX 75032

CROOKS JOHN O & PATRICIA K
105 FRANCE CT
ROCKWALL, TX 75032

TURNER CATHERINE
105 GENESTA PL
ROCKWALL, TX 75032

SHORT MELISSA HUDSON AND CORY WAYNE
105 INDEPENDENCE PL
ROCKWALL, TX 75032

WILLIAMS WILLIAM BROCK AND MARIA
CRISTINA
105 LIBERTY LANE
ROCKWALL, TX 75032

OCONNOR MICHAEL
105 MAYFLOWER CT
ROCKWALL, TX 75032

JOHNSON ROBERT & DOLORES
105 MISCHIEF LN
ROCKWALL, TX 75032

WHITLOCK ARTHUR C
105 PINE ST
GORDON, TX 76453

HAYES BRANDON
105 RELIANCE CT
ROCKWALL, TX 75032

MCMAHON PATRICK AND CHERYL
105 SCEPTRE DR
ROCKWALL, TX 75032

RAY LAURA MATTESON
105 THISTLE PLACE
ROCKWALL, TX 75032

HOUSER JOSHUA AND SOMMER
105 WEATHERLY CIR
ROCKWALL, TX 75032

HOVAGUIMIAN MICHAEL GREGORY AND LARA
10526 RHODESIA AVENUE
SUNLAND, CA 91040

RESIDENT
106 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
106 MAYFLOWER CT
ROCKWALL, TX 75032

NEUROHR KIM D
106 CLIPPER COURT
ROCKWALL, TX 75032

SELLERS JAMES L AND AMI A
106 DEFENDER CT
ROCKWALL, TX 75032

AZORES ROBERT AND KELLEY
106 EASTERNER PLACE
ROCKWALL, TX 75032

DUGAN ADAM TL AND WHITNEY C
106 FRANCE CT
ROCKWALL, TX 75032

MURRAY DAVID T II & AMBER
106 INDEPENDENCE PLACE
ROCKWALL, TX 75032

THACKER IKE AND MARY
106 LIBERTY LANE
ROCKWALL, TX 75032

GRAF DANIEL & JESSICA
106 MISCHIEF LANE
ROCKWALL, TX 75032

CHRISTIAN ANGELA LEE
106 RELIANCE CT
ROCKWALL, TX 75032

HATFIELD GAROLD SCOTT
106 SCEPTRE DR
ROCKWALL, TX 75032

VAN WEY DONALD L
106 VALKYRIE PL
ROCKWALL, TX 75032

MATSON THOMAS AND HEIDI
106 WEATHERLY CIRCLE
ROCKWALL, TX 75032

HENSON KIM A & REBECCA H
106 YANKEE CT
ROCKWALL, TX 75032

RESIDENT
107 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROARK BOBBIE ETAL
107 DEFENDER CT
ROCKWALL, TX 75032

ALVARENGA OSWALDO JR & JUDITH
107 EASTERNER PL
ROCKWALL, TX 75032

ALLEN REGINALD
107 FREEDOM CT
ROCKWALL, TX 75032

LEAHOVCENCO ALEXANDR
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

LEAHOVCENCO ALEXANDR AND
YULYIA NESTERENKO
107 INDEPENDENCE PLACE
ROCKWALL, TX 75032

ROPER JOHN & JENNIFER
107 MAYFLOWER CT
ROCKWALL, TX 75032

TOVAR ADAN AND CAROLYNN JEWELL MALICK-
GILBREATH
107 RELIANCE CT
ROCKWALL, TX 75032

CARLTON DONNY
107 SCEPTRE DR
ROCKWALL, TX 75032

GARCIA ANTONIO JR & ROXANN D
107 VALKYRIE PL
ROCKWALL, TX 75032

WASSERMAN JENNIFER CLAIRE
107 YANKEE CT
ROCKWALL, TX 75032

RESIDENT
108 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
108 SCEPTRE DR
ROCKWALL, TX 75032

HUMBLE BRIAN
108 EASTERNER PLACE
ROCKWALL, TX 75032

BROWN JEAN M TRUST
108 FREEDOM CT
ROCKWALL, TX 75032

LONG JOHN AND LINDSAY
108 MAYFLOWER CT
ROCKWALL, TX 75032

CARRILLO VICTOR G
108 MISCHIEF LN
ROCKWALL, TX 75032

PETERSEN CARL S & WENDY
108 RELIANCE CT
ROCKWALL, TX 75032

VECCHIARELLO RICHARD & MELISSA A
108 VALKYRIE PLACE
ROCKWALL, TX 75032

SAATCI YESIM
108 YANKEE CT
ROCKWALL, TX 75032

NORTEX PROPERTIES INC
% JOSEPH L ZEHR
10808 LA CABREAH LN
FORT WAYNE, IN 46845

HAKOPIAN GEORGE AND ANNIE B
10858 WOODWARD AVENUE
LOS ANGELES, CA 91040

RESIDENT
109 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HARTFIELD THOMAS E & EDITH E
109 CLIPPER CT
ROCKWALL, TX 75032

MARINER 508
SERIES OF MONTECITO PTOPERTIES WK LLC
109 DREW LANE
HEATH, TX 75032

ANDREWS LEWIS E AND LINDA
109 EASTERNER PL
ROCKWALL, TX 75032

THOMAS CARLA RENE AND BRIAN ALLEN
109 LIBERTY LANE
ROCKWALL, TX 75032

LYONS ELIZABETH
109 MAYFLOWER COURT
ROCKWALL, TX 75032

HAGIN GARY L & W ANNE
109 MISCHIEF LN
ROCKWALL, TX 75032

REED ANGEL
109 SCEPTRE DRIVE
ROCKWALL, TX 75032

ELCHANAN DANIEL & NANCY B
11 INTREPID CIR
ROCKWALL, TX 75032

RESIDENT
110 DEFENDER CT
ROCKWALL, TX 75032

RESIDENT
110 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
110 MISCHIEF LN
ROCKWALL, TX 75032

HOVEY EMERSON & CATHERINE SMITH HOVEY
110 CLIPPER CT
ROCKWALL, TX 75032

SEALS CLEVELAND L & CARROL LYNN
110 CODY CIR N
SULPHUR SPRINGS, TX 75482

SJCC CONSTRUCTION LLC
110 CROSS PLAINS DR
ALLEN, TX 75013

MAXWELL CAROLE AND GARY
110 EASTERNER PL
ROCKWALL, TX 75032

SOLOMONS DONALD B
110 LIBERTY LN
ROCKWALL, TX 75032

COOPER ELI T & RIKKI J
110 MAYFLOWER CT
ROCKWALL, TX 75032

HOWES JAN
110 SCEPTRE DR
ROCKWALL, TX 75032

CARRUCCI ANTHONY JR
110 YANKEE CT
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FULTZ PEGGY J & TOMMY G
1101 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1102 SIGNAL RIDGE PL
ROCKWALL, TX 75032

COOK JEAN QUILL
1102 HERITAGE
GARLAND, TX 75043

RESIDENT
1103 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARZA OLIVIA L AND FIDENCIO
1104 SIGNAL RIDGE #1104
ROCKWALL, TX 75032

RESIDENT
1105 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

DAVID L GARDNER REVOCABLE LIVING TRUST
1105 51ST ST W
BRADENTON, FL 34209

GARDNER DAVID L REVOCABLE LIVING TRUST
DAVID L GARDNER TRUSTEE
1105 51ST ST W
BRADENTON, FL 34209

FLECK PATRICIA & CORY
1105 51ST STREET WEST
BRADENTON, FL 34209

DAVIS ROBERT NEAL
1105 MELISSA LN
GARLAND, TX 75040

OGLIN THOMAS J & JOYCE L
1106 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1107 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JOHNS ETHAN
1108 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RUBIO CONNIE L
1109 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
111 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STEBBINS GREGORY & KRISTEN
111 DEFENDER CT
ROCKWALL, TX 75032

HEBERT EARL T & LANA G
111 FREEDOM CT
ROCKWALL, TX 75032

RATCLIFFE KATHLEEN C
111 MAYFLOWER CT
ROCKWALL, TX 75032

MILLER DIXIE E AND
MILDRED AND LARRY W STARLING
111 SCEPTRE DR
ROCKWALL, TX 75032

CORDELL-JOHNSON KIMBERLY
1110 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1111 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLER JEFFRY AND KATHLEEN
1111 VISTA GRANDE ROAD
EL CAJON, CA 92019

TWOMEY ELIZABETH A
1112 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1113 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1114 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MATHERNE JUDITH L
1115 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MAKE READY RENOVATIONS LLC
1116 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARKHAM DIANNA
1117 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

CHAKMAKJIAN ZAVEN C
1118 NEWCASTLE DRIVE
ROCKWALL, TX 75032

LEVENTHAL PATRICK J
1118 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BULLOCK JEFFREY B AND
MARGARITA HEREDIA
1119 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
112 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HARMON JIMMY R
112 EASTERNER PL
ROCKWALL, TX 75032

ROBERTSON BRANDON & JESSICA
112 FREEDOM COURT
ROCKWALL, TX 75032

TAN DAVID L AND SHANNON K
112 MISCHIEF LANE
ROCKWALL, TX 75032

STRANN MICHAEL RAY
112 OLD GLORY LN
FORNEY, TX 75126

PRITCHETT THOMAS AARON
112 SCEPTRE DR
ROCKWALL, TX 75032

FREEMAN RICHARD WILLIAM
1120 LIVE OAK CIRCLE
SHERMAN, TX 75092

LAMAN FRANCES ANN
1120 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1121 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LAWRENCE ALAN
1122 SIGNAL RIDGE PLACE # 1122
ROCKWALL, TX 75032

RESIDENT
1123 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1124 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1125 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA CHRISTOPHER
1126 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1127 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VAUGHAN CULLY & SARA
1128 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1129 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
113 CLIPPER CT
ROCKWALL, TX 75032

RESIDENT
113 SCEPTRE DR
ROCKWALL, TX 75032

FOSTER ROBERT L AND RUTH E
113 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

PARTEN PAUL E & PATRICIA M
113 LIBERTY LN
ROCKWALL, TX 75032

CASTRO CRISTINA
113 MAYFLOWER CT
ROCKWALL, TX 75032

BIRD MATTHEW AND JANE SCHMANSKI
1130 SIGNAL RIDGE
ROCKWALL, TX 75032

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

RESIDENT
114 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MARRIOTT RUSSELL D AND LISA D
114 CLIPPER CT
ROCKWALL, TX 75032

WEAVER C R & KAREN REV LIVING TR
114 DEFENDER CT
ROCKWALL, TX 75032

BENSON CARROLL AND GLENDA
114 LIBERTY LANE
ROCKWALL, TX 75032

FAIRCHILD JOINT REVOCABLE LIVING TRUST
TONI A FAIRCHILD- TRUSTEE
114 MAYFLOWER CT
ROCKWALL, TX 75032

FAIRCHILD REVOCABLE LIVING TRUST
114 MAYFLOWER CT
ROCKWALL, TX 75032

GEORGE ELIZABETH M AND ROBIN J
114 MISCHIEF LANE
ROCKWALL, TX 75032

RIERA CRISTINA
114 SCEPTRE DR
ROCKWALL, TX 75032

RESIDENT
115 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

WEBSTER LIDIA
115 DEFENDER CT
ROCKWALL, TX 75032

WEBSTER MARY ANN
115 DEFENDER CT
ROCKWALL, TX 75032

WEBSTER MARY ANN
115 DEFENDER CT
ROCKWALL, TX 75032

YU DAVIS & HYUN SOOK
115 FREEDOM CT
ROCKWALL, TX 75032

JURCA JACOB S AND JACLYN J
115 MAYFLOWER CT
ROCKWALL, TX 75032

MORGAN ROBERT AND MICHELE
115 SCEPTRE DRIVE
ROCKWALL, TX 75032

RESIDENT
116 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LETT LORNA
116 MISCHIEF LN
ROCKWALL, TX 75032

SINISCALCHI JOSEPH W & KIMBERLY A
116 OLD VINEYARD LN
ROCKWALL, TX 75032

BRELAND JULIA AND
BARRY W YOUNG
116 SCEPTRE DR
ROCKWALL, TX 75032

THOMPSON FRED AND LINDA
116 SHEPHERDS GLEN RD
ROCKWALL, TX 75032

ROGERS RYAN
117 CLIPPER COURT
ROCKWALL, TX 75032

ROGERS RYAN J
117 CLIPPER CT
ROCKWALL, TX 75032

HAYWORTH DEVON A
117 HENRY M CHANDLER DR UNIT 117, BLDG E
ROCKWALL, TX 75032

BEARD DAVID & SANDY
117 LIBERTY LANE
ROCKWALL, TX 75032

PHAN JOHN
117 SCEPTRE DR
ROCKWALL, TX 75032

RESIDENT
118 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
118 MISCHIEF LN
ROCKWALL, TX 75032

GOETTSCH THADDEAUS DUANE AND MEGAN
118 CLIPPER CT
ROCKWALL, TX 75032

CUMMINGS ATANIA ROLDAN AND ERIC JOSEPH
118 FREEDOM COURT
ROCKWALL, TX 75032

WEBSTER KATHLEEN ANN
118 LIBERTY LN
ROCKWALL, TX 75032

JASIN PAUL A
118 SCEPTRE DR
ROCKWALL, TX 75032

THEPCHATRI PAHK AND SUCHADA
1181 HANNAFORD LANE
JOHNS CREEK, GA 30097

PUSTEJOVSKY MARK
11875 CR 4026
KEMP, TX 75143

HARRIS FAMILY REVOCABLE LIVING TRUST
WILLIAM J HARRIS AND JONNA R HARRIS-
COTRUSTEES
1188 BENTON WOODS DRIVE
ROCKWALL, TX 75032

JONES FELICIA M
119 FREEDOM COURT
ROCKWALL, TX 75032

JONES BRUCE WAYNE
119 HENRY M CHANDLER DR
ROCKWALL, TX 75032

DAVIS JOHN M AND THERESA Y
119 SCEPTRE DRIVE
ROCKWALL, TX 75032

RESIDENT
12 INTREPID CIR
ROCKWALL, TX 75032

RESIDENT
120 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
120 SCEPTRE DR
ROCKWALL, TX 75032

SANCHEZ RAMSES S
120 APPIAN WAY
DALLAS, TX 75216

COOK NATHAN & COURTNEY
120 MISCHIEF LN
ROCKWALL, TX 75032

GONZALEZ KEITH R & DEANNA J
120 PURITAN CT
ROCKWALL, TX 75032

HPA US1 LLC
120 RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA TEXAS SUB 2017-1 LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA BORROWER 2016-1 LLC
120 S RIVERSIDE PLZ SUITE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2019-1 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

SELBY PEGGY
1201 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1202 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FALLER JAMES JUSTIN
1202 WHISPER ROCK DR
HEATH, TX 75032

RESIDENT
1203 CHAPEL DR
ROCKWALL, TX 75032

RESIDENT
1203 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1204 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1205 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1206 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MARCHANT ANGELA K AND MARIE N
1206 WHISPER ROCK DR
ROCKWALL, TX 75032

RESIDENT
1207 SIGNAL RIDGE PL
ROCKWALL, TX 75032

STORY BRYCE BAILEY AND MEADAN GALE
1207 CHAPEL DR
ROCKWALL, TX 75032

ADAMS LINDA RUTH
1208 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1209 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
121 SCEPTRE DR
ROCKWALL, TX 75032

FAZELIMANESH KAREN & ARDESHIR
121 BLUE HERON LN
HEATH, TX 75032

PINSON REGINALD A & CAROL S
121 CLIPPER CT
ROCKWALL, TX 75032

STOCKS DENISE K
121 HENRY M CHANDLER DR
ROCKWALL, TX 75032

IRIZARRY ALBERTO R & TERESA E
121 LIBERTY LANE
ROCKWALL, TX 75032

ELLISTON DANIEL MARK
121 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
1210 WHISPER ROCK DR
ROCKWALL, TX 75032

VAN BAALE DARWIN HENRY AND KELLY MARIE
1210 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1211 CHAPEL DR
ROCKWALL, TX 75032

LANE DEBRA
1211 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
1212 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCONNELL MICHAEL J
C/O LINDA M DUGO
12123 DRUJON LN
DALLAS, TX 75244

RESIDENT
1213 WHISPER ROCK DRIVE
ROCKWALL, TX 75032

BROWNE STANLEY H & SANDRA R
1213 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1214 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DEREN JEROME C AND DENISE M
1214 WHISPER ROCK DRIVE
ROCKWALL, TX 75032

BEASLEY COREY B AND ALICIA D
1215 CHAPEL DR
ROCKWALL, TX 75032

BREWER MELODY K
1215 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1216 CHAPEL DR
ROCKWALL, TX 75032

HAMILTON LARRY WAYNE & REBA DIANE
1216 BENTON WOODS DR
ROCKWALL, TX 75032

DALE ROBERT WAYNE
1216 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1217 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1217 WHISPER ROCK DR
ROCKWALL, TX 75032

RESIDENT
1218 CHAPEL DR
ROCKWALL, TX 75032

RESIDENT
1218 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FLADELAND HARVEY T & LORI
1218 WHISPER ROCK DR.
ROCKWALL, TX 75032

RESIDENT
1219 CHAPEL DR
ROCKWALL, TX 75032

PURDY PAULETTE
1219 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
122 FREEDOM CT
ROCKWALL, TX 75032

RESIDENT
122 LIBERTY LN
ROCKWALL, TX 75032

JOHNSON TREVOR R & DANA J
122 CLIPPER CT
ROCKWALL, TX 75032

MARENGO-ROWE JUSTINE
122 HENRY M CHANDLER DRIVE #122
ROCKWALL, TX 75032

LOWREY COLT A AND
LEO WISE
122 MISCHIEF LN
ROCKWALL, TX 75032

HORTON TREVOR L AND MEGAN
122 PURITAN COURT
ROCKWALL, TX 75032

CAMIEL JEFFREY M
122 SCEPTRE DR
ROCKWALL, TX 75032

RESIDENT
1220 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCMURTRE DREW
1220 COIT RD STE 107
PLANO, TX 75075

LASAGE TAMMY
1221 SIGNAL RIDGE PL #1221
ROCKWALL, TX 75032

2022 K.B. CARUSO REVOCABLE TRUST
KEVIN THOMAS CARUSO AND BRANDI NICOLE
CARUSO - TRUSTEES
1221 WHISPER ROCK DRIVE
ROCKWALL, TX 75032

WILLIS PATRICIA D
12218 GLADWICK DR
HOUSTON, TX 77077

RESIDENT
1222 WHISPER ROCK DR
ROCKWALL, TX 75032

HUFFHINES SHANON LYNN
1222 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

FRANCE'S LANDING LLC
12222 MERIT DRIVE STE 1000
DALLAS, TX 75251

RESIDENT
1223 CHAPEL DR
ROCKWALL, TX 75032

JONES ASHLEY C
1223 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1224 CHAPEL DR
ROCKWALL, TX 75032

MAHAND CLINT
1224 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1225 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KAHINDO FURAHA
1225 TOWN CETER DR APT 1947
PFLUGERVILLE, TX 78660

VICE JUDY
1226 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1227 SIGNAL RIDGE PL
ROCKWALL, TX 75032

SHANKS WILLIAM B
1228 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHRISTENSEN ALEXANDER
1229 SIGNAL RIDGE
ROCKWALL, TX 75087

RESIDENT
123 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
123 YACHT CLUB DR
ROCKWALL, TX 75032

THOMAS ALAN AND DANA
123 FREEDOM COURT
ROCKWALL, TX 75032

BAKER BOB W
1230 SIGNAL RIDGE PL UNIT 1230
ROCKWALL, TX 75032

WORTHY DENNIS K
1231 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

REEVES ROBERT E AND ZEARLENE J
1232 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

THIBODEAUX PAULA
1233 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HALL PRESTON MICHAEL AND
CORI HALL
1234 SIGNAL RIDGE PLACE UNIT 1234
ROCKWALL, TX 75032

RESIDENT
1235 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1236 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1237 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MILLS DONNA
1238 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1239 BENTON WOODS DR
ROCKWALL, TX 75032

RESIDENT
1239 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
124 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MONTOYA ASHLEY R & JOSE L
124 MISCHIEF LANE
ROCKWALL, TX 75032

POTISKA PATRICIA
124 PURITAN CT
ROCKWALL, TX 75032

WELCH JERL R & ANNE E
124 SCEPTRE DR
ROCKWALL, TX 75032

NGUYEN KIM LOAN
1240 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INDRA SUSANNA
1241 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1242 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1243 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1244 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
125 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
125 MISCHIEF LN
ROCKWALL, TX 75032

CASHMAN GINA L AND
JOEY L RIVER
125 CLIPPER CT
ROCKWALL, TX 75032

STEWART JAMES W
125 SHEPHERDS GLEN RD
ROCKWALL, TX 75032

GOFF SEAN & STEPHANIE BARNES
1250 BENTON WOODS DRIVE
ROCKWALL, TX 75032

DAVIS CODY AUSTIN AND ELISABETH ANNE
1257 BENTON WOODS DRIVE
ROCKWALL, TX 75032

RESIDENT
126 CLIPPER CT
ROCKWALL, TX 75032

RESIDENT
126 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BOLES ALAN L & DANA M
126 FREEDOM CT
ROCKWALL, TX 75032

FRANZA TODD AND KATIE
126 LIBERTY LN
ROCKWALL, TX 75032

LOPEZ CHRIS MARK AND ASHLEY MARIE
126 MISCHIEF LN
ROCKWALL, TX 75087

WINKLES GARY AND KRISTY
126 PURITAN CT
ROCKWALL, TX 75032

COLONIAL ESTATE IRREVOCABLE TRUST
TERRY L BROWN & BARRY R BROWN TRUSTEES
126 SCEPTRE DR
ROCKWALL, TX 75032

OSEE WILSON
12629 EPPS FIELD RD
FARMERS BRANCH, TX 75234

SNIDER MICHAEL AND CASSANDRA
127 FREEDOM CT
ROCKWALL, TX 75032

JONES JONATHAN
127 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TOWNEND DAVID WILLIAM AND JEANMARIE
127 LIBERTY LANE
ROCKWALL, TX 75032

MARTIN NAN YI
127 MICHIEF LANE
ROCKWALL, TX 75032

EVANS BETTY GERBERT
1275 LEMM RD 1
SPRING, TX 77373

RESIDENT
128 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
128 PURITAN CT
ROCKWALL, TX 75032

ROGINA FAMILY TRUST
SERGIO A LOPEZ-ROGINA AND SUSAN D VIDAL-
ROGINA- TRUSTEES
128 LIBERTY LANE
ROCKWALL, TX 75032

HALAMA STEVEN
128 MISCHIEF LN
ROCKWALL, TX 75032

SAINT-MU PATRICIA
128 SCEPTRE DR
ROCKWALL, TX 75032

CZECH JOSHUA AND SHARONA
1288 STANFORD DR
ROCKWALL, TX 75087

RESIDENT
129 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MANSFIELD PHYLLIS J
129 MISCHIEF LANE
ROCKWALL, TX 75032

LUCKEY CAROL MALATICH
13 INTREPID CIRCLE
ROCKWALL, TX 75032

RESIDENT
130 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BILLITER MARGARET AND ROGER
130 FREEDOM CT
ROCKWALL, TX 75032

HARGROVE PATRICIA ANN
130 MISCHIEF LANE
ROCKWALL, TX 75032

ZUK ELIZABETH
130 SCEPTRE DR
ROCKWALL, TX 75032

RESIDENT
1301 SUMMER LEE DR
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
1307 GUN CLUB CR
RICHARDSON, TX 75081

RESIDENT
131 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WALTON ALLEN NICK & WANDA JEAN
131 FREEDOM CT
ROCKWALL, TX 75032

CHURY JENNIFER LEIGH & BRIAN D
131 MISCHIEF LANE
ROCKWALL, TX 75032

TIMOTHY J AND LAURA D DRAELOS TRUST
TIMOTHY J DRAELOS AND LAURA D DRAELOS
TRUSTEES
13117 SANDSTONE PLACE NE
ALBUQUERQUE, NM 87111

RESIDENT
132 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
132 MISCHIEF LN
ROCKWALL, TX 75032

ZIELINSKI THOMAS ROBERT
132 LIBERTY LN
ROCKWALL, TX 75032

RESIDENT
133 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ASHMORE KEITH C & JENNIFER
133 LIBERTY LN
ROCKWALL, TX 75032

COFFEE CHARLES C AND DEBRA P
134 FREEDOM CT
ROCKWALL, TX 75032

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

RESIDENT
135 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROBISON BRUCE EMERSON
135 FREEDOM COURT
ROCKWALL, TX 75032

RESIDENT
136 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LISTER WILLIAM
136 LIBERTY LN
ROCKWALL, TX 75032

LEDE' HOWARD G AND ANNETTE M
1360 GOLD COAST DRIVE
ROCKWALL, TX 75087

RESIDENT
137 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
137 LIBERTY LN
ROCKWALL, TX 75032

MORRIS NICOLE E
13724 CORDARY AVE UNIT 7
HAWTHORNE, CA 90250

SANFORD JOSHUA K
1375 CLUBHILL DR
ROCKWALL, TX 75087

RESIDENT
138 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROGERS SHAWN A & BRENDA
138 FREEDOM CT
ROCKWALL, TX 75032

RESIDENT
139 FREEDOM CT
ROCKWALL, TX 75032

RESIDENT
139 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CHADCO INVESTMENTS LLC
13914 OVERLOOK LN
FORNEY, TX 75126

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

POURBEIK POUYAN AND TABASOM
14 INTREPID CIR
ROCKWALL, TX 75032

HILL SAMUEL J
14 PARK CENTRAL CIR
ROCKWALL, TX 75087

RESIDENT
140 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CURRENS KYLE ALLEN
140 LIBERTY LANE
ROCKWALL, TX 75032

WALKER SHERRIE G LIFE ESTATE
CYNTHIA SEELY & STEVEN WALKER
141 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BRADLEY DEBRA ANN
141 LIBERTY LANE
ROCKWALL, TX 75032

RESIDENT
142 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NIGH INVESTMENTS LIMITED LIABILITY
COMPANY
1420 PICKWICK LANE
DENTON, TX 76209

LEEDS JULIE
1423 ROLLINS DR
ALLEN, TX 75013

RESIDENT
143 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LANIGAN TIFFANY LEE
143 STEVENSON DR
FATE, TX 75087

AIR REAL ESTATE LLC
1432 AIRPORT BLVD
MESQUITE, TX 75181

RESIDENT
144 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MORRIS NORMA
144 LIBERTY LANE
ROCKWALL, TX 75087

RESIDENT
145 LIBERTY LN
ROCKWALL, TX 75032

TORRES PAULITA T
145 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
146 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
147 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WEAM MONAWAR AND
TAHANI MUNAWAR
1471 ENGLEWOOD DR
ROCKWALL, TX 75032

RESIDENT
148 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SUTHERLAND ETHAN JOHN
148 LIBERTY LN
ROCKWALL, TX 75032

JOHNSON TIFFANY MICHELLE
148 OXFORD
HEATH, TX 75032

HEFFERNAN MARILYN
1480 BLUEBELL DRIVE
ESTES PARK, CO 80517

RESIDENT
149 HENRY M CHANDLER DR
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

GLENDINNING ANTHONY AND CHRISTI BOYD
15 INTREPID CIR
ROCKWALL, TX 75032

PARNES DROR & ALEXANDRA
15 KESTREL COURT
ROCKWALL, TX 75032

PARNES ALEXANDRA
15 KESTREL CT
ROCKWALL, TX 75032

48 MKS LTD
15 WINDING LAKE DR
DALLAS, TX 75230

RESIDENT
150 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
1501 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WEST VICTORIA FELICIA
1502 SIGNAL RIDGE
ROCKWALL, TX 75032

LE VASSEUR SANDI
1503 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1504 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRINKMAN VICKI LYNN
1505 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WECHES LAND LTD
1505 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
1506 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FITZGERALD LARRY R AND JACQUELINE
1507 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1508 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
151 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROBERTS JOSHUA & CHRISTINA
151 LIBERTY LANE
ROCKWALL, TX 75032

COLLINS FAMILY TRUST
EWELL D COLLINS AND JENNIFER R TRUSTEES
1512 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BRAD RHODES REALTY LLC
1514 ANDY DRIVE
SHERMAN, TX 75092

LOAN RANGER CAPITAL INVESTMENTS LLC
1515 S CAPITAL OF TEXAS HWY STE 306
AUSTIN, TX 78746

RESIDENT
1517 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1518 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GUERRA JUSTIN
1519 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
152 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KNOTT STEPHEN D & SUSAN C
152 LIBERTY LN
ROCKWALL, TX 75032

CONFIDENTIAL
152 SHEPHERDS GLEN RD
ROCKWALL, TX 75032

DECKER SARAH E
1520 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCCLENDON JAMIE
1521 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1522 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BROWN CORY
1523 SIGNAL RIDGE
ROCKWALL, TX 75032

TABOR MARILYN W
1524 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1525 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OSBORN LARETHA
1526 SIGNAL RIDGE PLACE UNIT 1526
ROCKWALL, TX 75032

RESIDENT
1527 SIGNAL RIDGE PL
ROCKWALL, TX 75032

VANCLEVE BARRY CURTIS
1528 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1529 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HUGHES LUANN LYTLE AND RICHARD ANDREW
153 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NORWOOD BRYAN AND JENNIFER
153 WESTON CT
ROCKWALL, TX 75032

PINSON JON JEFFREY
1530 SIGNAL RIDGE PLACE BLDG S, UNIT 3
ROCKWALL, TX 75032

RESIDENT
1531 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1532 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1533 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1534 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NALL JODEE WAYNE
1535 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

SCHAR KATIE AND ERNST
1536 SIGNAL RIDGE PL UNIT 3
ROCKWALL, TX 75032

RESIDENT
1537 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1538 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1539 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
154 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILLIAMS CHARLES M AND TIFFANY
1540 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LIVELY FRED W & PAULA J
1545 SUMMER LEE DR
ROCKWALL, TX 75032

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

JACKSON STEVEN J AND BARBARA A
1554 MCDONALD RD
ROCKWALL, TX 75032

JACKSON STEVEN J AND BARBARA A
1554 MCDONALD RD
ROCKWALL, TX 75032

RESIDENT
156 HENRY M CHANDLER DR
ROCKWALL, TX 75032

OURSLEER JIM & BETTY L
156 LIBERTY LN
ROCKWALL, TX 75032

RESIDENT
157 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RICKLEFS MARY E
159 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
16 INTREPID CIR
ROCKWALL, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DR
HEATH, TX 75032

CURRENS WAYNE & ARLENE TRUSTEES
BUCHNER/CURRENS FAMILY TRUST
16 LAKEWAY DR
HEATH, TX 75032

RESIDENT
160 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SHELTON CRAIG
160 LIBERTY LN
ROCKWALL, TX 75032

MILLER LYNETTE LIFE ESTATE
ALISON LYN FOX
1601 BAYCREST TRAIL
HEATH, TX 75032

RESIDENT
161 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAM KULYA
1619 RAINTREE CIR
SULPHUR SPRINGS, TX 75482

COUGHLIN DIANE AND BRIAN FOULKS
162 HENRY M CHANDLER DRIVE UNIT 162
ROCKWALL, TX 75032

RESIDENT
163 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
164 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
165 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BISHOP HOLLOW LLC
1650 JOHN KING BLVD #406
ROCKWALL, TX 75032

RESIDENT
166 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KUPERMAN IGOR
166 HENRY M CHANDLER
ROCKWALL, TX 75032

RESIDENT
167 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAMIREZ KIMBERLIE M AND
JEFFREY T GROSSO
1670 WINDING CREEK LANE
ROCKWALL, TX 75032

BURNETT JAMES AND ELIZABETH
168 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
169 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILKE PATRICIA LYTLE
17 INTREPID CIR
ROCKWALL, TX 75032

RESIDENT
170 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
171 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SCHULL ROBERT F & MISSY SCHULL
1715 SUMMER LEE DRIVE
ROCKWALL, TX 75032

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

RESIDENT
172 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
173 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

RESIDENT
174 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
175 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LEMMOND BRENTON
175 E INTERSTATE 30
GARLAND, TX 75043

RESIDENT
176 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FERNANDEZ RENEE LINDA
177 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
178 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BLOCKER JAMES ROBERT & MARY KATHERINE
TRUSTEES
JAMES & MARY BLOCKER FAMILY TRUST
1796 MYSTIC STREET
ROCKWALL, TX 75032

ANSARI MOHAMMAD TARIQ
1799 LA COSTA DR
ROCKWALL, TX 75032

RESIDENT
18 INTREPID CIR
ROCKWALL, TX 75032

MEDINA ALEJANDRO
1800 DALROCK #100
ROWLETT, TX 75088

TEEL ALVIN AND EUAMDEUANE
1802 MYSTIC ST
ROCKWALL, TX 75032

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

DWA EQUITIES LLC
1802 SIGNAL RIDGE
ROCKWALL, TX 75032

REYNOLDS MICHAEL W AND STEPHANE
1803 MYSTIC STREET
ROCKWALL, TX 75032

RESIDENT
1804 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1804 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1806 MYSTIC ST
ROCKWALL, TX 75032

MOSS WILLIAM B & COLLEEN W
1806 BRISTOL LN
ROCKWALL, TX 75032

DENYSSCHEN REGENALD R & SALLY
1807 LA COSTA DR
ROCKWALL, TX 75032

LORD DEE A
1809 BRISTOL LN
ROCKWALL, TX 75032

SHIELDS KENNETH L AND SANDRA J
1809 MYSTIC STREET
ROCKWALL, TX 75032

RESIDENT
1810 MYSTIC ST
ROCKWALL, TX 75032

COCANOUGH T TODD M
1810 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1812 BRISTOL LN
ROCKWALL, TX 75032

RIDDLE LARRY W & NANCY
1813 MYSTIC ST
ROCKWALL, TX 75032

ELVIA INV LLC
1814 MYSTIC ST
ROCKWALL, TX 75032

MARTIN GRAHAM S AND
SAMANTHA M BARTELL
1815 BRISTOL LANE
ROCKWALL, TX 75032

GATSON OSCAR D & PATSY M
1816 BRISTOL LN
ROCKWALL, TX 75032

LASPE FAMILY TRUST
FORREST ROBERT LASPE & NANCY KAY LASPE,
TRUSTEES
1817 LA COSTA DR
ROCKWALL, TX 75032

ESPINOZA CARLOS DAVID AND KATIE LYNN
1817 MYSTIC STREET
ROCKWALL, TX 75032

FITZGERALD LARRY AND JEANA MARIE
1818 MYSTIC STREET
ROCKWALL, TX 75032

FLOYD LISA
1819 BRISTOL LN
ROCKWALL, TX 75032

GONZALES KAYLEIGH AND RICHARD
1820 BRISTOL LANE
ROCKWALL, TX 75032

SOMERS CHARLES LEWIS JR AND MICHELLE
IRENE
18208 PRESTON RD SUITE D9-408
DALLAS, TX 75252

FUENTES DANIEL & LISA
1821 MYSTIC ST
ROCKWALL, TX 75032

WILSON PATRICIA
1822 MYSTIC ST
ROCKWALL, TX 75032

RESIDENT
1823 BRISTOL LN
ROCKWALL, TX 75032

PATRICK JANET
WILLIAMS PAUL KIRKLAND
1824 BRISTOL LN
ROCKWALL, TX 75032

FORD SAMUEL M & SUSAN D
1825 LA COSTA DR
ROCKWALL, TX 75032

RESIDENT
1827 MYSTIC ST
ROCKWALL, TX 75032

WHITE LISA
1828 MYSTIC ST
ROCKWALL, TX 75032

TIPPS MIGUEL
1829 BRISTOL LN
ROCKWALL, TX 75032

PHILLIPS DEBRA
1830 BRISTOL LN
ROCKWALL, TX 75032

FKH SFR PROPCO A LP
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

RESIDENT
1872 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GODFREY GREGORY GRANT
1874 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FIELD JACK B
1875 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1876 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1877 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1878 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1879 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DENNIS JOHN F & COLETTE
1880 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1881 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KOSANOVICH VALERIE
1882 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PETSCH VICKI & JOHN
1883 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

URBAN CLARA ELIZABETH
1884 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1885 SIGNAL RIDGE PL
ROCKWALL, TX 75032

POSKA STEPHEN
1886 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RUBLE ROLAND E AND BARBARA R
1887 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1888 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1889 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1890 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1891 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1893 SIGNAL RIDGE PL
ROCKWALL, TX 75032

HUNT CONNIE S
1902 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

ROSS DONNA C
1904 SIGNAL RIDGE PL
ROCKWALL, TX 75032

NIPPER JAMES L JR & JEAN G
1906 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BALLARD CARLEY E JR
1907 LAKEVIEW DR
ROCKWALL, TX 75087

RESIDENT
1908 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BREZ RAYMOND C & M LYNNE TRUSTEES
BREZ FAMILY TRUST
1910 SIGNAL RIDGE
ROCKWALL, TX 75032

HOESL DONALD CARL
1912 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
1914 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1916 SIGNAL RIDGE PL
ROCKWALL, TX 75032

MCLEAN SANDRA H
1918 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BOJORQUEZ MANUEL & LYNSEY
19185 PALM VIS
YORBA LINDA, CA 92886

RESIDENT
1920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

OLSEN CATHERINE A
1920 KINGS PASS
HEATH, TX 75032

SIDDIQI NAVEED AND TAMARA ABDULWAHAB
194 BURNS ST
FOREST HILLS, NY 11375

SIDDIQI NAVEED & TAMARA ABDUL WAHAB
194 BURNS ST
FOREST HILLS, NY 11375

RESIDENT
1944 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1946 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTEP DONNA GAIL
1948 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1950 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1952 SIGNAL RIDGE PL
ROCKWALL, TX 75032

FAIRCLOTH JERRY AND BARBARA
1954 SIGNAL RIDGE RD
ROCKWALL, TX 75032

VREELAND DENISE AND
DAN CALNON
1956 GEAR AVE
FAIRFIELD, IA 52556

STEFANI KIM BERNARD AND PATRICIA HELEN
1956 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BROWN WALTER R & MARJORIE C
196 WILLOW OAK WAY
PALM COAST, FL 32137

EYRE JENEVIEVE
1982 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BOYD BARBARA
1984 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1986 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1988 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1990 SIGNAL RIDGE PL
ROCKWALL, TX 75032

JONES HARVEY E & MARY D
1992 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
1995 SUMMER LEE DR
ROCKWALL, TX 75032

5 TO 1 LIVING TRUST
2 INTREPID CIRCLE
ROCKWALL, TX 75032

BYBEE TERRY DON & CATHERINE DENISE
2 SHADYDALE LANE
ROCKWALL, TX 75032

RESIDENT
20 INTREPID CIR
ROCKWALL, TX 75032

VINES GREGORY S
200 VZCR 3710
EDGEWOOD, TX 75117

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

RESIDENT
2000 PORTOFINO DR
ROCKWALL, TX 75032

MILLENNIUM TRUST COMPANY LLC
CUSTODIAN FBO WILLIAM COMPTON
2001 SPRING RD SUITE 700
OAK BROOK, IL 60523

RESIDENT
2003 PORTOFINO DR
ROCKWALL, TX 75032

HARVILLE BRET
2003 PORTOFINO DR
ROCKWALL, TX 75032

DASILVA JOHN M
2009 TOUCH GOLD CT
ROWLETT, TX 75088

RESIDENT
201 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
201 SOVEREIGN CT
ROCKWALL, TX 75032

COMMUNITY BANK OF ROCKWALL
201 E KAUFMAN ST
ROCKWALL, TX 75087

BAXTER ERIKA LEE GARDNER AND SCOTT
201 FREEDON CT
ROCKWALL, TX 75032

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

ROJAS SAMUEL AND
SANDRA ELIZABETH MORALES LEDESMA
201 RAINBOW CIRCLE
ROCKWALL, TX 75032

MACFARLANE VICTOR L TRUST
VICTOR B & THADERINE D MACFARLANE
TRUSTEES
201 SPEAR ST STE 1000
SAN FRANCISCO, CA 94105

WATTERSON RONALD AND MICHAEL M
SAMBOGNA
2011 CEDAR SPRINGS R 604 2011 CEDAR
SPRINGS
DALLAS, TX 75201

RESIDENT
2018 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
202 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MATTESON EVAN RICHARD & VIRGINIA ANN
202 GRETTEL PL
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER RICHARD M ET UX
202 RAINBOW CIR
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW CIRCLE
ROCKWALL, TX 75032

SELZER DEANNA
202 RAINBOW DR
ROCKWALL, TX 75032

CARTER DAVID F & CYNTHIA W
202 SOVEREIGN CT
ROCKWALL, TX 75032

NILSON ROXIE, TRUSTEE
ROXIE NILSON LIVING TRUST
202 WINDWARD PASSAGE APT 607
CLEARWATER BEACH, FL 33767

RESIDENT
2020 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2022 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2022 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BANNISTER ZACHARY
2023 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
2024 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2024 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
2026 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2026 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
2028 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2028 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LARAPINTA LLC
2028 E. BEN WHITE BLVD # 240-5820
AUSTIN, TX 75741

RESIDENT
203 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
203 RAINBOW CIR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

RYAN BETTY & JAMES
203 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
2030 PORTOFINO DR
ROCKWALL, TX 75032

THE NORMA J CAULEY LIVING TRUST
NORMA JEAN CAULEY
2030 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
2032 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
2034 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
2036 PORTOFINO DR
ROCKWALL, TX 75032

CURRENS KEVIN WAYNE
2036 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
2038 PORTOFINO DR
ROCKWALL, TX 75032

COLLIER ROBERT
2038 SIGNAL RIDGE
ROCKWALL, TX 75032

BRUMMETT JOHN W
204 GRETEL PLACE
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
CARLOS AUGUSTO MOSQUERA
204 HARBOR LANDING
ROCKWALL, TX 75032

SHORT KATHRYN FARLEY
204 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75088

YOUNGBLOOD JOLYNN AND TERRY DON
204 RAINBOW CIR
ROCKWALL, TX 75032

ALLEN FRANCIS CONRAD
204 SOVEREIGN CT
ROCKWALL, TX 75032

ROLAND MICHAEL D AND SHARON V
2040 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

HOMS SALVADOR
2042 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
2044 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
205 HENRY M CHANDLER DR
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST
MICHAEL D KNABLE TRUSTEE
205 BENTON DRIVE APT 1202
ALLEN, TX 75013

KOCUREK MICHELLE
205 FREEDOM COURT
ROCKWALL, TX 75032

YNIGUEZ THOMAS WAYNE &
MANDY E YNIGUEZ
205 MAGIC LN
SUNNYVALE, TX 75182

PAHMEIER JOHN P AND LANA D
205 RAINBOW CIR
ROCKWALL, TX 75032

SILVA ERNESTO AND
SETH SPAVEN
205 SOVEREIGN COURT
ROCKWALL, TX 75032

GOODCHILD ROBERT R
205 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
206 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SCHROEPFER BRADLEY ROBERT & TAMMY LYNN
206 GRETTEL PLACE
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

ROY BROOKE LEE AND JAMIN LANCE
206 RAINBOW CIRCLE
ROCKWALL, TX 75032

RESIDENT
207 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BARTO GARY J & TERRI
207 RAINBOW CIRCLE
ROCKWALL, TX 75032

GROVE JERRY DAVID
207 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
208 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MOYER JOHN R ETUX CINDY
208 GRETTEL PL
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

BOESCH PATRICE RENEE
208 LIONHART PL
ROCKWALL, TX 75032

FISHER FRANK C JR & CHRISTINE K KYLE
208 RAINBOW CR
ROCKWALL, TX 75032

SLATE CRAIG AND TANYA
208 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

RESIDENT
209 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LANE LAWRENCE DALE & HARRIETT B
209 FREEDOM COURT
ROCKWALL, TX 75032

THEO SHEILA L
209 RAINBOW CIRCLE
ROCKWALL, TX 75032

FROST KIMBERLY
209 SOVEREIGN COURT
ROCKWALL, TX 75032

SUMMEY JOSHUA L AND AMANDA L
209 YACHT CLUB DRIVE
ROCKWALL, TX 75032

MORRISON MICHAEL JARED AND
SARAH MARIE GOOCH
210 FREEDOM CT
ROCKWALL, TX 75032

MCKINNEY BEVERLY KAY AND FRANKIE
210 HENRY M CHANDLER DRIVE
ROCKWALL, TX 75032

COLLICHIO KIMBERLY CULLINS
210 RAINBOW CIR
ROCKWALL, TX 75032

CROSS KIMBERLY CULLINS
210 RAINBOW CR
ROCKWALL, TX 75032

STELTE NICHOLAS & CHELSEA
210 SOVEREIGN CT
ROCKWALL, TX 75032

LEWIS COLIN BRAD
2101 BRISBON ST
FATE, TX 75189

LEWIS COLIN BRAD
2101 BRISBON ST
FATE, TX 75189

ROMER ENTERPRISES, LLC
2101 BRISBON STREET
FATE, TX 75189

RESIDENT
211 HENRY M CHANDLER DR
ROCKWALL, TX 75032

COOKE MELANIE
211 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
212 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILKERSON DARYL R & LYNN
212 LIONHART PL
ROCKWALL, TX 75032

SUTTON MARK
212 RAINBOW CIRCLE
ROCKWALL, TX 75032

ESCH JUDD D & CHRISTINE E
212 SOVEREIGN COURT
ROCKWALL, TX 75032

ZEAL PROPERTY DEVELOPMENT LLC
2121 KINGS PASS
HEATH, TX 75032

RESIDENT
213 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
213 SOVEREIGN CT
ROCKWALL, TX 75032

MONKRESS MONTE R & MARGARET D
213 FREEDOM CT
ROCKWALL, TX 75032

RESIDENT
214 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GENTZEL DUSTIN AND SHANA
214 FREEDOM COURT
ROCKWALL, TX 75032

MOORE GREGORY J
2140 PORTOFINO DR
ROCKWALL, TX 75032

RESIDENT
215 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
216 HENRY M CHANDLER DR
ROCKWALL, TX 75032

YU HEQING & YIN YANG
216 LIONHART PLACE
ROCKWALL, TX 75032

KIRK MARY
216 SOVEREIGN CT
ROCKWALL, TX 75032

RESIDENT
217 HENRY M CHANDLER DR
ROCKWALL, TX 75032

NORRIS KIMBERLY S
217 FREEDOM CT
ROCKWALL, TX 75032

RESIDENT
218 HENRY M CHANDLER DR
ROCKWALL, TX 75032

WILLIAMS HARRY E & MARGARET
218 FREEDOM CT
ROCKWALL, TX 75032

O'CONNOR GLORIA J
219 HENRY M CHANDLER DR #219
ROCKWALL, TX 75032

RESIDENT
220 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
220 LIONHART PL
ROCKWALL, TX 75032

1879 ROCKETEER HOLDINGS LLC
2200 ROSS AVE 3600
DALLAS, TX 75201

MCCASKILL KRISTOFER
221 FREEDOM COURT
ROCKWALL, TX 75032

3 STRANDED CORD, LLC
221 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ARCHER MAX & HELEN MANAGEMENT TRUST
MAX EARL & HELEN GAETA ARCHER CO
TRUSTEES
221 SOVEREIGN COURT
ROCKWALL, TX 75032

RESIDENT
222 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AGNEW MICHAEL THOMAS AND KARLA KAY
222 FREEDOM COURT
ROCKWALL, TX 75032

AUSBURN CHARLES NEAL AND
MELVILLE CYRIL BAILEY II
222 SOVEREIGN CT
ROCKWALL, TX 75032

CROWELL ROBERT J AND POLLY
223 SOVEREIGN CT
ROCKWALL, TX 75032

MCCALLUM TERRY
2231 W FM 550
ROCKWALL, TX 75032

RESIDENT
224 SOVEREIGN CT
ROCKWALL, TX 75032

DUNCAN FRANK T AND NORMA E
224 LIONHART PLACE
ROCKWALL, TX 75032

RESIDENT
225 SOVEREIGN CT
ROCKWALL, TX 75032

LUCIANO ANTHONY
225 FREEDOM COURT
ROCKWALL, TX 75032

THORNE ROGER J
226 CREEK CROSSING LN
ROYSE CITY, TX 75189

BELL LINDA W
226 FREEDOM CT
ROCKWALL, TX 75032

CASTER JAMES E
228 HENRY M CHANDLER
ROCKWALL, TX 75087

HOLLIS CODY JONATHAN
228 LIONHART PLACE
ROCKWALL, TX 75032

DYER STACY D
228 SOVEREIGN COURT
ROCKWALL, TX 75032

RESIDENT
229 HENRY M CHANDLER DR
ROCKWALL, TX 75032

TONICK MICHAEL D & JANET A
229 FREEDOM CT
ROCKWALL, TX 75032

RESIDENT
230 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
231 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROMER ENTERPRISES LLC
2311 NORWICH DR
CARROLLTON, TX 75006

NASH TERRY L & MARGARET SPEAR
232 LIONHART PL
ROCKWALL, TX 75032

BAKKAL RENE & MESUT
232 SOVEREIGN CT
ROCKWALL, TX 75032

HENDERSON DON AND MARIA
234 BRISTOL CT
HEATH, TX 75032

RESIDENT
236 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MOLTZAN HERBERT J & JANET R
236 LIONHART PL
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

RESIDENT
237 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
238 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
239 HENRY M CHANDLER DR
ROCKWALL, TX 75032

AMH 2014-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIES TWO
LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

RESIDENT
240 HENRY M CHANDLER DR
ROCKWALL, TX 75032

SWERCINSKY CAPRICE MICHELLE
240 WILLOWCREST
ROCKWALL, TX 75032

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

COGBURN DEWAYNE AND GLENNA
2400 TRINITY COURT
HEATH, TX 75032

ODOM LACEY AND JOSH
2402 YACHT CLUB DR
ROCKWALL, TX 75032

MORALE PATRICIA L
241 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GLENVIEW PROPERTIES LLC
244 MOCKINGBIRD LANE
HEATH, TX 75032

220HMC LLC
245 BARNES BRIDGE RD
SUNNYVALE, TX 75182

PARRISH WENDY R
246 VICTORY LN
ROCKWALL, TX 75032

GATZKE LISA AND JAMES
247 VICTORY LANE
ROCKWALL, TX 75032

RESIDENT
249 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
250 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAINS BILLIE F
2500 DISCOVERY BLVD SUITE 300
ROCKWALL, TX 75032

ALDI TEXAS LLC
2500 WESTCOURT ROAD
DENTON, TX 76207

RESIDENT
251 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HARRIS ERIC & DEBBIE
251 VICTORY LN
ROCKWALL, TX 75032

ROBERTS GARREN B AND MARY BERNADETTE
FIDELMA ROBERTS
25112 SLEEPY HOLLOW
LAKE FOREST, CA 92630

ROBERTS GARREN AND MARY BERNADETTE
FIDELMA
25112 SLEEPY HOLLOW
LAKE FOREST, CA 92630

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

RESIDENT
252 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
253 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LASANCE RICHARD & SHIRLEY
253 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
254 HENRY M CHANDLER DR
ROCKWALL, TX 75032

ROCKWALL LOT 3 OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760
CORAL GABLES, FL 33134

2055 SUMMER LEE ROCKWALL OWNER LLC
255 ALHAMBRA CIRCLE SUITE 760
CORAL GABLES, FL 33134

TONA CHAD J & MARTI
256 VICTORY LANE
ROCKWALL, TX 75032

RESIDENT
257 VICTORY LN
ROCKWALL, TX 75032

POWELL ALEAH D
259 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
260 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
261 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CARNEY DON
262 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HANSEN J D & PATRICIA
262 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
263 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
264 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
264 VICTORY LN
ROCKWALL, TX 75032

DUHON CRAIG AND DONNA
2640 WHITE ROAD
ROCKWALL, TX 75032

RESIDENT
267 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
268 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STUBBLEFIELD SUSAN
268 VICTORY LN
ROCKWALL, TX 75032

FERRIS BETH ANN
269 HENRY M CHANDLER DRIVE UNIT 269
ROCKWALL, TX 75032

RESIDENT
270 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LE LINH
2701 CEDAR COURT
ROCKWALL, TX 75032

MUMPHREY SCHEDRICK RANDTEZ AND
MELODY HOSKINS
2702 FOXCHASE LANE
ROCKWALL, TX 75032

ESTES JACK D & DELORES E
2703 CEDAR CT
ROCKWALL, TX 75032

HOUSTON RICHARD AND
LINDSAY WEATHERREAD
2704 FOXCHASE LANE
ROCKWALL, TX 75032

HOWELL BRIAN K
2704 FOXCHASE LN
ROCKWALL, TX 75032

BOSWELL ROBERT L & AMY S
2705 CEDAR CT
ROCKWALL, TX 75032

NIXON KENNETH G & MARY H
2707 CEDAR CT
ROCKWALL, TX 75032

ALBRECHT LAWRENCE & LINDA
2709 CEDAR CT
ROCKWALL, TX 75032

RESIDENT
271 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LUO JIAN AND KUN
2711 CEDAR CT
ROCKWALL, TX 75032

ARMSTRONG MARY B
2713 CEDAR CT
ROCKWALL, TX 75032

KRUSZ WILLIAM C & EVELYN KAY
2715 CEDAR CT
ROCKWALL, TX 75032

DILOV VANIO
2717 LAKEWOOD
ROWLETT, TX 75088

RESIDENT
272 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FRANCISCO CAROLYN ELLISON
272 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
273 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
274 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MASON JANIS E
275 HENRY M CHANDLER DR UNIT 3
ROCKWALL, TX 75032

CARPENTER CHARLES KENNETH JR AND LIDA L
2752 E FM 552
ROCKWALL, TX 75087

RESIDENT
276 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GALLANT ENTERPRISE LLC
2765 ROKI DELL LANE
ROCKWALL, TX 75032

RESIDENT
277 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LANE
HEATH, TX 75032

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

BURKETT MARY R
CUSTODIAN F/BENJAMIN HERRINGTON E
BURKETT
277 TERRY LN
ROCKWALL, TX 75032

BURKETT MARY REBECCA
277 TERRY LN
ROCKWALL, TX 75032

BURKETT MARY REBECCA EASON
277 TERRY LN
HEATH, TX 75032

BURKETT BENJAMIN HERRINGTON E
MARY R BURKETT CUSTODIAN
277 TERRY LN
HEATH, TX 75032

RESIDENT
278 HENRY M CHANDLER DR
ROCKWALL, TX 75032

HENZEN CARLA
278 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

NICKSON SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

CGN SPYGLASS LLC
2807 EASTGROVE LN
HOUSTON, TX 77027

AMERICAN CONDO CORP OF HOUSTON
2807 EASTGROVE LN
HOUSTON, TX 77027

DEMARS GREGORY SCOTT AND
CYNTHIA LEE FLOYD
281 VICTORY LANE
ROCKWALL, TX 75032

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

BALLARD M WEST & AMANDA B
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

BALLARD AMANDA L &
MATTHEW WEST BALLARD
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

HALL JASON M & CORI M
284 VICTORY LN
ROCKWALL, TX 75032

BROWN TERRI LYNN
285 VICTORY LN
ROCKWALL, TX 75032

T & B FAMILY LIMITED PARTNERSHIP
2879 LAGO VISTA DR
ROCKWALL, TX 75032

RUBENSTEIN ALAN AND
GINA STRICKLIN
2880 LAGO VISTA LN
ROCKWALL, TX 75032

HEINDEL MATTHEW A & HEATHER
2881 NEWPORT PLACE
ROCKWALL, TX 75032

QUINTERO BERTHA L
2885 NEWPORT DR
ROCKWALL, TX 75032

RESIDENT
2889 NEWPORT DR
ROCKWALL, TX 75032

BYRUM CURTIS R AND SUSAN L
289 VICTORY LN
ROCKWALL, TX 75032

DEVYANI SEEMA T
2905 NEWPORT DRIVE
ROCKWALL, TX 75032

JOHNSON DAVID
291 VICTORY LN
ROCKWALL, TX 75032

BALLARD JUSTIN AND MELODY
2910 GREENWAY DRIVE
ROCKWALL, TX 75087

VEGA EMMANUEL M VILLA
2911 NEWPORT DRIVE
ROCKWALL, TX 75032

RESIDENT
2912 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
2917 NEWPORT DR
ROCKWALL, TX 75032

BAILEY RONALD C AND BETH K
2919 COUNTRY PLACE CIR
CARROLLTON, TX 75006

WAFFER DANNY KAY
2920 LAGO VISTA LANE
ROCKWALL, TX 75032

RESIDENT
2923 NEWPORT DR
ROCKWALL, TX 75032

CRIBARI JAMES & DEBBIE
2928 NEWPORT DRIVE
ROCKWALL, TX 75032

HAGOS SELAMAWIT AND
EMANUELE DI STEFANO
2929 NEWPORT PLACE
ROCKWALL, TX 75032

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

WOOD JOHN S & LISA MARIE
293 VICTORY LN
ROCKWALL, TX 75032

HOLLOWAY KAREN HOUSTON
2931 RIDGE RD #101-51
ROCKWALL, TX 75032

SALT PROPERTIES LLC
2931 RIDGE ROAD SUITE 101-181
ROCKWALL, TX 75032

SMITH JAY E & KRISTY A
2932 LAGO VISTA LN
ROCKWALL, TX 75032

MONSERATE NIDA S & MACARIO
2934 NEWPORT DR
ROCKWALL, TX 75032

NORTON MONICA JEAN
2935 NEWPORT DR
ROCKWALL, TX 75032

JEON YONG J
2941 NEWPORT DR
ROCKWALL, TX 75032

RESIDENT
2944 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
2944 NEWPORT DR
ROCKWALL, TX 75032

LA VALVA MARAJILL AND RICHARD
2947 NEWPORT DRIVE
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 VICTORY LN
ROCKWALL, TX 75032

PATEL HIMANSHU S AND NIKITA H
2952 OAK DR
ROCKWALL, TX 75032

CEKA ENKELEJD
2953 NEWPORT DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
2954 OAK DR
ROCKWALL, TX 75032

WHISMAN RAYMOND V & KATHY M
2956 LAGO VISTA LANE
ROCKWALL, TX 75032

BRELAND JUNIOR L & SERENIAH K
2956 OAK DR
ROCKWALL, TX 75032

JORDAN WILLIAM
2958 OAK DR
ROCKWALL, TX 75032

FRIZZELL BARBARA
2960 OAK DRIVE
ROCKWALL, TX 75032

SEEDS DAVID R
2961 S CHERRY WAY
DENVER, CO 80222

KEVIN T MONK AND LISA M MONK REVOCABLE
LIVING TRUST
KEVIN T AND LISA M MONK TRUSTEES
2962 OAK DR
ROCKWALL, TX 75032

SERCY NORMAN W & MARSHA M
2963 LAGO VISTA LN
ROCKWALL, TX 75032

RESIDENT
297 HAVORVIEW DR
ROCKWALL, TX 75032

LYNN JASON AND DANIELLE
297 VICTORY LANE
ROCKWALL, TX 75032

PREWITT CARROLL O JR AND MARY E
2970 OAK DR
ROCKWALL, TX 75032

VARNER GLENN MERRILL & CARRIE G
2972 OAK DR
ROCKWALL, TX 75032

BOWERMAN FAMILY TRUST
JACK E AND HELEN R BOWERMAN TRUSTEES
2974 OAK DR
ROCKWALL, TX 75032

CURRA CHRISTOPHER
2975 BLACKBURN ST APT 1019
DALLAS, TX 75204

RAMOS EMILIO & MARIA C
2976 OAK DR
ROCKWALL, TX 75032

BEVILL HELEN M AND
CHANDRA KARLEN
2977 OAK DR
ROCKWALL, TX 75032

FOSTER DONNA JO
2978 OAK DRIVE
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

PERRY GEORGE DAVID & SANDRA SUE
299 VICTORY LN
ROCKWALL, TX 75032

PORTER INVESTMENTS LLC
3 COVE CREEK COURT
HEATH, TX 75032

SPARKS PHILIP R
3 INTREPID CIR
ROCKWALL, TX 75032

POPLAR HILLS. LLC SERIES E- 154 HENRY
CHANDLER
30 WINDSOR DRIVE
ROCKWALL, TX 75032

RIVERA LUIS
300 S WATTERS RD APT 127
ALLEN, TX 75103

JONES CHRISTOPHER ASHLEY & LESLIE
300 SHAMROCK CIRCLE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

RIBAIL LEAH
301 COLUMBIA DR
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MIRFENDERESKI JONAH JAVAD AND
NALINA MICHELLE SHAPIRO
301 VALIANT DRIVE
ROCKWALL, TX 75032

SERRANO CHRISTIAN
301 VILLAGE DR APT 307
KING OF PRUSSIA, PA 19406

AL MUNAJID MOHD NAZIH & SALMA ALHEWANI
302 COLUMBIA DRIVE
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

RICHARDS JOAN S
302 SHAMROCK CIR
ROCKWALL, TX 75032

RESIDENT
3020 RIDGE RD
ROCKWALL, TX 75032

SULLIVAN MORTIMER M & CAROLYN B
REV LIVING TRUST AGREEMENT
3020 RIDGE RD
ROCKWALL, TX 75032

THACKER N FAMILY TRUST AND
SHEEGOG FAMILY TRUST
3021 RIDGE RD SUITE 26
ROCKWALL, TX 75032

PRESERVE CUSTOM HOMES LLC
3021 RIDGE RD #205
ROCKWALL, TX 75032

ORLEANS ON THE LAKE HOMEOWNERS ASSN
3021 RIDGE RD #A252
ROCKWALL, TX 75032

VANHORN WILLIAM & PENNI
JOSEPH HENRY & KRISTINE ELIZABETH ZYLKA
3021 RIDGE RD SUITE A-66
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
303 VALIANT DR
ROCKWALL, TX 75032

WHITE TERRI
303 COLUMBIA DRIVE
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

ANDERSON MARK ANDREAS
303 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BALLARD CHRISTOPHER AND ANDREA
303 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
304 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
304 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
304 SHAMROCK CIR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
305 HENRY M CHANDLER DR
ROCKWALL, TX 75032

CUNNINGHAM KERRI JON
305 COLUMBIA DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

HALL TABITHA AMY AND
TERESA ADAMS
305 VALIANT DR
ROCKWALL, TX 75032

LAM PROPERTY
3051 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
306 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
306 SHAMROCK CIR
ROCKWALL, TX 75032

RESIDENT
306 VICTORY LN
ROCKWALL, TX 75032

DOTSON MICHAEL J
306 COLUMBIA DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

WATTERSON RONALD E & MICHAEL E
SAMBOGNA
306 SHAMROCK CIRCLE
ROCKWALL, TX 75032

RESIDENT
3060 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
307 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RIBAIL MAUREEN A
307 COLUMBIA DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARORVIEW DR
ROCKWALL, TX 75032

SANFORD TIMOTHY & KELLE
307 VALIANT DRIVE
ROCKWALL, TX 75032

MCNAIR KELLY
307 VICTORY LN
ROCKWALL, TX 75032

RESIDENT
308 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

MCCLAIN-SMITH GARETH AND
DONNA L WINDSOR
308 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FRY RANOR C AND NORMA L
308 SHAMROCK CIRCLE
ROCKWALL, TX 75032

RESIDENT
3085 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
309 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
309 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
309 VALIANT DR
ROCKWALL, TX 75032

MCKINNEY NANCY C
309 COLUMBIA DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

FALLS DAVID & TERRI
309 ROOKERY CT
MARCO ISLAND, FL 34145

GILLEAN AND POTTER REAL ESTATE LLC
3090 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
310 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
310 VICTORY LN
ROCKWALL, TX 75032

BRIDGES MICHAEL AND DEBRA
310 COLUMBIA DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR <Null>
ROCKWALL, TX 75032

RESIDENT
3100 RIDGE RD
ROCKWALL, TX 75032

VEAL JEREMY
3101 BOURBON ST
ROCKWALL, TX 75032

GARCIA YAHAIRA
3103 BOURBON STREET CIR
ROCKWALL, TX 75032

BELL WILLIAM B AND KRISTA D
3104 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

RESIDENT
3105 BOURBON ST CIR
ROCKWALL, TX 75032

BOSWELL PAMELA
3107 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

PEADEN SPURGEON THOMAS AND WANDA
JOYCE
3108 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

SORRELL PATRICIA
3109 BOURBON ST
ROCKWALL, TX 75032

SORRELL PATRICIA A AND
MARK ANDREWS
3109 BOURBON STREET CIR
ROCKWALL, TX 75032

RESIDENT
311 VALIANT DR
ROCKWALL, TX 75032

JONES JEFFERY S & SHERIDAN D
311 COLUMBIA DR
ROCKWALL, TX 75032

JONES SHERIDAN S
311 COLUMBIA DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

LONG SHAWN
3110 BOURBON STREET CIR
ROCKWALL, TX 75032

KOZEL ALEXANDER & KIMBERLY
3110 FARM ROAD 195
PARIS, TX 75462

RESIDENT
3111 BOURBON ST CIR
ROCKWALL, TX 75032

RESIDENT
3112 BOURBON ST CIR
ROCKWALL, TX 75032

RESIDENT
3113 BOURBON ST. CIR
ROCKWALL, TX 75032

RESIDENT
3114 BOURBON ST CIR
ROCKWALL, TX 75032

RESIDENT
3115 RIDGE RD
ROCKWALL, TX 75032

BILLY AND VICKIE COLEMAN REVOCABLE TRUST
BILLY C COLEMAN AND VICKIE D COLEMAN -
TRUSTEES
3115 BOURBON ST CIR
ROCKWALL, TX 75032

ANDERSON CLAUDIA
3117 BOURBON STREET CIR
ROCKWALL, TX 75032

KELBERT ERIC R
3119 BOURBON STREET CIR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

WHATLEY JEFF W AND DIANE
312 COLUMBIA DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

IMAN SUE ROFFEE LIVING TRUST
IMAN SUE ROFFEE AND JOSEPH MICHAEL AL-
KIRWI
3121 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

RESIDENT
3123 BOURBON ST CIR
ROCKWALL, TX 75032

RESIDENT
3125 BOURBON ST CIR
ROCKWALL, TX 75032

RESIDENT
3125 RIDGE RD
ROCKWALL, TX 75032

SLAUGHTER CATHY
3127 BOURBON STREET CIR
ROCKWALL, TX 75032

HOUSE CHRISTOPHER W
3129 BOURBON STREET CIR
ROCKWALL, TX 75032

RUDOLPH CLIFFORD CHARLES
313 COLUMBIA DR
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

MORTON JONNA
313 ROCKBROOK DR
ROCKWALL, TX 75087

LOVELESS JERRY L & TOMMIE H
313 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
3131 BOURBON ST CIR
ROCKWALL, TX 75032

HALL KEVIN A & MICHELLE D
3133 BOURBON STREET CIR
ROCKWALL, TX 75032

JOLLEY VICTORIA
3135 BOURBON STREET CIR
ROCKWALL, TX 75032

ANDERSON JO S & G EMORY
3137 BOURBON STREET CIR
ROCKWALL, TX 75032

KING DEBRAH ANN
3139 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

PHILLIPS ROBERT M AND ANNIE A
314 COLUMBIA DR
ROCKWALL, TX 75032

TURCHI ARLENE S
314 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

SMITH JOSHUA AND
MAEGAN HOLLOWAY
314 VALIANT DR
ROCKWALL, TX 75032

MAY DEBRA AND RODNEY
314 VICTORY LN
ROCKWALL, TX 75032

GARZA ERIC ISAAC AND KARINA RUBIO
3140 BOURBON STREET CIR
ROCKWALL, TX 75032

RESIDENT
3141 BOURBON ST CIR
ROCKWALL, TX 75032

CROWELL SHANNON P
3142 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

RESIDENT
3143 BOURBON ST CIR
ROCKWALL, TX 75032

GIBBONS DAVID AND
JACQUELINE CORDOVA
3144 BOURBON STREET CIR
ROCKWALL, TX 75032

ROJAS SAMUEL & SANDRA E MORALES
LEDESMA
3145 BOURBON ST
ROCKWALL, TX 75032

SALITURE CODY AND BRITTANY
3146 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

PAREKH PRABHAKAR AND NILA
3147 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

COBB CAROL
3148 BOURBON STREET CIR
ROCKWALL, TX 75032

HARMON ROBERT E & CAROLE R
3149 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

RESIDENT
315 COLUMBIA DR
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

JOHNSTON CAROLINE
315 VALIANT DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

LOREDO SARAHI
315 VICTORY LN
ROCKWALL, TX 75032

SINGH HARMINDERJIT AND
SANDEEP KAUR
3150 BOURBON ST CRICLE
ROCKWALL, TX 75032

CARNEY CANDI
3151 BOURBON STREET CIR
ROCKWALL, TX 75032

RESIDENT
3152 BOURBON ST CIR
ROCKWALL, TX 75032

CUMMINS LAURENCE G III AND DEE ANN
3153 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

LEVINE ERIC HARRIS & MARIO MONZON
CUELLAR
3155 BOURBON STREET CIRCLE
ROCKWALL, TX 75032

RESIDENT
316 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
316 HARBOR LANDING DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

RESIDENT
317 VALIANT DR
ROCKWALL, TX 75032

MAHAFFEY BARBARA L
317 COLUMBIA DR
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

WELLS JOEL A AND SHOLANA K
318 COLUMBIA DRIVE
ROCKWALL, TX 75032

NADEAU JESSICA & STEPHEN
318 HARBOR LANDING DR
ROCKWALL, TX 75032

MURPHY CASEY D AND BRIANNA
318 VALIANT DRIVE
ROCKWALL, TX 75032

RESIDENT
3185 S RIDGE RD
ROCKWALL, TX 75032

LEWELLYN DARYL G & SARAH
3187 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
319 HENRY M CHANDLER DR
ROCKWALL, TX 75032

FONTANA APRIL SHIRATSUKI
319 COLUMBIA DR
ROCKWALL, TX 75032

BAILEY WAYNE & JACQUELINE
319 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

SELF JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

SELF SCOTT L & JAN
319 HARBORVIEW DR
ROCKWALL, TX 75032

ARCHULETA JOSEPH AND KATHY
319 SWEETSPIRE DRIVE
ROYSE CITY, TX 75189

COPPLER GERALD
319 VALIANT DR
ROCKWALL, TX 75032

MARK AND VICTORIA THORESON REVOCABLE
TRUST
MARK R THORESON AND VICTORIA L THORESON
CO-TRUSTEES
319 YACHT CLUB DR.
ROCKWALL, TX 75032

RESIDENT
320 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STURGEON WILLIAM C & BETTY E
320 COLUMBIA DR
ROCKWALL, TX 75032

LOHR JAMES A & MARGARET P
320 HARBOR LANDING DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

HANSEN JOSH AND
RACHEL THORNQUIST
320 VALIANT DRIVE
ROCKWALL, TX 75032

ST CLAIR PAUL M & GENEVIEVE J
3201 RIDGE RD
ROCKWALL, TX 75032

RESIDENT
321 HARBORVIEW DR
ROCKWALL, TX 75032

CARRILLO JOHNNY AND SUZETTE
321 COLUMBIA DR
ROCKWALL, TX 75032

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

BLASINGAME DAVID A AND LISA M HOUCHIN
321 VALIANT DR
ROCKWALL, TX 75032

CATHEY MARVA WALKER
321 YACHT CLUB DR
ROCKWALL, TX 75032

WEBSTER ALAN T
322 COLUMBIA DR
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

CONDIT TINA
322 VALIANT DRIVE
ROCKWALL, TX 75032

MONTGOMERY JEFFERY RONALD
323 COLUMBIA DRIVE
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

OWENS MICHAEL V
323 VALIANT DR
ROCKWALL, TX 75032

DERIDDER VIOLETA S
323 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
324 VALIANT DR
ROCKWALL, TX 75032

LIKE LARRY D & MELISA L
324 COLUMBIA DRIVE
ROCKWALL, TX 75032

BRADSHAW MARCKUS LEWIS AND
VANESSA RIZZARI
324 HARBOR LANDING DR
ROCKWALL, TX 75032

CHAPA RUBEN AND MYDA
324 ROSEMARY DR
WYLIE, TX 75098

RESIDENT
325 COLUMBIA DR
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

ROGERS JACY MARIE AND FRANK MARION
325 VALIANT DRIVE
ROCKWALL, TX 75032

SIVILS BOB R & LINDA LUDDEN SIVILS
325 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
326 VALIANT DR
ROCKWALL, TX 75032

JACKSON JAMES THOMAS AND SONYA K
326 COLUMBIA
ROCKWALL, TX 75032

DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

LUCIA LODEMA S TRUSTEE
LUCIA REVOCABLE INTER-VIVOS TRUST
326 HARBORVIEW DR
ROCKWALL, TX 75032

KORTES KAREN L
327 COLUMBIA DR
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

GENERAL DALE A & KATHRYN
327 VALIANT DR
ROCKWALL, TX 75032

ABOU-HAIDAR ISSA S & LAMORA
327 YACHT CLUB DR
ROCKWALL, TX 75032

H Aidar LAMORA LUCIA AND ISSA ABOU
327 YACHT CLUB DR
ROCKWALL, TX 75032

PADILLA MANUEL JESUS AND ALICIA PADILLA
REVOCABLE TRUST
32790 BUTTERFLY CIR
WINCHESTER, CA 92596

RESIDENT
328 HARBORVIEW DR
ROCKWALL, TX 75032

BREEDLOVE STEPHEN WENN & NEITA P
328 COLUMBIA DRIVE
ROCKWALL, TX 75032

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
329 HARBORVIEW DR
ROCKWALL, TX 75032

SHEPPARD LYNN & KENNETH
329 COLUMBIA DRIVE
ROCKWALL, TX 75032

IMBURGIA JAMES
329 VALIANT DR
ROCKWALL, TX 75032

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

HOLZHEI CAROLYN
33 WILSHIRE DR

OLEKSINSKI MICHAEL A
330 COLUMBIA DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDO AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

BOOKHOUT JAMES C AND NICOLE
331 COLUMBIA DRIVE
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

LIECHTY SHIRLEY JEAN
C/O MRS AMY JENSEN
331 MOCKINGBIRD LN
AUBURN, AL 36830

STORY BRIAN K AND LANA K
331 VALIANT DRIVE
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HURST RANDY L & CAROL J
332 COLUMBIA DR
ROCKWALL, TX 75032

DAMALUX RENTAL AND REMODELING LLC
3320 AUGUSTA BLVD
ROCKWALL, TX 75087

RESIDENT
333 YACHT CLUB DR
ROCKWALL, TX 75032

BISHOP J PHIL
333 COLUMBIA DR
ROCKWALL, TX 75032

TMCC TRUST
THOMAS V MCCROSSAN- TRUSTEE
333 HARBORVIEW DRIVE
ROCKWALL, TX 75032

LE TAN T AND VIRGINIA I
333 VALIANT DR
ROCKWALL, TX 75032

MARTIN AND LISA MANASCO LIVING TRUST
MARTIN EDWARD MANASCO AND LISA MARIE
MANASCO- TRUSTEES
335 HARBORVIEW DR
ROCKWALL, TX 75032

DANIEL SANDRA SUE
335 VALIANT DR
ROCKWALL, TX 75032

RESIDENT
337 VALIANT DR
ROCKWALL, TX 75032

MCCROSSAN LIA AND JAMES
337 HARBORVIEW DRIVE
ROCKWALL, TX 75032

FIRST CHRISTIAN CHURCH
DISCIPLES OF CHRIST
3375 RIDGE ROAD
ROCKWALL, TX 75032

RESIDENT
338 HENRY M CHANDLER DR
ROCKWALL, TX 75032

LEWIS JASMINE
339 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GOVE CHRISTOPHER AND
SHELBY HOLBROOK
34 SLICE WAY
MASHPEE, MA 2649

THOMPSON PAIGE ELIZABETH
340 HENRY M CHANDLER
ROCKWALL, TX 75032

N & S PROPERTIES LLC
3402 ANTHONY CIR
ROWLETT, TX 75088

KEITH BENJAMIN AND
SHERYL KEITH
3403 WATERVIEW TRAIL
ROCKWALL, TX 75087

RESIDENT
341 HENRY M CHANDLER DR
ROCKWALL, TX 75032

BUNYASAI PARIYADA
3416 CAMPUS AVE
CLAREMONT, CA 91711

LESLIE RANDY
349 E ELDORADO DR
SCROGGINS, TX 75480

RESIDENT
351 HENRY M CHANDLER DR
ROCKWALL, TX 75032

STRAHM ROBERT & DENA LYNNE
351 EQUESTRIAN DR
ROCKWALL, TX 75032

GASSNER CECELIA ANN AND
WILLIAM ADAM PARK
352 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
353 HENRY M CHANDLER DR
ROCKWALL, TX 75032

GOULD JAMES F AND BRENDA G
353 MARIAH BAY DR.
HEATH, TX 75032

RESIDENT
354 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
371 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
372 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
373 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
374 HENRY M CHANDLER DR
ROCKWALL, TX 75032

MMAC 300 ROCKWALL TX LLC
C/O MONTECITO MEDICAL REAL ESTATE, ATTN
BRIAN MAAS
3807 CLEGHORN AVENUE SUITE 903
NASHVILLE, TN 37215

JOHNSON BRENT B & LINDA
3810 COVE RD
ROWLETT, TX 75088

JOHNSON BRENT & LINDA
3810 COVE RD
ROWLETT, TX 75088

DOMINGUE JON
3836 PINEBLUFF LN
ROCKWALL, TX 75032

NAIDOO PAUL
3904 ASPEN DR #3123
ROWLETT, TX 75088

ROLAND JOHN ROBERT AND
SUSAN RENEE CANNON
3910 MEDITERRANEAN STREET
ROCKWALL, TX 75087

KELBERT ERIC R
3939 E ALLIN ST UNIT 322
LONG BEACH, CA 90803

FLEMING JOYCE MARIE
4 INTREPID CIR
ROCKWALL, TX 75032

LEPARD RICHARD L
400 ENDEAVOR CT
ROCKWALL, TX 75032

BAXTER STEVE & KARAN
401 COLUMBIA DR
ROCKWALL, TX 75032

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

MOULEDOUS ALFRED E JR
402 COLUMBIA DR
ROCKWALL, TX 75032

BURNS LORRAINE
403 WEST WASHINGTON
ROCKWALL, TX 75087

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
404 COLUMBIA DR
ROCKWALL, TX 75032

HEIN PRISCILLA
404 ENDEAVOR CT
ROCKWALL, TX 75032

RESIDENT
405 YACHT CLUB DR
ROCKWALL, TX 75032

CENSULLO FRANCIS
405 COLUMBIA DR
ROCKWALL, TX 75032

CENSULLO TERESA ANN
405 COLUMBIA DR
ROCKWALL, TX 75032

HUGHES THOMAS AND MADISON
406 COLUMBIA DR
ROCKWALL, TX 75032

HURTADO DAVID RAY II AND
AIKO MINEMOTO
406 ENDEAVOR CT
ROCKWALL, TX 75032

LEROY WALKER AND ZADA WALKER TRUST
LISA PERRY- TRUSTEE
407 COLUMBIA DR
ROCKWALL, TX 75032

WISE RUTHANNE
407 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TULK SHERRY
408 COLUMBIA DR
ROCKWALL, TX 75032

TULK SHARON K
408 COLUMBIA DR
ROCKWALL, TX 75032

TULK SHARON KAYE
408 COLUMBIA DR
ROCKWALL, TX 75032

FARR MATTHEW & AMBER
408 ENDEAVOR COURT
ROCKWALL, TX 75032

SCHREIBER JIMMY D & INEZ
409 COLUMBIA DR
ROCKWALL, TX 75032

BAKER JARROD J & HEATHER M
409 YACHT CLUB DR
ROCKWALL, TX 75032

NELSON JERRY C & MARIBETH TRUSTEES
NELSON FAMILY LIVING TRUST
410 COLUMBIA DR
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST
JERRY C NELSON AND MARIBETH NELSON-
TRUSTEES
410 COLUMBIA DRIVE
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

CHRISTENSEN DAVID J & STACEY
411 COLUMBIA DRIVE
ROCKWALL, TX 75032

PALERMO JAMES ALBERT
411 DRIFTWOOD ST
ROCKWALL, TX 75087

WATSON JARRETT A
411 YACHT CLUB DR
ROCKWALL, TX 75032

MARTIN MAX E
412 COLUMBIA DR
ROCKWALL, TX 75032

COMPTON WILLIAM H & JAYNE
412 ENDEAVOR CT
ROCKWALL, TX 75032

HYDEMAN ROBERT B JR
413 COLUMBIA DR
ROCKWALL, TX 75032

MACGILVARY ERIN
413 YACHT CLUB DRIVE
ROCKWALL, TX 75032

KERR DALE LESLIE AND SUSAN ALLEN
414 COLUMBIA DRIVE
ROCKWALL, TX 75032

LILES MICHAEL AND JO ANN
414 ENDEAVOR CT
ROCKWALL, TX 75032

WHITTEN DON AND PATRICE
415 COLUMBIA DR
ROCKWALL, TX 75032

STEVENSON LARRY KEITH
416 COLUMBIA DR
ROCKWALL, TX 75032

BOSWELL RAE ANN AND
AND LUKE SHAFER
417 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
419 COLUMBIA DR
ROCKWALL, TX 75032

DJA REAL ESTATE LLC
42 MARY STREET
MOUNT VERNON, TX 75457

BREWER JAMES ASHLEY JR
420 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
421 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
422 COLUMBIA DR
ROCKWALL, TX 75032

BRIGHT CHRISTOPHER J JOHN
423 COLUMBIA DR
ROCKWALL, TX 75032

FRONTERA JOSE ANTONIO & CAROLINE
4241 BUENA VISTA #18
DALLAS, TX 75205

HANKINS MICHAEL L & VICKI S
425 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
426 S YACHT CLUB DR
ROCKWALL, TX 75032

CONINE CHRISTOPHER T
426 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

JONES AMBER
426 YACHT CLUB DR UNIT H
ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L
426 YACHT CLUB DRIVE APT D
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

YANGER MORRIS & DORIS
427 COLUMBIA DR
ROCKWALL, TX 75032

HUNT JOEL JAMES & RISA DARLENE
427 PRIVATE RD 2939
PITTSBURG, TX 75686

RESIDENT
428 COLUMBIA DR
ROCKWALL, TX 75032

WRIGHT RHONDA LYNN
428 YACHT CLUB DR APT C
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

ROLAND JAMES & DEBRA JAN
429 COLUMBIA DR
ROCKWALL, TX 75032

JR HILLTOP HOMES
429 COLUMBIA DRIVE
ROCKWALL, TX 75032

KANIA-ROLAND
429 COLUMBIA DRIVE
ROCKWALL, TX 75032

JR HILLTOP HOMES
429 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
430 S YACHT CLUB DR
ROCKWALL, TX 75032

KAY SUZANNE KAY
430E YACHT CLUB DRIVE
ROCKWALL, TX 75032

KELLY DONNA
431 COLUMBIA DR
ROCKWALL, TX 75032

PONDER KENNETH AND ELMA
431 PELICAN BAY CIR
SACRAMENTO, CA 95835

BARRINGER VAN
4310 COCHRAN CHAPEL CIR
DALLAS, TX 75209

DUDEK JOHN F AND JENNIFER H
432 COLUMBIA DR
ROCKWALL, TX 75032

GESSNER JOHN B
433 COLUMBIA DR
ROCKWALL, TX 75032

LAMBERTH ROBERT B & JENNIFER J
435 COLUMBIA DR
ROCKWALL, TX 75032

MORRISON DEBRA
436 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
436 S YACHT CLUB DR
ROCKWALL, TX 75032

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

MERCKLING BRYAN AND SARAH HUSSAIN
436 YACHT CLUB DRIVE #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

BENSON CURT R
438 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
438 S YACHT CLUB DR
ROCKWALL, TX 75032

WALLACE BRITTANY
438 S YACHT CLUB DR APT H
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

JAMES DEBRA SUE
438 YACHT CLUB DR APT D
ROCKWALL, TX 75032

BARLOW DAVID ALLEN
438 YACHT CLUB DR APT F
ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

SFIKAS SCOTT
438 YACHT CLUB DRIVE APT C
ROCKWALL, TX 75032

KRISHNAN ASHOK AND
SRIVASTAVA VARUNA
440 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
440 S YACHT CLUB DR
ROCKWALL, TX 75032

BROWN CYNTHIA
440 YACHT CLUB UNIT E
ROCKWALL, TX 75032

SERRANO MANUEL
440 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

FISHER TED Y
4404 PLACIDIA AVE
TOLUCA LAKE, CA 91602

STOUFFER JAMES MITCHELL AND AMY ALLEN
442 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
442 S YACHT CLUB DR
ROCKWALL, TX 75032

SPOENEMAN DAVID AND JODI
442A YACHT CLUB APT A
ROCKWALL, TX 75032

SMITH THOMAS M
443 CHIPPENDALE DR
ROCKWALL, TX 75032

PAYNE JOHN R
444 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
446 COLUMBIA DR
ROCKWALL, TX 75032

RESIDENT
450 S YACHT CLUB DR
ROCKWALL, TX 75032

ARMSTRONG MARK C
450 YACHT CLUB DRIVE UNIT C
ROCKWALL, TX 75032

RUNYON FLOYD D AND DANA
450 YACHT CLUB DRIVE UNIT # A
ROCKWALL, TX 75032

BRACK KENYATTA AND SELEAN TURNER
4501 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
452 S YACHT CLUB DR
ROCKWALL, TX 75032

SULLIVAN ROBERT MICHAEL
452 YACHT CLUB DR #B
ROCKWALL, TX 75032

XU JINGRU
4529 CROSTIMBER DR
PLANO, TX 75093

POWELL COQUEACE
454 S YACHT CLUB DRIVE A
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

MCHALE JOHN D JR
457 LAURENCE DRIVE SUTIE 168
HEATH, TX 75032

RESIDENT
458 S YACHT CLUB DR
ROCKWALL, TX 75032

CLAYCOMB DENISE MASUNAS AND JOHN
WILLIAM
458 YACHT DRIVE 458A
ROCKWALL, TX 75032

AUSBURN CHARLES NEAL
4614 GILBERT AVE
DALLAS, TX 75219

LIGHT JEFFREY A & LEIGH ANN
4671 GREENBRIAR CT
ROCKWALL, TX 75032

KUMAR ANVITA
4701 COPPER MOUNTAIN LANE
RICHARDSON, TX 75082

BICKLEY AMANDA
4702 STEEPLE CHASE LN
ROCKWALL, TX 75032

PAUL AMANDA K & SEAN K
4702 STEEPLE CHASE LN
ROCKWALL, TX 75032

RESIDENT
4725 BENTON CT
ROCKWALL, TX 75032

ETZ LUCAS COLE AND NANCY JO AND
ELAINE COPELAND
4730 PIN OAKS CIR
ROCKWALL, TX 75032

GRAND-LIENARD ROBERT J III AND DIANA L
4741 BENTON CT
ROCKWALL, TX 75032

BAILEY KENNETH AND MEREDITH
4748 PIN OAKS CIR
ROCKWALL, TX 75032

ALLEN FAMILY TRUST
ROBERT E ALLEN AND ELEANOR I ALLEN-
TRUSTEES
480 N WINCHESTER BLVD. #7
SANTA CLARA, CA 95050

RESIDENT
4804 SOUTHWIND DR
ROCKWALL, TX 75032

FLETCHER GAIL
4805 SOUTHWIND DR
ROCKWALL, TX 75032

FLETCHER GAIL
4805 SOUTHWIND DR
ROCKWALL, TX 75032

RESIDENT
4808 SOUTHWIND DR
ROCKWALL, TX 75032

RESIDENT
4812 SOUTHWIND DR
ROCKWALL, TX 75032

RESIDENT
4816 CHAPEL DR
ROCKWALL, TX 75032

DAVIS NITA
5 DARR ROAD
HEATH, TX 75032

AURINGER JENNIFER & JONATHAN
5 INTREPID CIR
ROCKWALL, TX 75032

SLABAS KAREN AND JEFFREY
50 SHADY DALE LN
ROCKWALL, TX 75032

RESIDENT
501 YACHT CLUB DR
ROCKWALL, TX 75032

UDSTUEN ERIKA ANN
501 COLUMBIA DRIVE
ROCKWALL, TX 75032

VILLARREAL ANDRES II
502 COLUMBIA DRIVE
ROCKWALL, TX 75032

LIECHTY FAMILY PARTNERSHIP LP
502 TERRY LN
HEATH, TX 75032

LIECHTY FAMILY PARTNERSHIP LP AND
STANLEY B AND GERALDINE M SCOTT
502 TERRY LN
HEATH, TX 75032

RESIDENT
503 MARINER DR
ROCKWALL, TX 75032

NORTHCUTT BENJAMIN CHARLES AND LEIGH
ANN
503 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
504 MARINER DR
ROCKWALL, TX 75032

BYRUM JO ANN
504 N ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
505 MARINER DR
ROCKWALL, TX 75032

FORSSELL MARI ANNIKA &
KINGSLEY CHRISTOPHER DAVID
505 COLUMBIA DR.
ROCKWALL, TX 75032

OIWA TAKAAKI
C/O OPEN HOUSE CO LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

YANO SHINYA
C/O OPEN HOUSE CO., LTD,
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

IRWIN PATRICIA ANN
506 COLUMBIA DRIVE
ROCKWALL, TX 75032

RESIDENT
507 MARINER DR
ROCKWALL, TX 75032

RESIDENT
508 MARINER DR
ROCKWALL, TX 75032

BLAKELY SARA
508 COLUMBIA DR
ROCKWALL, TX 75032

BLAKELY DENNIS DALE AND SARA ALLEN
508 COLUMBIA DRIVE
ROCKWALL, TX 75032

JUDD MANO
508 MARIAH BAY DR
ROCKWALL, TX 75032

KUIPERS ROY & KATHY SALFEN
508 MARIAH BAY DR
ROCKWALL, TX 75032

RESIDENT
509 MARINER DR
ROCKWALL, TX 75032

SUTTON KRISTINA
510 COLUMBIA DR
ROCKWALL, TX 75032

SELZER DEANNA
510 TURTLE COVE BLVD STE 109
ROCKWALL, TX 75087

HONEYCUTT WELDON & LINDA
5102 YACHT CLUB DR
ROCKWALL, TX 75032

BUSS LARRY D & KAREN K
5103 YACHT CLUB DR
ROCKWALL, TX 75032

BOUGHTON JANENE
MARK STUERTZ
5104 YACHT CLUB DR
ROCKWALL, TX 75032

SOUTHAM THOMAS & MELISSA
5106 YACHT CLUB DRIVE
ROCKWALL, TX 75032

FEKADU HENOK
5108 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
511 MARINER DR
ROCKWALL, TX 75032

DEBENDER RACHEL M AND
MADELINE A GEARY
512 COLUMBIA DR
ROCKWALL, TX 75032

RUMBO PAUL
512 MARINER DR
ROCKWALL, TX 75032

BOUSSERT ANNE S & CHRISTIAN B
516 CAMELIA AVE
BATON ROUGE, LA 70806

LAQUEY DIANA
516 LAS LOMAS DR
HEATH, TX 75032

HAMMOND LIVING TRUST
519 E I30 #704
ROCKWALL, TX 75087

HAMMOND HUDDLE LIVING TRUST
EUGENE WESLEY HUDDLE AND JANE
HAMMOND, TRUSTEES
519 E I-30 #704
ROCKWALL, TX 75087

HAMMOND HUDDLE LIVING TRUST
EUGENE WESLEY HUDDLE AND JANE
HAMMOND, TRUSTEES
519 E I-30 #704
ROCKWALL, TX 75087

KING LINDA D REV LIVING TR
LINDA D KING TRUSTEE
519 E INTERSTATE 30
ROCKWALL, TX 75087

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HARMON H VICTOR ETUX
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HARMON H VICTOR
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

LAYENDECKER TIMOTHY P & SHAHLA
519 INTERSTATE 30 #629
ROCKWALL, TX 75087

RESIDENT
52 SHADYDALE LN
ROCKWALL, TX 75032

THOMAS JERRY & MARSHA
5202 YACHT CLUB DR
ROCKWALL, TX 75032

BARRY JOYCE
5204 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5206 YACHT CLUB DR
ROCKWALL, TX 75032

METRY GREGORY K
5208 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HOGAN CANDICE LYNN AND
KEVIN PETER CRANTZ
522 YACHT CLUB DRIVE
ROCKWALL, TX 75032

GOODE FAMILY TRUST A
5231 FM 3227
CANTON, TX 75103

PERRY JAMES L AND SONDRAS
5233 SARASOTA DRIVE
GARLAND, TX 75043

HUGHES RONALD L AND RITA GAYLE
524 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
526 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
528 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
530 YACHT CLUB DR
ROCKWALL, TX 75032

DAVIES DAVID B & HELEN J
5302 YACHT CLUB DR
ROCKWALL, TX 75032

NORTON JO ANN
5303 YACHT CLUB DR
ROCKWALL, TX 75032

HOLMGREN DENNIS M AND JO ANN
5303 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RANSON DEBRA POOVEY
5304 YACHT CLUB DR
ROCKWALL, TX 75032

MARTIN CAREN
5305 YACHT CLUB DR
ROCKWALL, TX 75032

ADRIAN AMANDA C AND MICHAEL S
5306 YACHT CLUB DR
ROCKWALL, TX 75032

ADDISON MARAVIN G AND FAYE
5308 YACHT CLUB DR.
ROCKWALL, TX 75033

RESIDENT
532 YACHT CLUB DR
ROCKWALL, TX 75032

SCHARF ALLEN J
532 HUNTZINGER ROAD
WERNERSVILLE, PA 19565

ROSHAN KC
5335 BROADWAY BLVD #210
GARLAND, TX 75043

SALT PROPERTIES LLC
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TROTTER STEVEN DOUGLAS & LISA ANN
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

TYBONE PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

PEARMAN JANICE
536 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
538 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
54 SHADY DALE LN
ROCKWALL, TX 75032

RESIDENT
540 YACHT CLUB DR
ROCKWALL, TX 75032

VAN AMBURGH GORDON D JR & JEANNE M
540 LOMA VIST
HEATH, TX 75032

DUNCAN HAL & EILEEN
5401 RANGER DR
ROCKWALL, TX 75032

ODOM JOSHUA D-WAYNE AND LACEY
ALEXANDRA
5402 YACHT CLUB DRIVE
ROCKWALL, TX 75032

JANAK JUDY A AND MICHAEL K BOX
5403 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5405 RANGER DR
ROCKWALL, TX 75032

MONTGOMERY WILLIAM C & DIANE
5406 YACHT CLUB DR
ROCKWALL, TX 75032

MAYFIELD STEPHEN ANDREW
5407 RANGER DRIVE
ROCKWALL, TX 75032

COLEMAN WILL
5408 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5409 RANGER DR
ROCKWALL, TX 75032

RICH JEFFREY M
5411 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
5412 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5413 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5414 RANGER DR
ROCKWALL, TX 75032

COOK GREGORY
5416 RANGER DRIVE
ROCKWALL, TX 75032

KUIPERS KATHY & ROY
5418 RANGER DR
ROCKWALL, TX 75032

KOMP STEPHEN J
5419 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
542 YACHT CLUB DR
ROCKWALL, TX 75032

OTTEN STEVEN E
5420 RANDE DR
ROCKWALL, TX 75032

RESIDENT
5421 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5422 RANGER DR
ROCKWALL, TX 75032

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

LUND MICHAEL J AKA
MICHAEL LUND AND CHIZUKO T LUND AKA
CHIZUKO LUND
5425 RANGER DRIVE
ROCKWALL, TX 75032

THOMAS VICKIE SUE
5427 RANGER DR
ROCKWALL, TX 75032

THOMAS VICKI
5427 RANGER DRIVE
ROCKWALL, TX 75032

THOMAS VICKI
5427 RANGER DRIVE
ROCKWALL, TX 75032

CONFIDENTIAL
5433 RANGER DR
ROCKWALL, TX 75032

RAINEY JOEL A & PAULA N
5434 RANGER DR
ROCKWALL, TX 75032

DOVE JAMES & BARBARA
5436 RANGER DR
ROCKWALL, TX 75032

LIKE JOHN MILES
5437 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5438 RANGER DR
ROCKWALL, TX 75032

RESIDENT
544 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5440 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5441 RANGER DR
ROCKWALL, TX 75032

PIXLEY SUZANNE M
5442 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5445 RANGER DR
ROCKWALL, TX 75032

DEATON AMANDA
5446 RANGER DRIVE
ROCKWALL, TX 75032

STENBERG SHANE & TRACY ENGLISH
5449 MARTEL
DALLAS, TX 75206

GILL ATLANTA PROPERTIES LLC
545 KIRNWOOD DRIVE
DALLAS, TX 75232

MAYS JOHN
5450 MERRIMAC AVENUE
DALLAS, TX 75206

GARCIA SERGIO AND
SAGRARIO MENA NAVA
5453 RANGER DR
ROCKWALL, TX 75032

MONTONEY LAUREN D
5455 RANGER DR
ROCKWALL, TX 75032

DOHERTY COURTNEY AND RYAN
5457 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
546 YACHT CLUB DR
ROCKWALL, TX 75032

SOLOMON MARION C
5461 RANGER DR
ROCKWALL, TX 75032

GIBSON JEANETTE L
548 YACHT CLUB DR
ROCKWALL, TX 75032

VEGA DAVID AND ALICIA C
550 MCDONALD ROAD
HEATH, TX 75032

BYRD MANUEL NICKLOUS & EVA RHINE
550 YACHT CLUB
ROCKWALL, TX 75032

AVIZENIS ANTHONY JR AND MICHELLE
5500 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
5501 CANADA CT
ROCKWALL, TX 75032

SCHULTZ KATHY L & LARRY R
5501 RANGER DR
ROCKWALL, TX 75032

CULLEN SETH LAWRENCE AND GABRIELLE
5501 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5502 AUSTRALIA CT
ROCKWALL, TX 75032

SCHLETT KARLA AND SCOTT SHEPHERD
5502 CANADA CT
ROCKWALL, TX 75032

MARSHALL SAMUEL AND DIANA
5502 CHALLENGER CT
ROCKWALL, TX 75032

DAVIS WILLIAM H & PATRICIA L
5502 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5503 YACHT CLUB DR
ROCKWALL, TX 75032

LORENZ CONSTANCE JOAN
5503 CANADA COURT
ROCKWALL, TX 75032

DENNEY ZACHARY LEWIS
5503 RANGER DR
ROCKWALL, TX 75032

LINLEY ZACHARY AND ELIZABETH HOLLAND-
5504 AUSTRALIA COURT
ROCKWALL, TX 75032

JAMES JUSTIN & LINDSEY
5504 CANADA COURT
ROCKWALL, TX 75032

MCKAY ADRIAN AND ROBERTA
5504 CHALLENGER CT
ROCKWALL, TX 75032

HENRY SUE E
5504 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5505 YACHT CLUB DR
ROCKWALL, TX 75032

GARRETT TAYLOR B
5505 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5506 CHALLENGER CT
ROCKWALL, TX 75032

WILSON STEPHEN MICHAEL AND LISA MARIE
5506 AUSTRALIA COURT
ROCKWALL, TX 75032

FELLERS CAROL
5506 CANADA CT
ROCKWALL, TX 75032

TURNBULL DENNIS AND SYLVIA
5507 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
5508 CAMBRIA DR
ROCKWALL, TX 75032

YOUNG SHERRY WHITE
5508 AUSTRALIA CT
ROCKWALL, TX 75032

DAVIS JASON SCOTT
5508 CANADA COURT
ROCKWALL, TX 75032

NORTON ANGELA
5508 CHALLENGER CT
ROCKWALL, TX 75032

LATIMER TAMMY & DONALD
5509 RANGER DR
ROCKWALL, TX 75032

DESROSIERS RONALD J
5510 AUSTRALIA CT
HEATH, TX 75032

BULLARD SANDRA
5510 CANADA COURT
ROCKWALL, TX 75032

BRADSHAW ADRIAN
5510 CHALLENGER COURT
ROCKWALL, TX 75032

TAYLOR JOE & CINDY
5511 AUSTRALIA CT
ROCKWALL, TX 75032

RESIDENT
5512 CHALLENGER CT
ROCKWALL, TX 75032

GARCIA LUIS
5512 CANADA CT
ROCKWALL, TX 75032

LANCE DONNIE C & MARY
5514 AUSTRALIA CT
ROCKWALL, TX 75032

PETERS LEONARD R AND SANDY JO
5514 CANADA CT
ROCKWALL, TX 75032

STARBIRD RYAN D AND LAUREN
5514 CHALLENGER CT
ROCKWALL, TX 75032

CLARK TAWANA
5516 AUSTRALIA CT
ROCKWALL, TX 75032

SEAY JIMMY & CYNTHIA F
5516 CANADA CT
ROCKWALL, TX 75032

CABANISS CHAR CHERICE
DAVID R DE LA CERDA
5516 CHALLENGER CT
ROCKWALL, TX 75032

RESIDENT
5518 AUSTRALIA CT
ROCKWALL, TX 75032

FREDERIKSEN JOHN C & ARLENE C REV LIV TR
JOHN C & ARLENE C FREDERIKSEN TRUSTEES
5518 CHALLENGER CT
ROCKWALL, TX 75032

MORRISON MICHAEL S
552 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
5520 AUSTRALIA CT
ROCKWALL, TX 75032

RESIDENT
5520 CHALLENGER CT
ROCKWALL, TX 75032

CHESLIK EDWIN ALLEN JR AND AMBER NICHOLE
CARREON
5522 CHALLENGER CT
ROCKWALL, TX 75032

CONFIDENTIAL
5526 CHALLENGER COURT
ROCKWALL, TX 75032

SHELTON ROBERT M
5528 CHALLENGER CT
ROCKWALL, TX 75032

WATKINS JAMES & ELLEN
5530 CHALLENGER CT
ROCKWALL, TX 75032

WILLIAMS MARLENE
5533 CANADA COURT
ROCKWALL, TX 75032

IPPOLITO TERRI L AND JOHN J
5534 CANADA CT
ROCKWALL, TX 75032

MAXCEY THOMAS CHRISTOPHER & KIRSTEN
JOANN
5535 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5536 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5537 CANADA CT
ROCKWALL, TX 75032

CHURCHMAN MICHAEL B AND
LAURIE PATERNOSTER
5538 CANADA CT
ROCKWALL, TX 75032

BYRUM TADD AUSTIN
5539 CANADA CT
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM, TRUSTEE
554 YACHT CLUB
ROCKWALL, TX 75032

MULLENIX DIANE
5541 CANADA COURT
ROCKWALL, TX 75032

MUNDO JOE AND PAM
5542 CANADA CT
ROCKWALL, TX 75032

MUNDO JOSEPH C & PAMELA J
5542 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5543 CANADA CT
ROCKWALL, TX 75032

JONES KEITH AND TERESA K
5544 CHANDLERS COURT
ROCKWALL, TX 75032

OWEN JAMI HUBER
5546 CANADA COURT
ROCKWALL, TX 75032

RESIDENT
5548 CANADA CT
ROCKWALL, TX 75032

FREEMAN STEPHEN M
5550 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5552 CANADA CT
ROCKWALL, TX 75032

SCHOENEMAN JAMES B
5554 CANADA CT
ROCKWALL, TX 75032

RUSH REGINA AND
JENNIFER REBECCA BLUM
5556 CANADA CT
ROCKWALL, TX 75032

BLUM JENNIFER REBECCA
5556 CANADA CT
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5556 CANADA CT
ROCKWALL, TX 75032

JORDAN RICHARD WAYNE
5558 CANADA COURT
ROCKWALL, TX 75032

VAUGHAN SANDRA K
556 YACHT CLUB DR UNIT 1
ROCKWALL, TX 75032

PIXLEY SUZANNE M & ANDREA J
5560 CANADA COURT
ROCKWALL, TX 75032

PIXLEY SUZANNE AND ANDREA J
5560 CANADA COURT
ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M
5560 CANADA CT
ROCKWALL, TX 75032

PIXLEY ANDREA AND
SUZANNE PIXLEY
5560 CANADA CT
ROCKWALL, TX 75032

PIXLEY ANDREA J AND SUZANNE M
5560 CANADA CT
ROCKWALL, TX 75032

PIXLEY ENTERPRISES AND
ANDREA PIXLEY
5560 CANADA CT
ROCKWALL, TX 75032

PIXLEY ANDREA
5560 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5562 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5564 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5566 CANADA CT
ROCKWALL, TX 75032

PERRY ADAM J AND CLARICE
5568 CANADA CT
ROCKWALL, TX 75032

PUSCH CHRISTA
5569 CANADA CT
ROCKWALL, TX 75032

KRAVETZ STEVEN M ETUX
5570 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5571 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5572 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5573 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5574 CANADA CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

M & H PROPERTIES INC
5575 CANADA CT
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN
5575 CANADA CT
ROCKWALL, TX 75032

HETTINGER HAYS V & MARGARET A
5576 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5577 CANADA CT
ROCKWALL, TX 75032

PALMER TODD P AND NEELIE HUFF
5579 CANADA CT
ROCKWALL, TX 75032

RESIDENT
558 YACHT CLUB DR
ROCKWALL, TX 75032

HAWN LESLEE AND WILLIAM RUSSELL
5580 CANADA CT
ROCKWALL, TX 75032

AUBREY Q & YVONNE M PATTERSON
REVOCABLE LIVING TRUST
AUBREY Q & YVONNE M PATTERSON TRUSTEES
5581 CANADA COURT
ROCKWALL, TX 75032

MARTIN GREGORY LAWRENCE AND CHRISTIN
BRADLEY
5583 CANADA CT
ROCKWALL, TX 75032

KIBBY ROAD LLC
559 W MAIN ST
MERCED, CA 95340

RESIDENT
560 YACHT CLUB DR
ROCKWALL, TX 75032

MILLER DAVID W & GAIL M
5601 CAMBRIA DRIVE
ROCKWALL, TX 75032

MARTIN FREDERICK & SONJA
5601 RANGER DR
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

BLOCKER LINDA SUE
5601 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HOLLOWAY KAREN HOUSTON
5602 CAMBRIA DRIVE
ROCKWALL, TX 75032

JACKSON DESHANNON
5602 CANADA COURT
ROCKWALL, TX 75032

WOMACK NATALIE AND
JACOB BAYS
5602 YACHT CLUB DRIVE
ROCKWALL, TX 75032

SMITH MICHAEL A
5603 CAMBRIA DR
ROCKWALL, TX 75032

KING RONALD H AND
DEBBIE D RENFROW
5603 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
5604 YACHT CLUB DR
ROCKWALL, TX 75032

DUDLEY KAREN
5604 CAMBRIA DRIVE
ROCKWALL, TX 75032

FARIS CHARLES M AND DAWN M
5604 CANADA CT
ROCKWALL, TX 75032

WANDREY ERIN
5605 CAMBRIA DRIVE
ROCKWALL, TX 75032

CLEVINGER JOHN
5605 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
5606 CANADA CT
ROCKWALL, TX 75032

RESIDENT
5606 YACHT CLUB DR
ROCKWALL, TX 75032

WHITE DAVID RANDALL
5606 CAMBRIA DR
ROCKWALL, TX 75032

SANDKNOP RYAN TERRANCE AND KATIE ANN
5606 RANGER DR
ROCKWALL, TX 75032

CRUZ SVEN CHRISTIAN AND
JAMIE MCCORMICK
5607 CAMBRIA DR
ROCKWALL, TX 75032

NEEL COURTNEY B
5607 RANGER DRIVE
ROCKWALL, TX 75032

RESIDENT
5608 YACHT CLUB DR
ROCKWALL, TX 75032

BUTTLES HOLLI M LOVELESS
5608 CANADA CT
ROCKWALL, TX 75032

GARNER LAURA
5609 CAMBRIA DR
ROCKWALL, TX 75032

PROFFER PAUL D & CAROL W
5610 CAMBRIA DR
ROCKWALL, TX 75032

ROBISON AARON AND AMY M
5610 CANADA CT
ROCKWALL, TX 75032

LALONDE SCOTT M AND MEGAN B
5610 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
5611 CAMBRIA DR
ROCKWALL, TX 75032

FUENTES GERARDO & GENISE
5612 CAMBRIA DRIVE
ROCKWALL, TX 75032

GARDNER MICHAEL J
5613 CAMBRIA DR
ROCKWALL, TX 75032

SANCHEZ DIANA AND JERRY
5614 CAMBRIA DRIVE
ROCKWALL, TX 75032

ELLIOTT LARRY & MARY
5616 CAMBRIA DR
ROCKWALL, TX 75032

BAILEY KENNETH R & DEBBIE A
5618 CAMBRIA DRIVE
ROCKWALL, TX 75032

WONG PAUL C & POLLY W
5620 CAMBRIA DR
ROCKWALL, TX 75032

RESIDENT
5622 CAMBRIA DR
ROCKWALL, TX 75032

COOPER NEAL B
5624 CAMBRIA DR
ROCKWALL, TX 75032

WALLACE JOSHUA RAY AND
MANDI LYNN HEATHERLY
5626 CAMBRIA DRIVE
ROCKWALL, TX 75032

ARNOLD TIMOTHY S AND SHELLEY R
5700 RANGER DR
ROCKWALL, TX 75032

WEST JAKE EDWARD AND RACHEL
5701 YACHT CLUB
ROCKWALL, TX 75032

ROMERO VICTOR H MATA AND FILOMENA
MATA
5702 RANGER DR
ROCKWALL, TX 75032

OWEN DONALD H
5702 SOUTHERN CROSS
ROCKWALL, TX 75032

FERGUSON MICHEAL & DEBBIE
5703 RANGER DR
ROCKWALL, TX 75032

LANG JOSEPH W III &
LISA PAPANICOLAS-LANG
5703 YACHT CLUB DR
ROCKWALL, TX 75032

COGGESHALL LON CHRISTIAN
5704 RANGER DRIVE
ROCKWALL, TX 75032

NOLAN STEPHEN
5704 SOUTHERN CROSS DR
ROCKWALL, TX 75032

MALAK RICHARD J AND BARBARA E
5704 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
5705 YACHT CLUB DR
ROCKWALL, TX 75032

LAROUX TONI D
5705 RANGER DR
ROCKWALL, TX 75032

SORENSEN DEBORAH R & ROBERT S
5705 SOUTHERN CROSS DR
ROCKWALL, TX 75032

CROUCH DANIEL AND CHRISTINA
5706 RANGER DR
ROCKWALL, TX 75032

HAMAD JASON
5706 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

DOUGLAS-GRAY ANTONE & DAKOTA
5707 RANGER DR
ROCKWALL, TX 75032

KING SHILA
5707 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

GANDY JAMES BRADY & EDNA
5707 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
5708 SOUTHERN CROSS DR
ROCKWALL, TX 75032

RESIDENT
5709 SOUTHERN CROSS DR
ROCKWALL, TX 75032

RESIDENT
5709 YACHT CLUB DR
ROCKWALL, TX 75032

REYNOLDS TIM A
5709 RANGER DR
ROCKWALL, TX 75032

DEFRANCO JOHN
5710 SOUTHERN CROSS
ROCKWALL, TX 75032

DEFRANCO JOHN S & DIANE B
5710 SOUTHERN CROSS DR
ROCKWALL, TX 75032

VILLAROMAN LEO D MD & MARIA E
5711 RANGER DRIVE
ROCKWALL, TX 75032

MARK BRIAN POESCHEL & AURORA POESCHEL
LIVING TRUST
MARK BRIAN POESCHEL & AURORA POESCHEL-
TRUSTEES
5711 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

WHITE GUY B AND
JESSICA CANTON
5711 YACHT CLUB DRIVE
ROCKWALL, TX 75032

LEMASTER MARK & JILL
5712 SOUTHERN CROSS DR
ROCKWALL, TX 75032

BOWERS WILLIAM AND STEPHANIE
5713 RANGER DR
ROCKWALL, TX 75032

RUSHING ROGER D & DEBORAH C
5713 SOUTHERN CROSS DR
ROCKWALL, TX 75032

CURTIN DENIS ELLIOT
5715 RANGER DR
ROCKWALL, TX 75032

JENNISON FAMILY HOMESTEAD TRUST
JEROME R JENNISON AND NANCY E JENNISON-
TRUSTEES
5716 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

CHESNA THOMAS E &
VICTORIA D CHESNA LIVING TR
5720 SOUTHERN CROSS DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

WITT CAROLINE L
5735 SOUTHERN CROSS DRIVE
ROCKWALL, TX 75032

RESIDENT
5801 RANGER DR
ROCKWALL, TX 75032

BIXLER JOY S
5801 YACHT CLUB DR
ROCKWALL, TX 75032

ALVARADO PAUL AND ELSA
5802 CONSTELLATION CIR
ROCKWALL, TX 75032

RESIDENT
5803 RANGER DR
ROCKWALL, TX 75032

WRIGHTSON DAVID J SR
5803 YACHT CLUB DR
ROCKWALL, TX 75032

WRIGHTSON DAVID J & LUCY S
5803 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5804 YACHT CLUB DR
ROCKWALL, TX 75032

MARQUES LILIAN
5805 RANGER DRIVE
ROCKWALL, TX 75032

MINCKLER JOSEPH M & INGRID E
5805 YACHT CLUB DR
ROCKWALL, TX 75032

INMAN CAROL AND DANNY REVOCABLE TRUST
DANNY DALE INMAN & CAROL ANNETTE CO-
TRUSTEES
5806 CONSTELLATION
ROCKWALL, TX 75032

HUMES JENNIFER
5806 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
5807 YACHT CLUB DR
ROCKWALL, TX 75032

ARCE JEAN PAUL
5807 RANGER DR
ROCKWALL, TX 75032

RESIDENT
5808 CONSTELLATION CIR
ROCKWALL, TX 75032

LANG NICOLE
5808 YACHT CLUB DR
ROCKWALL, TX 75032

CAMPOS RUBEN
5809 RANGER DR
ROCKWALL, TX 75032

MORALES JOSE LUIS JR
5809 YACHT CLUB DR
ROCKWALL, TX 75032

STROUD SUZETTE AND
LINA NIKOLE SWIZE
581 LOUDER WAY
FATE, TX 75087

PT SHARAMITARO FAMILY TRUST
PAUL J SHARAMITARO AND TINA L
SHARAMITARO- TRUSTEES
5810 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

DEWITT MADALENA M
5811 YACHT CLUB DRIVE
ROCKWALL, TX 75032

SEALS SCOTT RYAN AND SHANNA LOUISE
5812 CONSTELLATION CIR
ROCKWALL, TX 75032

RESIDENT
5813 YACHT CLUB DR
ROCKWALL, TX 75032

DEMAGGIO ANNEMIEKE W & ANTHONY J
5813 CONSTELLATION CIR
ROCKWALL, TX 75032

HYVL BRUCE ALAN AND MIRANDA RENEE
5814 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

RENTFROW JAMEY AND LEEANN
5816 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

DICKSTEIN JUSTIN
5817 CONSTELLATION CIR
ROCKWALL, TX 75032

OSTRANDER MARK & TAMMY
5818 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

RESIDENT
5901 VOLUNTEER PL
ROCKWALL, TX 75032

RESIDENT
5901 YACHT CLUB DR
ROCKWALL, TX 75032

PALMER VANDI
5901 RANGER DR
ROCKWALL, TX 75032

BRIGHT ANDREA STEFANIE SCHMAZ AND
CHRISTOPHER COLIN KATO
5901 SCEPTRE DRIVE
ROCKWALL, TX 75032

MARENICH JENNIFER CORA AND ROBERT
ANDREW
5902 YACHT CLUB DRIVE
ROCKWALL, TX 75032

PIERCE D F
5903 RANGER DR
ROCKWALL, TX 75032

FIALA MARZENA AND GEORGE
5903 SCEPTRE DR
ROCKWALL, TX 75032

HENDRICKS LORI L
5903 VOLUNTEER PL
ROCKWALL, TX 75032

HENDRICKS LORI L
5903 VOLUNTEER PLACE
ROCKWALL, TX 75032

MANN ERIK AND ABBY
5903 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
5904 YACHT CLUB DR
ROCKWALL, TX 75032

MOORE JAMES SETH & KIMBERLY N
5904 SCEPTRE DRIVE
ROCKWALL, TX 75032

WILLIS TOMMY LEE
5905 RANGER DR
ROCKWALL, TX 75032

MILLAGER JOSHUA & KRASSY
5905 SCEPTRE DR
ROCKWALL, TX 75032

NEWCOMER JORDAN AND DARA
5905 VOLUNTEER PLACE
ROCKWALL, TX 75032

PHILLIPS KYLONI
5906 SCEPTRE DR
ROCKWALL, TX 75032

JONES BRADLEY
5906 YACHT CLUB DR
ROCKWALL, TX 75032

BLOCKER LANA HICE
5907 SCEPTRE DR
ROCKWALL, TX 75032

ODELL JEFFERY T & TONYA
5907 VOLUNTEER PL
ROCKWALL, TX 75032

CONFIDENTIAL
5907 YACHT CLUB DR
ROCKWALL, TX 75032

DAHL MICHAEL K & SHEILA
5908 SCEPTRE DRIVE
ROCKWALL, TX 75032

TURNER LESLIE D
5908 YACHT CLUB DR
ROCKWALL, TX 75032

GRIMLAND MIKE W AND
WENDY D SMITH
5909 SCEPTRE DR
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PL
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

MALAK DANIEL & CYNTHIA
5910 SCEPTRE DR
ROCKWALL, TX 75032

RESIDENT
5911 VOLUNTEER PL
ROCKWALL, TX 75032

YANCEY JERRY W & YEA ZONG
5911 SCEPTRE DR
ROCKWALL, TX 75032

RABAH MILENA
5912 YACHT CLUB DRIVE
ROCKWALL, TX 75032

HALL GLENN D
5913 SCEPTRE DR
ROCKWALL, TX 75032

GRIMES BEVERLY BOYCE
5913 VOLUNTEER PL
ROCKWALL, TX 75032

KALAJDZIC BOJAN
5914 VOLUNTEER PLACE
ROCKWALL, TX 75032

RESIDENT
5915 VOLUNTEER PL
ROCKWALL, TX 75032

WALKER SHARLA
5915 SCEPTRE DRIVE
ROCKWALL, TX 75032

BRANTLEY RITA JANELLE
5916 VOLUNTEER PLACE
ROCKWALL, TX 75032

OBENSHAIN LOUISE V
5917 VOLUNTEER PLACE
ROCKWALL, TX 75032

RESIDENT
5918 VOLUNTEER PL
ROCKWALL, TX 75032

RESIDENT
5919 VOLUNTEER PL
ROCKWALL, TX 75032

FIELDS S A
5920 VOLUNTEER PL
ROCKWALL, TX 75032

BOBO ANN MARIE
5921 VOLUNTEER PLACE
ROCKWALL, TX 75032

LENOX NANCY H
5922 VOLUNTEER PL
ROCKWALL, TX 75032

RESIDENT
5924 VOLUNTEER PL
ROCKWALL, TX 75032

RESIDENT
5925 VOLUNTEER PL
ROCKWALL, TX 75032

BANKS GENELLE MARIE
5926 VOLUNTEER PL
ROCKWALL, TX 75032

STOUT JEFFREY AND SHERI
5927 VOLUNTEER PL
ROCKWALL, TX 75032

MOMSEN LEO JOHN
5928 VOLUNTEER PLACE
ROCKWALL, TX 75032

SCHIRATO LISA
5929 VOLUNTEER PLACE
ROCKWALL, TX 75032

LEATHERWOOD CATHY R
5930 VOLUNTEER PLACE
ROCKWALL, TX 75032

BROWN DORLISKA WADSWORTH IV
6 INTREPID CIRCLE
ROCKWALL, TX 75032

COLLICHIO STEVEN JAMES
6002 VOLUNTEER PL
ROCKWALL, TX 75032

DALY PETER H & CARLA S BRICE
6003 VOLUNTEER PL
ROCKWALL, TX 75032

WOOD TERESA E
6004 VOLUNTEER PL
ROCKWALL, TX 75032

DEAN ANGIE D & ROY M
6005 VOLUNTEER PL
ROCKWALL, TX 75032

FUNDARO ANTHONY J AND MARTINA
6007 VOLUNTEER PL
ROCKWALL, TX 75032

RICHARDSON CHESTER AND SHELLEY
604 COURAGEOUS DR
ROCKWALL, TX 75032

TONOLI KEITH M & ROSEMARY E
604 SEVERIGE CT
ROCKWALL, TX 75032

RESIDENT
605 COURAGEOUS DR
ROCKWALL, TX 75032

JORDAN PAMELLA W
605 SCENIC DR
ROCKWALL, TX 75032

LANGER KATHERINE
606 SEVERIGE CT
ROCKWALL, TX 75032

HILL KENYON B
608 SEVERIGE CT
ROCKWALL, TX 75032

MARSHALL LISA AND WILLIAM C
609 COURAGEOUS DR
ROCKWALL, TX 75032

HALLBACK ERIK & ANIKO
610 SEVERIGE CT
ROCKWALL, TX 75032

DWYER REX W AND AMY
6101 VOLUNTEER PL
ROCKWALL, TX 75032

RESIDENT
6102 VOLUNTEER PL
ROCKWALL, TX 75032

WEBSTER MARY ANN
6103 VOLUNTEER PLACE
ROCKWALL, TX 75032

RESIDENT
6104 VOLUNTEER PL
ROCKWALL, TX 75032

BRENDA BEJARANO REVOCABLE TRUST
BRENDA BEJARANO- TRUSTEE
6105 VOLUNTEER PLACE
ROCKWALL, TX 75032

RESIDENT
6106 VOLUNTEER PL
ROCKWALL, TX 75032

BRYNE PATRICK AND LAURA KRUSE
6107 VOLUNTEER PLACE
ROCKWALL, TX 75032

DRAPER CHARLES E & JANICE M
6108 VOLUNTEER PL
ROCKWALL, TX 75032

MARSH ELIZABETH AND JACK
6109 VOLUNTEER PL
ROCKWALL, TX 75032

NEAL RYAN & ALLYSON
6110 VOLUNTEER PLACE
ROCKWALL, TX 75032

BROWN BRYAN K
6111 VOLUNTEER PL
ROCKWALL, TX 75032

MAZUR MELISSA
6112 VOLUNTEER PL
ROCKWALL, TX 75032

JOHNSON EARL & ERA WILLIAMS
612 SEVERIGE COURT
ROCKWALL, TX 75032

RESIDENT
615-619 COURAGEOUS DR
ROCKWALL, TX 75032

BLASSINGAME KENNETH E ETUX
6227 HIGHGATE LN
DALLAS, TX 75214

ATASHIRANG GHASSEM
623 COURAGEOUS DR
ROCKWALL, TX 75032

HUMES GEORGE D & MARY A
624 COURAGEOUS DR
ROCKWALL, TX 75032

RIDGE ROAD REAL ESTATE LLC
6245 RYEWORTH DR
FRISCO, TX 75035

RESIDENT
625 COURAGEOUS DR
ROCKWALL, TX 75032

RESIDENT
627 COURAGEOUS DR
ROCKWALL, TX 75032

JOHNSON FAMILY TRUST
628 SHADOW WOOD LN
HEATH, TX 75032

JUAREZ JAIME L
629 COURAGEOUS DR
ROCKWALL, TX 75032

CRUTCHFIELD DAVID S & MARY W
630 COURAGEOUS DR
ROCKWALL, TX 75032

RESIDENT
631 COURAGEOUS DR
ROCKWALL, TX 75032

MELTON STEVEN C & BEVERLY G
632 COURAGEOUS DR
ROCKWALL, TX 75032

SANTANO INVESTMENTS LLC
632 SORITA CIRCLE
HEATH, TX 75032

KORSH ERIC S AND DIANE
633 COURAGEOUS DRIVE
ROCKWALL, TX 75032

MCKINSTRY FRITZ & KATHY, TRUSTEES
FRITZ & KATHY MCKINSTRY LIVING TRUST
634 COURAGEOUS DR
ROCKWALL, TX 75032

MCKINSTRY FRITZ AND KATHY LIVING TRUST
634 COURAGEOUS DR
ROCKWALL, TX 75032

LACORTE PASQUALE JR AND LANEY LACORTE
635 COURAGEOUS DRIVE
ROCKWALL, TX 75032

HAYS DANNY W & JOAN
639 STAFFORD CIR
ROCKWALL, TX 75087

HAYS DANNY W AND JOAN A
639 STAFFORD CIRCLE
ROCKWALL, TX 75087

HAYS DANNY W AND JOAN A
639 STAFFORD CIRCLE
ROCKWALL, TX 75087

ROCKWALL PROPERTY SOLUTIONS
643 TURTLE COVE BLVD
ROCKWALL, TX 75087

COOPER KAREN AND CRAIG
6498 GOLDEN CLUB DR
MIRA LOMA, CA 91752

MUNGER JEFFREY K AND GAIL SLOANE
6558 FOXDALE CIRCLE
COLORADO SPRINGS, CO 80919

ROBERTSON RONALD H AND
BILLY C ROBERTSON
661 SORITA CIRCLE
HEATH, TX 75032

ARBAT, LLC
6629 ISLA DEL RAY
EL PASO, TX 79912

CORL JON & KIMBERLY BETH CORL AND
ELIZABETH EDWARDS
668 FEATHERSTONE DRIVE
ROCKWALL, TX 75087

EMERIROCK LLC
DBA EMERITUS SENIOR LIVING
6737 W WASHINGTON ST STE 2300
MILWAUKEE, WI 53214

RESIDENT
7 GREENBELT
ROCKWALL, TX 75032

DEFORD ERA JANE
7 INTREPID CIRCLE
ROCKWALL, TX 75032

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

JONES W GRIFFIN & BARBARA STEWART JONES
701 YACHT CLUB DR
ROCKWALL, TX 75032

RAMSEY TERESA GALE AND
LORI RAMSEY
7047 LAVISTA DRIVE
DALLAS, TX 75214

UTHLAUT WILLIAM & JACQUELINE C
7057 W BELMONT DR
LITTLETON, CO 80123

UTHLAUT WILLIAM S
7057 W BELMONT DR
LITTLETON, CO 80123

STAMPS GAYLON JR
7120 SPRING VALLEY RD
DALLAS, TX 75254

PILARC KAREN
718 7TH STREET SOUTHEAST
AUBURN, WA 98002

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

CID EVELYN DEL
7226 ENCLAVE WAY
DALLAS, TX 75218

CID EVELYN DEL
7226 ENCLAVE WAY
DALLAS, TX 75218

CID EVELYN DEL
7226 ENCLAVE WAY
DALLAS, TX 75218

THOMAS VELIA
7317 LOUGHEED PLZ
PLANO, TX 75025

GKD PROPERTIES LLC
732 AVALON DRIVE
HEATH, TX 75032

ROCK SOUTH INVESTMENTS LTD. A TEXAS
LIMITED PARTNERSHIP
756 RIDGE HOLLOW RD
ROCKWALL, TX 75032

ABARCA CARLOS ALBERTO RIVERS
7709 BRIARCREST CT
IRVING, TX 75063

JACOBS MICHAEL TYLER AND ASHLEE BROOKS
PATTON
ASHLEE BROOKS PATTON
7818 GASTON DR
SAN DIEGO, CA 92126

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

PATTERSON WILLIAM L JR AND DWAYLA L
REVOCABLE LIVING TRUST
782 HANOVER DR
ROCKWALL, TX 75087

BENTON EMILY AND
LORI BENTON
785 WINDING RIDGE LN
ROCKWALL, TX 75032

BOWSER KATHERINE M
8 INTREPID CIRCLE
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
801 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LONON DEBORAH J
802 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
803 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PROSEK SHERI L
803 VILLAGE GREEN DR
ROCKWALL, TX 75087

BROWN NIGEL M.H.O.
8039 WESTOVER DR
DALLAS, TX 75231

RESIDENT
804 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D III AND INDIVIDUAL
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG D
804 EAGLE PASS
HEATH, TX 75032

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

KING JON JOSHUA
805 SAHARA DRIVE
GREENVILLE, TX 75402

PATTON ROXANNE LOUISE & KURTIS LEE
805 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

WALKER RAYMOND B & PHYLLIS F REVOCABLE
TRUST
RAYMOND B & PHYLLIS F WALKER TRUSTEES
806 SIGNAL RIDGE PLACE UNIT 806
ROCKWALL, TX 75032

POPP LEILA
807 SIGNAL RIDGE PL
ROCKWALL, TX 75032

PETERSON STEVEN R & DONNA R
808 SIGNAL RIDGE
ROCKWALL, TX 75032

BRAY SHAWN & HANNAH GRACE LEHMANN-
BRAY
809 SIGNAL RIDGE
ROCKWALL, TX 75032

KLINE LINDA ANN MULLANE
8090 FRANKFORD RD APT 119
DALLAS, TX 75252

KLINE LINDA ANN MULLANE
8090 FRANKFORD RD APT 119
DALLAS, TX 75252

GERAULT JANET
810 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
811 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
812 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DUNN FAMILY TRUST AND DUNN MARITAL
TRUST
ALMA JEAN DEAN- TRUSTEE
813 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

BRASHEARS KARI
814 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ANDREW JONATHON
815 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
816 SIGNAL RIDGE PL
ROCKWALL, TX 75032

KOLLECK THOMAS A AND TAMARA DESIERTO
8175 W BARRANCA RD
PAYSON, AZ 85541

CROW BILL CHARLES & RUTH ELIZABETH
828 CR 1035
COOPER, TX 75432

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

STARNES KIMBERLY DAWN
8545 MIDWAY RD
DALLAS, TX 75209

ESPARZA KRISTIN
8565 PLAINFIELD ROAD
LYONS, IL 60534

BEST JAMES AND KIMBERLY
870 W INTERSTATE SUITE 100
GARLAND, TX 75043

DALTON PAMELA JOY, TRUSTEE
PAMELA JOY DALTON LIVING TRUST
872 RATHBONE CIRCLE
FOLSOM, CA 95630

SEIBERT PETE
9 INTREPID CIR
ROCKWALL, TX 75032

C SCOTT LEWIS HOMS INC
900 HEATHLAND CROSSING
HEATH, TX 75032

RRDC LTD
900 HEATHLAND CROSSING
HEATH, TX 75032

STEPHENSON ROBIN AND LARRY JR
9005 BRIARCREST DR
ROWLETT, TX 75089

RESIDENT
901 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ESTRERA PHILIP
9011 CLEARHURST DRIVE
DALLAS, TX 75238

LOYCE HOPKINS 2017 REVOCABLE TRUST
LOYCE ANN HOPKINS TRUSTEE
902 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

TURANO DEBRA SUE
903 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
904 SIGNAL RIDGE PL
ROCKWALL, TX 75032

CHAPMAN LAURA J AND RONALD L
905 SIGNAL RIDGE PL
ROCKWALL, TX 75032

GOODALL JOYCE ANN & JILL NICOLE COOPER
906 SIGNAL RIDGE PLACE 5
ROCKWALL, TX 75032

RESIDENT
907 SIGNAL RIDGE PL
ROCKWALL, TX 75032

EFFLE MANDY E AND
JOSH DEATON
908 SIGNAL RIDGE
ROCKWALL, TX 75032

RESIDENT
909 SIGNAL RIDGE PL
ROCKWALL, TX 75032

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

LANCE A HOLLAND FAMILY TRUST
SAUNDRA G HOLLAND TRUSTEE
909 CULLINS ROAD
ROCKWALL, TX 75032

RESIDENT
910 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WHITE DEBORAH
912 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DISMUKE JAMIE M
913 SIGNAL RIDGE PLACE #913
ROCKWALL, TX 75032

TUCKER JANA
914 IVY LN
ROCKWALL, TX 75087

GARRIS LISA AND RANDALL
914 SIGNAL RIDGE PLACE
ROCKWALL, TX 75032

RESIDENT
915 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
916 SIGNAL RIDGE PL
ROCKWALL, TX 75032

DEZEE CAROLE H
917 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
918 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
919 SIGNAL RIDGE PL
ROCKWALL, TX 75032

INZILLO FRANCA
920 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
921 SIGNAL RIDGE PL
ROCKWALL, TX 75032

BEST JAMES AND DEBRA
922 SENDERA LN
ROCKWALL, TX 75087

MURRAY NORMA C
922 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
923 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
924 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
925 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
926 SIGNAL RIDGE PL
ROCKWALL, TX 75032

RESIDENT
927 SIGNAL RIDGE PL
ROCKWALL, TX 75032

WILEY ALEXANDRIA AND JOHN WESLEY
SHELTON
928 SIGNAL RIDGE PL
ROCKWALL, TX 75032

LIDE SUSAN L
933 GANNON HTS
ROCKWALL, TX 75087

MALLARD DAVID S & SHERRY A
9405 WAYNE AVE
LUBBOCK, TX 79424

GREEN MAUREEN
945 BREEZY HILL LANE
ROCKWALL, TX 75087

HARRIS SUSAN
9660 ALPHA LN
QUINLAN, TX 75474

ARA MANAGEMENT LLC
9906 LINCOLNSHIRE LN
ROCKWALL, TX 75087

TAYLOR LIVING TRUST
KEVIN ASHLEY TAYLOR AND ANNETTE
ELIZABETH TAYLOR-COTRUSTEES
9918 LINCOLNSHIRE CT
ROCKWALL, TX 75087

ENGEL MARIA
LISA THOMPSON- EXECUTOR
992 GREEN RIVER RD
WAYNESBORO, TN 38485

DEVOS FAMILY REVOCABLE LIVING TRUST
DEVOS MARTIN L AND LILY K - TRUSTEES
9929 COPPEDGE LN
DALLAS, TX 75220

PRICE MOLLIE L TRUST
MOLLIE L PRICE TRUSTEE
C/O CHARLES LINEVILLE P O BOX 743612
DALLAS, TX 75374

SELF BILLY & KATIE
C/O PRO SOAP 321 HARBORVIEW DR
ROCKWALL, TX 75032

AMHILL FINANCIAL, LP
P. O. BOX 1179
ROCKWALL, TX 75087

AMHILL FINANCIAL L.P.
P. O. BOX 1179
ROCKWALL, TX 75087

PAIGE RYAN PROPERTIES LLC
P. O. BOX 853
WYLIE, TX 75098

THE SPACE PLACE, SERIES LLC, SERIES I
P.O. BOX 1271
MOUNT PLEASANT, TX 75456

LOGAN PAULINE K
P.O. BOX 2198
ROCKWALL, TX 75087

MCMINN KIMBERLY
PMB 239 11654 PLAZA AMERICA DR
RESTON, VA 20190

OUR STUFF LLC
PO BOX 100
STANTON, TX 79782

KELLEY CYNTHIA JANE
IRREVOCABLE FAMILY TRUST
PO BOX 109
ROWLETT, TX 75030

RICHMOND JANET M & TOM R
PO BOX 1145
ROCKWALL, TX 75087

AMHILL FINANCIAL LP
ATTN JIM PETERS
PO BOX 1179
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

SRYGLEY JAMES
PO BOX 1928
ROCKWALL, TX 75087

MACALIK OTTO JEFFREY
PO BOX 2110
ROCKWALL, TX 75087

JDM RENTALS I LLC
PO BOX 2110
ROCKWALL, TX 75087

LOGAN PAULINE K
PO BOX 2198
ROCKWALL, TX 75087

#23 INVESTMENTS LLC
PO BOX 2292
ROCKWALL, TX 75087

MARICH ENTERPRISE CORPORATION
PO BOX 2319
ROCKWALL, TX 75087

HOWELL STEVE & SHARON
PO BOX 397
CRANDALL, TX 75114

CHANDLERS LANDING COMMUNITY
ASSOCIATION INC
PO BOX 638
ROCKWALL, TX 75087

HAQ REZA AHMED & SHELINA KARIM
PO BOX 6952
HUNTSVILLE, AL 35813

PRICE MOLLIE L TRUST
MOLLIE PRICE TRUSTEE
PO BOX 743612
DALLAS, TX 75374

RUSH MAJOR
PO BOX 760794
GARLAND, TX 75046

DEVILL HOMES INC
PO BOX 764166
DALLAS, TX 75376

PARAMOUNT LAURELS LLC
PO BOX 786
WYLIE, TX 75098

STOKES RICHARD & JULIE
PO BOX 8
ROCKWALL, TX 75087

WALTERS PATRICIA ANN AND JEFFERY MICHAEL
LYAN
PO BOX 833073
RICHARDSON, TX 75083

RAND PARTNERS LP
PO BOX B
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-029: Amendment to PD-8

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 8 (PD-8) [Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38 and Resolution No.'s 87-19 & 87-20] for the purpose of consolidating the regulating ordinances and resolutions for a 230.80-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), generally located south of Summer Lee Drive and west of Ridge Road [FM-740], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

Case No. Z2023-029: Amendment to PD-8

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: [Redacted]

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



June 16, 2023

TO: The Residents of the Chandler's Landing Subdivision

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Case No. Z2023-029; Amendment to Planned Development District 8 (PD-8)

Property Owners and/or Residents of the Chandler's Landing Subdivision,

The City of Rockwall has initiated an amendment to the Planned Development District 8 (PD-8) for the purpose of consolidating the regulating ordinances contained within this Planned Development District. Currently, Planned Development District 8 (PD-8) -- *which currently regulates the Chandler's Landing Subdivision* -- consists of over 200 pages of regulations within 20 regulating ordinances, two (2) resolutions, and over 100 development cases. The proposed amendment does not change the land uses, development requirements, or the concept plans associated with these ordinances. The proposed amendment will, however, consolidate these ordinances, resolutions, and development cases into a single Planned Development District ordinance. The purpose of making this change is to make the document easier to read and understand for residents and home builders looking to do work in the Chandler's Landing Subdivision.

WHY AM I GETTING THIS NOTICE?

The Local Government Code for the State of Texas requires notices to be sent to all property owners and occupants effected by a zoning change. The City of Rockwall establishes a 500-foot notification buffer around the subject property as the notice areas. This means that you are receiving this notice because you either live within the Chandler's Landing Subdivision or within 500-feet of its boundaries. The attached map is a visual representation of the subject property (*i.e. Chandler's Landing Subdivision*) and the 500-foot notification buffer surrounding the zoning area.

DOES THIS CHANGE MY PROPERTY'S ZONING?

NO. The proposed amendment to Planned Development District 8 (PD-8) will not change your zoning or any development requirements associated with your property or any other properties located within Chandler's Landing Subdivision. It will only make it easier to find the development requirements associated with property for property owners, home builders, and city staff. Any property that is located within the 500-foot notification area -- *but is not situated within the Chandler's Landing Subdivision* -- will not be affected by the proposed zoning change.

WHEN CAN I LEARN MORE ABOUT THIS AMENDMENT?

The Planning and Zoning Commission will hold a **PUBLIC HEARING** on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a **Public Hearing** on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. Should a resident wish to attend these meetings they will be open to the public. In addition, all meetings will be available to be streamed live (*or after the meeting is over*) through the City's website (*i.e. www.rockwall.com*). If you have specific questions about the amendment you can contact the Rockwall Planning and Zoning Department at (972) 772-6441 or email planning@rockwall.com.

Ryan Miller, AICP
Director of Planning and Zoning

Case No. Z2023-029: Amendment to PD-8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: Carol Inman

Address: 5806 Constellation Cir Rockwall

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-029: Amendment to PD-8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am opposed because I, being an older person, would feel unsafe --- being a gated community, my late husband thought I would be safer

Name: Sarah Decker

Address: 1520 Signal Ridge Place

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-029: Amendment to PD-8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name:

JAMES W BROWN AKA DEVILE HOMES

Address:

16 Intrepid CR Rockwell TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-029: Amendment to PD-8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

YOUR REQUEST IS TOO COMPLICATED. LOOKS
SUSPICIOUS TO ME.

Name:

JAMES + LINDA CROSTER

Address:

228 HENRY CHANDLER DR 75032

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2023-029: Amendment to PD-8

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I see no reason to make a change

Name:

Sara Vaughan

Address:

1128 Signal Ridge, Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

From: [Pam Mundo](mailto:Pam.Mundo@chandlerland.com)
To: CLCADirector3@ChandlersLanding.org; CLCAPresident@ChandlersLanding.org
Cc: khartani@chandlerland.com; [Miller, Ryan](mailto:Miller.Ryan@chandlerland.com)
Subject: Request for community workshop on zoning consolidation
Date: Wednesday, June 28, 2023 12:57:50 PM
Attachments: [Memorandum \[CC\] \(06.05.2023\).pdf](#)
[Draft Ordinance \[PD-81 \(04.18.2023\)\].pdf](#)

See below my public information request and the documents that the Planning Director provided. I appreciate obtaining these documents very much. Other citizens and property owners of Chandlers Landing have most likely not been given the documents unless they are wise enough to request them. Is that properr? The attached Draft Ordinance is well prepared and from the other documents provided it was a great task to produce the Draft Ordinance. But the citizens and land owners have not be given the opportunity to verified that nothing has changes and it will take time to verify that nothing has changed.

On behalf of citizens and property owners of Chandlers Landing I request that CLCA hold a public workshop with the City Planning department who would review the draft ordinance and show the evidence that nothing has changed. There can be Q & A and discussion. The July 11th public hearing is not for Q & A and citizen education. While for some these may be just a consolidation, for others is a serious land use regulating document that requires a careful look and citizen examination of the proposal. What is the hurrray to get this done with a prescribed schedule and without any citizen education. Why disregard or disrespect the right of citizens to be fully informed. There are hundreds of pages of documentation and to verify that “nothing has changed” one needs time to review and understand the changes. I would think that if the City of Rockwall and the Chandler’s Landing Administration and Board of Directors is interested in support and respect from voting citizens and property owners that an opportunity can be provided to them for full distribution of the proposed ordinance, a workshop for education, Q & A and then time to review the hundreds of pages in the draft ordinance.

Pam Mundo
5542 Canada Court
214 773 0966

From: Planning <planning@rockwall.com>
Sent: Monday, June 26, 2023 9:40 AM
To: Pam Mundo <pmundo@mandoandassociates.com>; Planning <planning@rockwall.com>
Cc: Smith, Mary <MSmith@rockwall.com>; joe@mandoandassociates.com; Teague, Kristy <KTeague@Rockwall.com>; khartani@chandlerland.com
Subject: RE: Request to receive proposed ordinance and redline of consolidations

Pam ... Thank you for your request. Below and attached I have provided links to the proposed draft ordinance and the previous ordinances for your review. I have also provided a link to the resolutions for the Chandler’s Landing Subdivision. For the subdivision plats, you will have to access them through the Plat Viewer, which is

fairly simple to use; however, if you have any questions please feel free to call or email me for assistance. With regard to the development cases, we are currently in the process of digitizing our older case files and don't have all the documents from these cases available through the website (though a number of these cases are currently available and I have provided a link below to where we store these cases on our website). Since we don't have many of these cases digitized you would need to work with the City Secretary (CC'ed on this email) to request these documents since there would be staff time required to create digital versions of the files (the case numbers to these development cases are provided in the proposed draft ordinance that is attached). I have also included a copy of the memorandum that was provided to the City Council concerning the program that was proposed to clean up older Planned Development Districts, and I provided a link below to the meeting where staff proposed this to the City Council (Item X 3 on the Video Index). This provides additional information that may better clarify our objectives.

Our goal in this process is to make sure that we have a document that can [1] be easy for residents and developers to understand, and [2] to provide staff with the tools to be efficient when reviewing and issuing permits to homeowners in the subdivision. As you will see when reading through the existing Planned Development District ordinances, they are convoluted and in many cases unclear. My goal is to clear up this ambiguity. I am open to meeting with any residents or the HOA prior to the scheduled meetings, and can make myself available to do so at your convenience; however, the intent again is not to change any of the land uses or development requirements associated with any of the properties in Chandler's Landing Subdivision. We are just trying to be as efficient as possible. With regard to your comments about the notices, the City has an established development calendar and treats all zoning cases in the manner prescribed by the Texas Local Government Code. In this case, we sent the notices out in the State mandated manner and are in compliance with all local and state requirements. The letter was an attempt to try and alleviate any concerns or to initiate questions much like yours prior to the meetings.

If you have any questions or would like to schedule a meeting with me I would be happy to accommodate you, and feel free to forward on this email and any of its information to any other concerned citizens. At your request I have CC'ed the registered contact of the Chandler's Landing Homeowner's Association (HOA) per our Neighborhood Notification Program. Again, our intent is to be as transparent and accessible as possible through this process. If you need anything please let me know. Thank you.

June 5, 2023 City Council Meeting: <https://rockwalltx.new.swagit.com/videos/245728>

Current Planned Development District 8 (PD-8) Ordinances:

<http://www.rockwall.com/pz/Planning/Planned%20Development%20Districts/PD-008.pdf>

Resolutions: <http://www.rockwall.com/pz/Planning/Planned%20Development%20Districts/PD-008-R.pdf>

Development Case Packet: <http://www.rockwall.com/pz/Planning/Development%20Cases/2023/Z2023-029.pdf>

Subdivision Plats for Chandler's Landing Subdivision (Subdivision Plat Viewer):

<https://rockwall.maps.arcgis.com/apps/webappviewer/index.html?id=e55362607b0544728f65ae9790309809>

Development Cases on the City's Website:

<https://sites.google.com/site/rockwallplanning/development/development-case-log>

RYAN C. MILLER, AICP

DIRECTOR OF PLANNING & ZONING • PLANNING & ZONING DIVISION • CITY OF ROCKWALL

972.772.6441 OFFICE

RMILLER@ROCKWALL.COM



385 S. GOLIAD STREET • ROCKWALL, TX 75087

[HELPFUL LINKS](#) | [CITY OF ROCKWALL WEBSITE](#) | [PLANNING & ZONING DIVISION WEBSITE](#) | [MUNICIPAL CODE WEBSITE](#)
[GIS DIVISION WEBSITE](#) | [UNIFIED DEVELOPMENT CODE](#)

NOTES:

- 1) **APPOINTED AND ELECTED OFFICIALS:** BY REPLYING ALL TO THIS EMAIL YOU MAY BE IN VIOLATION OF THE TEXAS OPEN MEETINGS ACT. PLEASE REPLY ONLY TO THE SENDER.
- 2) PLEASE NOTE THAT ANY CORRESPONDENCE SENT TO CITY STAFF MAY BECOME PUBLIC RECORD.

From: Pam Mundo <pmundo@mandoandassociates.com>

Sent: Sunday, June 25, 2023 1:17 PM

To: Planning <planning@rockwall.com>

Cc: Smith, Mary <MSmith@rockwall.com>; joe@mandoandassociates.com

Subject: Request to receive proposed ordinance and redline of consolidations

My husband and I are residents of Chandler's Landing in Rockwall and yesterday June 24, received your P & Z notice dated June 16th, post marked June 22, for a July 11 public hearing to consolidate the regulating ordinances and resolutions and 100 development cases of the Planned Development District 8. Please provide us with an electronic or digital copy of the proposed ordinance and the redline or highlighted changes occurring of all previous regulating ordinances, two resolutions and 100 development cases that impacted the PD #8 regulations. Consider this an open record request. Digital or electronic copy is sufficient. No need for paper.

There is a statement in the notice sent that the proposed amendment will not change the zoning or development requirements. What about the regulations within the Unified Development Code? There is no proof of that statement provided.

Each property owner is certainly interested in obtaining the proof of such a statement prior to the public hearing. We are definitely interested in receiving this proof prior to the public hearing so that we may have time to review the documents and responsibly prepare adequate questions for the public hearing.

We also would recommend that you provide the homeowners association with similar electronic copies of the documents requested so that the property owners of Chandler's may reasonably be informed. The announcement letter only stirred up doubts. The letter notice we received yesterday was 9 days after the date of the notice. We all have the 4th of July Holiday. And very quickly thereafter is this hearing with a significant amendment. In our opinion the Planning Department needs to hold an open house at Chandlers prior to the public hearing where we can all learn far more about your efforts than is noted in this letter. You have just instilled a lot of unnecessary doubt and mistrust in your effort to consolidate.

Serious citizen/homeowner involvement is needed in your effort and I am surprised by the lack of such involvement. We would certainly like to support your effort but significant information is lacking to obtain our support.

Pamela Mundo, AICP
5542 Canada Court
Rockwall, TX 75032

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VIEW: Pdffile
RESTRICT: PHASE_NO = "AMENITIES"

SORT: PHASE_NO

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8539		8543	AMENITIES	Z	REVISED MASTER PARTIAL
8662		8687	AMENITIES	Z	REVISED MASTER
8753		0	AMENITIES	SP	REVISED SITE PLAN

ORDINANCE NO. 85-43

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8 CHANDLERS LANDING, MORE FULLY DESCRIBED HEREIN; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to approve a zoning change and change in the preliminary plan for "PD" Planned Development District Number 8: Chandlers Landing on the property described in Exhibit "A".

ber 8: Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8: Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. Prior to issuance of any building permit in Planned Development District No. 8: Chandlers Landing, Phases 14, 18 Section 1, 19 and 20, a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "B" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the Thoroughfare Plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.
- B. All development of property covered by Planned Development District No. 8: Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.
- C. Development of Planned Development No. 8: Chandlers Landing Phases 14, 18 Section 1, 19 and 20 shall be regulated by the requirements listed in Exhibit "C".
- D. Development of the amenities of Planned Development No. 8: Chandlers Landing shall be regulated by the requirements listed in Exhibit "D".

- E. Prior to the construction of streets and utilities in Phase 19, the developer must escrow the funds for 115% of the cost of 24 ft. of concrete paving along FM-740, including storm drainage, curb and gutter, sidewalk, and engineering.
- F. The new entrance off FM-740 can only be used for semi-trailer trucks until a southbound deceleration lane on FM-740 is constructed. The truck entrance must be chained and locked when not in use.

Section 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS(\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

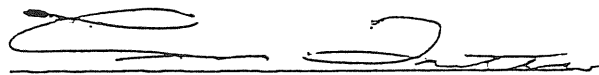
Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.


DULY PASSED AND APPROVED this 26th day of August, 1985.

APPROVED:



Mayor

ATTEST:



City Secretary

1st reading 8/5/85

2nd reading 8/26/85

AMENITY IMPROVEMENTSYacht Club Area

1. Seven (7) tennis courts to be re-surfaced.
2. A new improved lighting system will be installed on five (5) courts.
3. Landscaped retaining walls will be constructed around all steep slopes adjacent to the courts.
4. A sub-surface drainage system will be installed to pick up surface run-off.
5. A new sidewalk system will be installed to accommodate golf carts - 6 ft. wide around existing tennis courts.
6. Major grading will be performed to improve landscaping and better maintenance - erosion ditch.
7. The courts will have spectator accommodations where the terrain permits.
8. The existing children's play area will be renovated and enlarged.
9. Outdoor tennis pavillion.
10. Additional major improvements will be made to the Yacht Club which include better accoustics, carpeting, renovation of Commodore State Room, outside lounging accommodations, structure cosmetics and landscaping.

Area A - Swimming & Tennis Park

1. Parking
2. Swimming pool
3. Gazebo
4. Children's play area
5. Restrooms/dressing
6. tennis courts (2), lights
7. General landscaping.
8. Large trees, small trees, shrubs and ground cover, lawn, elevated planters, lighting

Area B: Recreation Park

1. Limited parking and access
2. Park shelter
3. Children's play area (2)
4. Picnic spots (4)
5. Volleyball court
6. Half basketball court
7. Open lawn area
8. Exercise stations (7)
9. Pedestrian trail
10. Bridges (4)
11. General clearing and channel work
12. Tree pruning, stone boulders, retaining walls and fencing, flowering trees, and plants

AMENITIES SCHEDULE

I. Recreation Park

Start Fall. 1985

Open lawn area, Spring 1986

Completion, Fall 1987

II. Amenity Improvements for Yacht Club

Start Summer 1985

Completion Spring 1986

III. Swimming and Tennis Park

Start Spring 1986

Completion Fall 1987

LE 4411 ID 1

- ① potential (proposed) water treatment plant site
- ② potential (proposed) water treatment plant site
- ③ potential (proposed) water treatment plant site
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ORDINANCE No. 86-87

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8 CHANDLERS LANDING, MORE FULLY DESCRIBED HEREIN; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall should be amended as follows:

NOT, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to approve a zoning change and change in the preliminary plan for "PD" Planned Development District Number 8, Chandlers Landing on the property described in Exhibit A.

SECTION 2. That Planned Development District Number 8, Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing to the above described tract of land is subject to the following conditions:

A. The tract or land described in Exhibit A shall only be used for the following uses:

1. Park and recreation purposes as shown on Exhibit "B" and provided for in Ordinance No. 85-43.
2. Community Association maintenance facility as shown on Exhibit "B".

B. All development of property covered by Planned Development District No. 8, Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.

C. Development of the above described tract within Planned Development No. 8, Chandlers Landing shall be regulated by the approved development plan attached as Exhibit "B".

D. Development of the amenities and maintenance facility within the above described tract located in Planned Development No. 8, Chandlers Landing shall be regulated by the requirements and phasing timetable approved in Exhibit "B".

SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED THIS 3rd day of November, 1986.

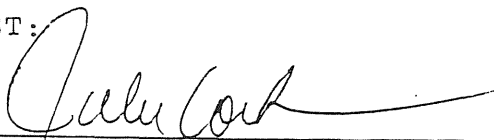
APPROVED:



Mayor

ATTEST:

BY:



1st reading 10/20/86
2nd reading 11/3/86

Exhibit "A"

RECREATION PARK

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, and being a part of that 285.2916 acre tract of land conveyed to Clarke-Frutes Corporation by deed recorded in Volume 102, Page 895, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point in the Northerly R.O.W. line of Ranger Drive (31 foot R.O.W.), at the Southeast corner of Chandlers Landing, Phase 18, Section 1, as recorded in Slide B, Page 163 of the Plat Records of Rockwall County, Texas;
THENCE: North 4° 37' 31" East along the East line of said Chandlers Landing, Phase 18, Section 1, a distance of 80.40 feet to a point for a corner;
THENCE: North 23° 37' 54" West, continuing along the East line of the said Chandlers Landing, Phase 18, Section 1, a distance of 71.44 feet to a point for a corner in the Southerly R.O.W. line of Yacht Club Drive (44 foot R.O.W.);
THENCE: Along the Southerly R.O.W. line of Yacht Club Drive the following: North 80° 02' 38" East a distance of 120.06 feet to a point for a corner and the beginning of a circular curve to the right, said curve having a central angle of 16° 58' 21" and a radius of 278 feet;
THENCE: In an Easterly direction with said circular curve to the right, an arc distance of 82.35 feet to a point for a corner;
THENCE: South 82° 59' 01" East a distance of 194.40 feet to a point for a corner and the beginning of a circular curve to the left, said circular curve having a central angle of 17° 03' 57" and a radius of 222 feet;
THENCE: In an Easterly direction with said circular curve to the left, an arc distance of 66.12 feet;
THENCE: North 79° 57' 02" East a distance of 17.29 feet to a point for a corner and the beginning of a circular curve to the left, said circular curve having a central angle of 9° 55' 43" and a radius of 572.29 feet;
THENCE: In an Easterly direction with said circular curve to the left, an arc distance of 99.17 feet to a point for a corner;
THENCE: South 26° 43' 04" East a distance of 116.95 feet to a point for a corner;
THENCE: South 35° 04' 45" East a distance of 80.16 feet to a point for a corner;
THENCE: South 59° 55' East a distance of 53.04 feet to a point for a corner;
THENCE: South 84° 45' 09" East a distance of 117.86 feet to a point for a corner;
THENCE: North 70° 17' 39" East a distance of 82.11 feet to a point for a corner;
THENCE: South 32° 49' 50" East a distance of 74.69 feet to a point for a corner;
THENCE: South 08° 36' 10" East a distance of 43.84 feet to a point for a corner;
THENCE: South 29° 29' 24" West a distance of 102.97 feet to a point for a corner;
THENCE: South 67° 28' 06" East a distance of 203.35 feet to a point for a corner;
THENCE: North 69° 04' 05" East a distance of 58.29 feet to a point for a corner;
THENCE: South 75° 02' 19" East a distance of 41.90 feet to a point for a corner;
THENCE: North 72° 19' 24" East a distance of 42.00 feet to a point for a corner;
THENCE: North 88° 36' 46" East a distance of 39.01 feet to a point for a corner;
THENCE: North 85° 57' 21" East a distance of 48.20 feet to a point for a corner;
THENCE: South 80° 36' 13" East a distance of 43.83 feet to a point for a corner;
THENCE: South 06° 52' 12" East a distance of 257.27 feet to a point for a corner;
THENCE: South 69° 40' 47" West a distance of 286.34 feet to a point for a corner;
THENCE: South 30° 16' 31" West a distance of 55.36 feet to a point for a corner in the Northeast R.O.W. line of Ranger Drive (34 foot R.O.W.);
THENCE: North 40° 09' 30" West along the Northeast R.O.W. line of Ranger Drive, a distance of 18.45 feet to a point for a corner;
THENCE: North 32° 23' 32" East a distance of 69.22 feet to a point for a corner;
THENCE: North 06° 16' 50" West a distance of 62.16 feet to a point for a corner;
THENCE: North 15° 24' 34" West a distance of 50.66 feet to a point for a corner;
THENCE: North 57° 29' 51" West a distance of 156.00 feet to a point for a corner;
THENCE: South 32° 30' 09" West a distance of 10.00 feet to a point for a corner;
THENCE: North 57° 29' 51" West a distance of 36.00 feet to a point for a corner;
THENCE: North 61° 54' 20" West a distance of 99.30 feet to a point for a corner;
THENCE: South 89° 16' 42" West a distance of 94.02 feet to a point for a corner;
THENCE: North 50° 12' 48" West a distance of 14.21 feet to a point for a corner;
THENCE: North 25° 08' 38" West a distance of 83.19 feet to a point for a corner;
THENCE: South 77° 58' 06" West a distance of 64.54 feet to a point for a corner;
THENCE: North 85° 30' 45" West a distance of 100.79 feet to a point for a corner;
THENCE: North 56° 16' 16" West a distance of 124.00 feet to a point for a corner;
THENCE: South 83° 34' 48" West a distance of 87.90 feet to a point for a corner;
THENCE: North 13° 54' 57" West a distance of 120.45 feet to a point for a corner;

THENCE: North $73^{\circ} 51' 06''$ West a distance of 86.96 feet to a point for a corner;
THENCE: South $62^{\circ} 17' 57''$ West a distance of 70.90 feet to a point for a corner in the Northerly R.O.W. line of Ranger Drive (31 foot R.O.W.) and the beginning of a circular curve to the left, said curve having a chord bearing of North $53^{\circ} 25' 54''$ West, a chord of 137.18 feet, a central angle of $47^{\circ} 26' 29''$ and a radius of 170.50 feet;

THENCE: In a Northwesterly direction along the Northerly R.O.W. line of Ranger Drive an arc distance of 141.18 feet to a point for a corner;

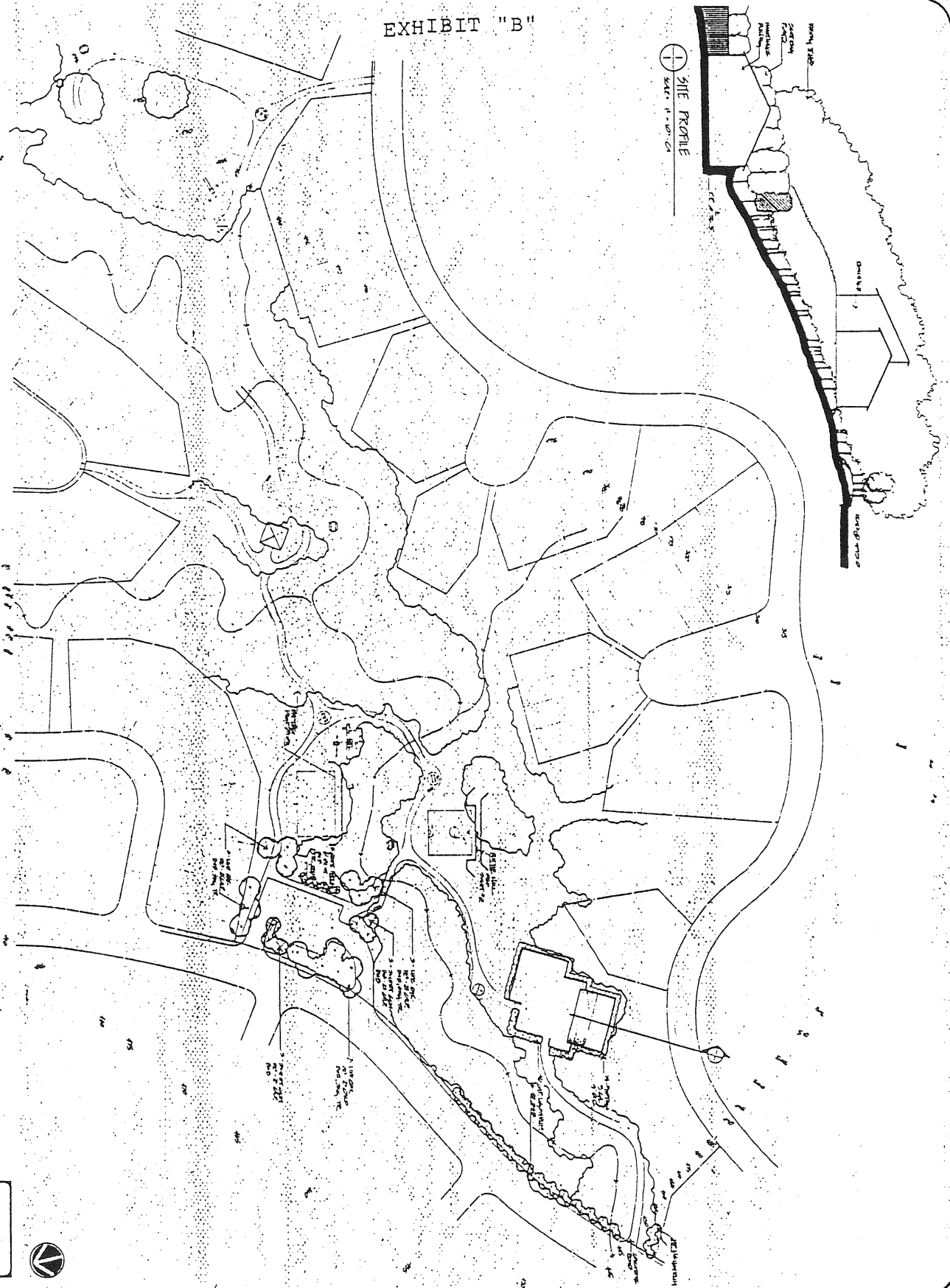
THENCE: North $77^{\circ} 09' 08''$ West along the Northerly R.O.W. line of Ranger Drive a distance of 43.93 feet to the Point of Beginning and Containing 8.8497 Acres of Land.

Harold L. Evans, Consulting Engineer

July 2, 1985

EXHIBIT "B"

⊕ SITE PROFILE
DATE: 1-10-04



Sheet 1 of 1

Show/Hide

SEARCH

DATE

PROJECT

an environmental design project for
CHANDLER'S LANDING PARK
ROCKWALL, TEXAS



Comrie Associates

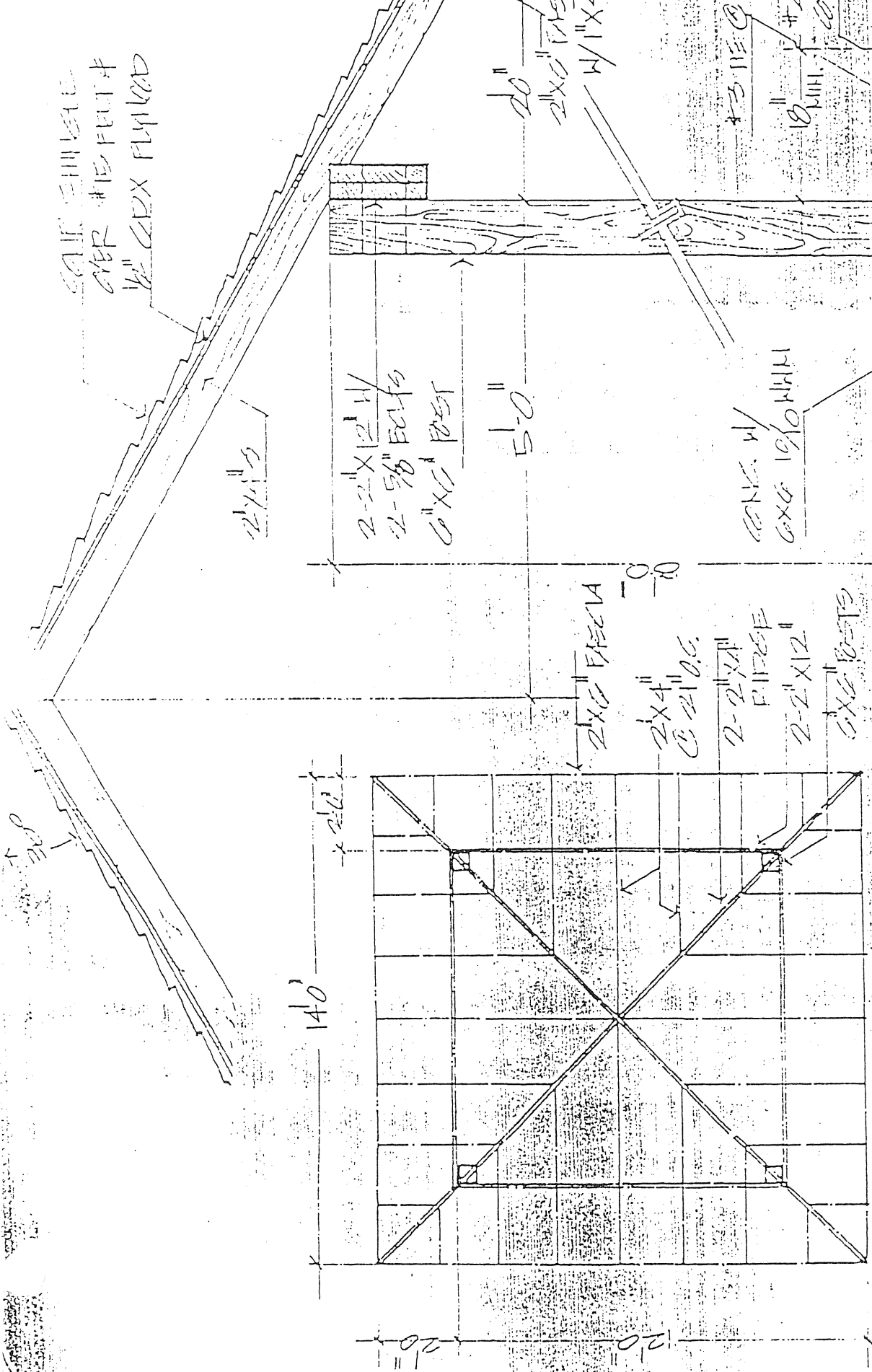
dwg
chk
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REVISIONS

LEGEND:

- ① existing (to be removed) water utility
- ② new water distribution system
- ③ park structure (with) water treatment
- ④ park structure (with) water treatment
- ⑤ park structure (with) water treatment
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- ㊾ park structure (with) water treatment
- ㊿ park structure (with) water treatment





STRUCTURE PLAN

SCALE: 1/4" = 1'-0"

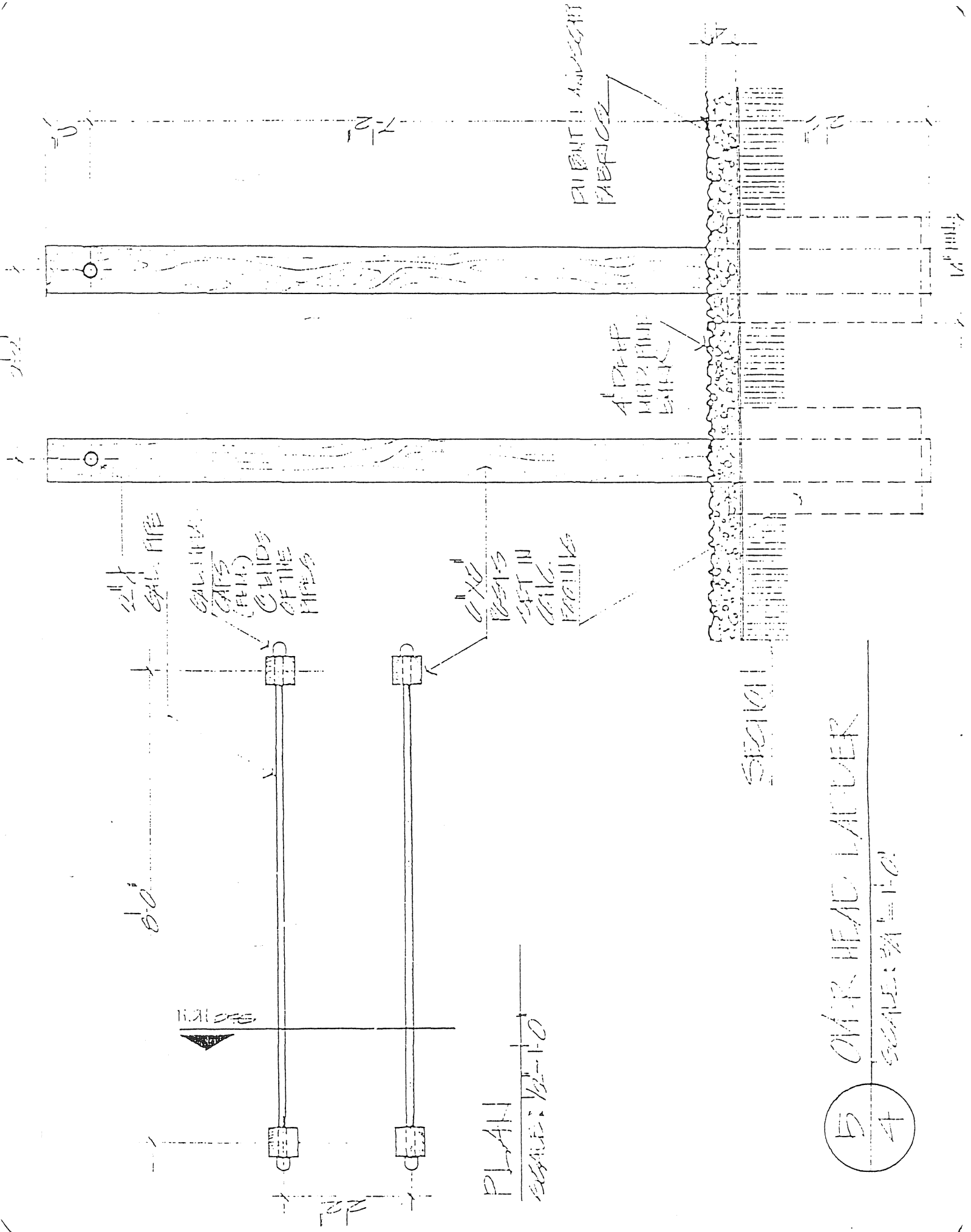
7
3

PARK SHELTER DETAILS

SCALE: 3/4" = 1'-0"

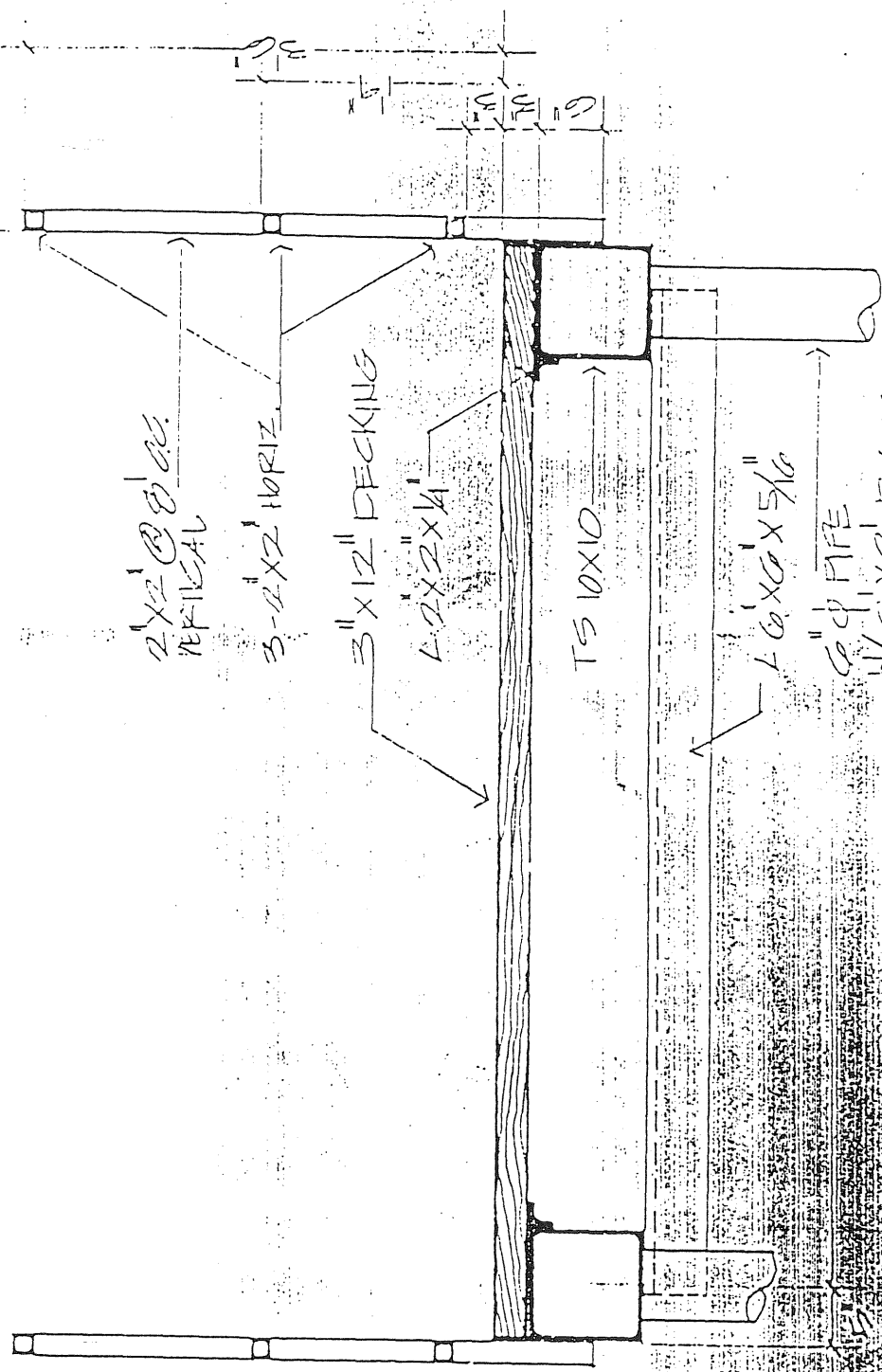
4" SAND

CONC. FOOTING
RAPID SET



5 OVER HEAD LATCHER
 4 SCALE: 3/4" = 1'-0"

8'-0"



2#2 @ 8" OC
VERTICAL

3-#2 HORIZ.

3" x 12" DECKING

4" x 2" x 1/4"

TS 10x10

1-6" x 6" x 5/16"

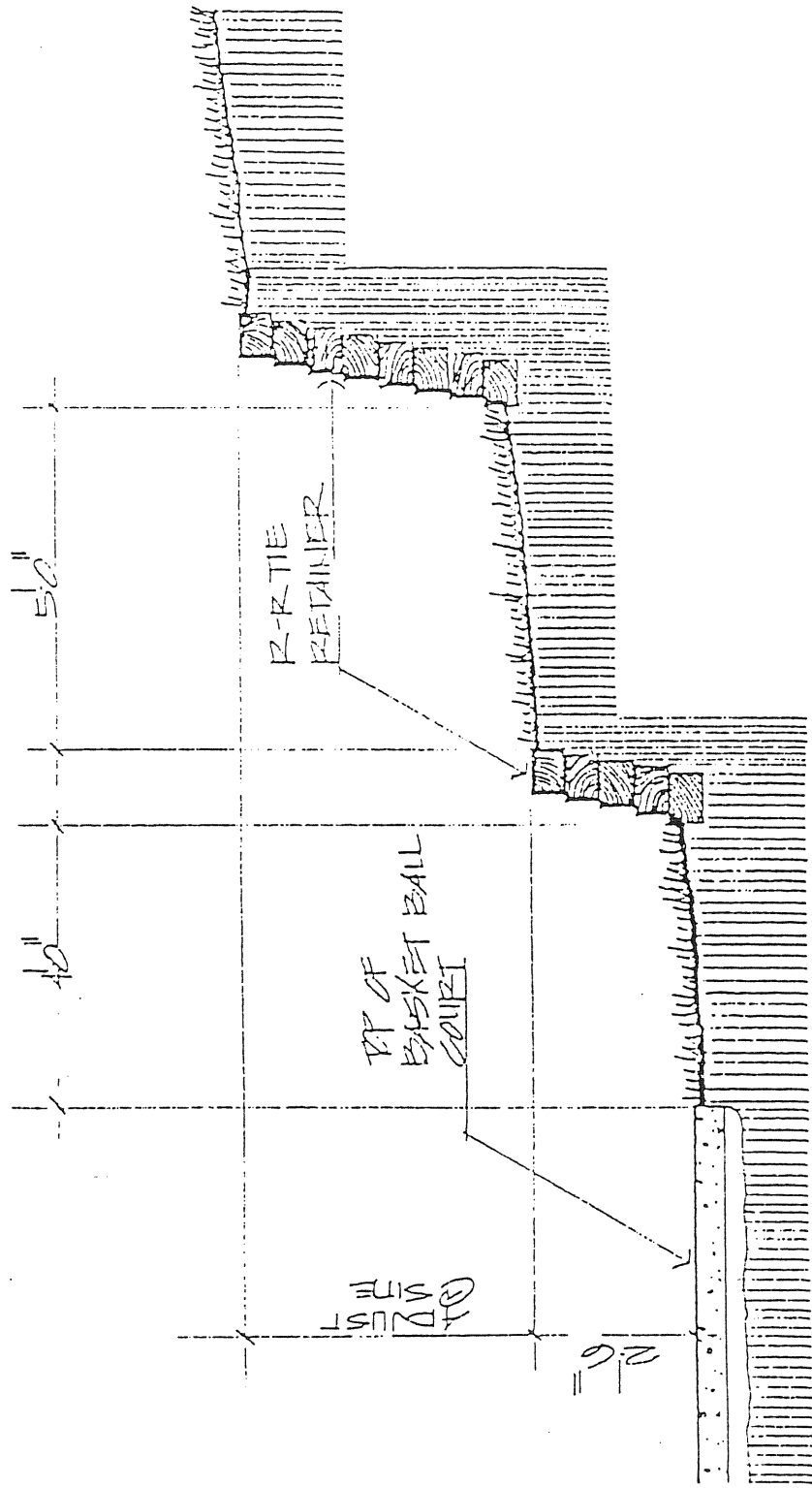
6" FIRE
1/2" x 2" FIBER

FLAT @ BOTTOM
ANCHOR TO CONC.

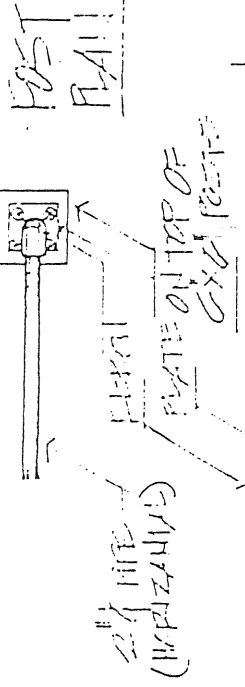
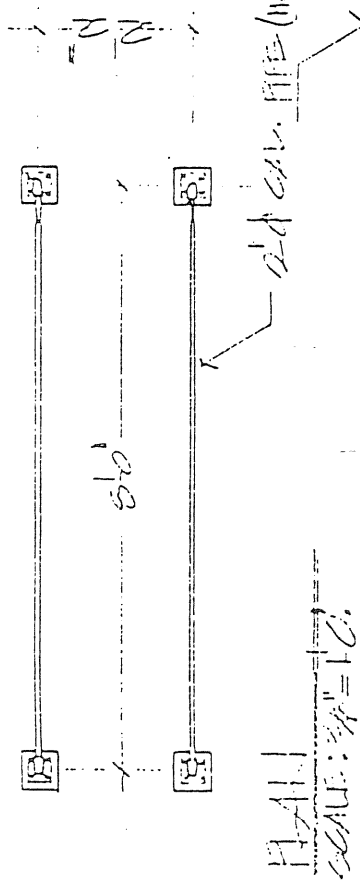
BRIDGE DETAILS

SCALE 3/4" = 1'-0"





4
4
 R-R TIE RETAINING WALL
 SCALE: 3/8" = 1'-0"



old cal. pipe (vertical)

2 1/2" PIPE (HORIZONTAL)

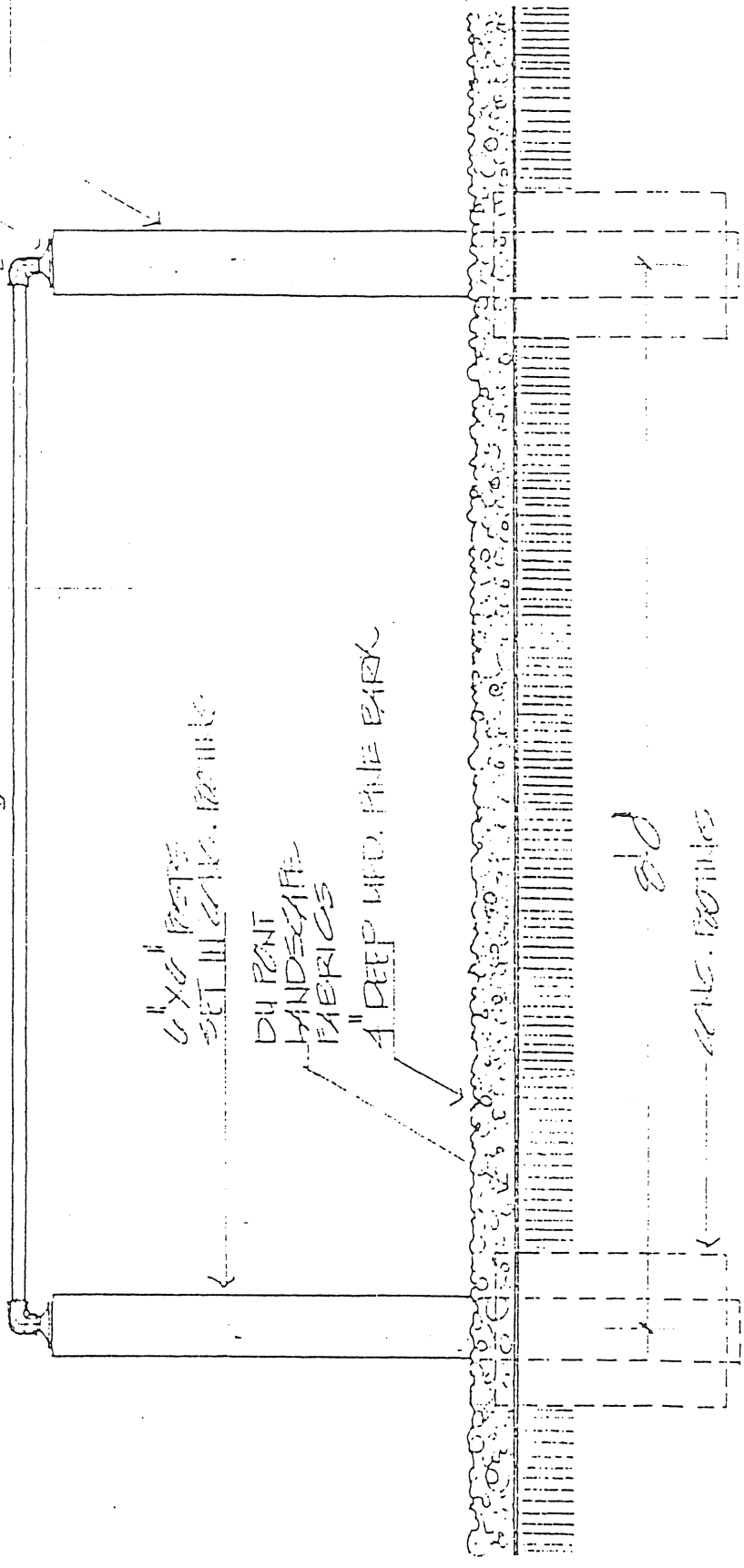
HALL
SCALE: 1/4" = 1'-0"

6 x 6" POST
SET IN 1 1/2" x 1 1/2" x 1 1/2"

DIY PAINT
HANDSCAFF-
FIBRICS

1" DEEP MED. PINE BARK

old
CAL. PIPES

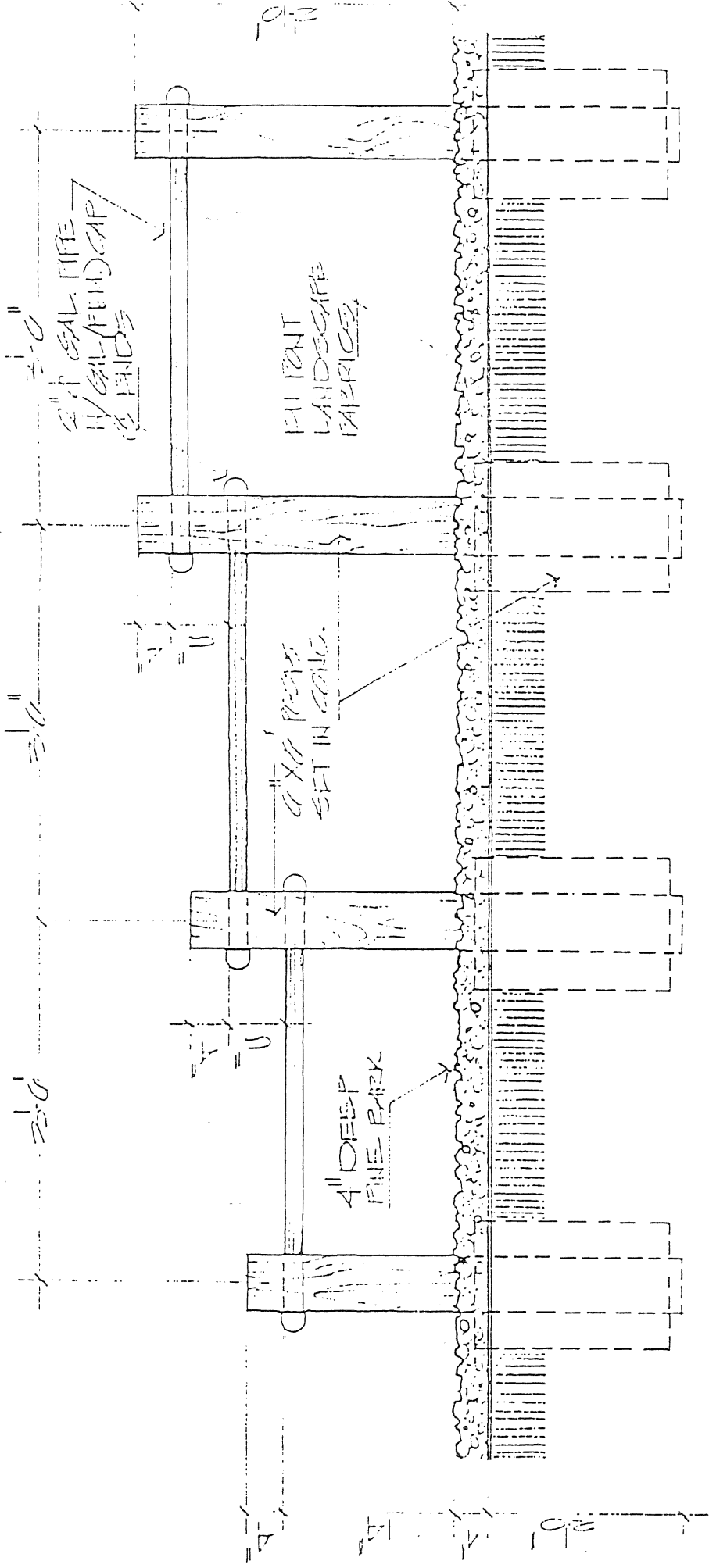


PLAN VIEW

HALL WALK + EQUY DIP + AP. CAB.

4

SCALE: 1/4" = 1'-0"

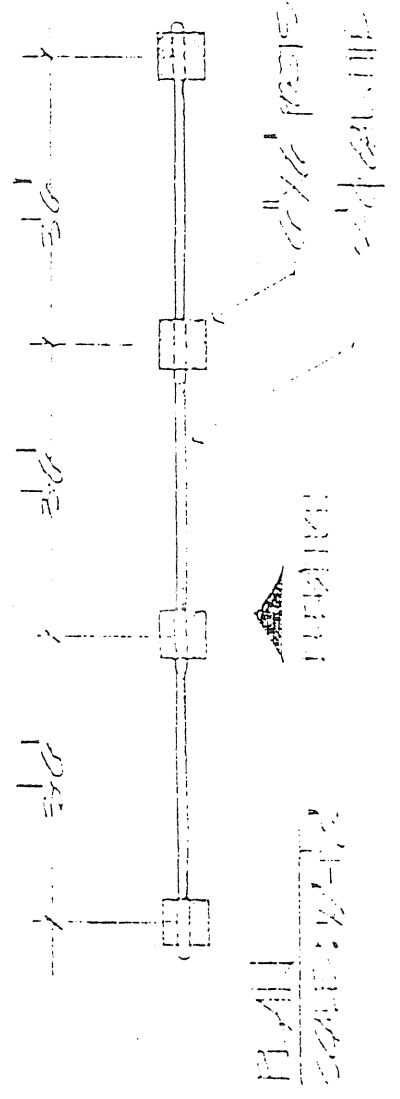
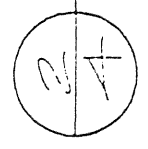


ELEVATION

SCALE: 3/4"=1'-0"

FUSH UP +
LINE DIRECTION

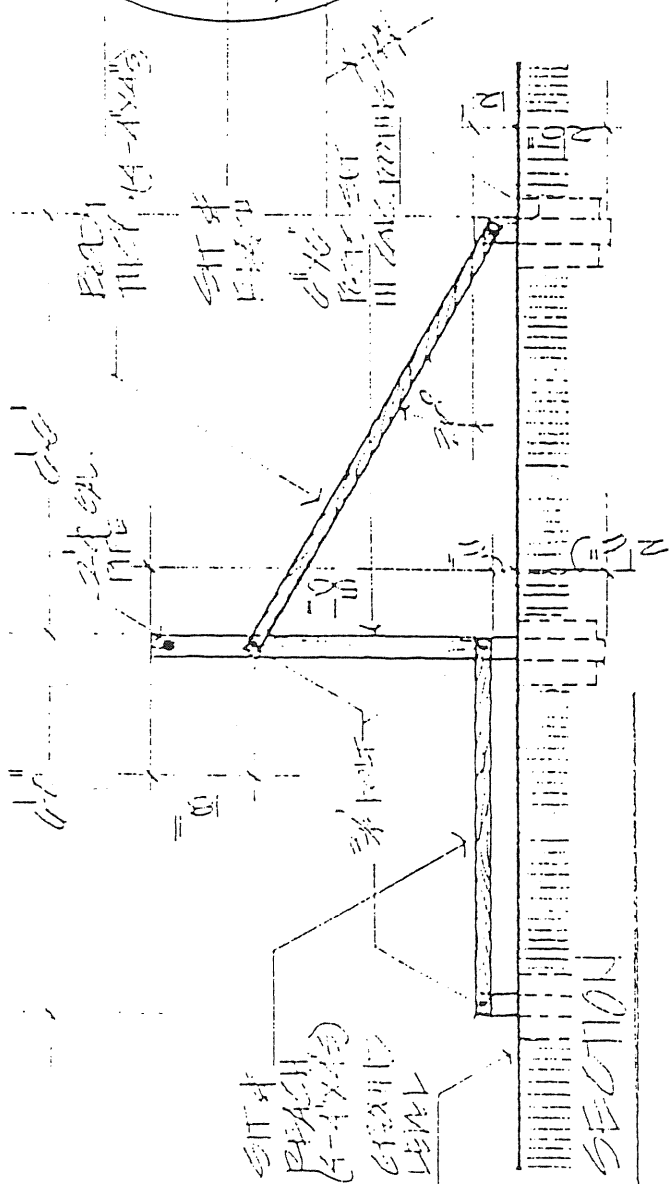
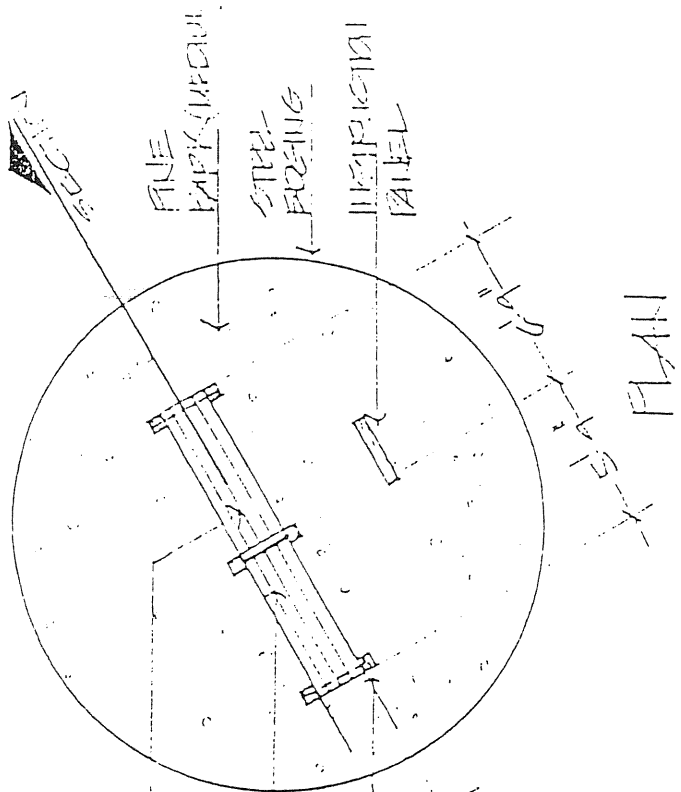
SCALE: 1/8"=1'-0"



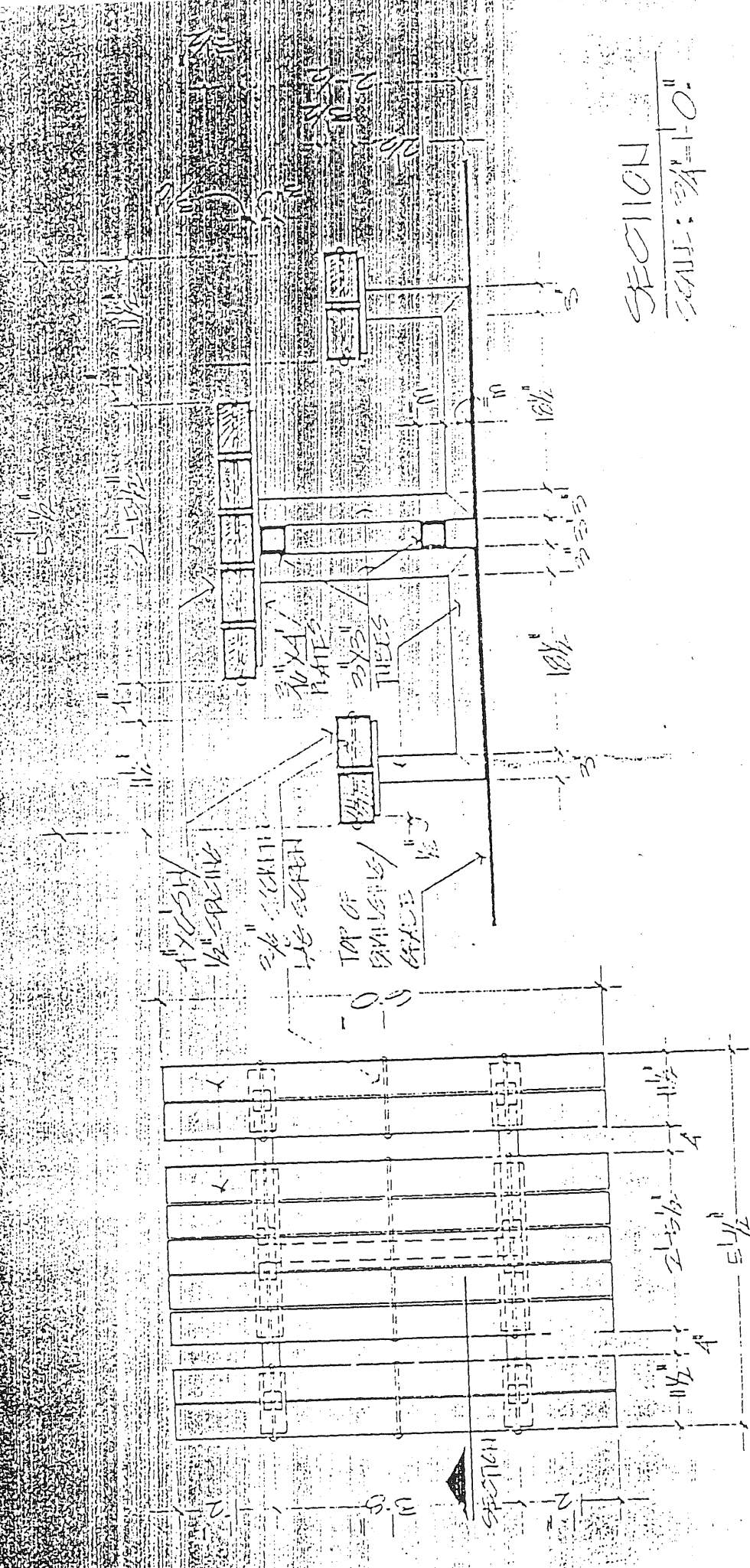
PLAN
SCALE: 1/8"=1'-0"



2" x 4" POSTS
4" x 4" CAPS



3
 4
 EXERCISE STATION
 NOT TO SCALE



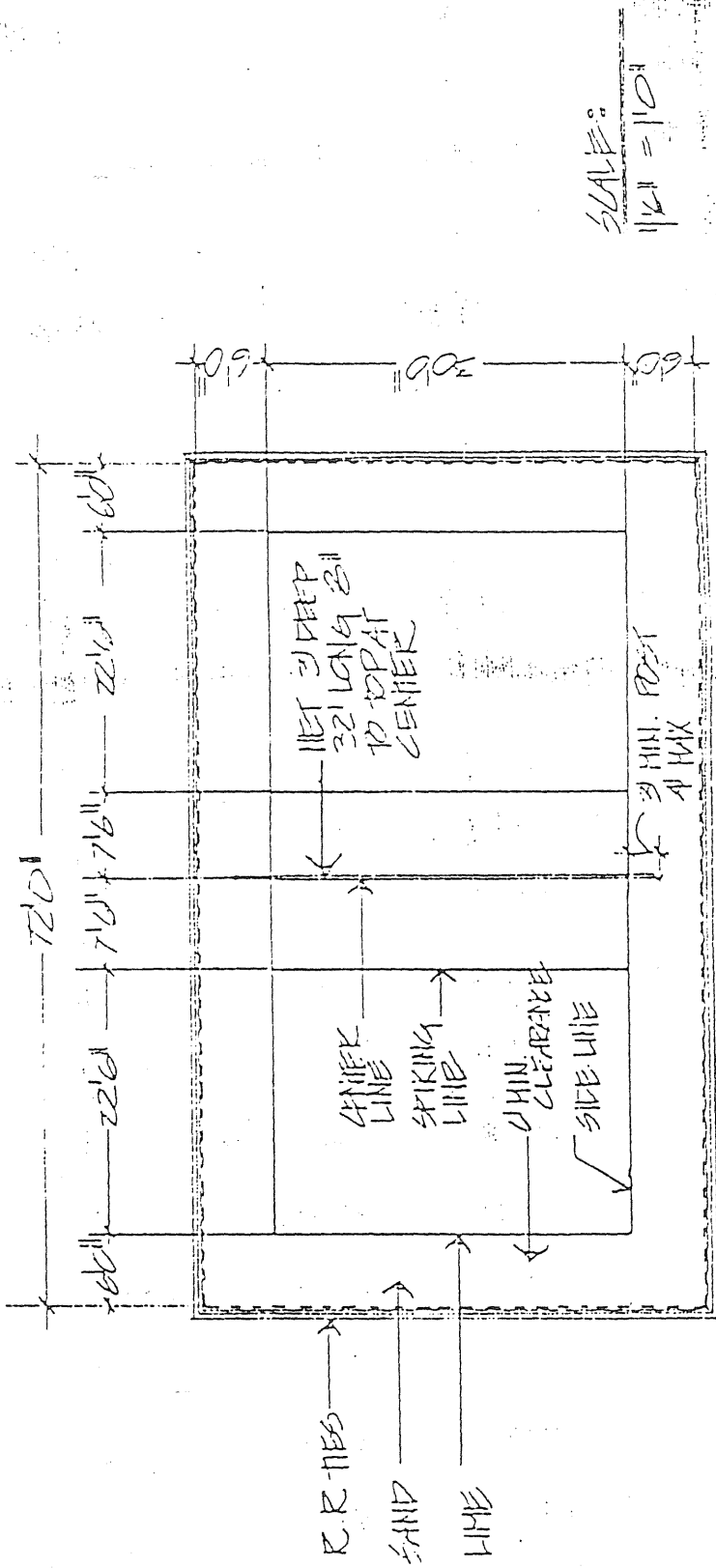
SECTION
SCALE: 1/2" = 1'-0"

PICNIC TABLE HIGH
METAL FRAME

SCALE: AS SHOWN

6
3

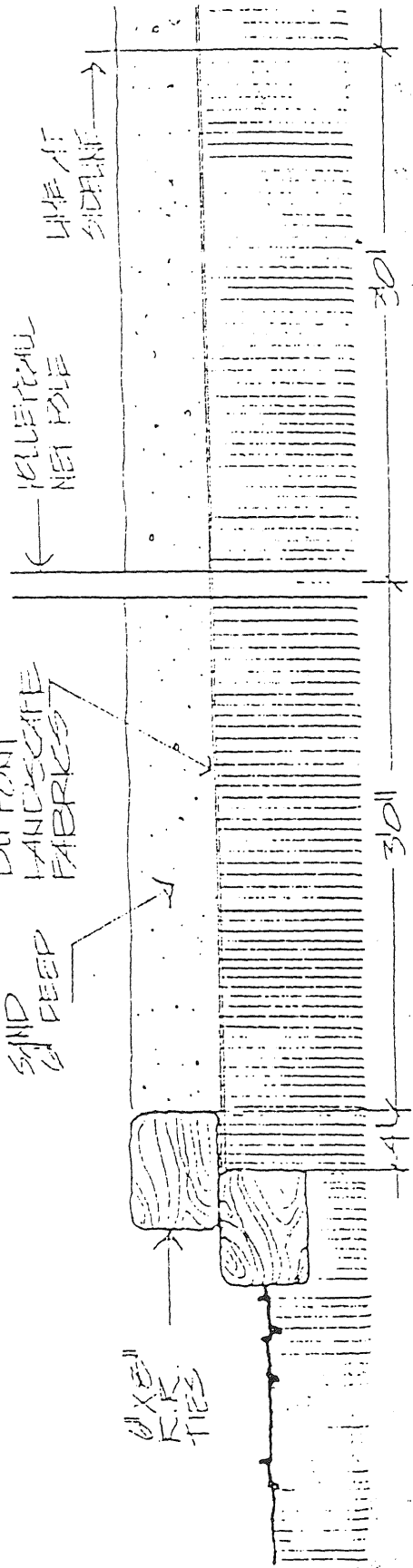
PLAN
SCALE: 1/2" = 1'-0"



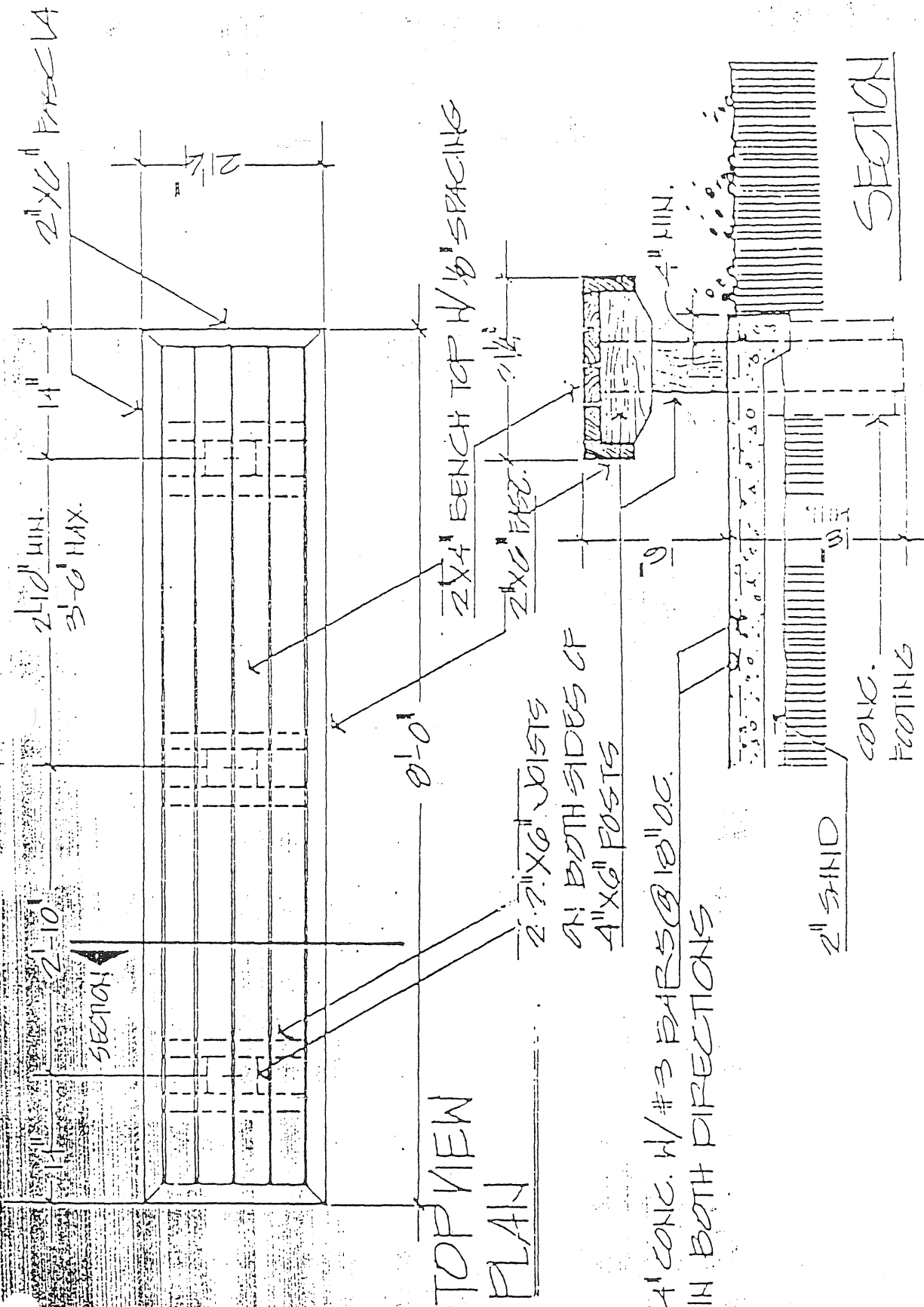
SCALE: 1/4" = 1'0"

R.R. TIES
SAND
LIME

SAND 2' DEEP
DU PONT LANCSSCIFE FABRICS



VOLEYBALL COURT LAYOUT PLAN.



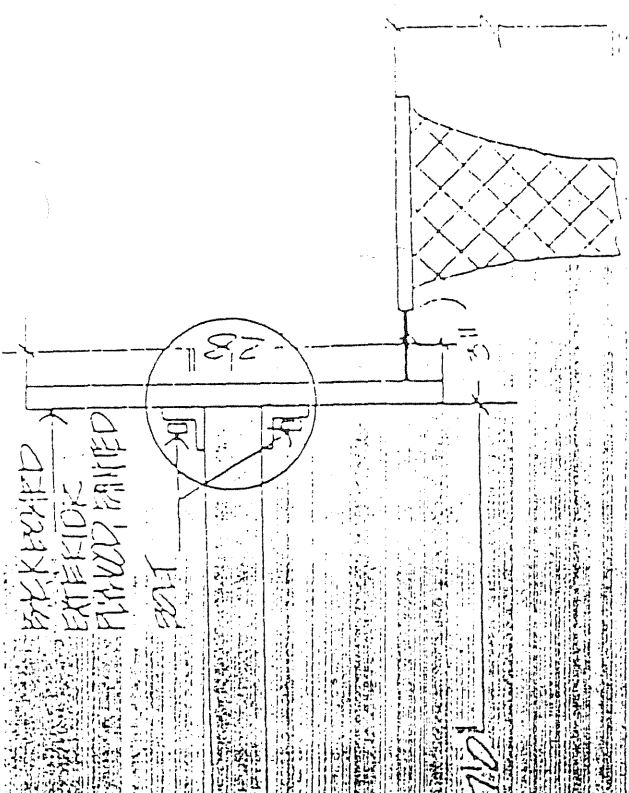
TOP VIEW
PLAN

SECTION

WOOD BENCH (8' LONG)

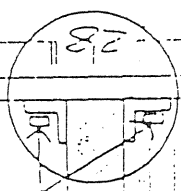
SCALE: 3/4" = 1'-0"

4
3



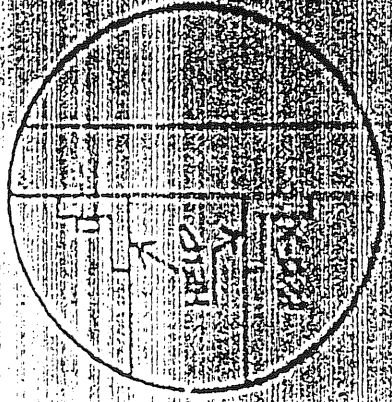
EXTERIOR
FLUOY PIPED

HEAT

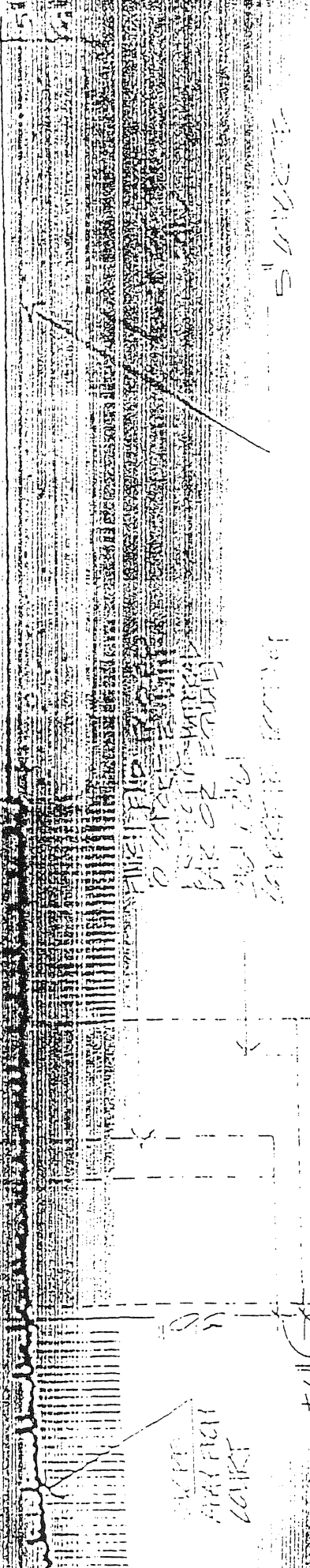


HEAT

HEAT
PIPE



HEAT
PIPE



HEAT PIPE

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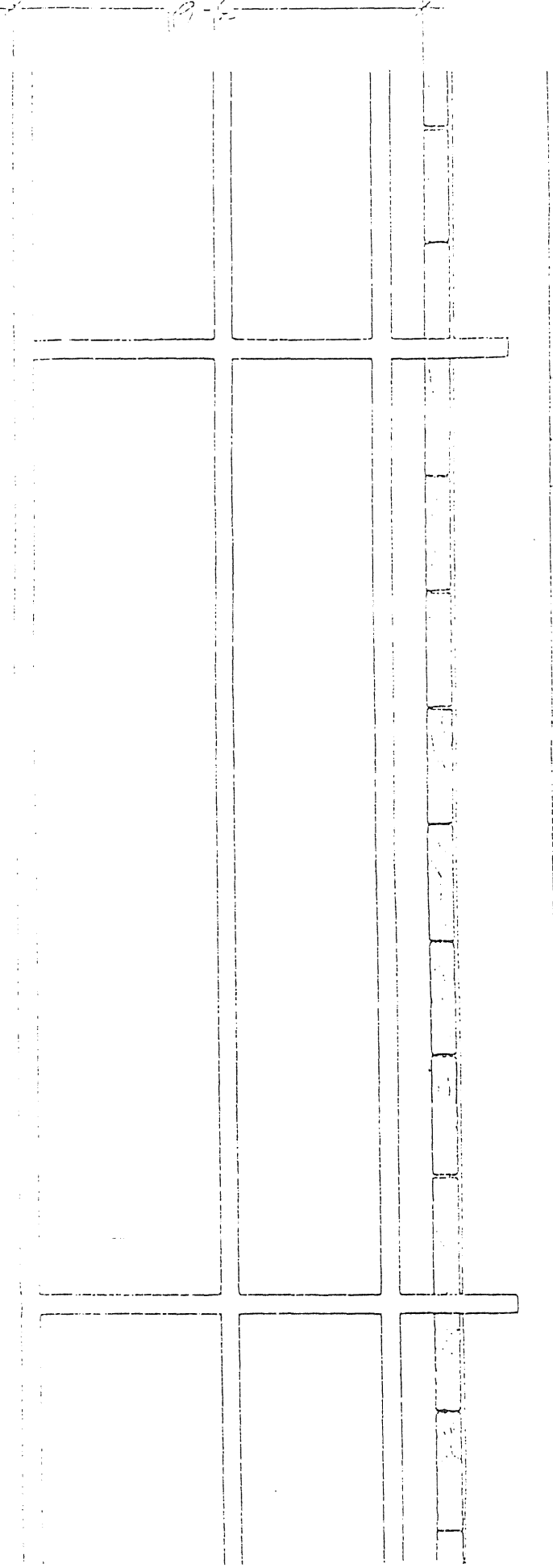
HEAT PIPE



3

HEAT PIPE

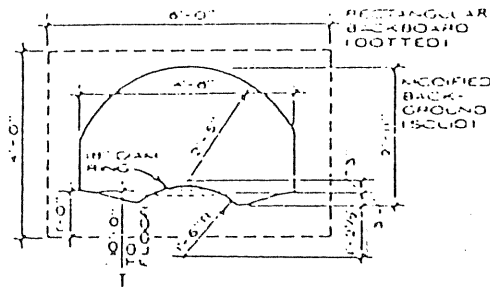
HEAT PIPE



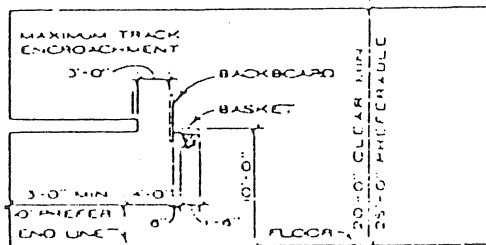
PARTIAL BRIDGE ELEVATION

SCALE: 3/4" = 1'-0"

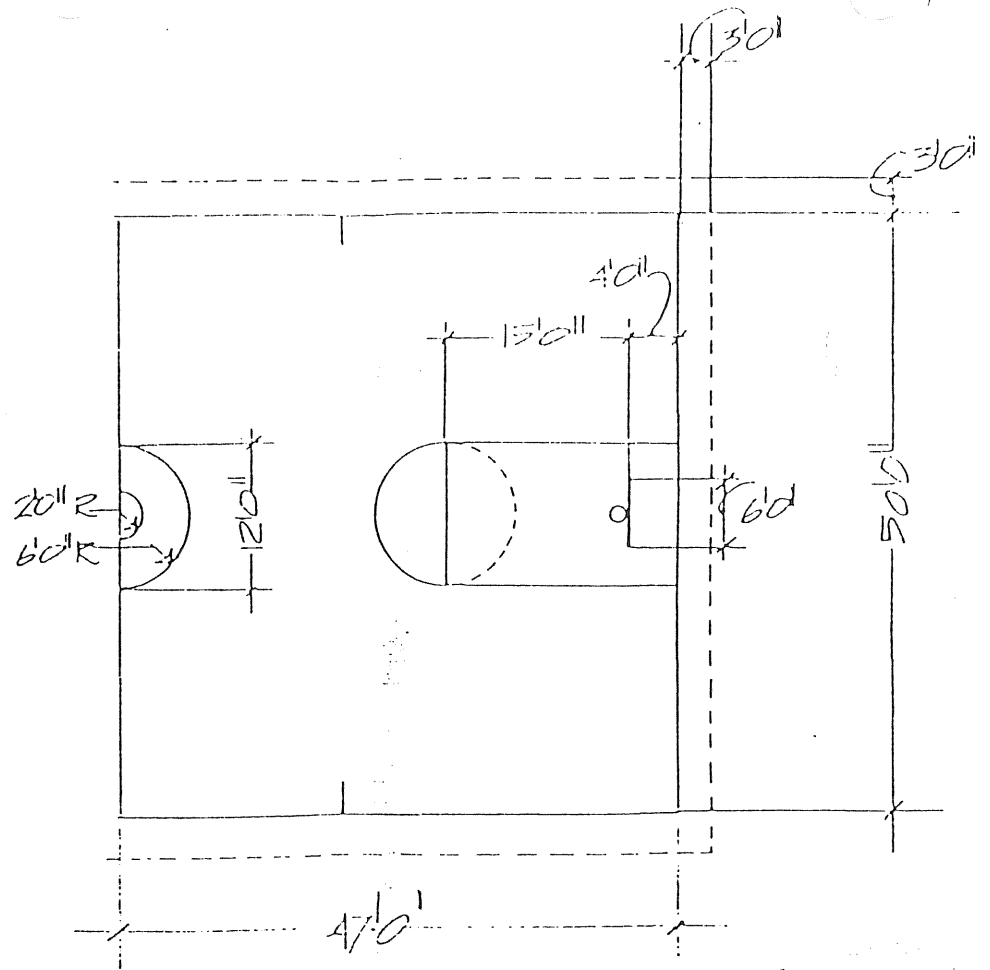
9
3



BACKBOARD DETAIL
 COLLEGE - TRANSPARENT RECTANGULAR BACKBOARD
 HIGH SCHOOL - EITHER TYPE WITH FAN SHAPE REQUIRED IN NEW EQUIPMENT



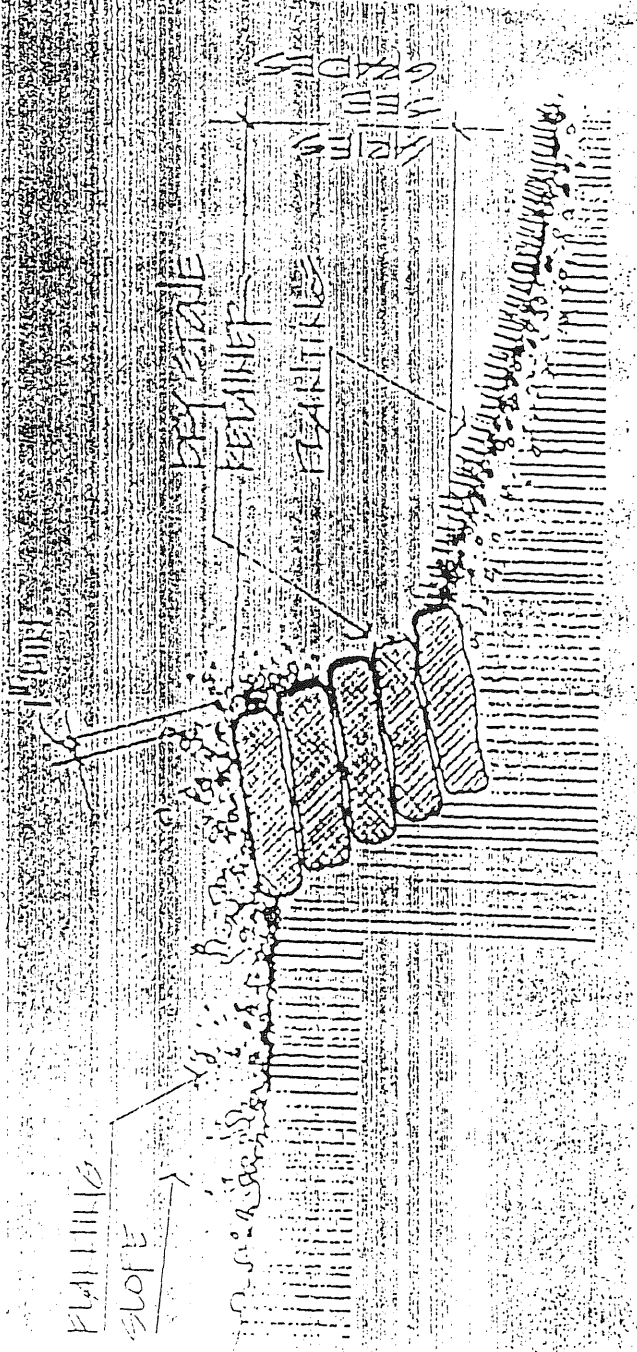
SECTION SHOWING BASKET AND ENCROACHMENTS



2
3

BASKETBALL COURT LAYOUT PLAN

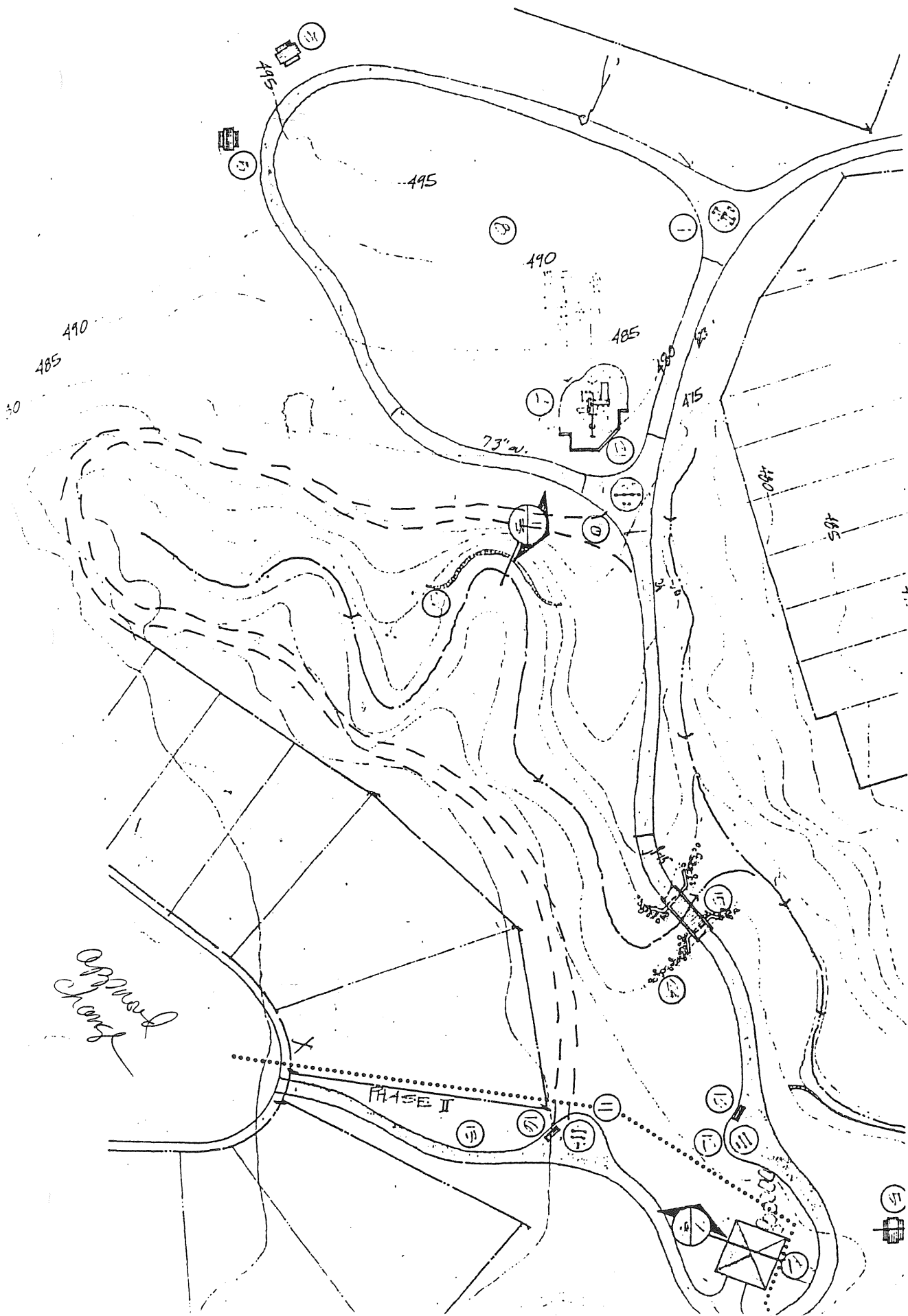
SCALE: 1/16" = 1'-0"

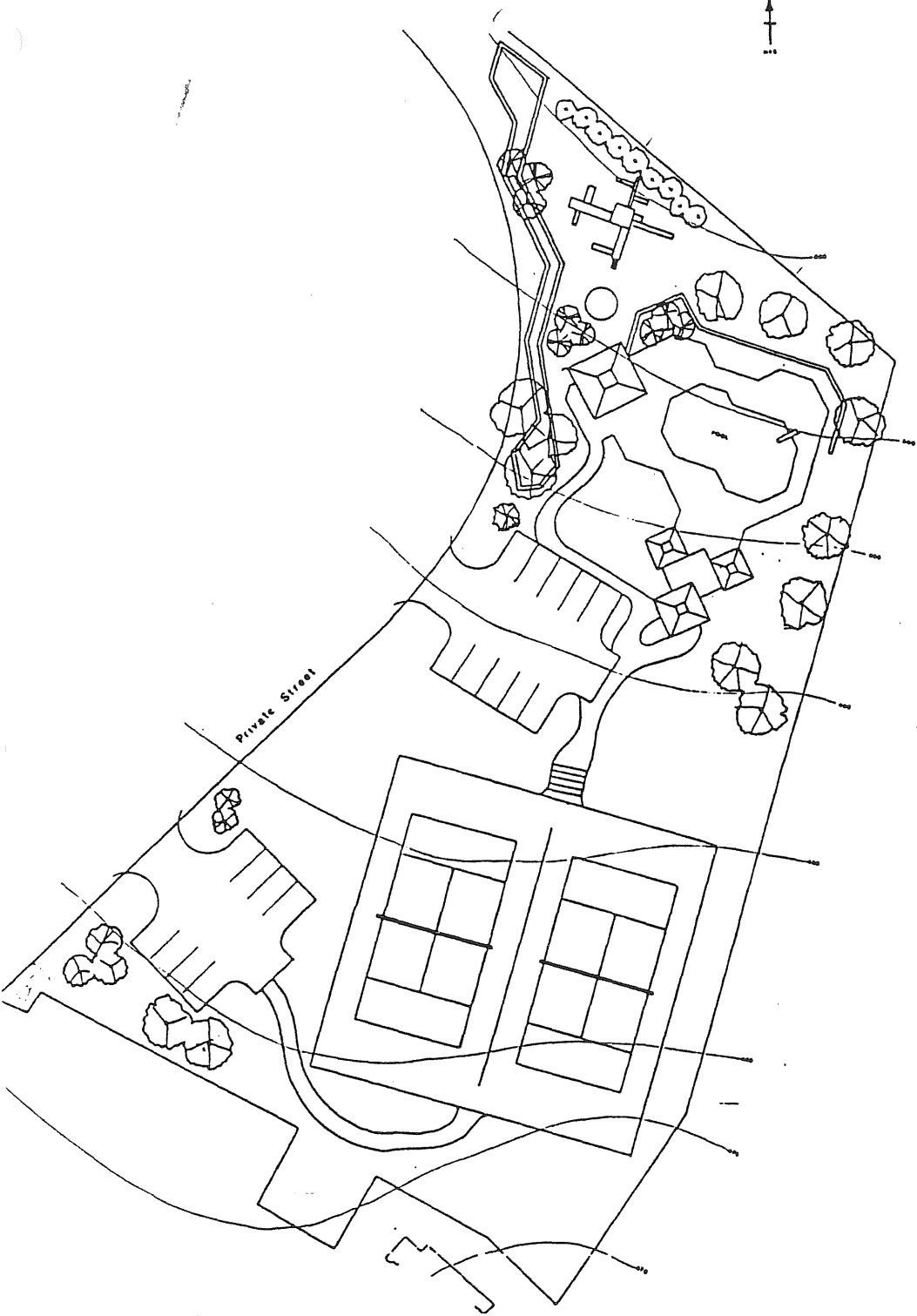


DRY STONE RET. WALL DET.

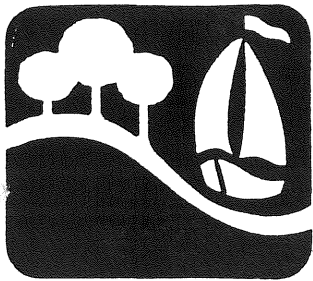
SCALE: 3/4" = 1'

1/3





Swim And Tennis Park
Chandlers Landing



CITY OF ROCKWALL
"THE NEW HORIZON"

February 25, 1988

Mr. Larry Walker
Chandlers Landing Development Co.
1717 South Boulder
Tulsa, Oklahoma 75119

Re: Completion of Amenities in Chandlers Landing

Dear Mr. Walker:

This letter is to verify that, based on field inspections, the required improvements relating to the swim and tennis park in Chandlers Landing have been completed in compliance with the requirements of the site plans and ordinances applicable to these improvements.

If you have any other questions, please don't hesitate to contact us.

Sincerely,

A handwritten signature in black ink, appearing to read "Julie Couch", with a long, sweeping flourish extending to the right.

Julie Couch
Assistant City Manager

JC/mmp

VIEW: Pdffile
RESTRICT: PHASE_NO = "CABANAS" "

SORT: PHASE_NO

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
9029	9038		CABANAS	Z	AR TOWNHOUSE
9029	0		CABANAS	RPP	TOWNHOUSE LOTS 1-6

ORDINANCE NO. 90-38

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO AMEND THE PRELIMINARY PLAN FOR PD-8 CHANDLERS LANDING, MORE FULLY DESCRIBED HEREIN; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance and No. 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to a change in the preliminary plan for "PD" Planned Development District Number 8: Chandlers Landing on the property described in Exhibit "A".

SECTION 2. That Planned Development district Number 8: Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended ;and as amended hereby, provided that the granting of Planned Development District No. 8: Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. Development of property covered by Planned Development District No. 8: Chandlers Landing shall be in accordance with the provisions of this ordinance and the approved comprehensive development plan and list of approved uses, attached hereto as Exhibit "B", and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.
- B. Development or redevelopment of the above described tract shall conform to the building style as shown on the attached exhibit "C".

C. Development or redevelopment of the above described tract shall be limited to no more than six (6) single family townhouse lots.

SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

SECTION 5. That all ordinance of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 5th day of November 1990

APPROVED:

Jack R. Miller
Mayor

ATTEST:

BY Mary A. Nichols
City Secretary

1st reading 10/15/90

2nd reading 11/5/90

CABANAS CHANDLERS LANDING
LAND USE SPECIFICATIONS

I. PLANNED DEVELOPMENT SINGLE FAMILY

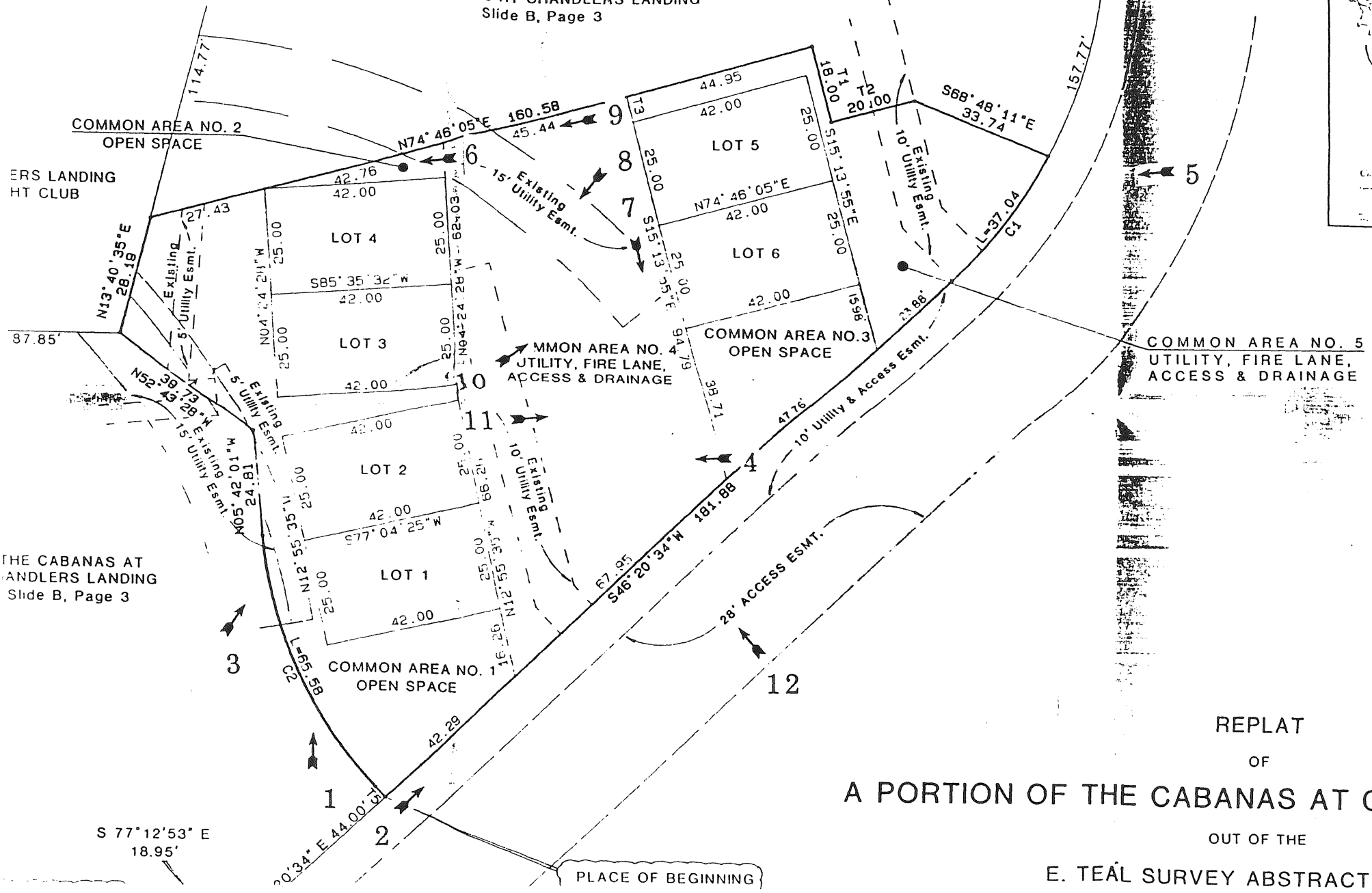
A. Permitted Uses

1. One attached townhouse unit with fire walls on an individual lot with a maximum of two attached units on two separate lots.

B. Area Requirements

1. Minimum lot area - 1,050 square feet
2. Maximum number of single family attached dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1200 square feet
4. Minimum lot frontage on a public street or approved private access - 25 feet
5. Minimum lot depth - 42 feet
6. Minimum depth of front setback - 0 feet
7. Minimum depth of rear setback - 0 feet
8. Minimum width of side setback -
 - a. Abutting Structures - separated by fire retardant walls - 0 feet
 - b. Internal Lot - 0 feet meeting all building code requirements
9. Maximum building coverage as a percentage of lot area - 100% of lot area
10. Maximum height of structures - 23 feet
11. Minimum number of paved parking spaces required for each residential dwelling unit - 2 off street spaces

THE CABANAS AT CHANDLERS LANDING
Slide B, Page 3



REPLAT
OF
A PORTION OF THE CABANAS AT C
OUT OF THE
E. TEAL SURVEY ABSTRACT

TOWNHOUSE LOTS 1-6

RPP

CABANAS

0

9029

COMMON AREA NO. 2
OPEN SPACE

ERS LANDING
HT CLUB

THE CABANAS AT
ANDLERS LANDING
Slide B, Page 3

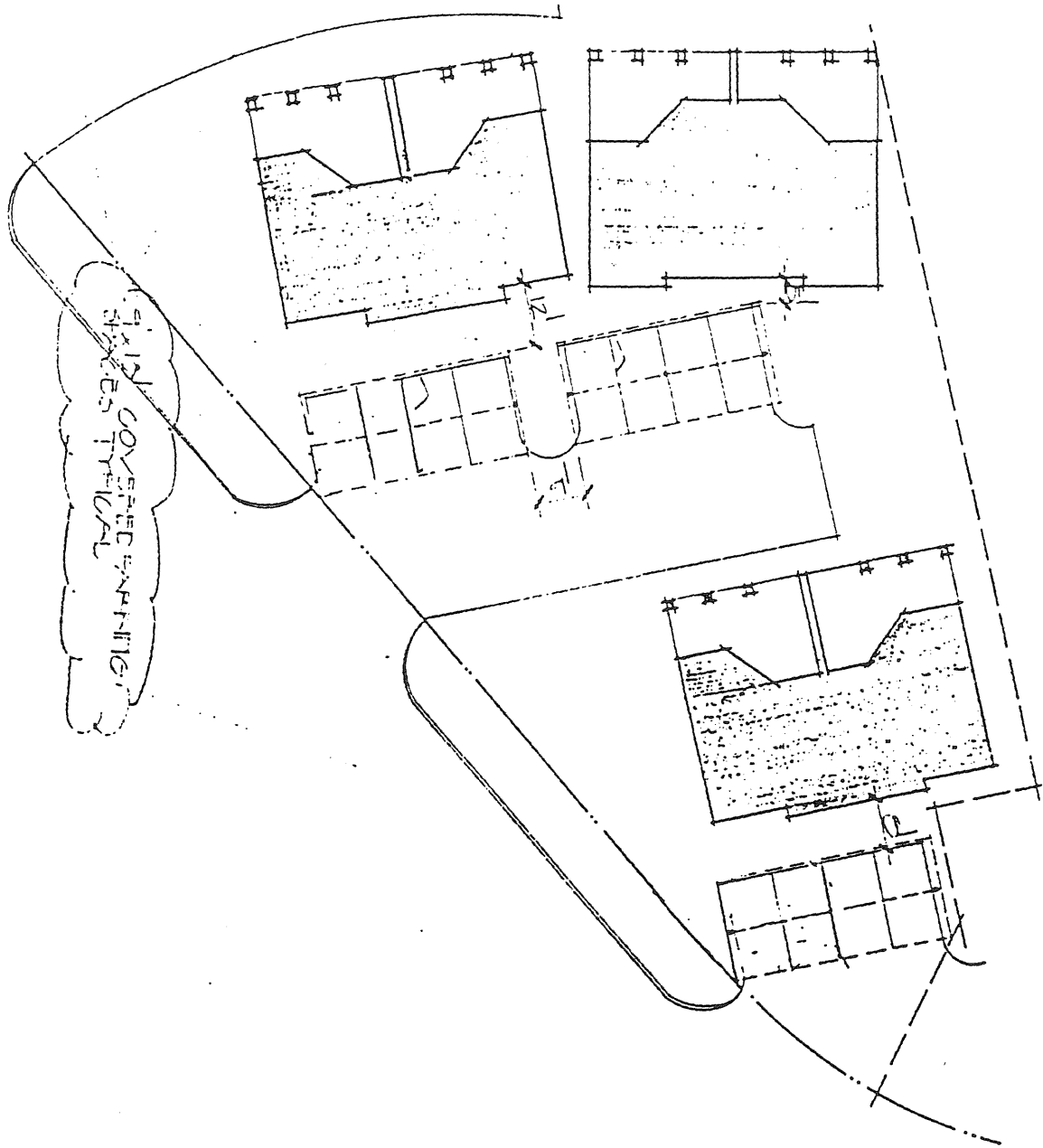
COMMON AREA NO. 3
UTILITY, FIRE LANE,
ACCESS & DRAINAGE

COMMON AREA NO. 5
UTILITY, FIRE LANE,
ACCESS & DRAINAGE

COMMON AREA NO. 1
OPEN SPACE

PLACE OF BEGINNING

S 77°12'53" E
18.95'



Existing Development Plan
Matchpoint Homes

CITY OF ROCKWALL

ORDINANCE NO. 14-15

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [ORDINANCE NO. 73-48 & 84-04] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED SO AS TO FURTHER AMEND THE DENSITY AND DIMENSIONAL REQUIREMENTS STIPULATED BY PLANNED DEVELOPMENT DISTRICT 8 (PD-8) FOR A 1.131-ACRE PORTION OF A PARCEL OF LAND IDENTIFIED AS THE CABANAS AT CHANDLER'S LANDING, ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by the Cabana's at Chandler's Landing Homeowner's Association on behalf of the residents of the Cabana's at Chandler's Landing, for an amendment to the density and development standards contained within Planned Development District 8 (PD-8) [specifically contained within *Ordinance No. 73-48 & 84-04*] and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall to allow for a lot layout similar to the lot layout depicted in *Exhibit 'B'* of this ordinance, which herein after shall be referred to as the *Zoning Exhibit* and incorporated by reference herein, for a 1.131-acre portion of a parcel of land identified as the Cabanas at Chandler's Landing, Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 8 [*Ordinance No. 73-48 & 84-04*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by Planned Development District 8 (PD-8) [*Ordinance No. 73-48 & 84-04*] and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 2. That the subdivision of the *Subject Property* shall generally be in accordance with the *Zoning Exhibit*, described in *Exhibit 'B'* of this ordinance, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 3. That the development or redevelopment of the *Subject Property* shall generally be in

accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. The *Official Zoning Map* of the City of Rockwall, Texas shall be amended to reflect the change in zoning for the *Subject Property* as described in this ordinance;

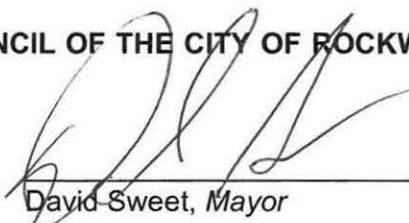
Section 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

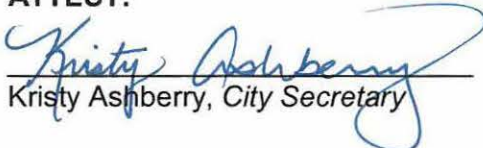
Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF APRIL, 2014.**



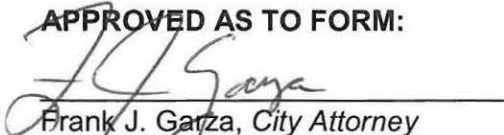
David Sweet, Mayor

ATTEST:



Kristy Ashberry, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: March 17, 2014

2nd Reading: April 7, 2014

Exhibit 'A':
Legal Description

13

BEING a tract or parcel of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, and being a part of the Cabanas at Chandlers Landing, an addition to the city of Rockwall, recorded in Slide B, Page 3 & 4, Plat Records Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at an iron rod at the North corner of said Cabanas at Chandlers Landing, said iron rod bears North 6° 20' 10" West, a distance of 950.39 feet from City of Dallas Take Line monument for Lake Ray Hubbard marked T-13-1 and T-11-6, said iron rod being on a circular curve to the left having a central angle of 24° 27' 31", a radius of 168.23 feet, and a chord that bears South 56° 35' 00" East, a distance of 71.27 feet;

THENCE: Along said curve and with the Northeast line of said Cabanas at Chandlers Landing an arc distance of 71.82 feet to an iron rod at the point of tangency of said curve;

THENCE: South 68° 48' 46" East a distance of 17.62 feet continuing along said Northeast line to an iron rod at the point of curvature of a circular curve to the right having a central angle of 15° 29' 42" and a radius of 114.09 feet;

THENCE: Along said curve and along said Northeast line an arc distance of 30.86 feet to an iron rod at the point of tangency of said curve;

THENCE: South 53° 19' 04" East, a distance of 103.07 feet continuing along said Northeast line to an iron rod at the point of curvature of a circular curve to the right having a central angle of 80° 42' 31" and a radius of 112.00 feet;

THENCE: Along said curve and continuing along said Northeast and then the East line an arc distance of 157.77 feet to an iron rod for a corner;

THENCE: Leaving said East line and traversing said Addition as follows: North 68° 48' 11" West, a distance of 33.74 feet to an iron rod for a corner, South 74° 46' 05" West a distance of 20.00 feet to an iron rod for a corner, North 15° 13' 55" West, a distance of 18.00 feet to an iron rod for a corner, South 74° 46' 05" West, a distance of 160.58 feet to an iron rod for a corner, on a Westerly line of said Addition;

THENCE: North 13° 40' 35" East, a distance of 114.76 feet with said Westerly line to an iron rod for a corner;

THENCE: Along the most Northerly South lines of said Addition as follows:

North 76° 19' 25" West, a distance of 36.34 feet to an iron rod for a corner, North 69° 07' 25" West, a distance of 28.00 feet to an iron rod for a corner, and North 61° 59' 55" west, a distance of 79.50 feet to an iron rod for a corner at the most Northerly West corner of said Addition;

THENCE: North 20° 52' 35" East, a distance of 79.84 feet along the most Northerly Northwest line of said Addition to an iron rod for a corner; said iron rod being on a circular curve to the left having a central angle of 18° 44' 09", a radius of 234.00 feet, and a chord that bears North 60° 29' 27" East, a distance of 76.18 feet;

THENCE: Along said curve an arc distance of 76.52 feet to an iron rod at the point of compound curvature of a circular curve to the left having a central angle of 0° 32' 08" and a radius of 300.00 feet;

THENCE: Along said curve an arc distance of 2.80 feet to the Point of Beginning and containing 49,268 square feet or 1.131 Acres of Land.

FILED:	5th	DAY OF:	Oct.	1982	9:20 A.M.
RECORDED	7th	DAY OF:	Nov.	1982	3:00 P.M.
JUNE WIMPEE, COUNTY CLERK, ROCKWALL COUNTY, TEXAS					
BY:	Jana Davis	DEPUTY			

Exhibit 'B':
Zoning Exhibit

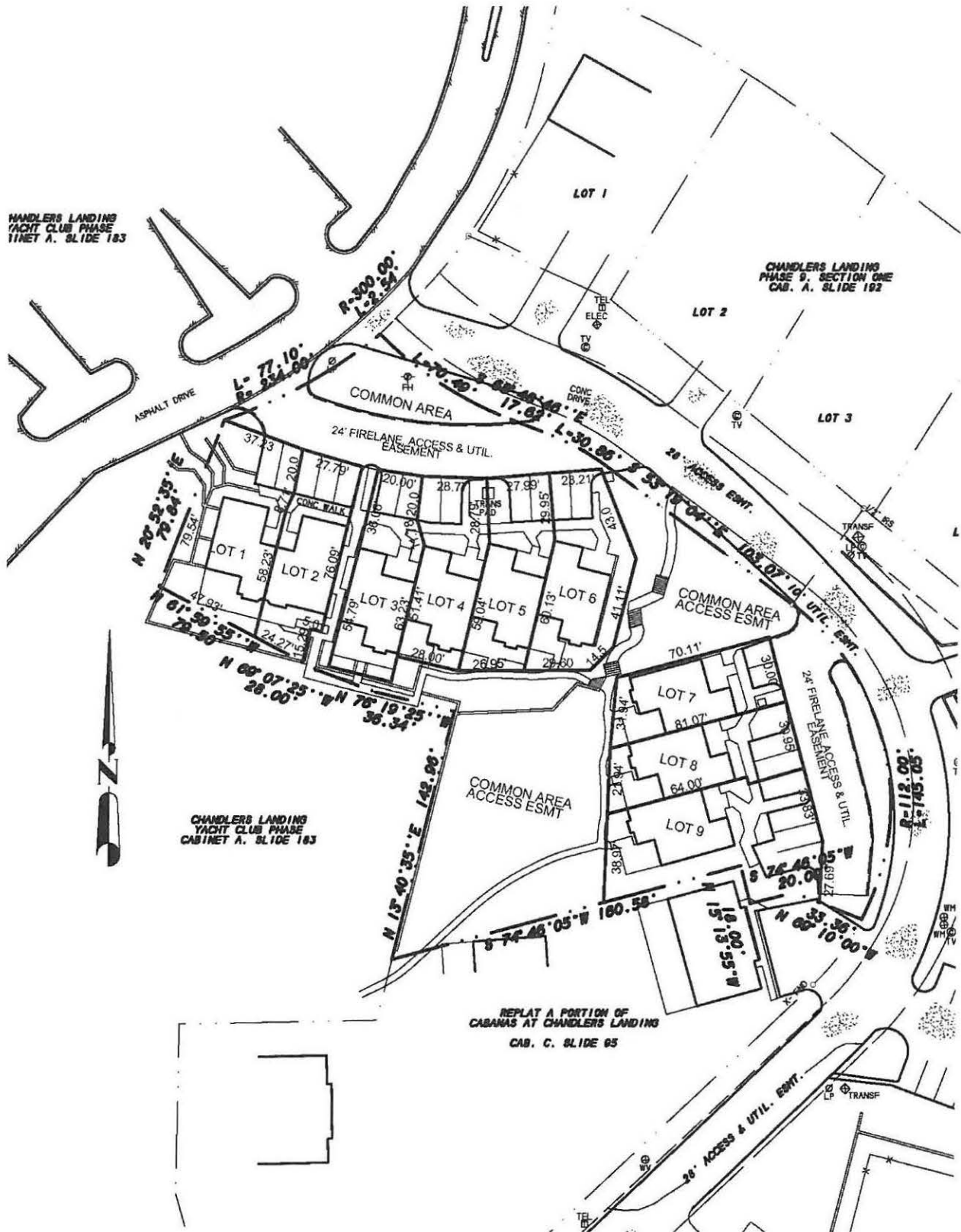


Exhibit 'C':
PD Development Standards

PD Development Standards.

1. *Purpose.* It is the intent of this zoning ordinance to maintain the current conditions of the subject property, while permitting property owners to physically subdivide their properties into lots to delineate the open space that will be dedicated to the *Chandler's Landing Homeowner's Association*.
2. *Allowed Uses.* The following are the only permitted land uses that shall be established on the *Subject Property*:
 - a. *Permitted Uses.* Uses permitted *by right* or by *Specific Use Permit (SUP)* in Planned Development District 8 (PD-8) [*Ordinance No. 73-48 & 84-04*]. Uses subject to the approval of a *Specific Use Permit (SUP)* shall be required to follow the procedure for requesting an *SUP* as set forth in Article XI, *Zoning-Related Applications*, of the Unified Development Code.
 - b. *Townhomes.* A single family dwelling unit constructed in a series, or group of units that share common walls, and are situated on an individual or separate lot.

NOTE: All development of the Subject Property should conform to the Zoning Exhibit in Exhibit 'B'.

3. *Maximum Number of Units.* The *Subject Property* may contain no more than nine (9) townhomes that conform to the *Zoning Exhibit* in *Exhibit 'B'*.
4. *Area Requirements.*
 - i. *Minimum Lot Area:* 2,200 Square Feet
 - ii. *Minimum Lot Width:* 20 Feet
 - iii. *Minimum Lot Depth:* 40 Feet
 - iv. *Maximum Number of Dwelling Units per Lot:* One
 - v. *Minimum Front Yard Building Setback:* 0 Feet
 - vi. *Minimum Rear Yard Setback:* 0 Feet
 - vii. *Minimum Side Yard Setback:*
 - a. *Internal Side Yard Setback:* 0 Feet [*subject to all building code requirements*]
 - b. *Side Yard Abutting a Structure:* 0 Feet [*required to be separated by a fire retardant wall*]
 - viii. *Maximum Lot Coverage:* 100% [*as a percentage of lot area*]
 - ix. *Maximum Height:* 30 Feet
 - x. *Minimum Number of Paved Parking Spaces per Lot:* Two (2) Off-Street Spaces
5. *Additional Restrictions.* No fences or any other type of barricade shall be permitted on any property depicted in the *Zoning Exhibit* in *Exhibit 'B'*.

RESTRICT: PHASE_NO = "CHAND" ES"

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
1		7348	CHAND	Z	MASTER PLAN ORIGINAL
2		8404	CHAND	Z	MASTER PLAN REVISED
8539		8543	chand	Z	various changes

ORDINANCE NO. 73-48

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE, AS HERETOFORE AMENDED, SO AS TO GIVE THE FOLLOWING-DESCRIBED TRACTS OF LAND A "PD" PLANNED DEVELOPMENT DISTRICT CLASSIFICATION ZONING FOR A COMBINATION OF SINGLE-FAMILY, MULTIPLE-FAMILY AND OTHER USES AS SET OUT HEREIN, TO BE DESIGNATED AS PLANNED DEVELOPMENT DISTRICT NUMBER 8, SAID PLANNED DEVELOPMENT DISTRICT BEING DESCRIBED ON THE PLAT ATTACHED HERETO; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS (\$200.00) FOR EACH OFFENSE; AND DECLARING AN EMERGENCY.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, the governing body, in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:
NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be, and the same is hereby, amended by amending the Zoning Map of the City of Rockwall so as to give the following-described property the zoning classification hereinafter set out, to-wit:

SECTION 2. The granting of the Planned Development District Number 8 to the above-described property is subject to the following Special Conditions:

(1) Planned Development District Number 8 shall be developed generally in accordance with the site plan for said area, which is attached to and made a part hereof as Exhibit "A."

(2) That all development of property covered by this ordinance shall be in accordance with the approved site plan, and no substantial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for change and amendments to the Comprehensive Zoning Ordinance.

(3) Prior to the issuance of any building permit in Planned Development District Number 8, a Comprehensive Site Plan of the Development shall be filed with the City Council of the City and shall be approved by them and filed as a part of this ordinance. Such required detailed plan shall set forth the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the thoroughfare plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council to create a reasonable transition to and protection of the adjacent property. Such approval by the City Council of the detailed site plan shall be considered as an amendment to this ordinance and shall be applicable to the property involved.

(4) Area 1. of Planned Development District No. 8 shall contain no more than 500 dwelling units, subject to the setbacks, yards, parking spaces and other requirements set out in Exhibit "B" hereto.

(5) Area 2. of Planned Development District No. 8 shall contain any single-family, multiple-family or non-residential use permitted in a Planned Development District under the Comprehensive Zoning Ordinance of the City of Rockwall, except the following:

- (a) Automobile-type uses under Section 8-106;
- (b) Retail and service-type uses under Section 8-107;
- (c) Commercial and service-type uses under Section 8-108;
- (d) Industrial uses under Section 8-109.

(6) The number of dwelling units in Area 2. shall not exceed six (6) per gross acre, or 1,520 unit total.

TRACT I.

BEING a tract of land out of the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas, and being all of those certain tracts of land as conveyed to Kirby Albright, by Deed as recorded in Vol. 83, Page 510, and a portion of that tract as conveyed to Whilden Construction Company, by Deed as recorded in Vol. 44, Page 618, and a portion of that tract of land as conveyed to A. L. Cross, by Deed as recorded in Vol. 63, Page 382, of the Deed Records of Rockwall County, Texas, and all of that tract of land as proposed to be conveyed to John L. Jones, by the City of Dallas, Texas, and being all of Lot 5, Scenic Estates Subdivision, as recorded in Vol. 1, Page 42, of the Map Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point for a corner at the northerly northwest corner in the City of Dallas Take-Line in Lake Ray Hubbard, said point being the southwest corner of Kirby Albright 26.954 acre tract, as recorded in Deed Records of Rockwall County, Texas;
THENCE S 56° 53' 59" E, 732.68 feet to a point for a corner;
THENCE N 44° 37' 56" E, 1751.07 feet to a point for corner;
THENCE S 45° 29' 25" E, 1101.25 feet to the beginning of a circular curve to the left having a radius of 80.00 feet;
THENCE Southeasterly, to Northeasterly, along said circular curve to the left, thru a central angle of 116° 29' 35", an arc distance of 162.66 feet to the point of tangency;
THENCE N 18° 01' E, 375.02 feet to a point for a corner, in the Southwesterly line of a Public Road;
THENCE S 45° 18' 28" E, along the said Southwesterly line of a Public Road, 200.00 feet to a point for a corner;
THENCE N 39° 48' 39" E, 51.22 feet to a point for corner, in the above-referenced Westerly line of Farm-Market Highway 740;
THENCE S 37° 03' 22" E, continuing along the said Westerly line of Farm-Market Highway 740, 225.40 feet to an angle point;
THENCE S 12° 02' 06" E, continuing along the said Westerly line of Farm-Market Highway 740, 241.20 feet to an angle point;
THENCE S 8° 24' 31" E, continuing along the said Westerly line of Farm-Market Highway 740, 848.05 feet to a point for corner at northeast corner of Scenic Estates Subdivision;
THENCE N 84° 34' 07" West along the north line of Lot 1 of the above said Scenic Estate Subdivision, 391.10 feet to a point for corner;
THENCE S 2° 06' 52" W, along the Westerly line of the above said Scenic Estates Subdivision, 559.82 feet to a point for a corner, said point being the Southwesterly corner of Lot 4, of said subdivision;
THENCE S 84° 34' 07" E, along the Southerly line of the above said Lot 4, 352.30 feet to a point for a corner, in the above referenced West line of Farm-Market Highway 740;
THENCE S 6° 05' 20" W, along the said Westerly line of Farm-Market Highway 740, 310.00 feet to a point for corner;
THENCE N 89° 17' 49" W 4268.99 feet to a point for corner in the City of Dallas TakeLine for Lake Ray Hubbard;
THENCE, the following courses and distances along the existing and proposed City of Dallas Take-Line for Lake Ray Hubbard:

N 17° 56' 12" E 235.24 feet; N 17° 48' 56" E, 45.55 feet; N 57° 22' 11" E 107.47 feet; N 4° 36' 56" W, 137.44 feet; N 44° 11' 50" E, 137.84 feet; N 14° 30' 54" E, 137.19 feet; N 56° 08' 28" E, 255.03 feet; N 28° 15' 05" E, 192.07 feet; N 39° 23' 13" E, 599.08 feet; N 72° 30' 52" E, 138.00 feet; N 57° 05' 40" W, 236.77 feet; N 46° 18' 05" E, 120.00 feet to the POINT OF BEGINNING and containing 162.6 acres of land.

All of Lots 1, 3 & 4 out of the E. Teal Survey of the Scenic Estates Subdivision according to the Map or Plat thereof recorded in Vol. 1, Page 42, of the Rockwall County Map Records.

TRACT II.

BEING a tract of land out of the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas, and being all of those certain tracts of land as conveyed to Kirby Albright by Deed as recorded in Vol. 83, Page 510, and a portion of that tract as conveyed to Whilden Construction Company, by Deed as recorded in Vol. 44, Page 618, and a portion of that tract of land as conveyed to A. L. Cross, by Deed as recorded in Vol. 63, Page 382, of the Deed Records of Rockwall County, Texas, and all of that tract of land as proposed to be conveyed to John L. Jones, by the City of Dallas, Texas, all shown in Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point for a corner in the West right-of-way line of Farm-Market Road 740, said point being 310 feet S 6° 05' 20" West of Southeast corner of Lot 4, of Scenic Estates Subdivision as recorded in Vol. 1, Page 42, of the Map Records of Rockwall County, Texas;
THENCE S 6° 05' 20" W along westerly line of F. M. Road 740, 897.40 feet to the beginning of a circular curve to the right, having a radius of 100.00 feet;
THENCE Southwesterly, continuing along the said Westerly line of Farm-Market Highway 740, with said circular curve to the right thru a central angle of 82° 36' 10", an arc distance of 144.17 feet to the point of tangency;
THENCE S 88° 41' 30" W, continuing along the Westerly line of Farm-Market Highway 740, 344.81 feet to a point for a corner;
THENCE S 3° 02' 01" E, continuing along the said Westerly line of Farm-Market Highway 740, 695.57 feet to a point for a corner;
THENCE N 89° 31' 20" W, 948.14 feet to a point for a corner;
THENCE S 40° 57' W, 965.45 feet to a point for a corner in the City of Dallas Take-Line for Lake Ray Hubbard;
THENCE, the following courses and distances along the existing and proposed City of Dallas Take-Line for Lake Ray Hubbard:
N 14° 46' 41" W, 442.02 feet; N 1° 33' 58" W, 69.07 feet; N 20° 52' 35" W, 148.60 feet; N 31° 30' 06" W, 107.01 feet; N 58° 29' 49" E, 120.00 feet; N 38° 21' 05" W, 481.00 feet; N 56° 39' 37" W, 227.43 feet; N 86° 45' 01" W, 101.52 feet; N 67° 27' 32" W, 298.03 feet; N 3° 55' 02" W, 50.12 feet; N 44° 59' 06" W, 56.57 feet; S 86° 04' 55" W, 47.54 feet; N 46° 18' 55" W, 374.23 feet; N 7° 58' 58" E, 19.06 feet; N 58° 06' 47" W, 47.17 feet; N 81° 08' 45" W, 192.35 feet; N 61° 21' 03" W, 290.90 feet; N 51° 20' 46" W, 32.99 feet; N 24° 34' 31" W, 131.11 feet; N 76° 04' 56" W, 82.46 feet; N 40° 01' 45" W, 101.03 feet, S 44° 58' 04", W 22.73 feet; N 24° 50' 43" W, 276.57 feet; to a point for a corner;
THENCE S 89° 17' 49" E a distance of 4,268.99 feet to the POINT OF BEGINNING, and containing 122.7 acres of land.

SECTION 3. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby, repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4. That the above-described tract of land shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended herein, by the granting of this zoning change.

SECTION 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended hereby, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars (\$200.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. Whereas, it appears that the above-described property requires classification as a Planned Development District in order to permit its proper development and in order to protect the public interest and general welfare of the City of Rockwall, such requirement creates an urgency and an emergency in the preservation of the public welfare and requires that this ordinance take effect immediately from and after its passage and the publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 12th day of November, 1973.

APPROVED:

David Myers
MAYOR

ATTEST:

James C. Williams
CITY SECRETARY

APPROVED AS TO FORM:

CITY ATTORNEY

Set Backs, Yards, Pa Spaces, Etc., Proposed

	<u>Min. Resi- dential Lot Area</u>	<u>Min. Resi- dential Lot Width</u>	<u>Min. Resi- dential Lot Depth</u>	<u>Max. Building Coverage</u>	<u>Min. Front Yard</u>	<u>Min. Side Yard</u>	<u>Min. Rear Yard</u>	<u>Min. Number of Parking Spaces</u>
Single-Family Structures With Side Yards On Both Sides	6000 sq. ft.	50 ft.	100 ft.	40%	25 ft.	5 ft.	10 ft.	2 per unit
Single-Family Structures With Side Yard On One Side Only.	4000 sq. ft.	40 ft.	100 ft.	60%	25 ft.	10 ft.*	10 ft.	2 per unit
Single-Family Structure With No Side Yard	3000 sq. ft.	20 ft.	100 ft.	60%	25 ft.	-	10 ft.**	2 per unit
Multi-Family Structure Or Condominium	2000 sq. ft. per unit	70 ft.	100 ft.	40%	25 ft.	as per 9-602 (2)&(3)	10 ft.	1 1/2 per unit
Non-Residential	-	-	-	40%	25 ft.	None	10 ft.	As per 10-102

* No side yard required on one side

** Except none required where adjoining a common area

PLANNED DEVELOPMENT DISTRICT NO. 8

EXHIBIT "B"

EXHIBIT B



ON TOWNHOUSE LOTS
THIRTY
TWO VILLAS

LAKE HUBBARD

BOAT LAUNCHING

VILLAGE

ENTRANCE CENTER

HOUSE & GENTRY

PRIVATE SCHOOL

ANDLERS LANDING
MASTER SITE PLAN
Kiyotaki/Bell & Associates
Architects & Land Planners
SAN ANTONIO, TEXAS
JAN. 12, 1977



ROUTE 140
TO INTERSTATE 35
& DALLAS

ORDINANCE NO. 84-4

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING ORDINANCE NO. 73-48 OF THE CITY OF ROCKWALL AND AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED AND AS RELATES TO PLANNED DEVELOPMENT DISTRICT NUMBER 8, SAID PLANNED DEVELOPMENT DISTRICT BEING DESCRIBED ON THE PRELIMINARY SITE PLAN ATTACHED HERETO: PROVIDING FOR ORDERLY DEVELOPMENT OF SAID PLANNED DEVELOPMENT DISTRICT NO. 8; PROVIDING FOR LAND USE WITHIN SAID PLANNED DEVELOPMENT DISTRICT NUMBER 8 AND AREA REQUIREMENTS, AMENITIES AND DENSITIES OF DEVELOPMENT; DIRECTING THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL TO INSTITUTE A STUDY OF THE BEST LAND USE OF THE AREA PREVIOUSLY DESIGNATED 1-A OF PLANNED DEVELOPMENT DISTRICT NUMBER 8; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000) FOR EACH OFFENSE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the Laws of The State of Texas and the Ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of its legislative discretion, has concluded that Ordinance No. 73-48 of the City of Rockwall and the Comprehensive Zoning Ordinance of the City of Rockwall as relates to Planned Development District Number 8 should be amended as set forth herein; and

WHEREAS, the governing body of The City of Rockwall has determined that a substantial change in circumstances and of land usages and development has occurred in Planned Development District Number 8 as authorized by Ordinance No. 73-48 of the City of Rockwall since the passage and effective date of said Ordinance, and that such changed circumstances, land uses and development necessitate amendment of said Ordinance No. 73-48 of the City of Rockwall as set forth herein:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That Ordinance No. 73-48 of the City of Rockwall is hereby amended by deleting in its entirety Section 2 thereof and by adding a new section to be numbered Section 2 and to read as follows:

Section 2.

The granting of the Planned Development Number 8 to the above described property is subject to the following special conditions and provisions:

- (1) Planned Development District Number 8 shall be developed in accordance with the preliminary development plan for said area which is attached hereto and made a part hereof as Exhibit "A".
- (2) That all development of the property covered by this Ordinance shall be in accordance with the approved preliminary plan attached hereto as Exhibit "A", and no substantial change in the development shall be permitted except after obtaining approval of the change of such preliminary plan in the manner required for amendments to the Comprehensive Zoning Ordinance.
- (3) Prior to the issuance of any Building Permit in Planned Development District Number 8, a final development plan prepared in accordance with the requirements of the Comprehensive Zoning Ordinance shall be filed with the City Council of the City of Rockwall and shall be approved by said governing body after review and recommendation by the Planning and Zoning Commission and filed as a part of this Ordinance. Such required development plan shall set forth the requirements for ingress and egress to the property, public or private streets or drive, with adequate right-of-way to conform to the thoroughfare plan of the City of Rockwall, sidewalks, utilities, drainage, parking, space, all area requirements and maximum lot coverage, yards and open spaces, screening walls or

fences, amenities, greenbelt areas and all other development and protective requirements considered necessary by the City Council to create a reasonable transition to and protection of the adjacent property. Such approval by the City Council of the detailed final development plan shall be considered as an amendment to this Ordinance and shall be applicable to the property involved.

- (4) That all development of Planned Development District Number 8 shall generally occur in the sequence according to the phasing plan consisting of six (6) separate phases as graphically depicted in Exhibit "B" which is attached hereto and made a part hereof.

- (5) That the area North of the existing entrance at the Southeast corner of Planned Development District Number 8 (designated on Exhibit "A" as Greenbelt A) be designated and maintained as permanent greenbelt area, and that the area South of the existing entrance at the Southeast corner of Planned Development District Number 8 (designated on Exhibit "A" as Greenbelt B) may be developed in a manner that would not interfere with the contemplated realignment and improvement of FM 740, and the governing body of the City of Rockwall must consider and specifically approve further development of said area. That all development, construction and other improvements be in strict accordance with the Comprehensive Zoning Ordinance (Ordinance No. 83-23) of the City of Rockwall as presently existing, as amended herein, or hereafter amended prior to any such development, construction or improvement,

except to the extent that the minimum square footages specifically stated on the preliminary development Plan attached hereto as Exhibit "A" exceed the minimum requirements of the Comprehensive Zoning Ordinance in which case said minimum square footages as specifically stated on Exhibit "A" attached hereto shall be applicable, and with the further exception relating to zero lot line requirements which shall be as follows:

- Minimum floor area per unit 1200 - 1500 sq. ft.
See Master Plan for minimum floor areas for any given tract.
- Maximum building height 30 ft.
- Minimum lot width 40 ft.
- Minimum lot depth 100 ft.
- Minimum front yard 20 ft.
- Minimum side yard 0 ft. and 10 ft.
- Minimum rear yard 15 ft.
- Minimum lot area 4000 ft.
- Maximum building coverage 60%
- Minimum distance between building 15 ft.
- Building setback from less dense use (One story construction) 25 ft.
- Building setback from less dense use (Two story construction) 35 ft.
- Minimum garage space one car
- Minimum number of parking spaces/unit 2 spaces

(6) That the area North of the existing Cutter Hill multi-family development within Planned Development District Number 8 shall be designated as recreational area. (On Exhibit "A" attached hereto.)

(7) That all densities of development as stated on Exhibit "A" attached hereto shall be construed as exact maximum densities of development and not approximations.

(8) That the construction and development of amenities for Planned Development District Number 8 for all future development thereof shall be based upon recreational units

with each single family dwelling unit equalling one-half recreation unit and each multi-family dwelling unit equalling one recreation unit, said minimum amenities to consist of the following;

<u>ITEM</u>	<u>NUMBER</u>	<u>RATIO</u>
a. Sports Park	3	one per 300 Rec. Unit
b. Swim Club	4	one per 225 Rec. Unit
c. Play Parks	4	one per 250 Rec. Unit
d. Upland Lakes (two existing to be improved)	3	one per 300 Rec. Unit
e. Security Entrances		
f. Landscape Entry Developments		
g. Architectural Graphic and Signs		
h. Common Greenbelts and Paths		

(9) That each amenity provided for herein shall be in accordance with the description of same attached hereto as Exhibit "C" and made a part hereof.

(10) That all multi-family development permitted hereby, as designated on Exhibit "A" North of Yacht Club Drive shall not exceed thirteen (13) dwelling units per acre.

(11) That all multi-family development permitted hereby North of Yacht Club Drive shall contain a minimum square footage of 1300 square feet per dwelling unit, and no more than fifteen percent (15%) of the total multi-family dwelling units shall be developed at such minimum square footage requirement and all other such multifamily dwelling units shall be in excess thereof.

(12) That all references herein to multi-family dwelling units and all such references contained on any attachments hereto, shall refer specifically to condominiums as defined in the

Comprehensive Zoning Ordinance of The City of Rockwall and shall specifically exclude any authorization for the development of apartment projects, all multi-family units shall be built to condominium construction standards.

- (13) That the residential product types that are permitted hereby as designated on Exhibit "A" are as specifically stated in Exhibit "D" attached hereto and made a part hereof.
- (14) That the governing body of the City of Rockwall does not by this Ordinance authorize the development of any specific total number of dwelling units, but authorizes the maximum densities for residential development, as designated on the preliminary plan attached hereto as Exhibit "A".
- (15) That the governing body of the City of Rockwall hereby directs the Planning and Zoning Commission of the City of Rockwall to institute a study of possible and appropriate land usages for the development of the area designated as I-A in the Site Plan attached as Exhibit "A".

Section 2. That Ordinance No. 73-48 of the City of Rockwall is hereby amended by deleting in its entirety Section 5 thereof and by adding a new Section to be numbered Section 5 to read as follows:

Section 5.

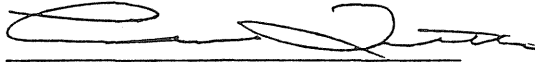
Any person, firm or corporation who violates any provisions of this Ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof in the Municipal Court, shall be subject to a fine of not more than ONE THOUSAND DOLLARS (\$1,000) for each offense, and each and every day that the violation of

the Ordinance shall be permitted to
continue shall constitute a
separate offense.

Section 3. This Ordinance shall take effect
and be in full force on and after the 9th day
of January, 1984, and upon the publication of
the caption as the law in such cases
required.

PASSED AND APPROVED this 9th day of January, 1984.

APPROVED:



MAYOR

ATTEST:



CITY SECRETARY

Tract I - Being a tract of land out of the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas, and being all of those certain tracts of land as conveyed to Kirby Albright, by Deed as recorded in Vol. 83, Page 510, and a portion of that tract as conveyed to Whilden Construction Company, by Deed as recorded in Vol. 44, Page 618, and a portion of that tract of land as conveyed to A.L. Cross, by Deed as recorded in Vol. 63, Page 382, of the Deed Records of Rockwall County, Texas, and all of that tract of land as proposed to be conveyed to John L. Jones, by the City of Dallas, Texas, and being all of Lot 5, Scenic Estates Subdivision, as recorded in Vol. 1, Page 42, of the Map Records of Rockwall County, Texas, and being more particularly described as follows:

Beginning at a point for a corner at the northerly northwest corner in the City of Dallas Take-Line in Lake Ray Hubbard, said point being the southwest corner of Kirby Albright 26.954 acre tract, as recorded in Deed Records of Rockwall County, Texas; Thence S 56 degrees 53' 59" E, 732.68 feet to a point for a corner; Thence N 44 degrees 37' 56" E, 1751.07 feet to a point for corner; Thence S 45 degrees 29' 25" E, 1101.25 feet to the beginning of a circular curve to the left having a radius of 80.00 feet; Thence Southeasterly, to Northeasterly, along said circular curve to the left, thru a central angle of 116 degrees 29' 35", an arc distance of 162.66 feet to the point of tangency; Thence N 18 degrees 01' E, 375.02 feet to a point for a corner, in the Southwesterly line of a Public Road; Thence S 45 degrees 18' 28" E, along the said Southwesterly line of a Public Road, 200.00 feet to a point for a corner; Thence N 39 degrees 48' 39" E, 51.22 feet to a point for corner, in the above-referenced Westerly line of Farm-Market Highway 740; Thence S 37 degrees 03' 22" E, continuing along the said Westerly line of Farm-Market Highway 740, 225.40 feet to an angle point; Thence S 12 degrees 02' 06" E, continuing along the said Westerly line of Farm-Market Highway 740, 241.20 feet to an angle point; Thence S 8 degrees 24' 31" E, continuing along the said Westerly line of Farm-Market Highway 740, 848.05 feet to a

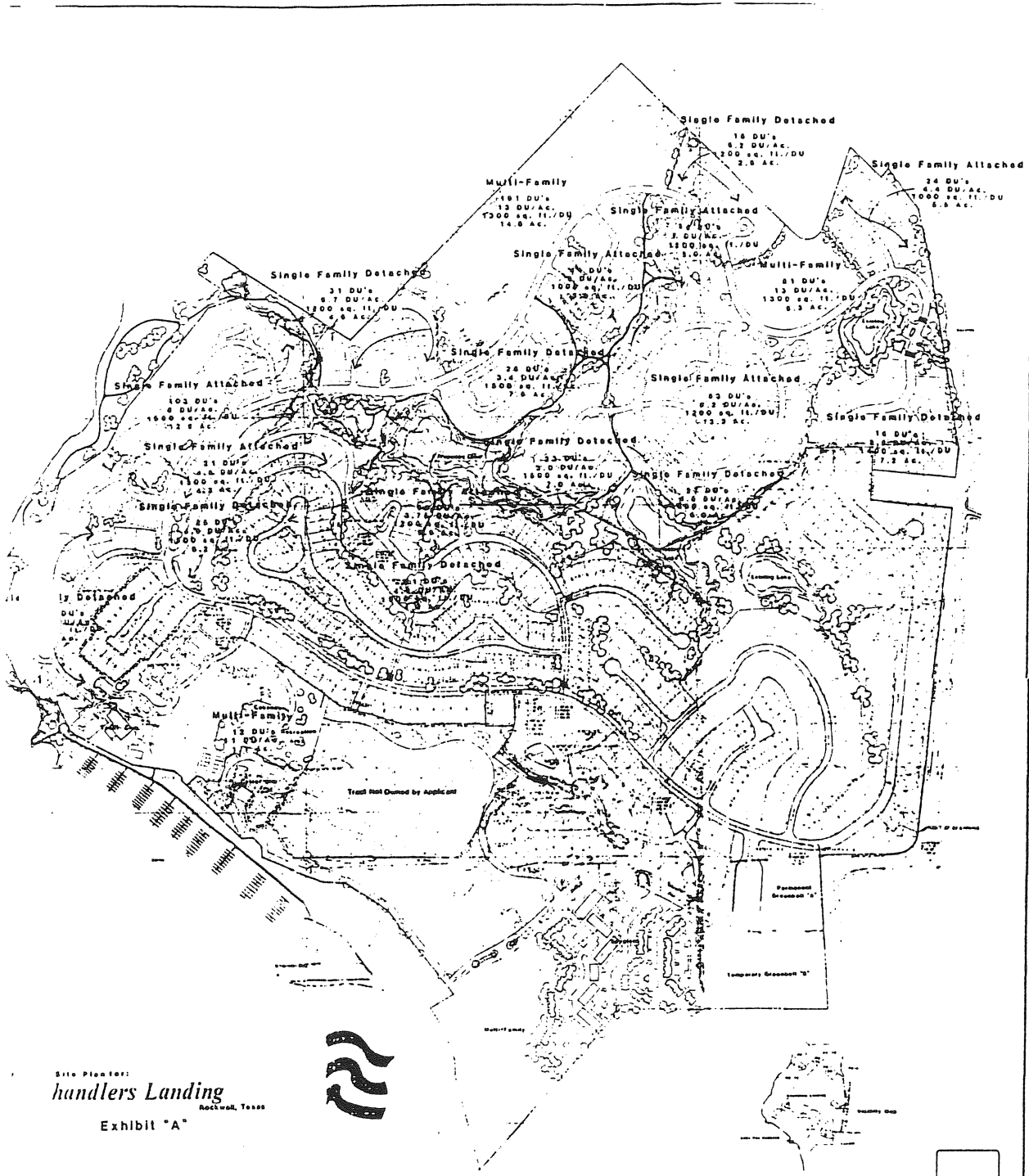
point for corner at northeast corner of Scenic Estates Subdivision; Thence N 84 degrees 34' 07" West along the north line of Lot 1 of the above said Scenic Estate Subdivision, 391.10 feet to a point for corner; Thence S 2 degrees 06' 52" W, along the Westerly line of the above said Scenic Estates Subdivision, 559.82 feet to a point for a corner, said point being the Southwesterly corner of Lot 4, of said subdivision; Thence S 84 degrees 34' 07" E, along the Southerly line of the above said Lot 4, 352.30 feet to a point for a corner, in the above referenced West line of Farm-Market Highway 740; Thence S 6 degrees 05' 20" W, along the said Westerly line of Farm-Market Highway 740, 310.00 feet to a point for corner; Thence N 89 degrees 17' 49" W 4268.99 feet to a point for corner in the City of Dallas Take-Line for Lake Ray Hubbard; Thence, the following courses and distances along the existing and proposed City of Dallas Take-Line for Lake Ray Hubbard: N 17 degrees 56' 12" E 235.24 feet; N 17 degrees 48' 56" E, 45.55 feet; N 57 degrees 22' 11" E 107.47 feet; N 4 degrees 36' 56" W, 137.44 feet; N 44 degrees 11' 50" E, 137.84 feet; N 14 degrees 30' 54" E, 137.19 feet; N 56 degrees 08' 28" E, 255.03 feet; N 28 degrees 15' 05" E, 192.07 feet; N 39 degrees 23' 13" E, 599.08 feet; N 72 degrees 30' 52" E, 138.00 feet; N 57 degrees 05' 40" W, 236.77 feet; N 46 degrees 18' 05" E, 120.00 feet to the Point of Beginning and containing 162.6 acres of land.

All of Lots 1, 3 & 4 out of the E. Teal Survey of the Scenic Estates Subdivision according to the Map or Plat thereof recorded in Vol. 1, Page 42, of the Rockwall County Map Records.

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Beginning at a point for a corner in the West right-of-way line of Farm-Market Road 740, said point being 310 feet S 6 degrees 05' 20" West of Southeast corner of Lot 4, of Scenic Estates Subdivision as recorded in Vol. 1, Page 42, of the Map Records of Rockwall County, Texas;

Thence S 6 degrees 05' 20" W along westerly line of F.M. Road 740, 897.40 feet to the beginning of a circular curve to the right, having a radius of 100.00 feet; Thence Southwesterly, continuing along the said Westerly line of Farm-Market Highway 740, with said circular curve to the right thru a central angle of 82 degrees 36' 10", an arc distance of 144.17 feet to the point of tangency; Thence S 88 degrees 41' 30" W, continuing along the Westerly line of Farm-Market Highway 740, 344.81 feet to a point for a corner; Thence S 3 degrees 02' 01" E, continuing along the said Westerly line of Farm-Market Highway 740, 695.57 feet to a point for a corner; Thence N 89 degrees 31' 20" W, 948.14 feet to a point for a corner; Thence S 40 degrees 57' W, 965.45 feet to a point for a corner in the City of Dallas Take-Line for Lake Ray Hubbard; Thence, the following courses and distance along the existing and proposed City of Dallas Take-Line for Lake Ray Hubbard: N 14 degrees 46' 41" W, 442.02 feet; N 1 degree 33' 58" W, 69.07 feet; N 20 degrees 52' 35" W, 148.60 feet; N 31 degrees 30' 06" W, 107.01 feet; N 58 degrees 29' 49" E, 120.00 feet; N 38 degrees 21' 05" W, 481.00 feet; N 56 degrees 39' 37" W, 227.43 feet; N 86 degrees 45' 01" W, 101.52 feet; N 67 degrees 27' 32" W, 298.03 feet; N 3 degrees 55' 02" W, 50.12 feet; N 44 degrees 59' 06" W, 56.57 feet; S 86 degrees 04' 55" W, 47.54 feet; N 46 degrees 18' 55" W, 374.23 feet; N 7 degrees 58' 58" E, 19.06 feet; N 58 degrees 06' 47" W, 47.17 feet; N 81 degrees 08' 45" W, 192.35 feet; N 61 degrees 21' 03" W, 290.90 feet; N 51 degrees 20' 46" W, 32.99 feet; N 24 degrees 34' 31" W, 131.11 feet; N 76 degrees 04' 56" W, 82.46 feet; N 40 degrees 01' 45" W, 101.03 feet; S 44 degrees 58' 04" W, 22.73 feet; N 24 degrees 50' 43" W, 276.57 feet; to a point for a corner; Thence S 89 degrees 17' 49" E a distance of 4,268.99 feet to the Point of Beginning, and containing 122.7 acres of land.



Site Planner:
handlers Landing
 Rockwall, Texas
 Exhibit "A"



PLS & ASSOCIATES
 PLANNING, INC.
 1400 W. CAMPBELL
 SUITE 100
 ROCKWALL, TEXAS 75087
 1/9/84



Phasing Plan For:
Chandlers Landing
 Rockwall, Texas

Exhibit "B"



REVISED PD-8

Ord 84-6

PER & ASSOCIATES
 PLANNING, INC.
 1/9/84

EXHIBIT C

AMENITY DESCRIPTIONS

- a. SPORTS PARK - A sports park will include a combination of one sports court, (lighted if properly located as not to disturb residences), exercise areas, rest areas, basketball, badminton, volleyball, racket tennis, paths and parking. All of the sports parks will be landscaped.
- b. SWIM CLUB - The swim club will contain a minimum of a 1,500 sq. ft. swimming pool, 1,800 sq. ft. club pavilion, restrooms, manager's office, parking for guests, lighting and landscaping.
- c. PLAY PARK - Each play park will be devoted to the young residents of Chandlers Landing and will have a large self-contained sand area with creative wood play equipment. These parks will be landscaped with shaded rest areas for adults. Each park will be strategically located for the benefit of the selected neighborhood.
- d. UPLAND LAKES - These are lakes either existing or to be built. These lakes will be kept clean and maintained to the shore line for residents to enjoy. No swimming or motorized boating will be allowed.
- e. SECURITY ENTRANCES - These entries will be well lighted, landscaped and maintained. They are to be secured by guards, or by a mechanical system. These entrances are strategically located throughout the development in order to provide proper ingress and egress.

LANDSCAPED ENTRY DEVELOPMENTS - These entries are to be paved with a brick or cobblestone pattern. On either side of the landscaped boulevard there will be lush plantings, berms, and decorative fences.

- g. ARCHITECTURAL GRAPHICS - These graphics and signs will be designed in harmony for all developable parcels in the remainder of Chandlers Landing. These signs will be very pleasing and will direct visitors through the development.
- h. COMMON GREENBELTS AND PATHS - These areas will flow through the development following the low areas as designated on the Master Plan. They will have paths for jogging, walking and golf carts. Along some areas of the greenbelts, we are planning an aerobic course.

It should be noted that all of the above described recreation uses must be designated in detail at the time of final plat.

EXHIBIT D

PRODUCT TYPES

SINGLE FAMILY DETACHED (Type "A") homes will consist of single family detached units that are clustered in groups of a slightly higher density than conventional single family homes. This concept promotes a slightly higher density in the area that is actually developed while creating more open space which is commonly owned and maintained by the homeowners and/or the Property Owners' Association. Ownership of these homes will involve the units as well as the lot on which the units are sited. These lots will have front, rear and side yards. These units will be one and one and a half story structures. This type unit will meet the area requirements for zero lot line units as specified in Section 2.(5) herein, except for side yard requirements which shall meet the requirements of the townhouse zoning district for side yards not constructed on the zero lot line.

SINGLE FAMILY DETACHED (Type "B") units are proposed as another form of single family detached housing being attached only by means of a garden wall. These units are proposed as zero lot line homes in which a unit is sited on one of the lot lines. This concept provides a more efficient use of the lot, having three yards instead of four, and therefore creates more open space within the common areas. Ownership of these homes involves the unit as well as the lot. This type unit shall meet the requirements for zero lot line units as specified in section 2.(5) herein.

SINGLE FAMILY DETACHED (Type "C") dwelling units are proposed as another form of detached housing. These lots will consist of parcels of land having access and frontage on a private road. Ownership of these homes would involve the unit as well as the lot. This type unit shall meet the area requirements of the "SF-7" Zoning District.

Note: The Single Family Detached unit Type "A", "B", and "C" shall be designated on each development plan as submitted.

SINGLE FAMILY ATTACHED UNITS are proposed as single family attached homes with party walls. The units are characteristically built as individual units in a series of four to eight units with common walls between units, and a side yard on the end units only. These units would be two story construction, and in some cases with enclosed garages that may or may not be attached. Ownership of these units would involve the unit as well as the lot. Greenspace would be commonly owned through the Community Owners' Association. This type unit shall meet the area requirements of the "TH" Townhouse Zoning District.

MULTIFAMILY ATTACHED UNITS shall meet the densities as established on Exhibit "A" attached herein, and shall meet the applicable area requirements as set forth in section 2.(11) herein, and as set forth in the Comprehensive Zoning Ordinance.

Note: A minimum of 20' will be maintained along both sides of the proposed collector road for landscape purposes.

All units located within the interior portion of the proposed collector road will be a maximum of 30' in height.

ORDINANCE NO. 85-43

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8 CHANDLERS LANDING, MORE FULLY DESCRIBED HEREIN; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to approve a zoning change and change in the preliminary plan for "PD" Planned Development District Number 8: Chandlers Landing on the property described in Exhibit "A".

PD-8

ber 8: Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8: Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. Prior to issuance of any building permit in Planned Development District No. 8: Chandlers Landing, Phases 14, 18 Section 1, 19 and 20, a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "B" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the Thoroughfare Plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.
- B. All development of property covered by Planned Development District No. 8: Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.
- C. Development of Planned Development No. 8: Chandlers Landing Phases 14, 18 Section 1, 19 and 20 shall be regulated by the requirements listed in Exhibit "C".
- D. Development of the amenities of Planned Development No. 8: Chandlers Landing shall be regulated by the requirements listed in Exhibit "D".

- E. Prior to the construction of streets and utilities in Phase 19, the developer must escrow the funds for 115% of the cost of 24 ft. of concrete paving along FM-740, including storm drainage, curb and gutter, sidewalk, and engineering.
- F. The new entrance off FM-740 can only be used for semi-trailer trucks until a southbound deceleration lane on FM-740 is constructed. The truck entrance must be chained and locked when not in use.

Section 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

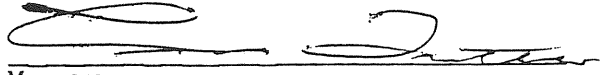
Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

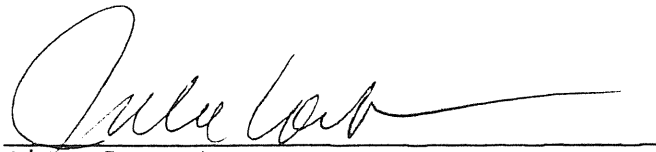
DULY PASSED AND APPROVED this 26th day of August, 1985.

APPROVED:



Mayor

ATTEST:



City Secretary

1st reading 8/5/85

2nd reading 8/26/85

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Thence S 6 degrees 05' 20" W along westerly line of F.M. Road 740, 897.40 feet to the beginning of a circular curve to the right, having a radius of 100.00 feet; Thence Southwesterly, continuing along the said Westerly line of Farm-Market Highway 740, with said circular curve to the right thru a central angle of 82 degrees 36' 10", an arc distance of 144.17 feet to the point of tangency; Thence S 88 degrees 41' 30" W, continuing along the Westerly line of Farm-Market Highway 740, 344.81 feet to a point for a corner; Thence S 3 degrees 02' 01" E, continuing along the said Westerly line of Farm-Market Highway 740, 695.57 feet to a point for a corner; Thence N 89 degrees 31' 20" W, 948.14 feet to a point for a corner; Thence S 40 degrees 57' W, 965.45 feet to a point for a corner in the City of Dallas Take-Line for Lake Ray Hubbard; Thence, the following courses and distance along the existing and proposed City of Dallas Take-Line for Lake Ray Hubbard: N 14 degrees 46' 41" W, 442.02 feet; N 1 degree 33' 58" W, 69.07 feet; N 20 degrees 52' 35" W, 148.60 feet; N 31 degrees 30' 06" W, 107.01 feet; N 58 degrees 29' 49" E, 120.00 feet; N 38 degrees 21' 05" W, 481.00 feet; N 56 degrees 39' 37" W, 227.43 feet; N 86 degrees 45' 01" W, 101.52 feet; N 67 degrees 27' 32" W, 298.03 feet; N 3 degrees 55' 02" W, 50.12 feet; N 44 degrees 59' 06" W, 56.57 feet; S 86 degrees 04' 55" W, 47.54 feet; N 46 degrees 18' 55" W, 374.23 feet; N 7 degrees 58' 58" E, 19.06 feet; N 58 degrees 05' 47" W, 47.17 feet; N 81 degrees 08' 45" W, 192.35 feet; N 61 degrees 21' 03" W, 290.90 feet; N 51 degrees 20' 46" W, 32.99 feet; N 24 degrees 34' 31" W, 131.11 feet; N 76 degrees 04' 56" W, 82.46 feet; N 40 degrees 01' 45" W, 101.03 feet; S 44 degrees 58' 04" W, 22.73 feet; N 24 degrees 50' 43" W, 276.57 feet; to a point for a corner; Thence S 89 degrees 17' 49" E a distance of 4,268.99 feet to the Point of Beginning, and containing 122.7 acres of land.

EXHIBIT C

CHANDLERS LANDING, PHASE 14, BLOCK A

AREA REQUIREMENTS

1. Minimum lot area----- 6,500 ft.
2. Maximum Units per lot----- 1
3. Minimum dwelling unit----- 1,200 sq. ft.
4. Minimum lot width----- 50 ft.
5. Minimum lot depth----- 100 ft.
6. Minimum front setback----- 20 ft.
7. Minimum rear setback----- 10 ft.
8. Minimum side setback----- 5 ft.
9. Minimum distance between buildings on same lot--- 10 ft.
10. Maximum building coverage----- 40%
11. Maximum height----- 30 ft.
12. Minimum distance between buildings----- 10 ft.
13. Minimum parking----- 2 spaces
14. Minimum garage----- 2 car

EXHIBIT C

CHANDLERS LANDING PHASE 18, SECTION 1

TOWNHOUSE AREA REQUIREMENTS

1. Minimum lot area----- 3,000 sq. ft.
2. Maximum dwelling units per lot----- 1
3. Minimum sq. ft. per dwelling unit----- 1,000 sq. ft.
4. Minimum lot width----- 26 ft. at
building line
5. Minimum lot depth----- 100 ft.
6. Minimum front setback
front entry garage----- 20 ft.
side or rear----- 15 ft.
7. Minimum rear setback----- 10 ft.
8. Minimum side setback----- 0 ft.
abutting street----- 10 ft.
9. Minimum separation between attached buildings- 20 ft. every
250 ft.
10. Minimum length of driveway pavement
on side or rear yard----- 20 ft.
11. Minimum landscaping----- 10%
12. Maximum density----- 8 per acre
13. Maximum height----- 30 ft.
14. Minimum off street parking----- 2 spaces
15. Minimum garage----- 2 car
16. Maximum number attached units----- 8 up to 250 ft.
17. Maximum building coverage----- 60%

EXHIBIT C

CHANDLERS LANDING, PHASES 19 and 20

AREA REQUIREMENTS

1. Minimum lot area----- 6,000 sq. ft.
2. Maximum units per lot----- 1
3. Minimum dwelling unit----- 1,200 sq. ft.
4. Minimum lot width----- 50 ft.
5. Minimum lot depth----- 100 ft.
6. Minimum front setback----- 20 ft.
7. Minimum rear setback----- 10 ft.
8. Minimum side setback----- 5 ft.
9. Minimum distance between buildings on same lot---- 10 ft.
10. Maximum building coverage----- 40%
11. Maximum height----- 30 ft.
12. Minimum distance between buildings----- 10 ft.
13. Minimum parking----- 2 spaces
14. Minimum garage----- 2 car

EXHIBIT D

AMENITY IMPROVEMENTS

Yacht Club Area

1. Seven (7) tennis courts to be re-surfaced.
2. A new improved lighting system will be installed on five (5) courts.
3. Landscaped retaining walls will be constructed around all steep slopes adjacent to the courts.
4. A sub-surface drainage system will be installed to pick up surface run-off.
5. A new sidewalk system will be installed to accommodate golf carts - 6 ft. wide around existing tennis courts.
6. Major grading will be performed to improve landscaping and better maintenance - erosion ditch.
7. The courts will have spectator accommodations where the terrain permits.
8. The existing children's play area will be renovated and enlarged.
9. Outdoor tennis pavillion.
10. Additional major improvements will be made to the Yacht Club which include better accoustics, carpeting, renovation of Commodore State Room, outside lounging accommodations, structure cosmetics and landscaping.

Area A - Swimming & Tennis Park

1. Parking
2. Swimming pool
3. Gazebo
4. Children's play area
5. Restrooms/dressing
6. tennis courts (2), lights
7. General landscaping.
8. Large trees, small trees, shrubs and ground cover, lawn, elevated planters, lighting

Area B: Recreation Park

1. Limited parking and access
2. Park shelter
3. Children's play area (2)
4. Picnic spots (4)
5. Volleyball court
6. Half basketball court
7. Open lawn area
8. Exercise stations (7)
9. Pedestrian trail
10. Bridges (4)
11. General clearing and channel work
12. Tree pruning, stone boulders, retaining walls and fencing, flowering trees, and plants

AMENITIES SCHEDULE

I. Recreation Park

Start Fall. 1985

Open lawn area, Spring 1986

Completion, Fall 1987

II. Amenity Improvements for Yacht Club

Start Summer 1985

Completion Spring 1986

III. Swimming and Tennis Park

Start Spring 1986

Completion Fall 1987

VIEW: Pdf file
RESTRICT: PHASE_NO = "CHAND 4" TATES"

SORT: PHASE_NO

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8423		0	CHAND 4	PP	AR ZLL ALL ESTAB.
8445		0	CHAND 4	FP	ALL

2516 Chantilly Ct. in Rockwell

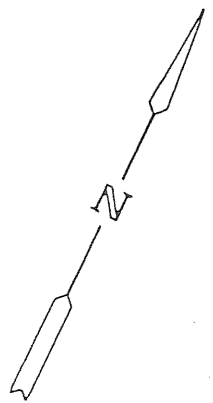
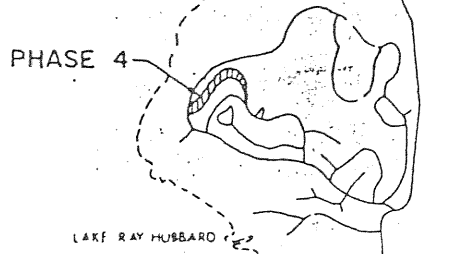
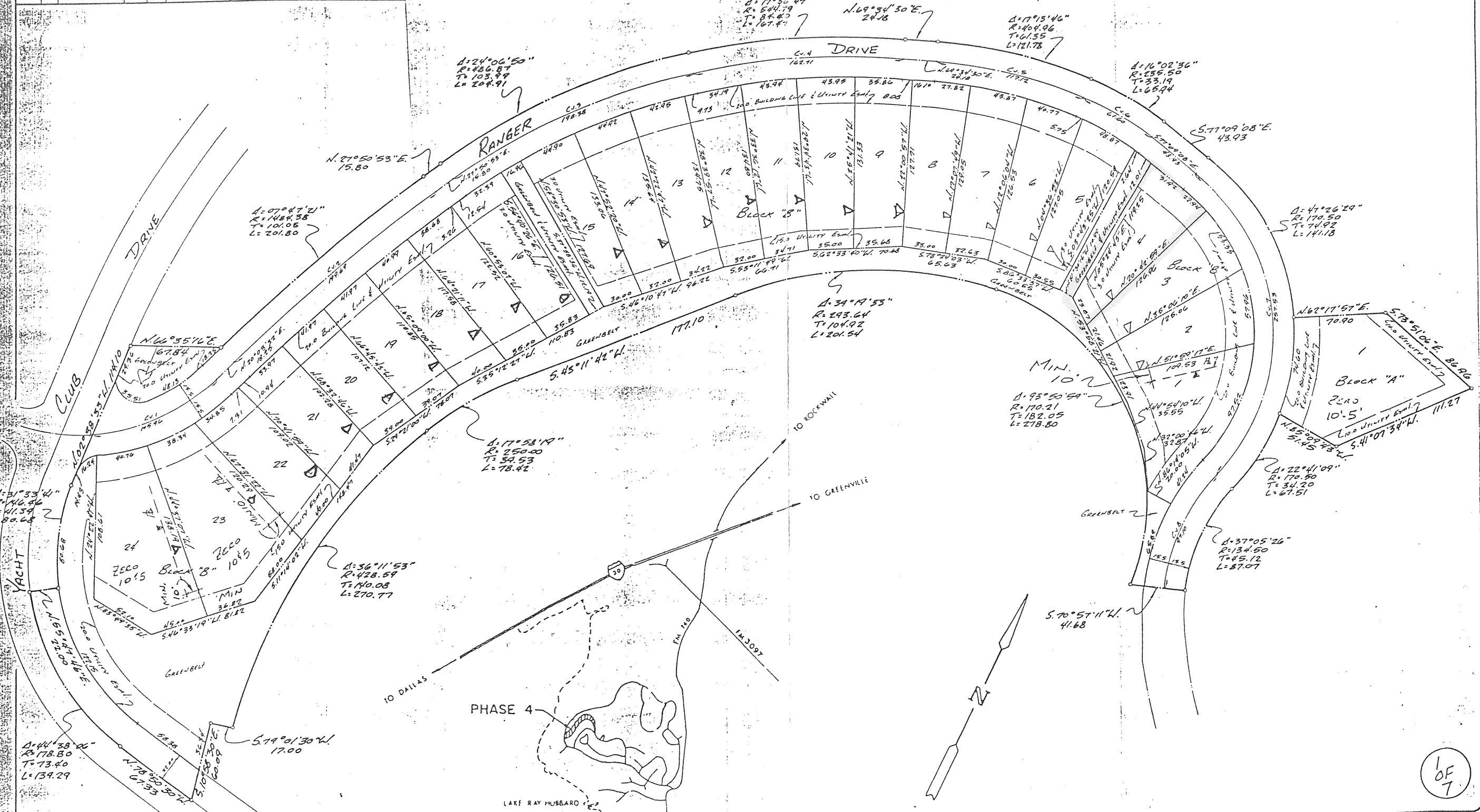
CHANDLERS LANDING/PHASE 4
January 20, 1984

CRJ 1984

AREA REQUIREMENTS:

- Minimum Lot Area.....4000 sq.ft.
- Minimum Floor Area per D.U.....1500 sq.ft.
- Minimum Lot Frontage.....40 ft.
- Minimum Lot Depth.....100 ft.
- Minimum Front Setback.....20 ft.
- Minimum Rear Setback.....15 ft.
- Minimum Side Yard.....0 ft. and 10 ft.
- Minimum Bldg. Separation.....10 ft.
- Maximum Bldg. Coverage.....60 %
- Maximum Bldg. Height.....30 ft.
- Minimum Off-Street Parking.....2 spaces/unit
(excluding garage)

C.No.	Info	C.No.	Info	C.No.	Info	C.No.	Info
1	A 40°28'21"	3	A 24°06'50"	5	A 17°15'46"	7	A 95°14'46"
	R 150.00		R 471.37		R 387.46		R 155.00
	T 55.30		T 100.68		T 59.00		T 169.73
	L 105.96		L 198.38		L 117.12		L 267.53
2	A 07°47'21"	4	A 17°56'47"	6	A 16°02'36"	8	A 37°05'26"
	R 1468.88		R 524.29		R 220.00		R 150.00
	T 100.00		T 82.00		T 31.00		T 50.32
	L 199.69		L 162.71		L 61.60		L 97.10



1 OF 7

8445 0 CHAND 4 FP

ALL Location Map N.T.S.

HAROLD L. EVANS
CONSULTING ENGINEER
2331 GUS THOMASSON RD. SUITE 102
DALLAS, TEXAS 75228
PHONE (214) 328-8133

REVISED FINAL PLAN
CHANDLERS LANDING PHASE 4
E. TEAL SURVEY ABSTRACT No. 207
CITY OF ROCKWALL
Rockwall County Texas
OWNER
Rockwall, TX. 75087

SCALE	DATE	JOB NO.
1"=50'	10-1-84	72122

RESTRICT: PHASE_NO = "CHAND 17"

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8410		0	CHAND 17	PP	AR-ZLL A, -TH B, C, D, E, F
8446		0	CHAND 17	FP	ALL
8547		0	CHAND 17	RPP	A1-25
8740/	8745		CHAND 17	Z	AR ZLL C1-4
8740		0	CHAND 17	RPP	PARTIAL, C1-4 (C1-3)
9125	9143		CHAND 17	Z	AR SFD B1-8R, F13-14R, C1R
9125		0	CHAND 17	RPP	B1-16, F13-17, C1-2SEE ABOV

0-94-0

lots 1-25, Block A

AREA REQUIREMENTS:

- Minimum Lot Area.....4000 sq.ft.
- Minimum Floor Area per D.U.....1500 sq.ft.
- Minimum Lot Frontage.....40 ft.(at bldg.line)
- Minimum Lot Depth.....100 ft.
- Minimum Front Setback.....20 ft.
- Minimum Rear Setback.....15 ft.
- Minimum Side Yard.....0 ft. and 10 ft.
- Minimum Bldg. Separation.....10 ft.
- Maximum Bldg. Coverage.....60 %
- Maximum Bldg. Height.....30 ft.
- Minimum Off-Street Parking.....2 spaces/unit
(excluding garage)

Ord 84-0

Block B, C, D, E, F

AREA REQUIREMENTS:

Minimum Lot Area.....	3000 sq.ft.
Minimum Floor Area per D.U.....	1000 sq.ft.
Minimum Lot Frontage.....	26 ft.
Minimum Front Setback.....	20 ft. (15 ft. w/side entry garage)
Minimum Rear Setback.....	10 ft.
Minimum Side Yard (abutting structure)....	0 ft.
Minimum Side Yard (abutting street).....	10 ft.
Minimum Bldg. Separation.....	10 ft. (20' every 250')
Maximum Bldg. Coverage.....	60 %
Maximum No. of Attached Units.....	8 units
Maximum Bldg. Height.....	30 ft.

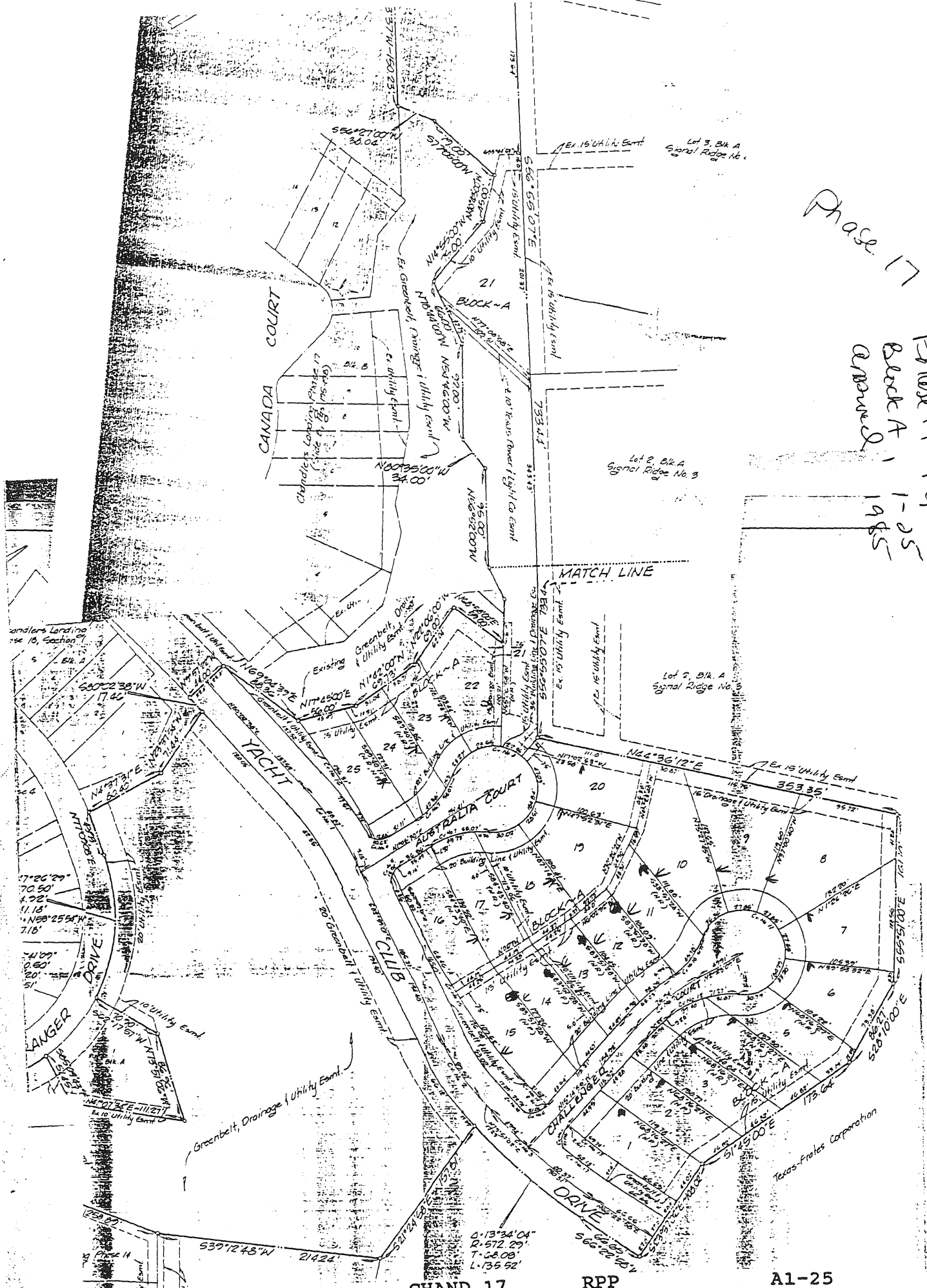
1-25 Block A

PATIO HOMES: LOTS 51-73, BLOCK B

Gross Area.....	±5.7 acres
Total Number of Units.....	23.0 units
No. of D.U.'s per Gross Acre.....	4.0 U/ac.
Total Net Area (Lots only).....	4.2 acres
No. of D.U.'s per Net Acre.....	5.5 U/ac.
Total No. of Parking Spaces..... (excluding garage parking)	46.0 spaces
No. of Parking Spaces per Unit..... (excluding garage parking)	2.0 spaces
Total Parking & Street Coverage.....	0.5 acres
Total Open Space.....	1.0 acres

Phase 17

Phase 17 Replat
Block A
1-25
1985



8547

0

CHAND 17

RPP

A1-25
REPLAT of PAK1 C

HAROLD L. EVANS

Phase 17

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8, CHANDLERS LANDING, MORE FULLY DESCRIBED HEREIN; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD" Planned Development District No. 8, Chandlers Landing, on the property described as Block C, Lots 1-4, Phase 17. Chandlers Landing.

Section 2. That the above described tract of land shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing, to the above described tract of land is subject to the following special conditions:

A. The above described tract of land shall be developed for Zero Lot Line single family dwellings meeting the requirements listed on Exhibit "A" attached hereto and made a part hereof.

B. Development of the above described tract of land shall comply with the development plan attached hereto as Exhibit "B" and made a part hereof.

Section 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS (\$1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 17th day of August, 1987.

APPROVED:



Mayor

ATTEST:

By 

1st reading 8/3/87
2nd reading 8/17/87

EXHIBIT "A"

ZERO LOT LINE DEVELOPMENT

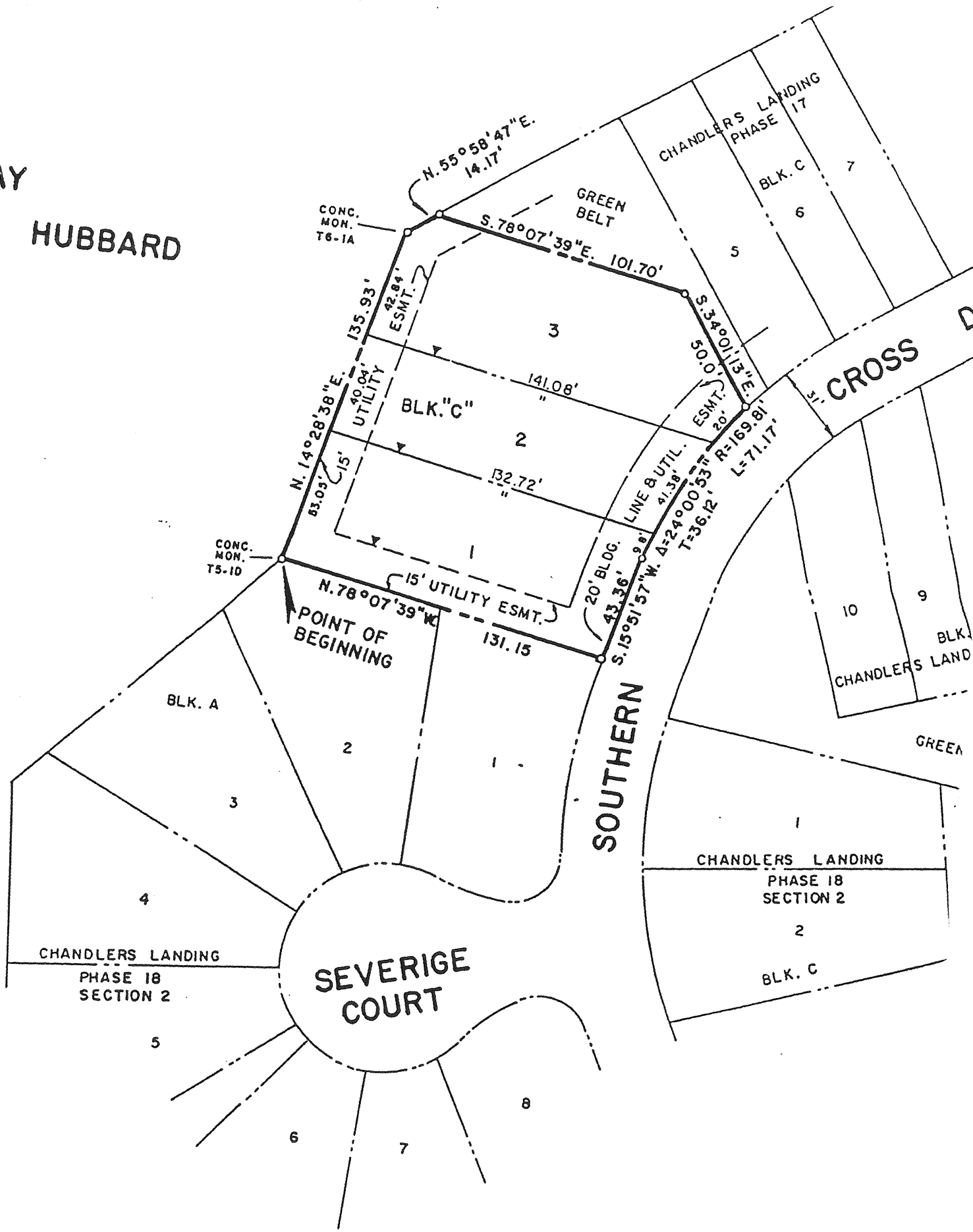
Block C, Lots 1-4, Phase 17

Area Requirements

Minimum Lot area-----	5,000 sq. ft.
Minimum Floor Area per Dwelling Unit-----	1,750 sq. ft.
Minimum Lot Frontage-----	40 ft.
Minimum Lot Depth-----	100 ft.
Minimum Front Setback-----	20 ft.
Minimum Rear Setback-----	15 ft.
Minimum Side Yard-----	0 ft. & 10 ft.
Minimum Building Separation-----	10 ft.
Maximum Building Coverage-----	60%
Maximum Building Height-----	30 ft.
Minimum Off-Street Parking----- (excluding garage)	2 spaces/unit

All other area requirements of "ZLL-5" Zero Lot Line classification not specifically addressed above are hereby incorporated as area requirements for Block C, Lots 1-4, Phase 17.

RAY
HUBBARD



SEVERIGE COURT

SOUTHERN

CROSS D

CHANDLERS LANDING
PHASE 18
SECTION 2

CHANDLERS LANDING
PHASE 18
SECTION 2

CHANDLERS LAND

CHANDLERS LANDING
PHASE 17

BLK. A

BLK. "C"

BLK. C

BLK. C

GREEN
BELT

GREEN

CONC.
MON.
T5-10

CONC.
MON.
T6-1A

POINT OF
BEGINNING

4

5

3

2

1

3

2

1

5

6

7

10

9

8

6

7

135.93'
UTILITY
ESMT.

141.08'
UTILITY
ESMT.

132.72'
UTILITY
ESMT.

131.15'
UTILITY
ESMT.

S. 78°07'39" E. 101.70'

S. 34°01'13" E. 50.0'

LINE 8 UTIL.
ESMT. 20'
R=169.81'
L=71.17'

20' BLOC.
43.36'

S. 15°51'57" W. 41.38'

T=290.00'
R=169.81'
L=71.17'

N. 14°28'38" E. 85.03'

N. 55°58'47" E. 14.17'

N. 78°07'39" W. 15' UTILITY ESMT.

42.84'
UTILITY
ESMT.

40.04'
UTILITY
ESMT.

15' UTILITY ESMT.

15' UTILITY ESMT.

15' UTILITY ESMT.

15' UTILITY ESMT.

15' UTILITY ESMT.

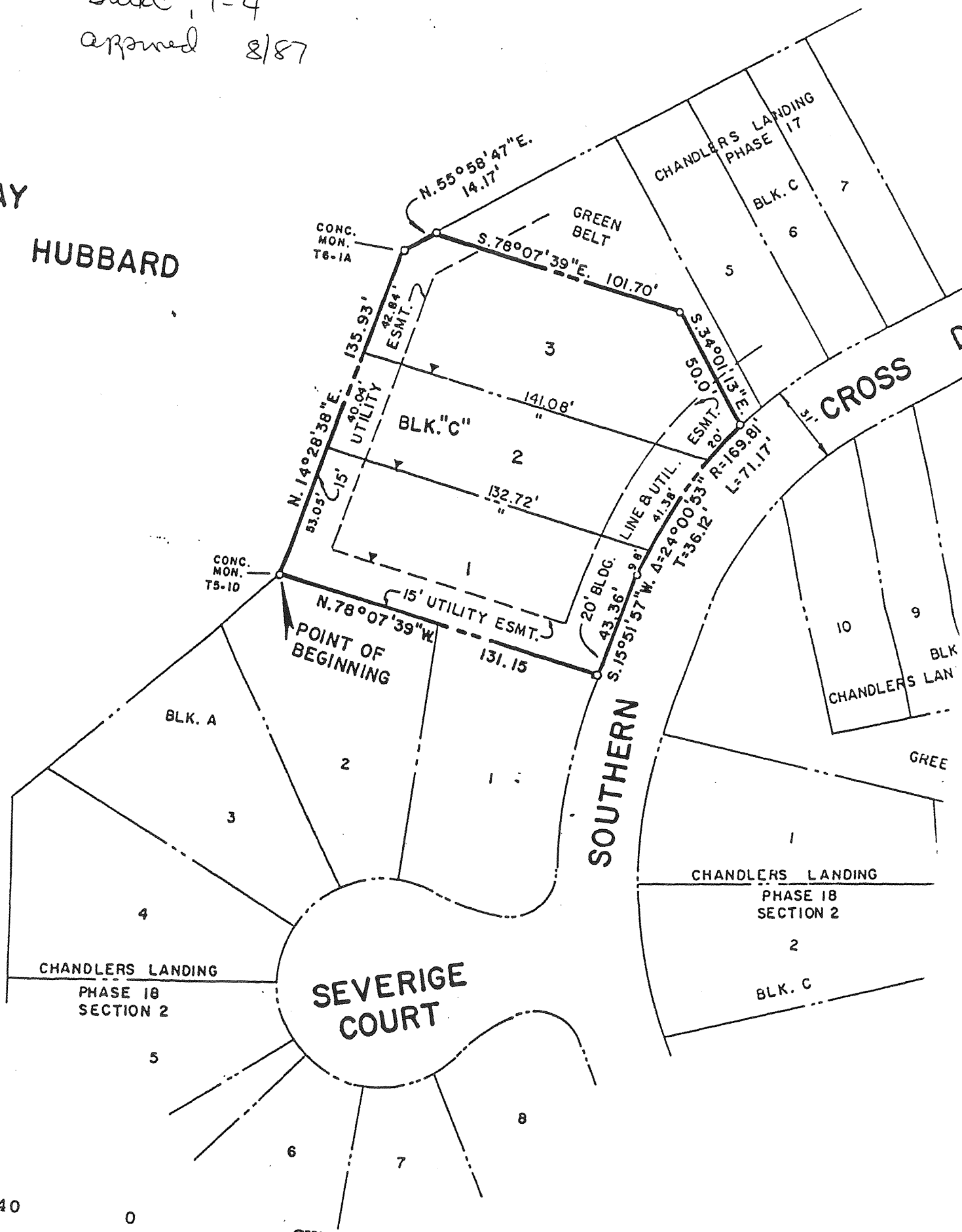
15' UTILITY ESMT.

15' UTILITY ESMT.

15' UTILITY ESMT.

Kiplat Phase 17
Block 1-4
approved 8/87

RAY
HUBBARD



8740

CHAND 17

RPP

PARTIAL, C1-4 (C1-3)

ORDINANCE NO. 91-43

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8, CHANDLERS LANDING, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-8" Planned Development District No. 8, Chandlers Landing on the property described (see attachments for lot description).

Section 2. That Planned Development District No. 8, Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. All development of property covered by Planned Development District No. 8, Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.

- B. Development of those portions of Planned Development, Chandlers Landing Phase 17, Phase 18, Section 1 and Phase 18, Section 2 as described herein shall be regulated by the requirements as specified on Exhibit "A" attached hereto and made a part hereof. All area requirements not specifically listed herein shall comply with the requirements set forth in the corresponding standard zoning classification for each use.

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 7th day of October 1991,
1991.

APPROVED:



Mayor

ATTEST:

By: Mary Nichols

1st reading September 16, 1991

2nd reading October 7, 1991

ORDINANCE NO. _____

EXHIBIT "A"

Page 1 of 4

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 17

LOTS 1-R THROUGH 8-R, BLOCK B; AND 13-R, & 14-R, BLOCK F

Minimum Lot Area	5,500 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Average Lot Depth	100 ft.
Minimum Front Set Back	20 Lin. Ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lots 1-R through 8-R, Block 6, and 13-R & 14-R, Block F, Phase 17.

ORDINANCE NO. _____

EXHIBIT "A"

Page 2 of 4

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 17

LOTS 1-R, BLOCK C

Minimum Lot Area	5,500 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lot 1-R, Block C, Phase 17.

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 18, SECTION 1

LOTS 1-R, 2-R, 3-R, 4-R, AND 5-R, BLOCK A

Minimum Lot Area	6,000 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lot 1-R, 2-R, 3-R, 4-R, and 5-R, Block A, Phase 18, Section 1.

ORDINANCE NO. _____

EXHIBIT "A"

Page 3 of 4

AREA REQUIREMENTS

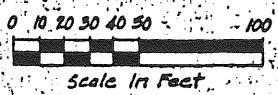
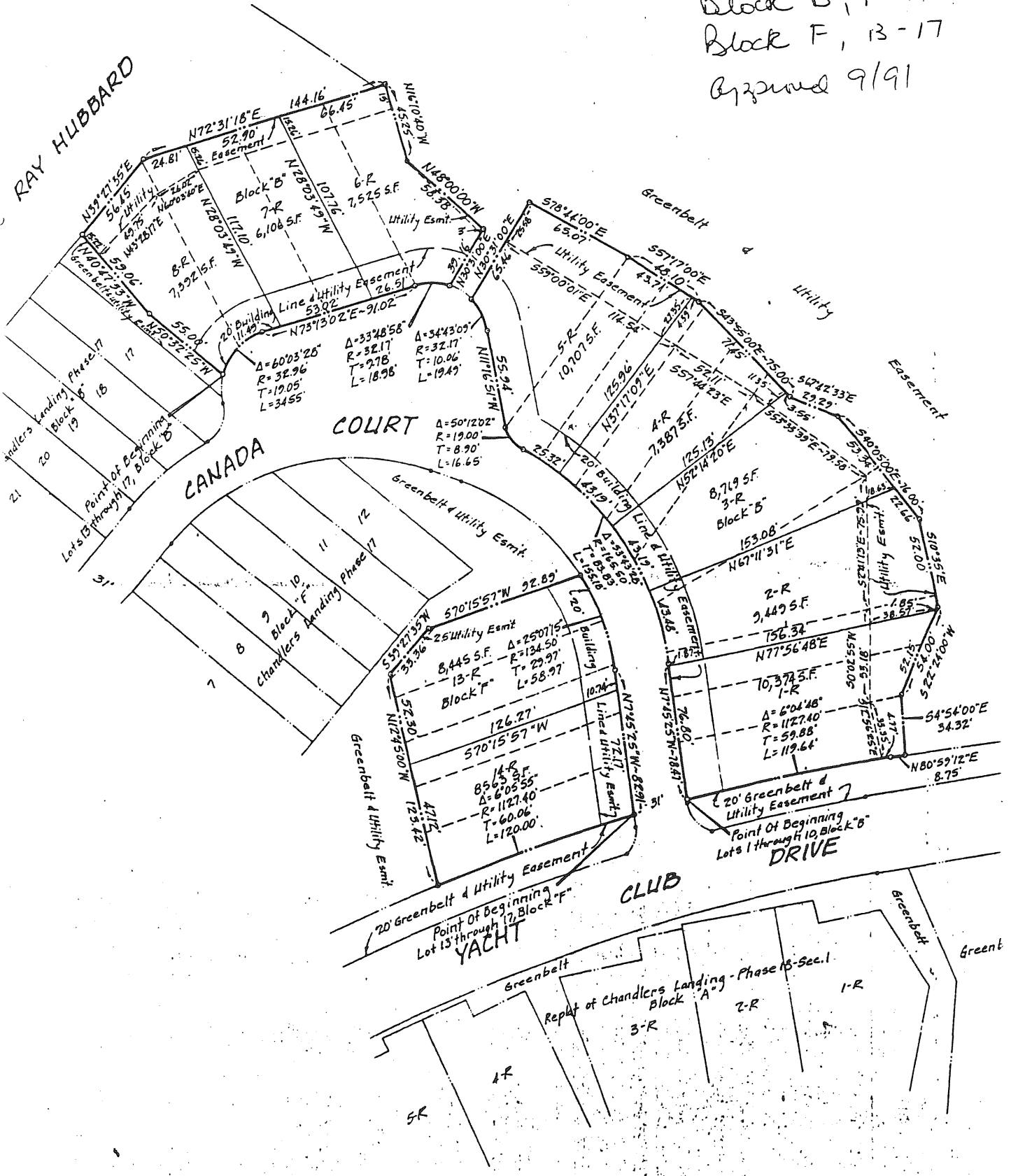
CHANDLERS LANDING PHASE 18, SECTION 2

LOTS 1-R, BLOCK B AND LOTS 1-R, 4-R, AND 5-R, BLOCK C

Minimum Lot Area	6,000 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

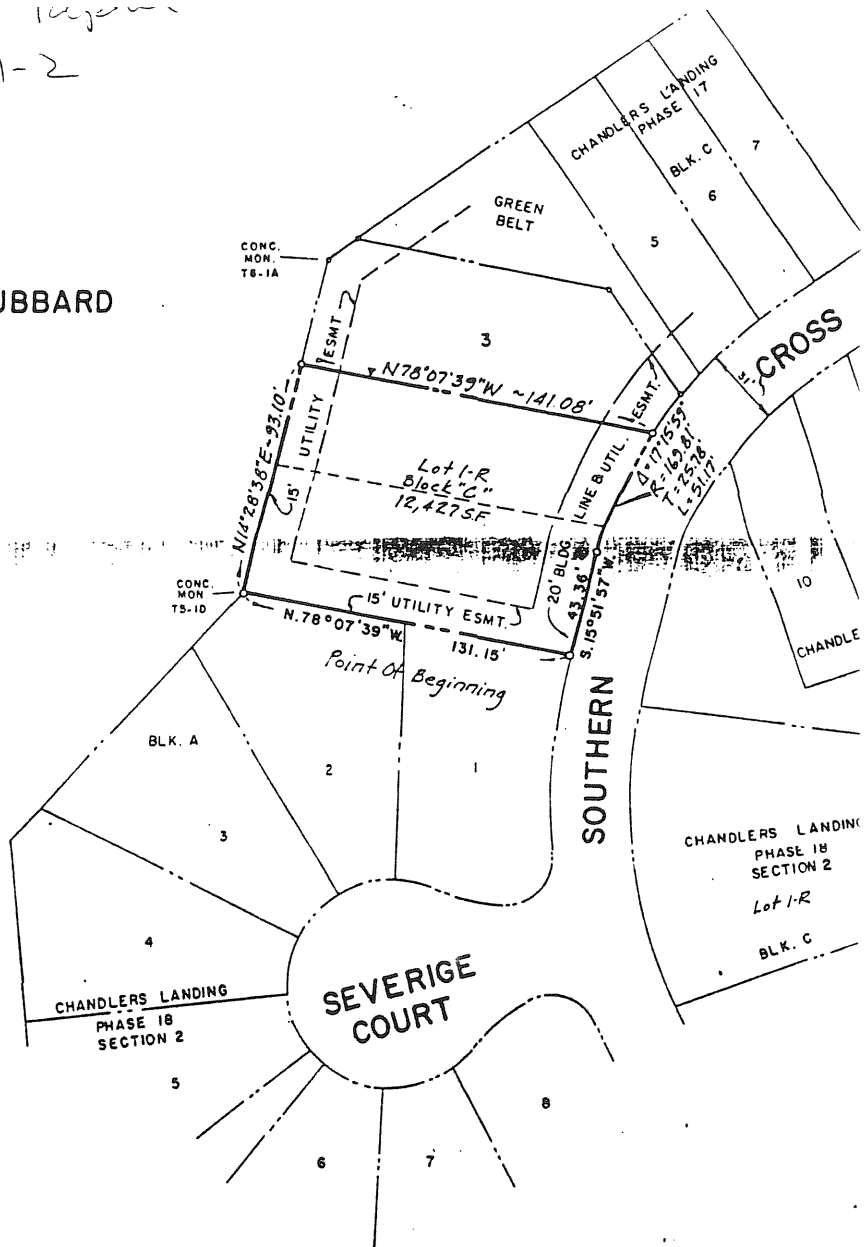
All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lots 1-R, Block B and Lots 1-R, 4-R, and 5-R, Block C, Phase 18, Section 2.

Replat Phase 17
 Block B, 1-16
 Block F, 13-17
 Approved 9/91



Phase 11
Block C, 1-2

LAKE
RAY
HUBBARD



Approved
9/91

TELETYPE POST N7174

Phase 1

NOTE: 1. Numbers in parentheses indicate feet of Curve data is located on page 4 of 5
2. The arc curve on this sheet are shown for section of the Centerline of the Streets shown for Fire Lanes are hereby Designated as

VICINITY MAP

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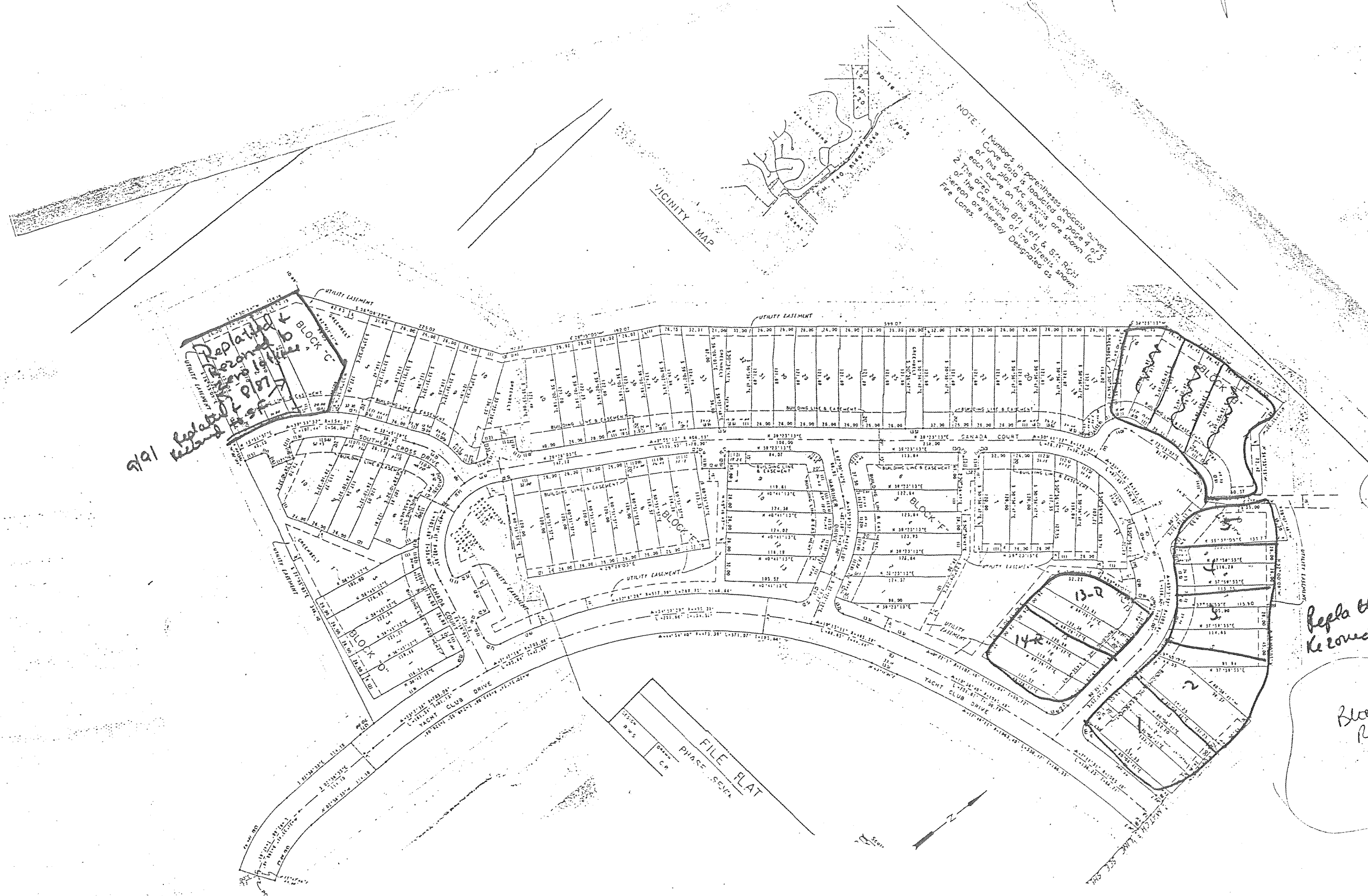
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9/91

Block A
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1985

ALL

CHAND 17

FP



RESTRICT: PHASE_NO = "CHAND 18-1"

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8539	8543*		CHAND 18-1	Z	AR ALL TH
8424	0		CHAND 18-1	PP	ALL
8469	0		CHAND 18-1	FP	ALL
9125	9143		CHAND 18-1	Z	AR SFD BLOCK A, 1R-5R
9241	9243		CHAND 18-1	Z	AR SFD BLOCK A, 6R-8R
9125	0		CHAND 18-1	RPP	BLOCK A, 1-10(1R-5R)
9241	0		CHAND 18-1	RPP	BLOCK A, 11-15(6R-8R)

* See "Chand" master plan section for full ordinance

EXHIBIT C

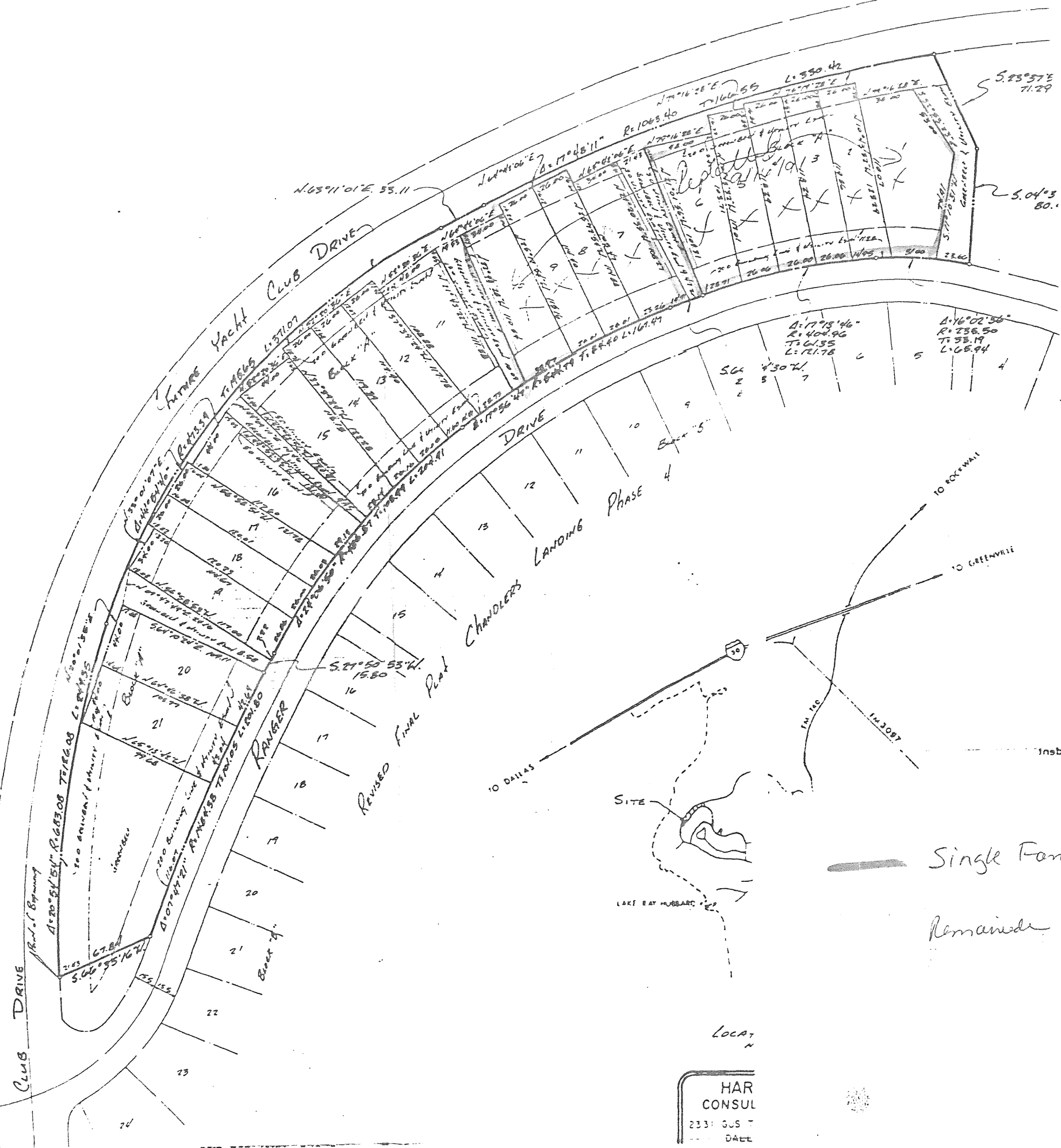
CHANDLERS LANDING PHASE 18, SECTION 1

TOWNHOUSE AREA REQUIREMENTS

1. Minimum lot area----- 3,000 sq. ft.
2. Maximum dwelling units per lot----- 1
3. Minimum sq. ft. per dwelling unit----- 1,000 sq. ft.
4. Minimum lot width----- 26 ft. at
building line
5. Minimum lot depth----- 100 ft.
6. Minimum front setback
front entry garage----- 20 ft.
side or rear----- 15 ft.
7. Minimum rear setback----- 10 ft.
8. Minimum side setback----- 0 ft.
abutting street----- 10 ft.
9. Minimum separation between attached buildings- 20 ft. every
250 ft.
10. Minimum length of driveway pavement
on side or rear yard----- 20 ft.
11. Minimum landscaping----- 10%
12. Maximum density----- 8 per acre
13. Maximum height----- 30 ft.
14. Minimum off street parking----- 2 spaces
15. Minimum garage----- 2 car
16. Maximum number attached units----- 8 up to 250 ft.
17. Maximum building coverage----- 60%



8469 c Chaut. 18-1 FP Q11



LOCAL
 HAR
 CONSUL
 2331 GUS T
 DATE

— Single Family Detached use
 — Remained Townhouse

ORDINANCE NO. 91-43

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8, CHANDLERS LANDING, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-8" Planned Development District No. 8, Chandlers Landing on the property described (see attachments for lot description).

Section 2. That Planned Development District No. 8, Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. All development of property covered by Planned Development District No. 8, Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.

- B. Development of those portions of Planned Development, Chandlers Landing Phase 17, Phase 18, Section 1 and Phase 18, Section 2 as described herein shall be regulated by the requirements as specified on Exhibit "A" attached hereto and made a part hereof. All area requirements not specifically listed herein shall comply with the requirements set forth in the corresponding standard zoning classification for each use.

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 7th day of October 1991,
1991.

APPROVED:



Mayor

ATTEST:

By: Mary Nichols

1st reading September 16, 1991
2nd reading October 7, 1991

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 17

LOTS 1-R THROUGH 8-R, BLOCK B; AND 13-R, & 14-R, BLOCK F

Minimum Lot Area	5,500 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Average Lot Depth	100 ft.
Minimum Front Set Back	20 Lin. Ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lots 1-R through 8-R, Block 6, and 13-R & 14-R, Block F, Phase 17.

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 17

LOTS 1-R, BLOCK C

Minimum Lot Area	5,500 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lot 1-R, Block C, Phase 17.

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 18, SECTION 1

LOTS 1-R, 2-R, 3-R, 4-R, AND 5-R, BLOCK A

Minimum Lot Area	6,000 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lot 1-R, 2-R, 3-R, 4-R, and 5-R, Block A, Phase 18, Section 1.

AREA REQUIREMENTS

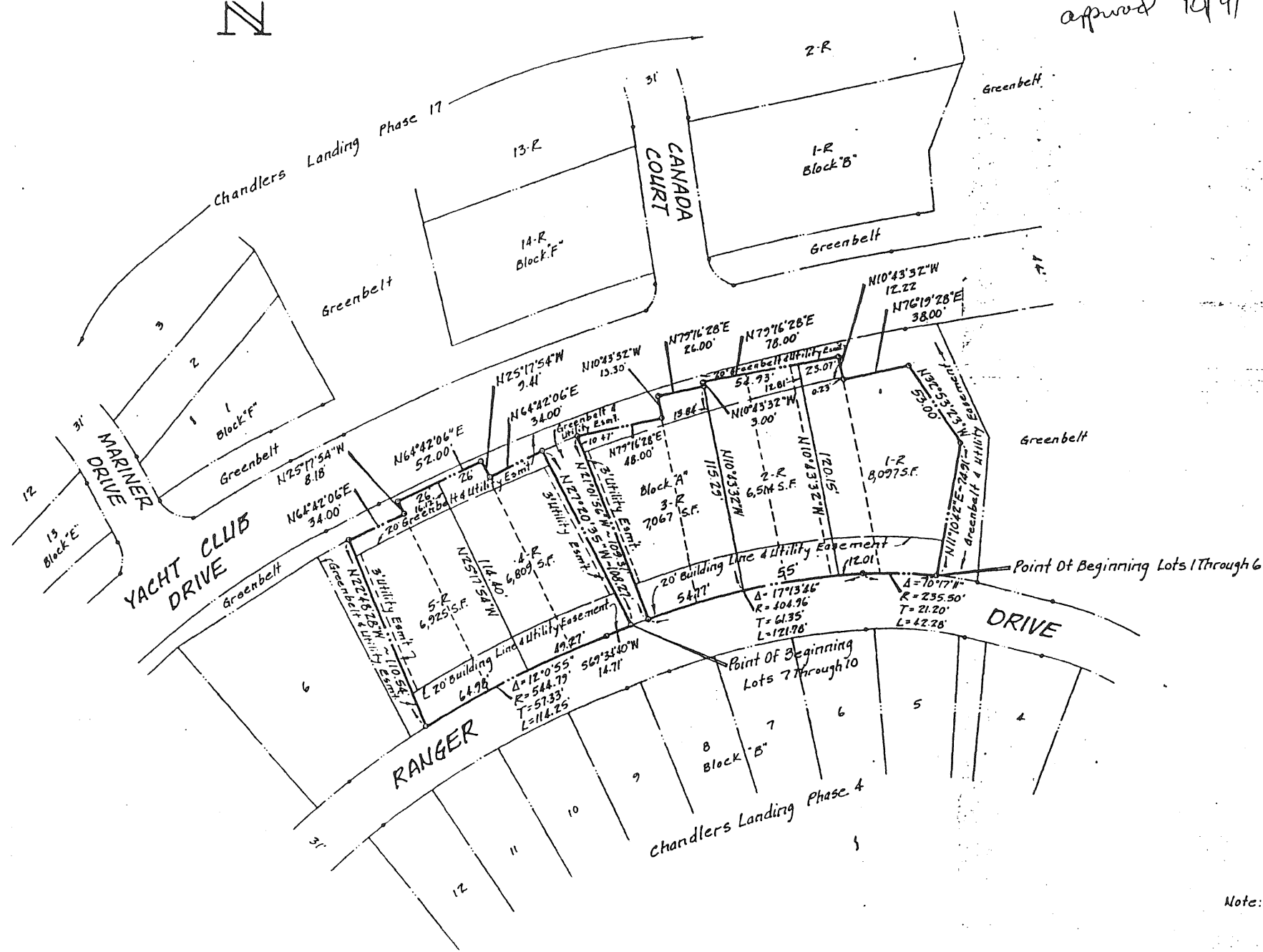
CHANDLERS LANDING PHASE 18, SECTION 2

LOTS 1-R, BLOCK B AND LOTS 1-R, 4-R, AND 5-R, BLOCK C

Minimum Lot Area	6,000 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

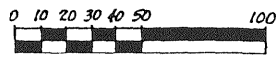
All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lots 1-R, Block B and Lots 1-R, 4-R, and 5-R, Block C, Phase 18, Section 2.

Replat Phase 18-1
 Block A, 1-10
 approved 10/9/91



BLOCK A, 1-10 (1R-5R)
 RPP
 CHAND 18-1
 0
 9125

Note: All property are iron



HAROLD EV
 () ILTING EN
 2331 THOMAS V P
 DALLAS TX

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN LAND USE DESIGNATION FROM TOWNHOUSE TO SINGLE FAMILY DETACHED LAND USE AND AMEND THE PRELIMINARY PLAN FOR A PORTION OF PD-8, CHANDLERS LANDING, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR AREA REQUIREMENTS; PROVIDING FOR A DEVELOPMENT PLAN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request for a change in land use designation under PD-8 from zero lot line residential to single family detached residential was submitted by C.B.N. Development Corporation on Lots 6-R, 7-R, and 8-R, Block A, Phase 18, Section 1, Chandlers Landing; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-8" Planned Development District No. 8, Chandlers Landing on the property described as Lots 6-R, 7-R, and 8-R, Block A, Phase 18, Section 1, Chandlers Landing.

Section 2. That Planned Development District No. 8, Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. All development of property covered by Planned Development District No. 8, Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments in accordance with the provisions of the Comprehensive Zoning Ordinance.
- B. The property described on Exhibit "A", attached hereto, shall be used for Single Family Detached residential development and shall be regulated by the area requirements as set forth on Exhibit "A", attached hereto and made a part hereof.
- C. All development of this tract shall be in accordance with and regulated by the approved development plan, which is attached hereto and made a part hereof As Exhibit "B".

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.


Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 7th day of December, 1992,
1992.

APPROVED:


Mayor

ATTEST:

By: Hilda Crangle

1st reading 11/16/92

2nd reading 12/7/92

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 18, SECTION 1

LOTS 6-R, 7-R AND 8-R, BLOCK A

Minimum Lot Area.....	5,700 Sq. FT
Minimum Floor Area per Dwelling Unit.....	1,750 Sq. Ft.
Minimum Lot Frontage.....	40 Lin. Ft
Minimum Lot Depth.....	100 Lin. Ft.
Minimum Front Set Back.....	25 Lin. Ft.
Minimum Rear Set Back.....	20 Lin. Ft.
Minimum Side Yard (internal lot).....	5 Lin. Ft.
Minimum Building Separation.....	10 Lin. Ft.
Maximum Building Coverage.....	40 %
Maximum Building Height.....	30 Vert. Ft.
Minimum Off-Street Parking (Excluding Garage).....	2 Sps./Unit
Minimum Garage Space.....	2 Vehicles

All other area requirements of "SF-10" Single Family zoning classification, not specifically addressed above, are hereby incorporated as area requirements for lots 6-R, 7-R and 8-R, Block A, Phase 18, Section 1.

ATTACHMENT "A"

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, CBN Development Corporation is the owner of a tract of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, and being all of Lots 11 through 15, Block A of Chandlers Landing, Phase 18, Section 1, an addition to the City of Rockwall, recorded in Slide B, Page 163, Plat Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found at the East corner of said Lot 11 and on the Northwesterly line of Ranger Drive, a 31 foot roadway, said point being on a curve to the left, having a central angle of $4^{\circ} 32' 13''$, a radius of 544.79 feet, and a chord that bears South $54^{\circ} 13' 50''$ West a distance of 43.13 feet;

THENCE: Along said curve and with said Northwesterly line an arc distance of 43.14 feet to a 1/2" iron rod found at the point of compound curvature of a curve to the left, having a central angle of $10^{\circ} 49' 11''$, a radius of 486.87 feet, and a chord that bears South $46^{\circ} 33' 07''$ West a distance of 91.80 feet;

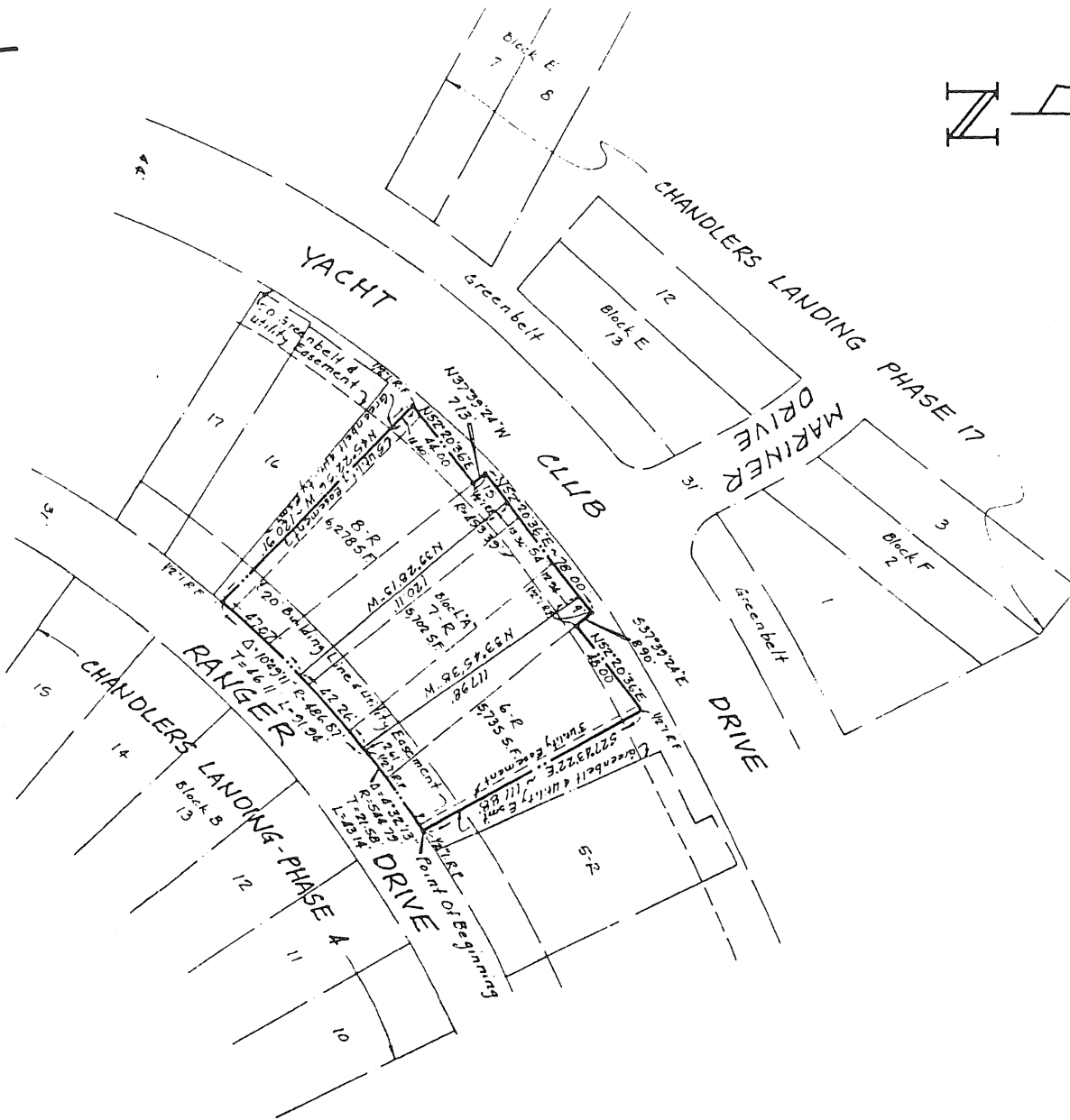
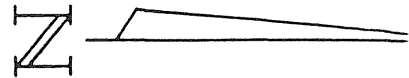
THENCE: Along said curve and continuing with said Northwesterly line an arc distance of 91.94 feet to a 1/2" iron rod found at the South corner of said Lot 15;

THENCE: North $45^{\circ} 22' 56''$ West a distance of 120.91 feet to a 1/2" iron rod found at the West corner of said Lot 15;

THENCE: Along the Northwesterly lines of Lots 15, 14, 13, 12, and 11, all to 1/2" iron rods found for corners as follows: North $52^{\circ} 20' 36''$ East a distance of 44.00 feet; North $37^{\circ} 39' 24''$ West a distance of 7.13 feet; North $52^{\circ} 20' 36''$ East a distance of 78.00 feet; South $37^{\circ} 39' 24''$ East a distance of 8.90 feet; and North $52^{\circ} 20' 36''$ East a distance of 48.00 feet, the North corner of said Lot 11;

THENCE: South $27^{\circ} 43' 22''$ East a distance of 111.88 feet to the Point of Beginning and containing 0.4067 acres of land.

W

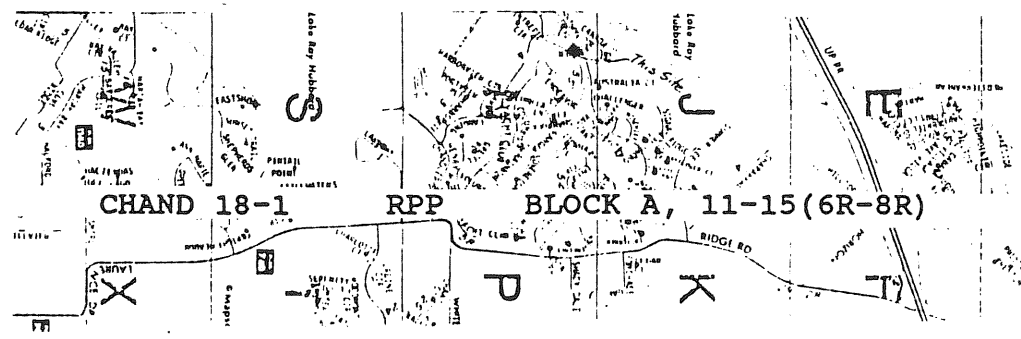


Phase B-1
 Parcel Report
 Block A, 11-15
 approved 11/92

9241

0

LOCATIC
Scale:



RESTRICT: PHASE_NO = "CHAND 18-2" GE"

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8424		0	CHAND 18-2	PP	AR ZLL ALL
8477		0	CHAND 18-2	FP	ALL
8808		0	CHAND 18-2	RPP	A1,7,8, C1-3(VOID)
8832		0	CHAND 18-2	RPP	A9-32(9-23), B4-16(4-13)
8838	8851		CHAND 18-2	Z	AR SFD BLOCK A9-23
8859		0	CHAND 18-2	RPP	A1,7,8(1,7), C1-3(1-3)
9125	9143		CHAND 18-2	Z	AR SFD B1-R;C1-R,4-R,5-R
9125		0	CHAND 18-2	RPP	B1-2(1R);C1,2,4-7(1,4-5R)

AREA REQUIREMENTS:

- Minimum Lot Area.....4000 sq.ft.
- Minimum Floor Area per D.U..... 1,750 sq.ft.
- Minimum Lot Frontage.....40 ft.(at bldg.line)
- Minimum Lot Depth.....100 ft.
- Minimum Front Setback.....20 ft.
- Minimum Rear Setback.....15 ft.
- Minimum Side Yard.....0 ft. and 10 ft.
- Minimum Bldg. Separation.....10 ft.
- Maximum Bldg. Coverage.....60 %
- Maximum Bldg. Height.....30 ft.
- Minimum Off-Street Parking.....2 spaces/unit
(excluding garage)



Phase 18 Section 2

- Replatted 3189 (See Replat)
- Replatted 1188 (See Replat)
- Replatted 10191 (See Replat)
- Redesignated to SFD
- Remainder of hand used zero lot line

LANDING PHASE 18 SECTION 2

SURVEY ABSTRACT No. 207

ROCKWALL COUNTY, TEXAS



$\theta: 51^{\circ}53'41''$
 $R: 190.46$
 $T: 52.83$
 $L: 104.91$
 Revised Final Plat
 Chandler's Landing
 Phase 4

ORDINANCE NO. ⁸88-51

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8, CHANDLERS LANDING, MORE FULLY DESCRIBED HEREIN; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-8" Planned Development District No. 8, Chandlers Landing on the property described as Lots 9 through 23, Block A, Section II, Chandlers Landing, Phase 18.

SECTION 2. That Planned Development District No. 8, Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. Prior to issuance of any building permit in Planned Development District No. 8, Chandlers Landing, a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "A" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the Thoroughfare Plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.
- B. All development of property covered by Planned Development District No.

- B. All development of property covered by Planned Development District No. 8, Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.
- C. Development of Planned Development No. 8, Chandlers Landing Phase 18 as described herein shall be regulated by the requirements as follows. All area requirements not specifically listed herein shall comply with the requirements set forth in the corresponding standard zoning classification for each use.

Use-Single Family Detached

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 18, SECTION 2

LOTS 9 THROUGH 23, BLOCK A

1. Minimum lot area - 6,500 square feet
2. Maximum number of single family detached dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1,500 square feet
4. Minimum lot width - 45 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front setback - 20 feet
7. Minimum depth of rear setback - 15 feet
8. Minimum width of side setback - 5 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building coverage as a percentage of lot area - 40 percent
11. Maximum height of structures - 30 feet
12. Minimum distance between buildings - 10 feet
13. Minimum garage space - 2 cars
14. Minimum number of parking spaces/unit - 2 spaces

SECTION 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be

punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 3rd day of October, 1988.

APPROVED:

Frank R. Miller
Mayor

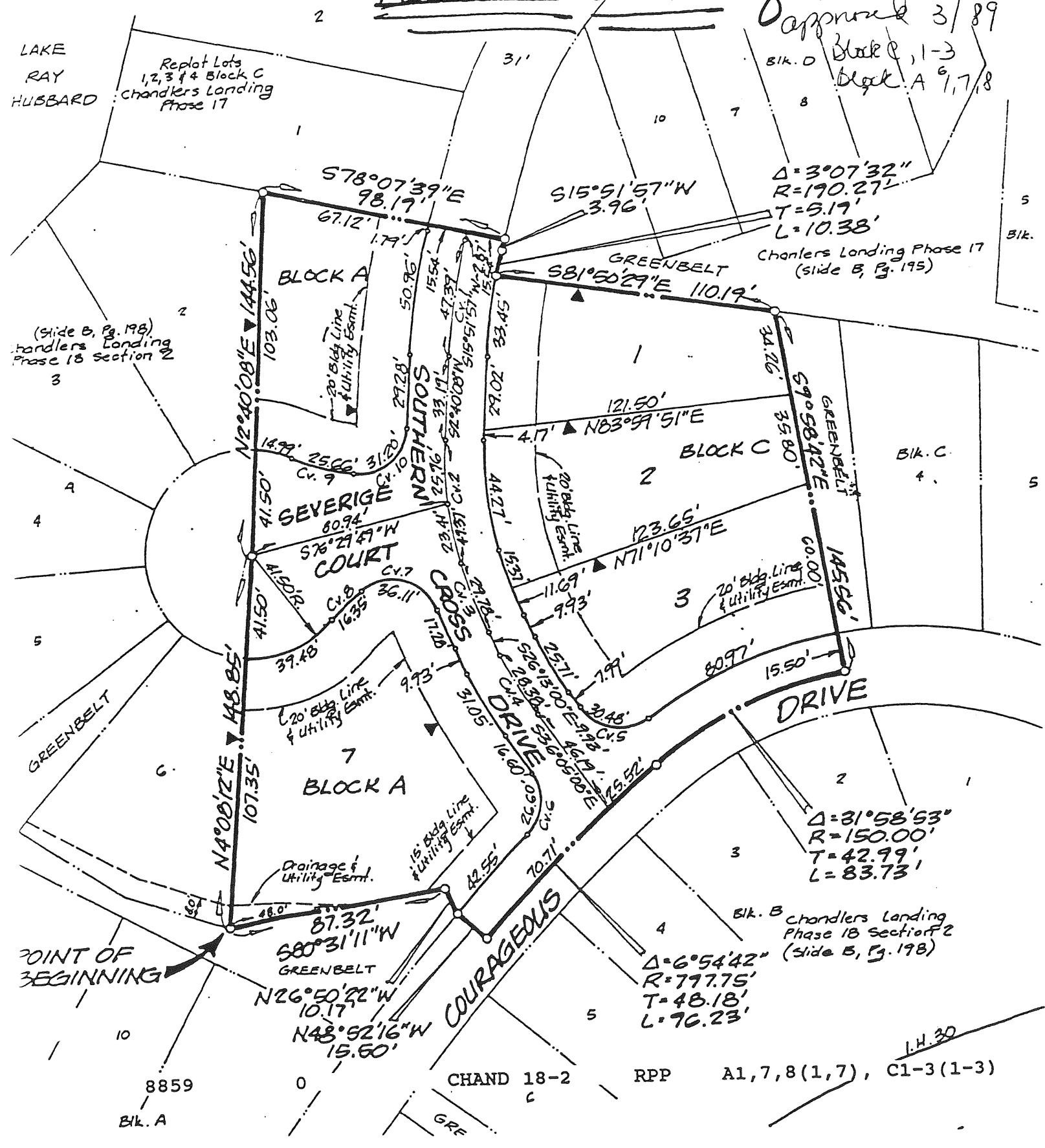
ATTEST:

By Julie Court

1st reading 9/19/88
2nd reading 10/3/88

and with said centerline an arc distance of 83.73 feet to the point of compound curvature of a central angle of $6^{\circ} 54' 42''$, and a radius of 797.75 feet;
 and with said centerline, passing at an arc distance of 25.52 feet the existing centerline intersecting Courageous Drive, and continuing a total arc distance of 96.23 feet to a point for a corner;
 West a distance of 15.50 feet to the Southwest corner of Lot 8, Block A;
 West a distance of 10.17 feet to the Southeast corner of Lot 7, Block A;
 West a distance of 87.32 feet to the Point of Beginning and Containing 51,050 Square Feet or 1.

~~DEED~~
PROPOSED REPLAT of Phase 18-2
 approved 3/89



8859
 Blk. A
 CHAND 18-2
 RPP
 A1,7,8(1,7), C1-3(1-3)
 14.30

ORDINANCE NO. 91-43

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A ZONING CHANGE AND AMEND A PRELIMINARY PLAN FOR PD-8, CHANDLERS LANDING, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-8" Planned Development District No. 8, Chandlers Landing on the property described (see attachments for lot description).

Section 2. That Planned Development District No. 8, Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. All development of property covered by Planned Development District No. 8, Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments to the Comprehensive Zoning Ordinance.

- B. Development of those portions of Planned Development, Chandlers Landing Phase 17, Phase 18, Section 1 and Phase 18, Section 2 as described herein shall be regulated by the requirements as specified on Exhibit "A" attached hereto and made a part hereof. All area requirements not specifically listed herein shall comply with the requirements set forth in the corresponding standard zoning classification for each use.

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 7th day of October 1991,
1991.

APPROVED:



Mayor

ATTEST:

By: Mary Nichols

1st reading September 16, 1991

2nd reading October 7, 1991

ORDINANCE NO. _____

EXHIBIT "A"

Page 1 of 4

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 17

LOTS 1-R THROUGH 8-R, BLOCK B; AND 13-R, & 14-R, BLOCK F

Minimum Lot Area	5,500 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Average Lot Depth	100 ft.
Minimum Front Set Back	20 Lin. Ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lots 1-R through 8-R, Block 6, and 13-R & 14-R, Block F, Phase 17.

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 17

LOTS 1-R, BLOCK C

Minimum Lot Area	5,500 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lot 1-R, Block C, Phase 17.

AREA REQUIREMENTS

CHANDLERS LANDING PHASE 18, SECTION 1

LOTS 1-R, 2-R, 3-R, 4-R, AND 5-R, BLOCK A

Minimum Lot Area	6,000 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lot 1-R, 2-R, 3-R, 4-R, and 5-R, Block A, Phase 18, Section 1.

AREA REQUIREMENTS

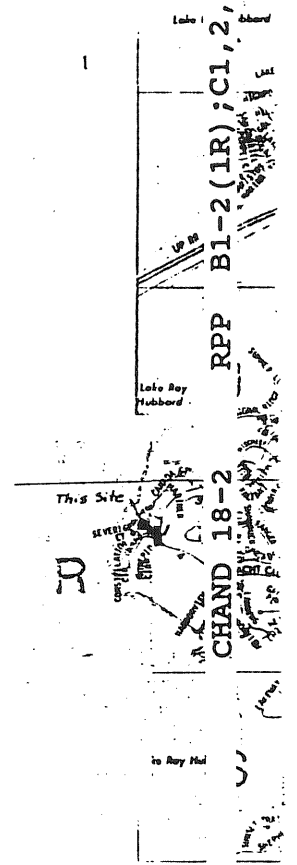
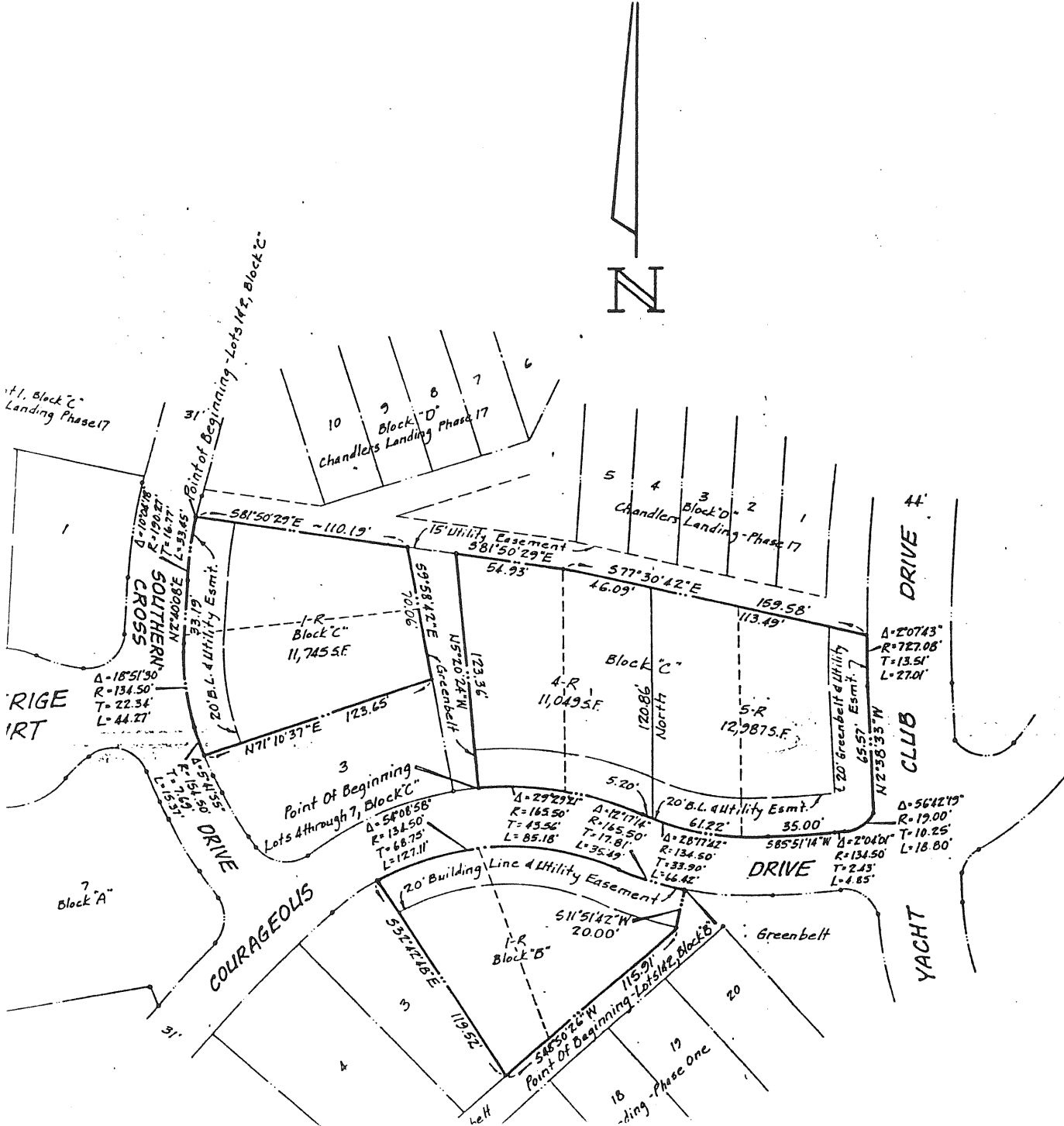
CHANDLERS LANDING PHASE 18, SECTION 2

LOTS 1-R, BLOCK B AND LOTS 1-R, 4-R, AND 5-R, BLOCK C

Minimum Lot Area	6,000 sq. ft.
Minimum Floor Area per Dwelling Unit	1,750 sq. ft.
Minimum Lot Frontage	40 ft.
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	40%
Maximum Building Height	30 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./unit
Minimum Garage Space	2 vehicles

All other area requirements of "SF-10" Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements for Lots 1-R, Block B and Lots 1-R, 4-R, and 5-R, Block C, Phase 18, Section 2.

Replot Phase 18-2
 Block B, 1-2
 Block C, 1, 2, 4, 5, 6, 7
 10/91



CHAND 18-2 RPP B1-2(1R); C1, 2, 4-7(1, 4-5R)



1/4 Sec. 14, T19R, R10E, S20, 20' x 1/4' Area NW
 Part of the O'Neil Farm, 1/4 Sec. 14

HAROLD L. EVANS
 CONSULTING ENGINEER
 2331 GUS THOMPSON RD. SUITE 03
 DALLAS, TEXAS 75228
 PHONE (214) 328-9133

SCALE	DATE	JOB NO.	REV.
1"=50'	6-27-84	72122	1/1

C10	13
C11	13
C12	13
C13	13
C14	13
C15	13
C16	13
C17	13
C18	13
C19	13
C20	13
C21	13
C22	13
C23	13
C24	13
C25	13

~~Proposed~~ Replat
 Phase P-2
 amended 11/8

VIEW: Pdf file
RESTRICT: PHASE_NO = "CHAND 19"

SORT: PHASE_NO

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8525		0	CHAND 19	PP	ALL
8545		0	CHAND 19	PP	REVISED ALL
8556		0	CHAND 19	FP	ALL
8539		8543*	CHAND 19	Z	AR SFD ALL

* See "Chand" master plan for full ordinance

EXHIBIT C

CHANDLERS LANDING, PHASES 19 and 20

AREA REQUIREMENTS

1. Minimum lot area----- 6,000 sq. ft.
2. Maximum units per lot----- 1
3. Minimum dwelling unit----- 1,200 sq. ft.
4. Minimum lot width----- 50 ft.
5. Minimum lot depth----- 100 ft.
6. Minimum front setback----- 20 ft.
7. Minimum rear setback----- 10 ft.
8. Minimum side setback----- 5 ft.
9. Minimum distance between buildings on same lot---- 10 ft.
10. Maximum building coverage----- 40%
11. Maximum height----- 30 ft.
12. Minimum distance between buildings----- 10 ft.
13. Minimum parking----- 2 spaces
14. Minimum garage----- 2 car

The Council then considered the final plat of the Smith Addition submitted by John Smith. Mr. Smith explained to the Council his one lot residential subdivision. Couch explained that this plat was adjacent to the Chenault residential subdivision. She also explained that Smith was agreeable to dedication of additional right-of-way to meet the requirements of the Thoroughfare Plan, but, as was the case with the Chenault residential subdivision, he was requesting that he not be required to place funds in escrow for improvement of the State highway.

Gournay made a motion that the final plat for the Smith Addition be approved with a waiver of the requirements for escrowing of funds with the restriction that if the use becomes anything other than single family the waiver would expire. Bullock seconded the motion. The motion was voted on and passed unanimously.

The Council then considered vacating a portion of Chandlers Landing, Phase 15 and approval of a final plat on Chandlers Landing, Phase 19. Couch explained the items under consideration.

Welborn made a motion that the Council approve vacating a portion of Chandlers Landing, Phase 15 and approve a final plat for Chandlers Landing, Phase 19 subject to the following stipulations:

1. That the designation labeled "area of widening" be changed to read "right-of-way".
2. That the right-of-way be obtained from the center of the existing right-of-way line rather than the center of the existing pavement.
3. That funds be escrowed for paving 24 ft. of FM-740 and for curb, gutter, and engineering to be paid prior to construction of any portion of this phase.
4. That a deceleration lane be built prior to construction of any portion of this phase.
5. That the street name "Lavonia Court" be changed since there is already such a street so named on file with the County Clerk.
6. That the variances from the City's horizontal and vertical curve standards be granted.
7. That credit for the turn lane be given for the amount of pavement used in the deceleration lane in calculation of the amount of funds to be escrowed.

Eubank's seconded the motion. The motion was voted on and carried unanimously.

The Council then considered a resolution requesting the rural water supply corporations to reconsider their contracts with

of this sort was by property ownership and told the Council that this was the method under which the Staff would proceed.

Davis asked if Freese and Nichols had looked into the possibility of taking sewer north to Camp Creek Basin. Eisen stated that he would discuss this matter with Freese and Nichols and told the Council that the City of Lavon would be making a presentation to the Council on the subject of bringing sewage to the Rockwall system. He stated that Lavon was making this request based on recommendations from the North Central Texas Council of Governments.

Eisen reported on the status of improving traffic flow at SH-205 and SH-66 as requested at a previous meeting by Davis. Eisen stated that several alternatives had been considered and that his recommendation involved re-striping of several areas. He presented the detailed plan for the Council to comment on. The Council indicated support for the proposal as presented and expressed their appreciation for the work done on the plan. Tuttle stated that the Council had previously made a commitment about eighteen months ago to continue the improvements made to the Square and asked if it would be possible to take the sidewalks in to obtain more room for the street.

Eubanks suggested that the City also consider the need that no-parking periods be provided in the morning as well as in the afternoon to accommodate the traffic generated by school traffic. Eisen indicated that this option would be considered.

Welborn asked if the Staff had completed work toward providing a plan for additional planning in the downtown area. Eisen indicated that the Staff had been trying to schedule a meeting with the committee of downtown merchants to discuss this matter but had not, as yet, held the meeting. Tuttle stated that it was his opinion that for the plan improving the traffic flow to be acceptable, it would be necessary for the City to offer additional parking. He stated that it was his feeling that the old City Hall site would have to be opened along with the plans being discussed for the intersection of Goliad and SH-66.

Eisen stated that if there was no objection the City would proceed with the improvements on the northbound lanes and continue to work on the other aspects of the problem.

The Council then considered approval of a preliminary plat development plan for Phase 19 of Chandlers Landing. Couch reviewed the recommendations of the Staff and the Planning and Zoning Commission.

Welborn made a motion to approve the preliminary plat development plan for Phase 19 of Chandlers Landing with the following stipulations:

1. That a determination of whether "eyebrow" streets proposed meet the City's engineering requirements be made.
2. That the ten lots fronting on Yacht Club Drive be required to have circular driveways.

3. That a deceleration and acceleration lane be required to be built on SH-740 simultaneously with the opening of the construction entrance to this phase as well as a left turn lane for traffic going north on SH-740 (contingent upon Texas Department of Highways and Public Transportation approval).

4. That dedication and escrowing of funds in accordance with present City ordinances be required at the time of final platting of any portion of Phase 19.

Eubanks seconded the motion. The motion was voted on and passed unanimously.

Tuttle agreed with a suggestion by Davis that it might be advantageous to meet with representatives from the City of Heath regarding planning in areas near that City. He suggested that Eisen contact Mayor Burns for establishing groundwork for such meetings and suggested use of Council committees to work out these details.

The Council then considered approval of a preliminary plat development plan for Phase 20 of Chandlers Landing. Couch stated that comments from Staff were the same as had been discussed under the previous items. She reviewed these matters in the motion.

Motion was made by Welborn that the preliminary plat development plan for Phase 20 of Chandlers Landing be approved subject to engineering review of "eyebrow" streets to insure they meet the City standards. Eubanks seconded the motion. The motion was voted on and passed unanimously.

Van Hall, representing Chandlers Landing, told the Council that the developers had gone to a great deal of engineering expense to preserve trees and natural areas in the development. He explained that this produced some odd-shaped cul-de-sacs to preserve the natural terrain. He asked the Council to ask the Staff to work with them in engineering review of the-odd shaped cul-de-sacs and noncompliant curves. The Council generally agreed that such review could be done by the Staff and that if the Staff and developers were unable to come to agreement, the developer could come back to the Council for final resolution of any such problem.

The Council then considered vacating the existing plats on Phases 8 and 14 and approving a replat of Chandlers Landing, Phase 14. Couch pointed out that as a part of the preliminary plan already considered the previous night the land use involved changing a portion of Phase 14 from Townhome to Single Family Detached. She stated that the Council would need to take three actions to revise the plat:

1. Vacate existing Phase 14 and approve the replatting of Phase 14.

2. Vacate old Phase 8 plat which was platted in the new Phase 14.

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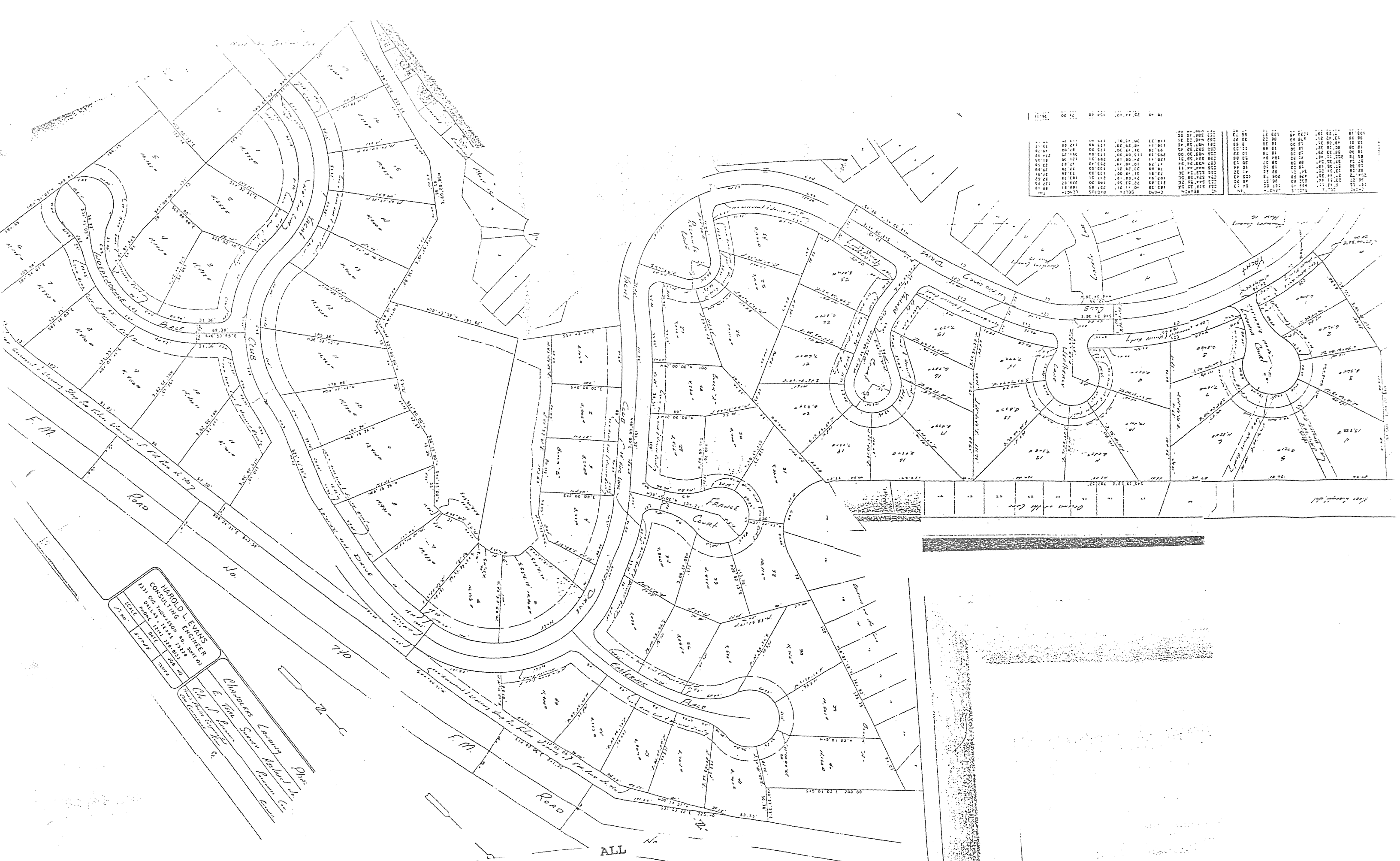
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Lot No.	Area (sq. ft.)	Area (sq. m.)	Area (ac.)
1	10,000	914.4	0.23
2	12,000	1,108.0	0.25
3	8,000	740.5	0.18
4	15,000	1,393.5	0.31
5	9,000	832.1	0.19
6	11,000	1,016.7	0.23
7	7,000	645.2	0.15
8	13,000	1,200.3	0.27
9	6,000	557.6	0.13
10	14,000	1,290.3	0.29
11	5,000	464.5	0.11
12	16,000	1,486.4	0.33
13	4,000	370.2	0.09
14	17,000	1,576.4	0.35
15	3,000	278.7	0.07
16	18,000	1,671.5	0.37
17	2,000	185.8	0.05
18	19,000	1,761.5	0.39
19	1,000	92.9	0.02
20	20,000	1,851.6	0.41
21	500	46.4	0.01
22	21,000	1,941.6	0.43
23	100	9.3	0.00
24	22,000	2,031.7	0.45
25	50	4.6	0.00

HAROLD L. EVANS
 CONSULTING ENGINEER
 2310 S. HOUSTON RD. SUITE 101
 HOUSTON, TEXAS 77058
 PHONE: (713) 584-1011
 FAX: (713) 584-1012

CHANDLER LANDING PHASE II
 CHANDLER LANDING PHASE II
 CHANDLER LANDING PHASE II
 CHANDLER LANDING PHASE II

CHAND 19

FP

ALL

VIEW: Pdffile
RESTRICT: PHASE_NO = "CHAND 20"

SORT: PHASE_NO

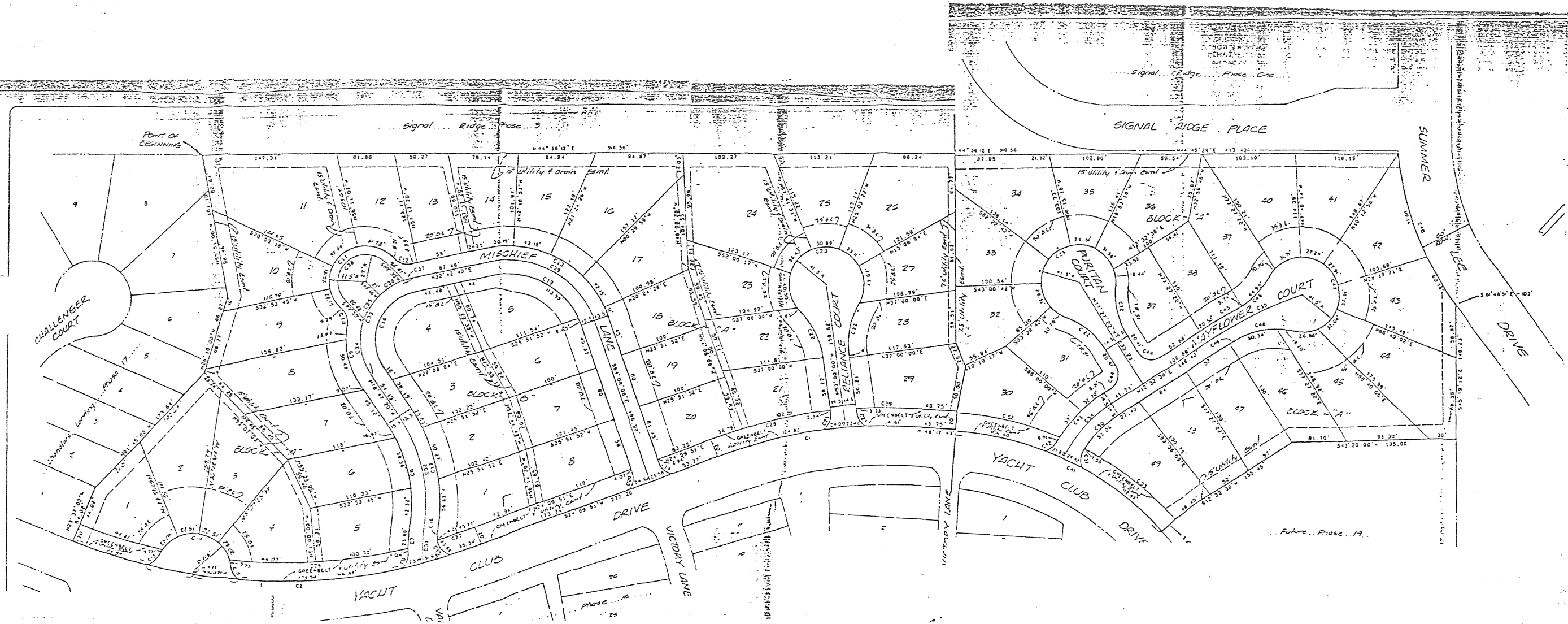
P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8539		8543*	CHAND 20	Z	AR SFD ALL
8549		0	CHAND 20	PP	ALL
8551		0	CHAND 20	FP	ALL

* See "Chand" master Plan Section for full ordinance

CHANDLERS LANDING, PHASES 19 and 20

AREA REQUIREMENTS

- 1. Minimum lot area----- 6,000 sq. ft.
- 2. Maximum units per lot----- 1
- 3. Minimum dwelling unit----- 1,200 sq. ft.
- 4. Minimum lot width----- 50 ft.
- 5. Minimum lot depth----- 100 ft.
- 6. Minimum front setback----- 20 ft.
- 7. Minimum rear setback----- 10 ft.
- 8. Minimum side setback----- 5 ft.
- 9. Minimum distance between buildings on same lot---- 10 ft.
- 10. Maximum building coverage----- 40%
- 11. Maximum height----- 30 ft.
- 12. Minimum distance between buildings----- 10 ft.
- 13. Minimum parking----- 2 spaces
- 14. Minimum garage----- 2 car



VIEW: Profile
RESTRICT: PHASE_NO = "HARBOR LANDING"

SORT: PHASE_NO

CASE_NO	ORD_NO	PHASE_NO	TYPE	DESC	ADOPTED
8430	8416	HARBOR LANDING	Z	AR SFD SF-10, SF-7	00/00/00
8430	8416	HARBOR LANDING		RES 87-19 SETTLEMENT	00/00/00
8430	8416	HARBOR LANDING		RES 87-20 SETTLEMENT	00/00/00
8648	0	HARBOR LANDING	FP	ALL - PHASE 1	01/01/86
8722	0	HARBOR LANDING	PP	ALL - PHASE 2	01/01/87
8730	0	HARBOR LANDING	FP	ALL - PHASE 2	01/01/87

Exhibit "C"
Harbor Landing Phase 2

BLOCK B

Lot #	Maximum Rooftop Elevation Per Court Order	Maximum Pad Elevation Per Court Order	As-Built Pad Elevation	Maximum House Height Per Court Order	Adjusted Maximum House Height
4	488	466		22'	
5	488	459		29'	
6	471	448	450	23'	21'
7	471	448		23'	
8	471	448		23'	
9	469	447		22'	
10	469	447		22'	
11	478.5	452		26.5'	
12	489	451		29'	
13	474.5	451.5		23'	
14	469	446		23'	
15	469	446		23'	
16	468	445	446	23'	22'
17	468	445	447	23'	21'
18	468	445	448	23'	20'
19	477	449		28'	
20	480	450		30'	
21	477	450		27'	
22	484	458	454	26'	30'
23	490	460		30'	

BLOCK C

Lot #	Maximum Rooftop Elevation Per Court Order	Maximum Pad Elevation Per Court Order	As-Built Pad Elevation	Maximum House Height Per Court Order	Adjusted Maximum House Height
14	479	456	459	23'	20'
15	481	456		25'	
16	482	457		25'	
17	485.5	462.5		23'	
18	495	470		25'	
19	496.5	473.5		23'	
20	493	470		23'	
21	492	466.5		26.5'	
22	478.5	456		22.5'	
23	479	457		22'	
24	479	457		22'	
25	489	467		22'	

ORDINANCE NO. 84-16

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING ORDINANCE NO. 73-48 OF THE CITY OF ROCKWALL AND AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED AND AS RELATES TO TRACT I-A OF PLANNED DEVELOPMENT DISTRICT NUMBER 8, SAID TRACT BEING DESCRIBED ON THE PRELIMINARY SITE PLAN ATTACHED HERETO; PROVIDING FOR ORDERLY DEVELOPMENT OF SAID TRACT I-A OF PLANNED DEVELOPMENT DISTRICT NUMBER 8; PROVIDING FOR LAND USE WITHIN SAID TRACT I-A OF PLANNED DEVELOPMENT DISTRICT NUMBER 8 AND AREA REQUIREMENTS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the Laws of the State of Texas and the Ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body, in the exercise of its legislative discretion, has concluded that Ordinance No. 73-48 of the City of Rockwall and the Comprehensive Zoning Ordinance of the City of Rockwall as relates to Tract I-A of Planned Development District Number 8 should be amended as set forth herein; and

WHEREAS, the governing body of the City of Rockwall has determined that a substantial change in circumstances and of land usages and development has occurred in Planned Development District Number 8 as authorized by Ordinance No. 73-48 of the City of Rockwall since the passage and effective date of said development necessitate amendment of said Ordinance No. 73-48 of the City of Rockwall as set forth herein:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That Ordinance No. 73-48 of the City of Rockwall is hereby amended by adding a new section to be numbered Section 2a and to read as follows:

Section 2a. The granting of the Planned Development Number 8 to to the above described property is subject to the following special conditions and provisions:

- (1) Tract IA of Planned Development District Number 8 shall be developed in accordance with the preliminary development plan for said area which is

attached hereto and made a part hereof as Exhibit "A".

(2) That all development of the property covered by this Ordinance shall be in accordance with the approved preliminary plan attached hereto as Exhibit "A", and no substantial change in the development shall be permitted except after obtaining approval of the change of such preliminary plan in the manner required for amendments to the Comprehensive Zoning Ordinance.

(3) Prior to the issuance of any Building Permit in Tract I-A of Planned Development District Number 8, a final development plan prepared in accordance with the requirements of the Comprehensive Zoning Ordinance shall be filed with the City Council of the City of Rockwall and shall be approved by said governing body after review and recommendation by the Planning and Zoning Commission and filed as a part of this Ordinance. Such required development plan shall set forth the requirements for ingress and egress to the property, public or private streets of drive, with adequate right-of-way to conform to the thoroughfare plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, all area requirements and maximum lot coverage, yards and open spaces, screening walls or fences, amenities, greenbelt areas and all other development and protective requirements considered necessary by the City Council to create a reasonable transition to and protection of the adjacent property. Such approval by the City Council of the detailed final development plan shall be considered as an amendment to this Ordinance and shall be applicable to the property involved.

(4) That all development in Area "A" on the attached site plan meet the requirements of "SF-10" Single Family Residential District.

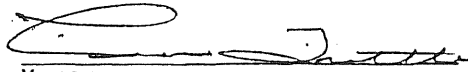
(5) That all development in area "B" on the attached site plan meet the requirements of "SF-7" Single Family Residential district.

(6) That all development shall meet the height restrictions of no more than 30 feet above existing grade nor 12 feet above the building line of the uphill lot.

SECTION 3. This ordinance shall take effect immediately from and after its passage and the publication of the caption as the law in such cases requires.

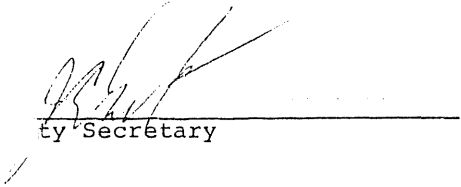
PASSED AND APPROVED this 2nd day of April, 1984.

APPROVED:



Mayor

ATTEST:



City Secretary

32

TRACT IA

BEING a tract of land situated in the Edward Teal Survey, Abstract No. 207 in the City of Rockwall, Rockwall County, Texas, and said tract being a part of a 285.2916 acre tract of land conveyed to Clarke-Prates Corporation by deed as recorded in Volume 102, Page 895 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

COMMENCING at the most southerly Southeast corner of Cutter Hill, Phase Three an addition to the City of Rockwall, Rockwall County, Texas, as recorded in Slide A, Page 399 of the Deed Records of Rockwall County, Texas said commencing point being on the City of Dallas take line for Lake Ray Hubbard and also being North $46^{\circ} 18' 55''$ West, a distance of 132.23 feet from the City of Dallas monument T 13-1 and T 11-6.

THENCE: Along the Southerly line of the said Cutter Hill, Phase Three, North $54^{\circ} 39' 29''$ East, a distance of 54 feet to an iron rod for a corner;

THENCE: North $74^{\circ} 47' 07''$ East, a distance of 24.70 feet to an iron rod for a corner and the point of Beginning of this tract.

THENCE: North $74^{\circ} 47' 07''$ East, along the Southeast line of Cutter Hill, Phase Two, an addition to the City of Rockwall, Rockwall County, Texas recorded in Slide A, Page 285 of the Deed Records of Rockwall County, Texas, a distance of 61.24 feet to an iron rod for a corner;

THENCE: North $33^{\circ} 38' 08''$ East, continuing along the Southeast line of the said Cutter Hill, Phase Two, a distance of 363 feet to an iron rod for a corner;

THENCE; North $14^{\circ} 47' 36''$ East, a distance of 191.50 feet to an iron rod for a corner and the beginning of a circular curve to the left, said curve having a chord bearing of South $75^{\circ} 25' 44''$ East, a central angle of $29^{\circ} 08' 32''$ and a radius of 190.70 feet;

THENCE: In an Easterly direction with said curve to the left, an arc distance of 96.99 feet to an iron rod for a corner;

THENCE: East, a distance of 20 feet to an iron rod for a corner and the beginning of circular curve to the right, said curve having a central angle of $36^{\circ} 07' 46''$ and a radius of 245.27 feet.

THENCE: In an Easterly direction with said curve to the right, an arc distance of 154.66 feet to an iron rod for a corner;

THENCE: South $53^{\circ} 52' 14''$ East, a distance of 67.62 feet to an iron rod for a corner and the beginning of a circular curve to the left, said curve having a central angle of $55^{\circ} 50' 15''$ and a radius of 188.72 feet;

THENCE: In an Easterly direction with said curve to the left, an arc distance of 183.91 feet to an iron rod for a corner;

THENCE: North $70^{\circ} 17' 31''$ East, a distance of 74.68 feet to an iron rod for a corner and the beginning of a circular curve to the right, said curve having a central angle of $70^{\circ} 29' 43''$ and a radius of 155.66 feet.

THENCE: In an Easterly direction with said curve to the right, an arc distance of 191.52 feet to an iron rod for a corner;

THENCE: South $39^{\circ} 12' 46''$ East, a distance of 10.38 feet to an iron rod for a corner and the beginning of a circular curve to the right, said curve having a central angle of $60^{\circ} 15' 01''$ and a radius of 155.10 feet.

THENCE: In a Southerly direction with said curve to the right, an arc distance of 163.10 feet to an iron rod for a corner;

THENCE: South $21^{\circ} 02' 15''$ West, a distance of 130.62 feet to an iron rod for a corner and the beginning of a circular curve to the left, said curve having a central angle of $49^{\circ} 55' 27''$ and a radius of 214.24 feet.

THENCE: In a Southerly direction with a curve to the left, an arc distance of 186.68 feet to an iron rod for a corner and the point of compound curvature of a circular curve to the left having a central angle of $56^{\circ} 22' 10''$ and a radius of 184.75 feet;

THENCE: In a Southeasterly direction with said curve to the left, an arc distance of 181.77 feet to an iron rod for a corner;

THENCE: South $85^{\circ} 15' 22''$ East, a distance of 83.83 feet to an iron rod for a corner and the beginning of a circular curve to the right, said curve having a central angle of $42^{\circ} 14' 23''$ and a radius of 152.74 ft.;

THENCE: In a Southeasterly direction with said curve to the right, an arc distance of 112.61 feet to an iron rod for a corner;

THENCE: South $43^{\circ} 0' 59''$ East, a distance of 19.74 feet to an iron rod for a corner in the Northerly right-of-way line of Henry M. Chandler Drive;

THENCE: South $46^{\circ} 59' 01''$ West, along the Northerly right-of-way line of Henry M. Chandler Drive, a distance of 153.61 feet to an iron rod for a corner and the beginning of a circular curve to the right having a central angle of $21^{\circ} 41' 24''$ and a radius of 782.99 feet;

THENCE: In a Southwesterly direction with said curve to the right, an arc distance of 296.41 feet to an iron rod for a corner;

THENCE: South $68^{\circ} 40' 25''$ West, a distance of 11.91 feet to an iron rod for a corner and the beginning of a circular curve to the left having a central angle of $23^{\circ} 11' 15''$ and a radius of 136.48 feet;

THENCE: In a Southwesterly direction with said curve to the left, an arc distance of 55.23 feet to an iron rod for a corner;

THENCE: South $45^{\circ} 29' 10''$ West, a distance of 120.24 feet to an iron rod for a corner;

THENCE: North $38^{\circ} 21' 05''$ West, a distance of 402.14 feet to an iron rod for a corner;

THENCE: North $56^{\circ} 39' 37''$ West, a distance of 232.26 feet to an iron rod for a corner;

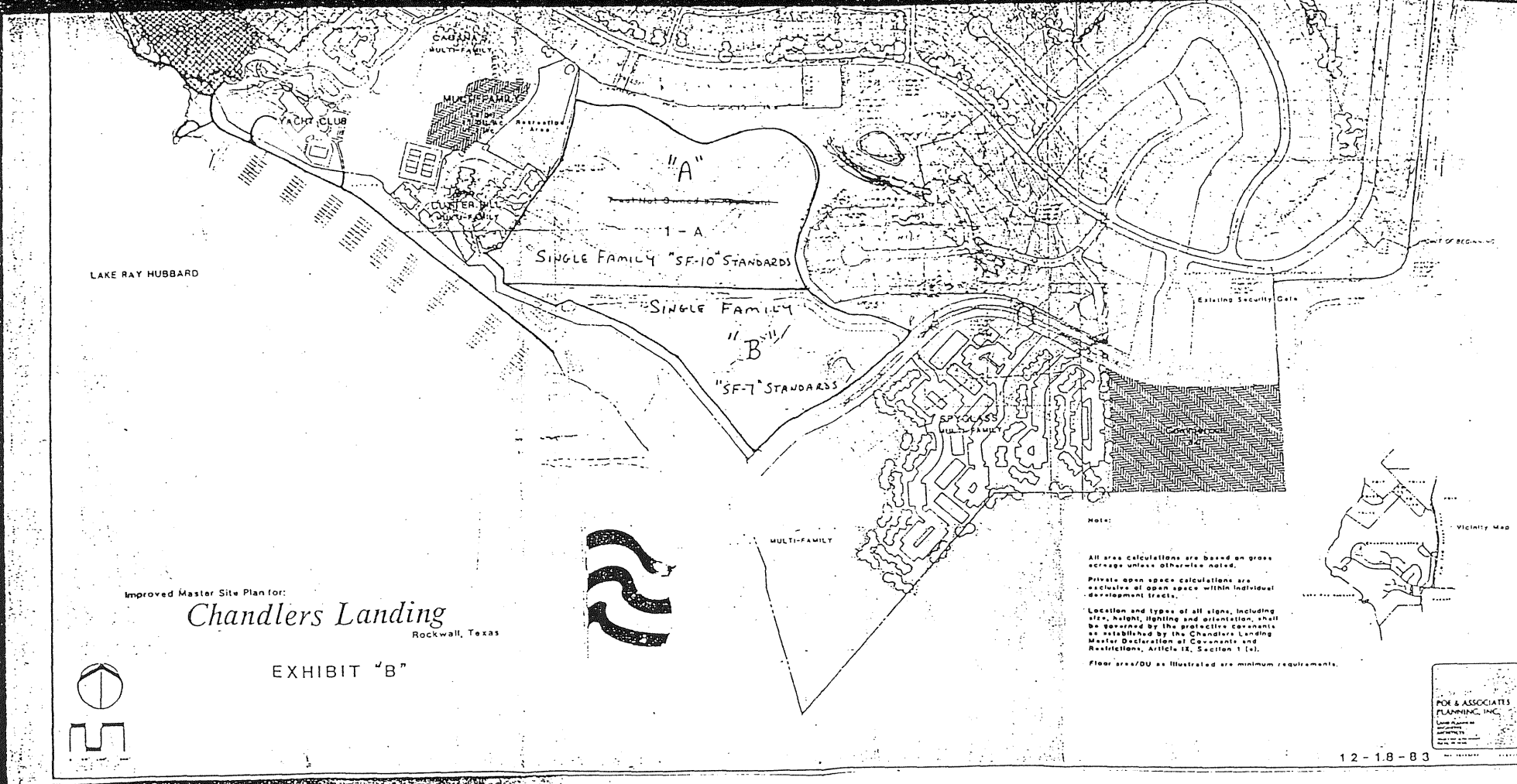
THENCE: North $67^{\circ} 16' 48''$ West, a distance of 162.79 feet to an iron rod for a corner;

THENCE: South $62^{\circ} 44' 42''$ West, a distance of 43.88 feet to an iron rod for a corner;

THENCE: North $67^{\circ} 27' 32''$ West, a distance of 189.78 feet to an iron rod for a corner;

THENCE: North $3^{\circ} 55' 02''$ West, a distance of 42.77 feet to an iron rod for a corner;

THENCE: North $44^{\circ} 59' 06''$ West, a distance of 89.31 feet to the Point of Beginning and containing 17.7348 acres (772,529 sq. ft.) of land.

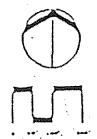
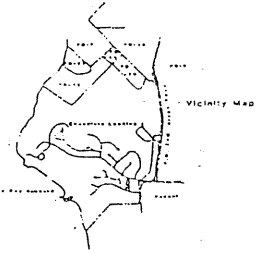


Improved Master Site Plan for:
Chandlers Landing
 Rockwall, Texas

EXHIBIT "B"



Note:
 All area calculations are based on gross acreage unless otherwise noted.
 Private open space calculations are exclusive of open space within individual development tracts.
 Location and types of all signs, including size, height, lighting and orientation, shall be governed by the protective Covenants as established by the Chandlers Landing Master Declaration of Covenants and Restrictions, Article IX, Section 1 (a).
 Floor area/DU as illustrated are minimum requirements.



**PDK & ASSOCIATES
 PLANNING, INC.**
 12000 Rockwall Road
 Rockwall, Texas 75087
 Phone: (972) 962-1111

A RESOLUTION AUTHORIZING THE AGREEMENT AND SETTLEMENT OF ALL MATTERS IN CONTROVERSY BETWEEN THE CITY OF ROCKWALL AND PLAINTIFF AND INTERVENORS IN THAT CERTAIN ACTION STYLED ROCKWALL HARBOR LANDING, INC., A TEXAS CORPORATION VS. CITY OF ROCKWALL, TEXAS, CAUSE NUMBER 87-124; AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED BY THE COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1

That the Mayor is hereby authorized to sign an agreement settling and compromising all matters in controversy between the City of Rockwall and Plaintiff and Intervenors in that certin action styled Rockwall Harbor Landing, Inc., A Texas Corporation vs. City of Rockwall, Texas, as shown on the attached Exhibit "A".

Section 2

That this Resolution shall in no way be construed to be an admission of liability by the City of Rockwall with respect to any matter in controversy between the City and Plaintiff and Intervenors.

Section 3

That this Resolution shall take effect immediately from and after its passage.

PASSED AND APPROVED: June 15, 1987.

CITY OF ROCKWALL, TEXAS


MAYOR

ATTESTED TO BY:


CITY SECRETARY

APPROVED AS TO FORM:

CITY ATTORNEY

ROCKWALL HARBOR LANDING, INC.,)	IN THE DISTRICT COURT
TEXAS CORPORATION,)	
Plaintiff,)	
)	
VS.)	86TH JUDICIAL DISTRICT
)	
CITY OF ROCKWALL, TEXAS,)	
Defendant.)	ROCKWALL COUNTY, TEXAS

AGREED JUDGMENT

On the ____ day of _____, 1987, came on to be heard the above-entitled and numbered cause wherein Rockwall Harbor Landing, Inc., hereinafter referred to as Plaintiff, City of Rockwall, Texas, hereinafter referred to as Defendant and Rick S. Burgy, Leigh Burgy, Charles N. Capri, Thelma L. Capri, Claude F. Fulton, Francis Fulton, Peter G. Oetking, Maude Oetking, and Revival Tabernacle Association, Inc., hereinafter referred to as Intervenors, appeared in person and by their attorneys of record. Defendant, having been duly and legally cited to appear and answer, has filed an answer in this matter, Intervenors have duly appeared and filed their Plea Of Intervention; all parties have reached an agreement to settle all matters of controversy pending before the Court and have agreed to the terms and conditions of this Agreed Judgment.

The parties have announced to the Court that they have reached an agreement in this cause and have executed a Settlement Agreement, which has been filed with the Court, the terms of said Settlement Agreement are incorporated herein by reference as if set forth anew. The Court, after having reviewed the Settlement Agreement, approves said Settlement Agreement and the terms and conditions recited therein, and after considering same,

IT IS THEREFORE, ORDERED, ADJUDGED AND DECREED by the Court that, subject to the terms and conditions of the Settlement Agreement, the above-entitled

and numbered cause of action be in all things dismissed, and that all costs of court are to be taxed against the party incurring same.

SIGNED AND ENTERED this _____ day of _____, 1987.

JUDGE PRESIDING

AGREED AS TO FORM AND CONTENT:

SALLINGER, NICHOLS, JACKSON,
KIRK & DILLARD

By: _____

Robert E. Hager
Texas Bar Card 08689500
1800 Lincoln Plaza
Dallas, Texas 75201
Phone: (214) 954-3333

ATTORNEYS FOR PLAINTIFF

HUTCHISON PRICE BOYLE & BROOKS

By: _____

Pete Eckert
Texas Bar Card 06399000
Kent S. Hofmeister
Texas Bar Card 09791700
3900 First City Center
Dallas, Texas 75201-4622
Phone: (214) 754-8600

ATTORNEYS FOR DEFENDANT

BIRD & RENEKER

By: _____

D. Ronald Reneker
Texas Bar Card 16770000
D. Grant Seabolt, Jr.
Texas Bar Card 17942500
1100 Premier Place
5910 North Central Expressway
Dallas, Texas 75206
Phone: (214) 373-7070

ATTORNEYS FOR INTERVENORS

A RESOLUTION OF THE CITY COUNCIL OF THE CITY
OF ROCKWALL, TEXAS, CLARIFYING THE CONTENT
OF ORDINANCE NUMBER 84-16

WHEREAS, the zoning and platting of a subdivision within the City of Rockwall named Harbor Landing Phase I has been approved by the City Council, and

WHEREAS, a lawsuit has been filed against the City of Rockwall by Rockwall Harbor Landing, Inc., and

WHEREAS, the lawsuit seeks from the Court a judicial interpretation of the meaning of Section 1(6) of Ordinance Number 84-16, and

WHEREAS, certain residents of the area adjacent to Harbor Landing Phase I have intervened in this lawsuit, and

WHEREAS, the City of Rockwall, Rockwall Harbor Landing, Inc., and the intervenors in the lawsuit have agreed to the interpretation and application of the Ordinance Number 84-16 as it pertains to Harbor Landing Phase I, and

WHEREAS, the agreed interpretation and application specifies the building pad elevations and maximum elevations of buildings in the subdivision, as shown in "Exhibit A" to this resolution, and the term "house height" shall be defined as the distance between a monument located at the front building line of each lot and the highest point of the structure on each such lot; and

WHEREAS, the Rockwall Harbor Landing, Inc., Plaintiff in the lawsuit, has agreed to dismiss with prejudice all claims as to each party to the lawsuit upon the approval and enactment of this resolution.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Rockwall that:

1. It is the intent of the City Council that Ordinance Number 84-16 be interpreted, applied and enforced as specified in Exhibit A, and

2. The City Manager is instructed to enforce Ordinance Number 84-16 in such a manner that the pad elevations and maximum building elevations shown in Exhibit A are adhered to.

PASSED AND APPROVED the 15th day of June,
1987.

APPROVED:

J. R. Mester

ATTEST:

By *Julie Cook*



Revised June 3 1987
 Revised June 10, 1987

ROCKWALL HARBOR LANDING, INC.,)	IN THE DISTRICT COURT
A TEXAS CORPORATION,)	
Plaintiff,)	
)	
VS.)	86TH JUDICIAL DISTRICT
)	
CITY OF ROCKWALL, TEXAS,)	
Defendant.)	ROCKWALL COUNTY, TEXAS

SETTLEMENT AGREEMENT

THIS AGREEMENT is made and entered into this _____ day of _____, 1987, by and between Rockwall Harbor Landing, Inc., hereinafter referred to as Plaintiff, City of Rockwall, Texas, hereinafter referred to as Defendant and Rick S. Burgy, Leigh Burgy, Charles N. Capri, Thelma L. Capri, Claude F. Fulton, Francis Fulton, Peter G. Oetking, Maude Oetking, and Revival Tabernacle Association, Inc., hereinafter referred to as Intervenors.

WHEREAS, Plaintiff has filed a suit in the 86th Judicial District Court in Rockwall County, Texas, against Defendant in Cause Number 87-124; the City has duly appeared and filed an Answer in said proceeding; and, Intervenors have duly appeared and filed their Plea of Intervention in said proceedings.

WHEREAS, the parties have reached an agreement to settle the matters in controversy recited in Plaintiff's Original Petition and have agreed to enter into an Agreed Judgment to dismiss the pending litigation, subject to the provisions recited therein.

NOW THEREFORE, in consideration of the terms, conditions and covenants recited herein, the parties agree as follows:

1. Approval of Plat Plan. Defendant, by and through the authorized actions of its City Council, hereby approves for all purposes the Plat Plan which is attached hereto and incorporated herein as Exhibit "A", which sets forth the maximum

roof top elevation, maximum building pad elevation and maximum height for single family residences in Rockwall Harbor Landing Phase I. Defendant agrees and acknowledges that under its Zoning Ordinance 84-16, attached hereto as Exhibit "B", and the previously filed Plat applicable to Plaintiff's property which is described in Exhibit "C" attached hereto and incorporated herein by reference, Plaintiff may sell and/or construct single family residences on its property. The approval of Exhibit "A" does hereby interpret the Zoning Ordinance 84-16, attached hereto as Exhibit "B", and specifically incorporates the terms of this Agreement as the official interpretation of said ordinance.

Defendant recognizes and agrees that Plaintiff or any subsequent purchaser of Plaintiff's property shall have the right to construct single family residences on said property subject to (i) the terms recited in Exhibit "A" and (ii) compliance with other standard requirements (in addition to site plan approval) required by city ordinances to obtain a building permit for single family residences.

2. Plat Restrictions. The parties agree, that pursuant to Resolution Number _____, concerning the attached Exhibit "A" submitted by Plaintiff for the Rockwall Harbor Landing Plat, in connection therewith, the attached Exhibit "A" establishes for each lot within said Plat the following: (i) maximum roof-top elevation; (ii) maximum building pad elevation; (iii) maximum height for single-family residences. Intervenors and Defendant agree to take no action of any kind to amend, alter, revise or relocate in any manner the restrictions contained in Exhibit "A" which would interfere or impede Plaintiff's development of said property. Defendant further agrees that no action of any nature is pending or contemplated to attempt to amend Ordinance number 84-16, or to otherwise change or restrict the current use allowed under the existing ordinances and as provided in the filed plat, as amended herein.

3. Settlement of Litigation. The parties agree that upon the approval of Resolution number _____, the parties shall execute and deliver to the 86th Judicial

Court of Rockwall County, Texas, the Agreed Judgment in the form attached hereto as Exhibit "D", to be entered in the pending litigation referenced above. Pursuant to the terms of the Agreed Judgment, the pending cause of action and claims of Plaintiff and Intervenor shall be dismissed and all court costs assessed against the party incurring the same. Further, in consideration of the terms and conditions recited herein, Plaintiff hereby agrees that upon the occurrence of the Conditions Precedent recited above, and the performance by Defendant of the terms recited herein, Plaintiff shall release, remise and discharge Defendant from all claims, demands, damages, costs and expenses of any nature, including attorney's fees, alleged in Plaintiffs' Original Petition filed in the pending litigation. Defendant, in consideration of the release by Plaintiff recited herein, shall hereby release, remise and discharge Plaintiff from any and all claims, demands, damages, costs and expenses, including attorney's fees, arising from Plaintiff's Original Petition or any other action of Plaintiff's related thereto. Intervenor, in consideration of the release by Plaintiff and Defendant recited herein, shall hereby release, remise and discharge Plaintiff and Defendant from any and all claims, demands, damages, costs and expenses, including attorney's fees, arising from Intervenor's Plea Of Intervention or any other action of Intervenor's related thereto. All parties acknowledge that this Agreement has been executed of their own free will and volition, and that each party has consulted its own counsel to review and advise them of the matter contained herein prior to execution of this Agreement. Further, this Agreement is binding and fully enforceable against the parties recited herein and may be introduced into evidence in any court proceedings related to the matters referenced herein.

4. **Invalidity.** Except as expressly provided to the contrary herein, each section, part, term or provision of this Agreement shall be considered severable; and if for any reason any section, part, term or provision herein is determined to be invalid and contrary to or in conflict with any existing or future law or regulation by a Court or agency having valid jurisdiction, such determination shall not impair the operation

of or have any other affect on other sections, parts, terms or provisions of this agreement as may remain otherwise intelligible, and the latter shall cotinue to be given full force and effect and bind the parties hereto, and said invalid sections, parts, terms or provisions shall not be deemed to be a part of this Agreement.

5. State Law. This Agreement has been executed and delivered in the State of Texas and shall be construed in accordance with the laws of the State of Texas. Any action brought to enforce or interpret this Agreement shall be brought in the court of appropriate jurisdiction in Rockwall County, Texas. Should any provision of this Agreement require judicial interpretation, it is agreed that the court interpreting or considering same shall not apply the presumption that the terms hereof shall be more strictly construed against a party by reason of the rule or conclusion that a document should be construed more strictly against the party who itself or through its agent prepared the same, it being agreed that all parties hereto have participated in the preparation of this Agreement and that legal counsel was consulted by each responsible party before the execution of this Agreement.

6. Successors and Assigns. This Agreement and the terms and provisions hereof shall inure to the benefit of and binding upon the parties hereto and their respective successors and assigns whenever the context so requires or permits.

EXECUTED this _____ day of _____, 1987.

Plaintiff:

ROCKWALL HARBOR LANDING, INC., A
TEXAS CORPORATION

By: _____

Title: _____

Defendant:

CITY OF ROCKWALL, TEXAS

By: _____

Title: _____

Intervenors:

Rick S. Burgy

Leigh Burgy

Charles N. Capri

Thelma L. Capri

Claude F. Fulton

Francis Fulton

Peter G. Oetking

Maude Oetking

REVIVAL TABERNACLE ASSOCIATION, INC.

By: _____

Title: _____

AGREED AS TO FORM AND CONTENT:

SALLINGER, NICHOLS, JACKSON,
KIRK & DILLARD

By: _____

Robert E. Hager
Texas Bar Card 08689500
1800 Lincoln Plaza
Dallas, Texas 75201
Phone: (214) 954-3333

ATTORNEYS FOR PLAINTIFF

HUTCHISON PRICE BOYLE & BROOKS

By: _____

Pete Eckert
Texas Bar Card 06399000
Kent S. Hofmeister
Texas Bar Card 09791700
3900 First City Center
Dallas, Texas 75201-4622
Phone: (214) 754-8600

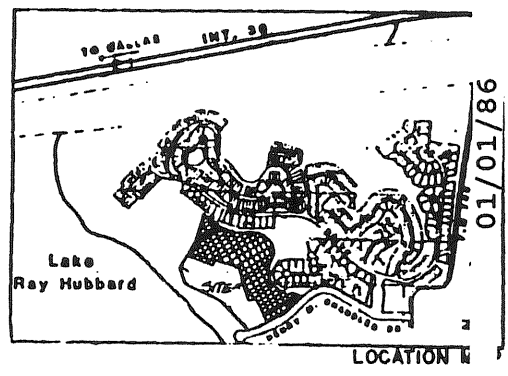
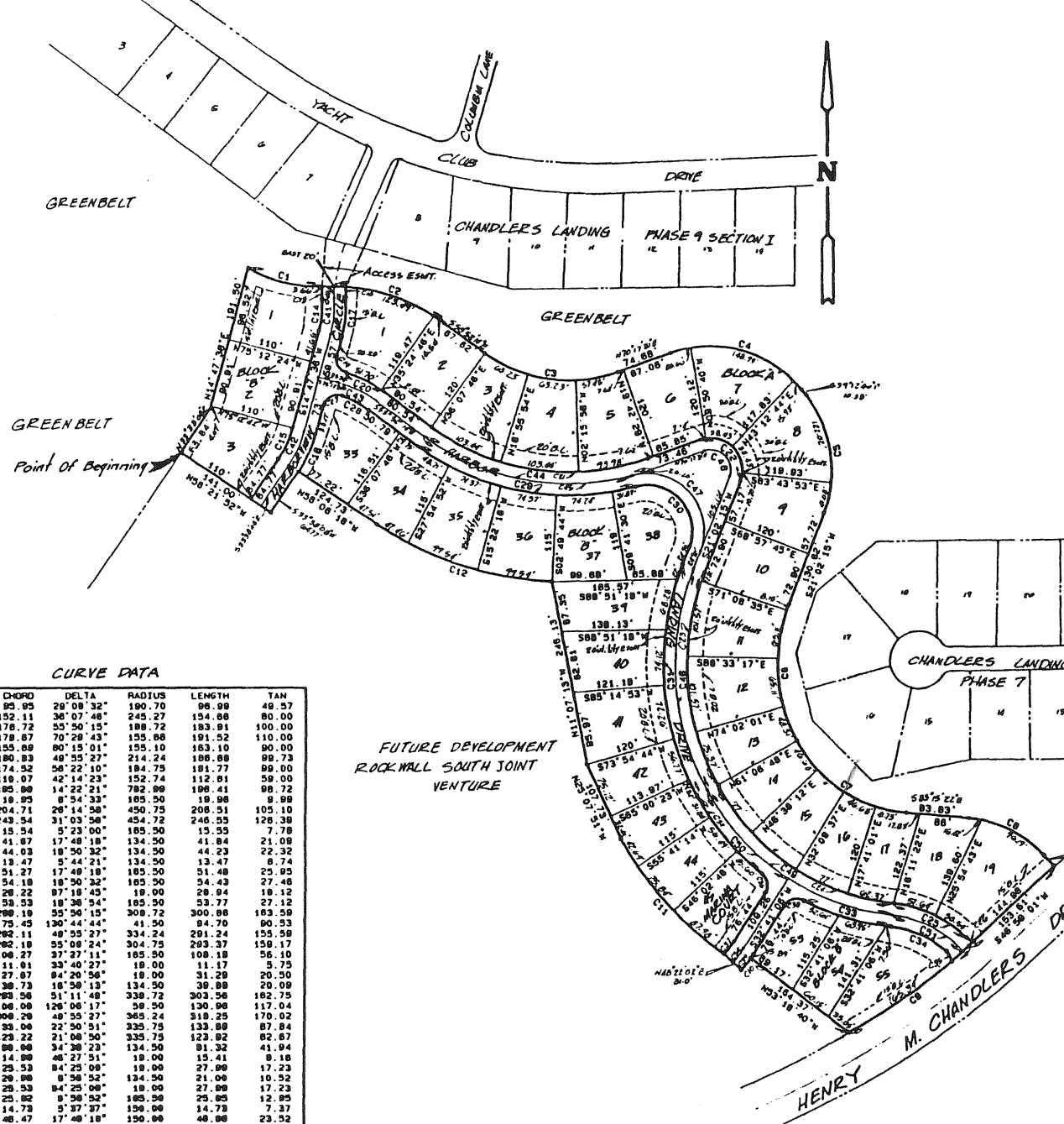
ATTORNEYS FOR DEFENDANT

BIRD & RENEKER

By: _____

D. Ronald Reneker
Texas Bar Card 16770000
D. Grant Seabolt, Jr.
Texas Bar Card 17942500
1100 Premier Place
5910 North Central Expressway
Dallas, Texas 75206
Phone: (214) 373-7070

ATTORNEYS FOR INTERVENORS



86-48

CURVE DATA

NO.	BEARING	CHORD	DELTA	RADIUS	LENGTH	TAN
C1	575° 25' 44" E	85.95	29° 08' 32"	190.70	96.99	49.57
C2	571° 56' 07" E	152.11	36° 07' 46"	245.27	154.86	80.00
C3	581° 47' 21" E	178.72	55° 50' 15"	188.72	183.91	100.00
C4	574° 27' 38" E	178.87	70° 28' 43"	155.86	191.52	110.00
C5	506° 05' 18" E	155.89	60° 15' 01"	155.10	163.10	90.00
C6	503° 55' 20" E	180.83	49° 55' 27"	214.24	186.89	99.73
C7	557° 04' 17" E	174.52	56° 22' 10"	184.75	181.77	99.00
C8	564° 06' 11" E	119.07	42° 14' 23"	152.74	112.81	59.00
C9	854° 10' 11" W	185.86	14° 22' 21"	782.99	196.41	98.72
C10	538° 10' 41" W	10.95	8° 54' 33"	185.50	19.98	8.99
C11	N42° 00' 41" W	204.71	26° 14' 58"	450.75	208.51	105.10
C12	N71° 56' 17" W	243.54	31° 03' 56"	454.72	246.55	126.38
C13	S00° 20' 11" E	15.34	5° 23' 00"	185.50	15.35	7.78
C14	S05° 52' 57" W	41.87	17° 48' 18"	134.50	41.84	21.09
C15	S24° 12' 52" W	44.03	18° 50' 32"	134.50	44.23	22.32
C16	S00° 08' 35" E	13.47	5° 44' 21"	134.50	13.47	8.74
C17	S05° 52' 57" W	51.27	17° 48' 18"	185.50	51.48	25.95
C18	S24° 12' 52" W	54.18	18° 50' 32"	185.50	54.43	27.46
C19	S28° 50' 48" E	28.22	87° 18' 45"	19.00	28.94	18.12
C20	S63° 10' 41" E	53.53	18° 38' 54"	185.50	53.77	27.12
C21	S81° 47' 22" E	289.18	55° 50' 15"	308.72	300.88	183.59
C22	S44° 20' 07" E	75.45	130° 44' 44"	41.50	84.70	90.53
C23	S03° 55' 20" E	282.11	48° 55' 27"	334.24	291.24	155.58
C24	S56° 27' 54" E	282.10	55° 08' 24"	304.75	293.37	159.17
C25	S85° 18' 00" E	106.27	37° 27' 11"	185.50	108.18	56.10
C26	S83° 25' 38" E	11.81	33° 40' 27"	18.00	11.17	5.75
C27	N61° 58' 04" E	27.87	84° 20' 56"	18.00	31.29	20.50
C28	S82° 21' 51" E	38.73	18° 50' 13"	134.50	39.88	20.09
C29	S78° 28' 08" E	283.56	51° 11' 48"	338.72	303.56	162.75
C30	S42° 00' 54" E	106.08	126° 06' 17"	59.50	117.04	117.04
C31	S03° 55' 20" E	308.29	48° 55' 27"	365.24	318.25	170.02
C32	S40° 18' 37" E	133.06	22° 50' 51"	335.75	133.88	87.84
C33	S73° 28' 10" E	123.22	21° 08' 50"	335.75	123.82	82.87
C34	S86° 43' 24" E	88.86	34° 38' 23"	134.50	81.32	41.94
C35	S28° 10' 17" E	14.88	48° 27' 51"	19.00	15.41	8.18
C36	S08° 31' 28" E	25.53	84° 25' 08"	19.00	27.09	17.23
C37	S37° 08' 32" W	28.88	8° 58' 52"	134.50	21.00	10.52
C38	S74° 53' 41" W	25.53	84° 25' 08"	19.00	27.09	17.23
C39	S37° 08' 32" W	25.82	8° 58' 52"	185.50	25.85	12.85
C40	S00° 12' 53" E	14.73	5° 37' 37"	158.00	14.73	7.37
C41	S05° 52' 57" W	48.47	17° 48' 18"	158.00	48.88	23.52
C42	S24° 12' 52" W	48.11	18° 50' 32"	158.00	48.38	24.88
C43	S84° 32' 18" E	55.34	21° 20' 10"	158.00	55.88	28.28
C44	S81° 47' 21" E	308.81	55° 50' 15"	324.22	315.87	171.80
C45	S78° 28' 08" E	280.18	51° 11' 48"	324.22	288.71	155.39
C46	S44° 20' 07" E	47.27	130° 44' 44"	28.00	56.39	58.52
C47	S42° 00' 54" E	129.74	126° 06' 17"	75.00	188.87	147.53
C48	S03° 55' 20" E	288.10	48° 55' 27"	348.74	304.74	182.81
C49	S56° 27' 54" E	288.58	55° 08' 24"	329.25	308.38	187.27
C50	S43° 08' 03" E	157.27	26° 25' 42"	329.25	158.98	81.12
C51	S83° 32' 35" E	88.86	41° 00' 02"	158.00	187.34	96.88
C52	S37° 08' 32" E	88.86	8° 58' 52"	190.00	29.42	11.74

FUTURE DEVELOPMENT
ROCKWALL SOUTH JOINT
VENTURE

HAROLD L. EVANS
CONSULTING ENGINEER
2331 GUS THOMASSON RD. SUITE 102
DALLAS, TEXAS 75228
PHONE (214) 328-8133

HARBOR LANDING PHASE ONE
EDWARD TEAL SURVEY ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXA
ROCKWALL SOUTH JOINT VENTURE
P.O. BOX 1234 GREENVILLE, TX

8648
01/01/86

ALL - PHASE 1
HARBOR LANDING FP

FINAL PLAT

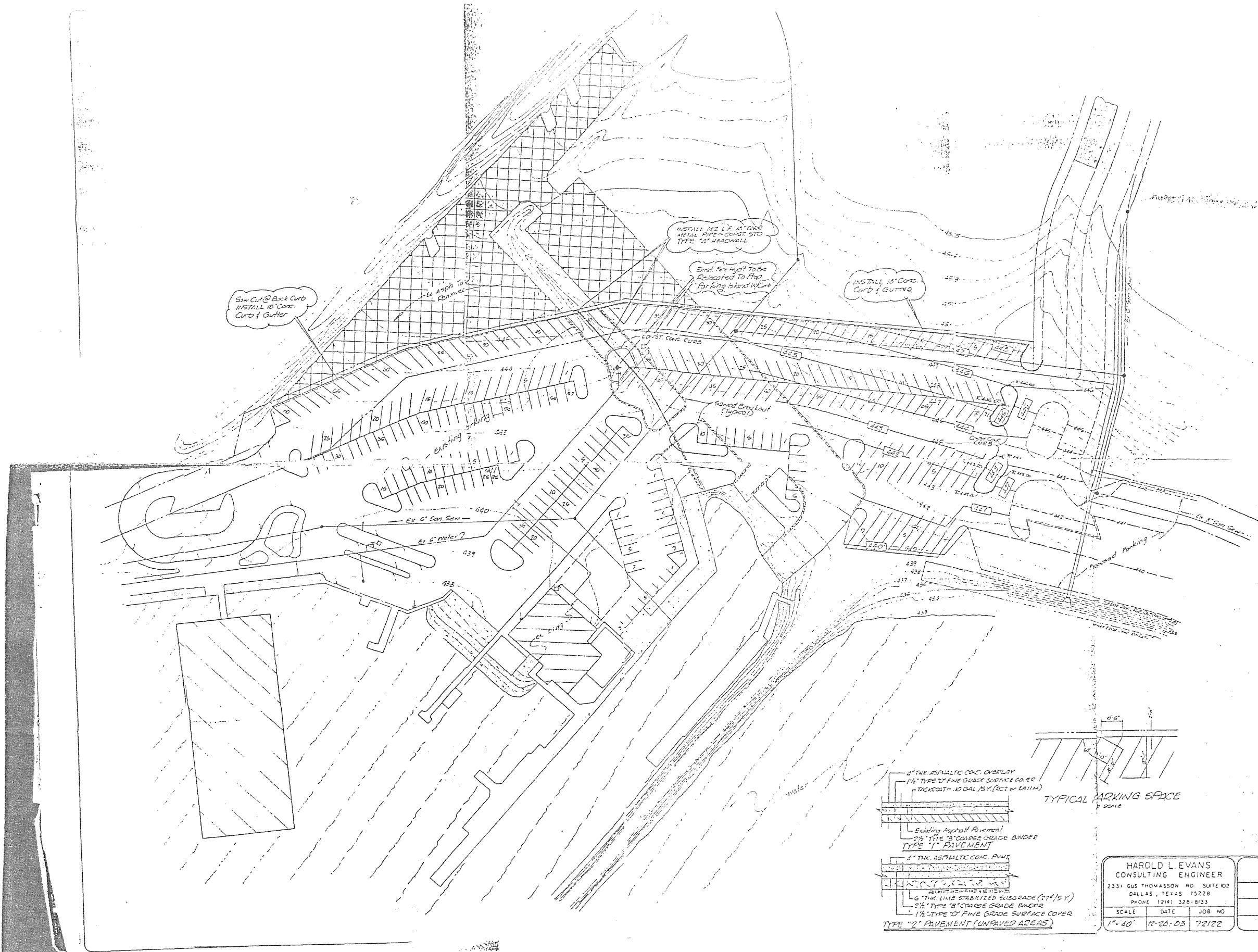
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01/01/86

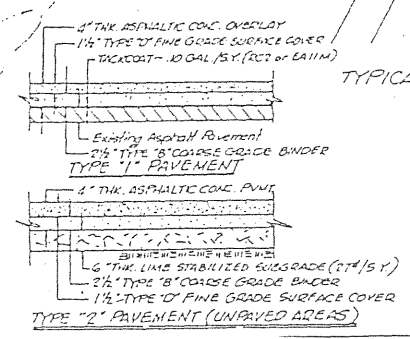
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RESTRICT: PHASE_NO = "MARINA"

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P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8417	8419		MARINA	Z	LAND USE AND SITE PLAN
8810	0		MARINA	Z	REVISED SITE PLAN <i>(added guard house, not included herein)</i>



- GENERAL NOTES:
1. Contractor shall inspect the Existing Parking Areas That Are to Be Overlaid With Asphalt and Determine by His Own Means if There Are Any Deteriorated Areas That Should Be Removed and Replaced Before the Overlaying Operation Begins.
 2. In Areas Where New Asphalt Joins Existing Asphalt, the Existing Pavement Shall Be Saw Cut On Outside Edge and Removed to Provide A Neat Edge to Join New Asphalt Pavement To Old Pavement.

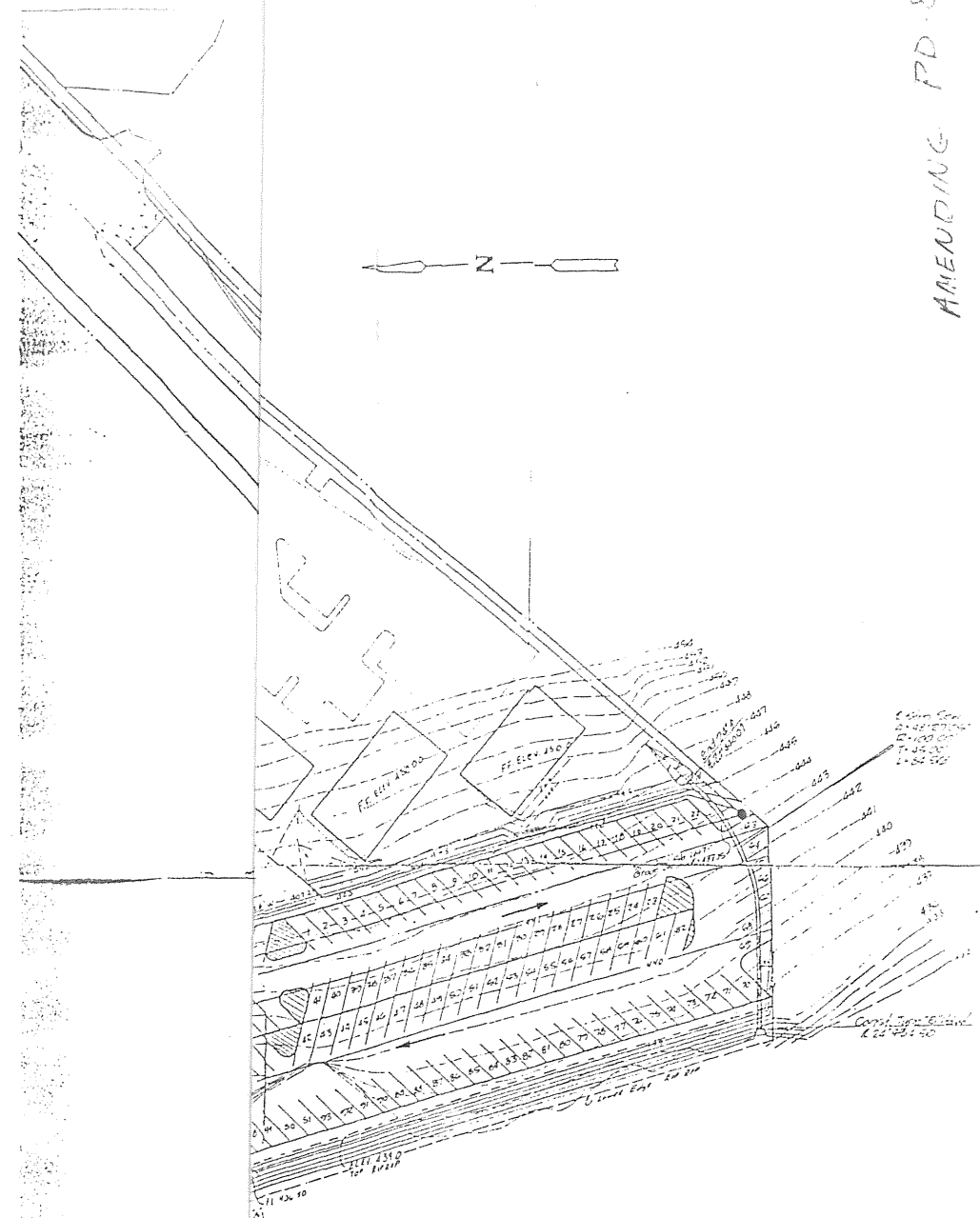
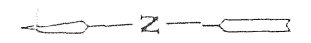


TYPICAL PARKING SPACE
SCALE

HAROLD L. EVANS
CONSULTING ENGINEER
2331 GUS THOMASSON RD. SUITE 402
DALLAS, TEXAS 75228
PHONE (214) 328-8133

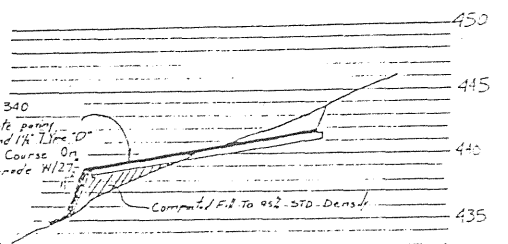
SCALE	DATE	JOB NO
1" = 40'	11-25-03	72122

PARKING LAYOUT
CHANDLERS LANDING
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



832D

Texas HWY Dept Item 340
 1 1/2" min. Asphalt Concrete penny
 W/2 1/2" Type "B" Base and 1 1/2" Type "D"
 Fine graded surface Course On
 6" Lime stabilized subgrade W/2 1/2"
 Per 5% Lime
 6" Min Dimension
 Conc or crushed Falt
 RIP RAP Over Gas-tanks
 GTF-300
 24" Wide Fabric for shore erosion protection



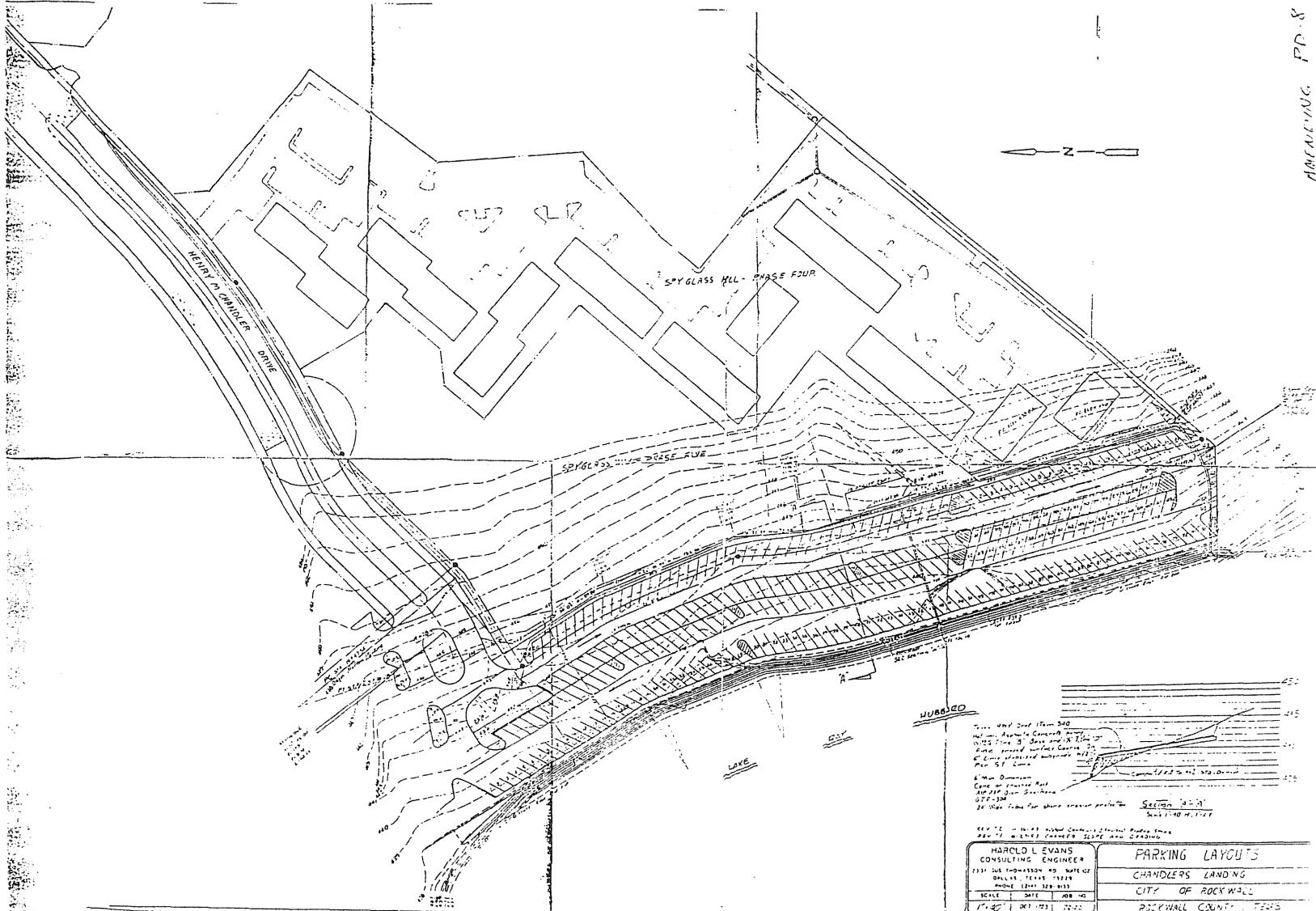
Section "A-A"
 Scale 1" = 40' H, 1" = 1' V

REV #2 11-30-83 Initial Contours Proposed Piping Shape
 REV #1 6-27-83 CHANGED SLOPE AND GRADING

HAROLD L EVANS
 CONSULTING ENGINEER
 2331 JUS THOMASSON RD. SUITE 102
 DALLAS, TEXAS 75228
 PHONE (214) 328-8133

SCALE	DATE	JOB NO.
1" = 40'	OCT 1983	72122

PARKING LAYOUTS
CHANDLERS LANDING
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

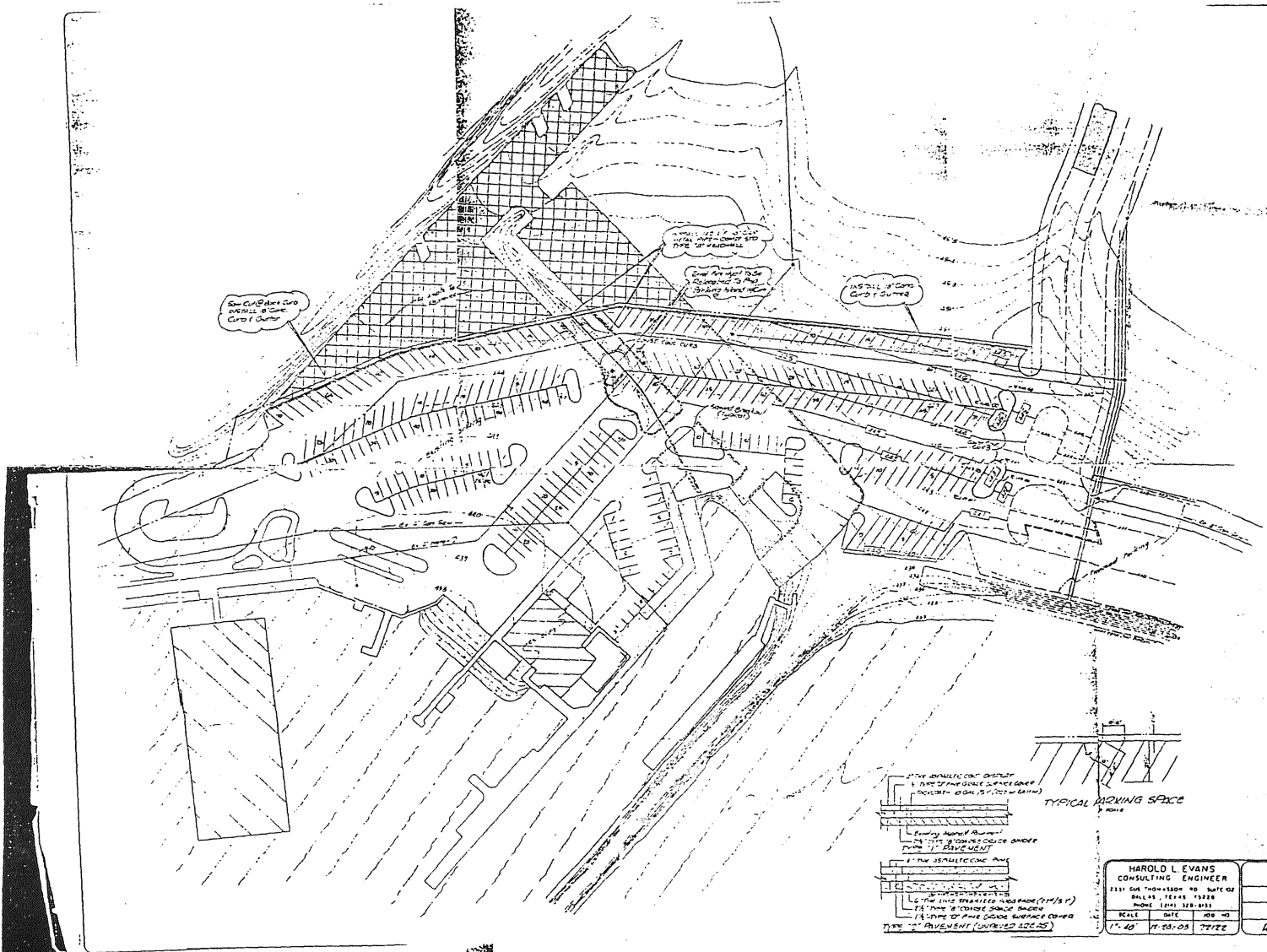


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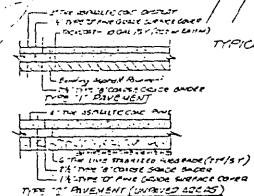
SECTION 20-A
 Scale: 1" = 40 H.F.T.

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HAROLD L EVANS CONSULTING ENGINEER 2331 JUB DRUMMOND RD. SUITE 402 DALLAS, TEXAS 75219 PHONE: (214) 359-1015		PARKING LAYOUTS CHANDLERS LANDINGS CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS
SCALE	DATE	JOB NO.
1" = 40'	01/19/77	77-02



- GENERAL NOTES:**
1. Contractor shall inspect the existing parking areas that are to be disturbed and determine by the own means if there are any other related areas that should be disturbed and determine before the construction operation begins.
 2. In areas where new asphalt is being installed, the existing pavement shall be cut on outside edge and removed to provide a neat edge to the new asphalt to match to old pavement.



HAROLD L EVANS
CONSULTING ENGINEER
2111 GLENN ROAD, SUITE 202
ROCKWALL, TEXAS 75087
PHONE (972) 218-8131

PARKING LAYOUT
CHANDLERS LANDING
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SCALE: DATE: JOB NO:
1" = 40' 11-01-03 77122

ORDINANCE NO. 84-19

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING ORDINANCE NO. 73-48 OF THE CITY OF ROCKWALL AND AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED AND AS RELATES TO PD NO 8 SO AS TO GRANT A CONDITIONAL USE PERMIT FOR A MARINA DRY STORAGE AND PARKING AREA IN PD DISTRICT NO. 8 AND IN AN AGRICULTURAL ZONED DISTRICT ON THE FOLLOWING TRACT: BEING A TRACT OF LAND SITUATED IN THE E. TEAL SURVEY, ABSTRACT NO 207, ROCKWALL COUNTY, TEXAS, AND BEING A PART OF THAT 97.79 ACRE, MORE OR LESS, TRACT KNOWN AS MARINA SITE K, PART OF A TRACT OF LAND CONVEYED TO WHILDEN CONSTRUCTION COMPANY BY DEED RECORDED IN VOLUME 44, PAGE 618, DEED RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID WHILDEN TRACT AND AT THE SOUTHEAST CORNER OF SAID MARINA SITE K; THENCE: WEST, A DISTANCE OF 98.17 FEET ALONG THE SOUTH LINE OF SAID MARINA SITE K TO A POINT FOR A CORNER; THENCE: TRAVERSING SAID MARINA SITE K AS FOLLOWS: NORTH 14° 35' 26" WEST A DISTANCE OF 416.96 FEET TO A POINT FOR A CORNER; NORTH 1° 33' 59" WEST A DISTANCE OF 63.76 FEET TO A POINT FOR A CORNER; NORTH 20° 51' 59" WEST A DISTANCE OF 123.65 FEET TO A POINT FOR A CORNER; NORTH 31° 30' 08" WEST A DISTANCE OF 252.98 FEET TO A POINT FOR A CORNER; NORTH 38° 21' 05" WEST A DISTANCE OF 70.00 FEET TO A POINT FOR A CORNER; NORTH 77° 39' 39" EAST A DISTANCE OF 65.30 FEET TO A POINT FOR A CORNER; AND NORTH 3° 08' 55" EAST, PASSING AT 205.73 FEET THE EAST LINE OF SAID MARINA SITE K AND THE WEST LINE OF SAID WHILDEN TRACT AND CONTINUING A TOTAL DISTANCE OF 251.00 FEET TO A POINT FOR A CORNER; THENCE: TRAVERSING SAID WHILDEN TRACT AS FOLLOWS: SOUTH 38° 21' 05" EAST A DISTANCE OF 325.00 FEET TO A POINT FOR A CORNER; AND SOUTH 54° 29' 10" WEST A DISTANCE OF 30.17 FEET TO A POINT FOR A CORNER ON THE WEST LINE OF SAID WHILDEN TRACT AND THE EAST LINE OF SAID MARINA SITE K; THENCE: ALONG SAID LINE AS FOLLOWS: SOUTH 38° 21' 05" EAST A DISTANCE OF 80.46 FEET TO A POINT FOR A CORNER; AND SOUTH 58° 29' 50" WEST A DISTANCE OF 90.00 FEET TO A POINT FOR A CORNER; THENCE: TRAVERSING SAID WHILDEN TRACT AS FOLLOWS: SOUTH 31° 30' 08" EAST A DISTANCE OF 109.80 FEET TO A POINT FOR A CORNER; SOUTH 20° 51' 59" EAST A DISTANCE OF 156.54 FEET TO A POINT FOR A CORNER; SOUTH 1° 33' 59" EAST A DISTANCE OF 70.75 FEET TO A POINT FOR A CORNER; AND SOUTH 14° 35' 26" EAST A DISTANCE OF 407.29 FEET TO A POINT FOR A CORNER ON THE SOUTH LINE OF SAID WHILDEN TRACT; THENCE: SOUTH 41° 32' 55" WEST A DISTANCE OF 36.13 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.5488 ACRES OF LAND; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000.00) FOR EACH OFFENSE; AND DECLARING AN EMERGENCY.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Ordinance No. 73-48 of the City of Rockwall and the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City
Rockwall, Texas:

SECTION 1. That Ordinance no. 73-48 of the City of Rockwall is hereby amended to add the allowed use of marina dry storage and parking lot as shown on Exhibit "A" attached hereto and made a part hereof.

SECTION 2. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to grant a Conditional Use Permit for marina dry storage and parking lot on the following described property:

BEING a tract of land situated in the E. Teal Survey, Abstract No. 207, Rockwall County, Texas, and being a part of that 97.79 acre, more or less, tract known as Marina Site K, as on file with the City of Dallas Department of Parks and Recreation, and also being a part of a tract of land conveyed to Whilden Construction Company by deed recorded in Volume 44, Page 618, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the most Southerly corner of said Whilden tract and at the Southeast corner of said Marina Site K;

THENCE; West, a distance of 98.17 feet along the South line of said Marina Site K to a point for a corner;

THENCE: Traversing said Marina Site K as follows: North $14^{\circ} 35' 26''$ West a distance of 416.96 feet to a point for a corner; North $1^{\circ} 33' 59''$ West a distance of 63.76 feet to a point for a corner; North $20^{\circ} 51' 59''$ West a distance of 123.65 feet to a point for a corner; North $31^{\circ} 30' 08''$ West a distance of 252.98 feet to a point for a corner; North $38^{\circ} 21' 05''$ West a distance of 70.00 feet to a point for a corner; North $77^{\circ} 39' 39''$ East a distance of 65.30 feet to a point for a corner; and North $3^{\circ} 08' 55''$ East, passing at 205.73 feet the East line of said Marina Site K and the West line of said Whilden Tract and continuing a total distance of 251.00 feet to a point for a corner;

THENCE: Traversing said Whilden tract as follows: South $38^{\circ} 21' 05''$ East a distance of 325.00 feet to a point for a corner; and south $54^{\circ} 29' 10''$ West a distance of 30.17 feet to a point for a corner on the West line of said Whilden tract and the East line of said Marina Site K;

THENCE: Along said line as follows: South $38^{\circ} 21' 05''$ East a distance of 80.46 feet to a point for a corner; and South $58^{\circ} 29' 50''$ West a distance of 90.00 feet to a point for a corner;

THENCE: Traversing said Whilden tract as follows: South $31^{\circ} 30' 08''$ East a distance of 109.80 feet to a point for a corner; South $20^{\circ} 51' 59''$ East a distance of 156.54 feet to a point for a corner; South $1^{\circ} 33' 59''$ East a distance of 70.75 feet to a point for a corner; and South $14^{\circ} 35' 26''$ East a distance of 407.29 feet to a point for a corner on the South line of said Whilden tract;

THENCE: South $41^{\circ} 32' 55''$ West a distance of 36.13 feet to the Point of BEginning and Containing 3.5488 Acres of Land,

as shown on Exhibit "A".

SECTION 3. That the paved area shown on Exhibit "A" must have landscaped screening from the adjacent property in Windward Slope.

SECTION 4. That the paved area must have screening from the area the east generally known as Spyglass Hill when such area shall develop.

SECTION 5. That the expansion shall follow the design included as Exhibit "A".

SECTION 6. That there shall be no time limit on the Conditional Use Permit.

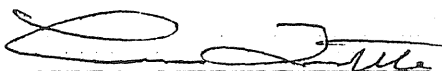
SECTION 7. That the above described tract of land shall be used only in the manner and for the purpose provided for by the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as may be amended in the future.

SECTION 8. Any person, firm, corporation or firm violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended hereby, and as may be amended in the future, and upon conviction shall be punished by a penalty of not to exceed the sum of \$1,000.00 for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 9. WHEREAS, it appears that the above described property requires classification so as to grant a Conditional Use Permit for marina dry storage and parking lot in order to permit its proper development and in order to protect the public interest and general welfare of the City of Rockwall, such requirement creates an urgency and an emergency in the preservation of the public welfare and requires that this ordinance take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

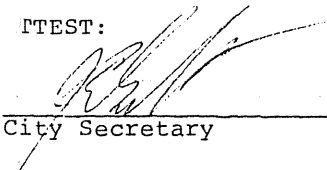
DULY PASSED by the City Council of the City of Rockwall, Texas, on the 2nd day of April, 1984.

APPROVED:



Mayor

TEST:



City Secretary

CITY OF ROCKWALL

ORDINANCE NO. 02-50

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND AMENDING ORDINANCE NO. 84-19, AS PREVIOUSLY AMENDED, AS IT RELATES TO PLANNED DEVELOPMENT DISTRICT NO. 8, SO AS TO GRANT A CONDITIONAL USE PERMIT FOR A MARINA DRY STORAGE AND PARKING AREA IN PLANNED DEVELOPMENT DISTRICT NO. 8 AND IN AN "A", AGRICULTURAL ZONED DISTRICT ON THE PROPERTY BEING MORE FULLY DESCRIBED IN EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners, generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Ordinance No. 84-19 and the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That Ordinance No. 84-19 of the City of Rockwall is hereby amended to allow the use of marina dry storage and parking lot as shown on Exhibit "B" attached hereto and made a part thereof.

Section 2. That the tract of land described as Exhibit "A" shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this approval shall affect only the property described in the attached Exhibit "A" and said property shall be limited to the uses, density, area, setback and other requirements set forth herein.

Section 3. That development in the area within Exhibit "A" shall be limited to uses and requirements listed in Ordinance No. 73-48 and Ordinance 84-19 and the Conditional Use Permit shall be subject to the following additional conditions:

1. That the property be subject to site plan review and all other development requirements of the City of Rockwall prior to any future development.
2. That marina dry storage and boat sales shall be limited to the paved area south of Henry M. Chandler Drive as indicated on Exhibit "B".
3. That parking of vehicles and parking of boats awaiting repair shall be limited to the paved area north of Henry M. Chandler Drive in the locations specified on Exhibit "B".
4. The storage of "RV", Recreational Vehicles, shall be limited to the marina dry storage area as indicated on Exhibit "B".
5. Parking of "RV", Recreational Vehicles, shall be limited to a maximum of seventy two (72) hours per vehicle for any period of time extending more than one day (24 hours) and shall be limited to the paved parking area north of Henry M. Chandler Drive as indicated on Exhibit "B".

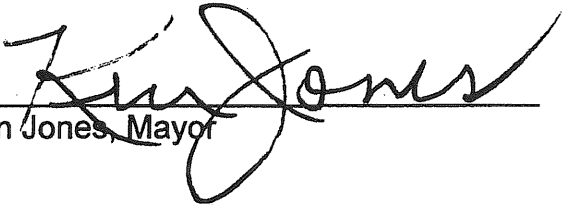
Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.


Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF
ROCKWALL, TEXAS, this 4th day of November, 2002.



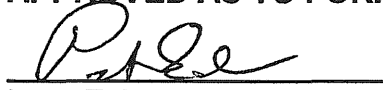
Ken Jones, Mayor

ATTEST:

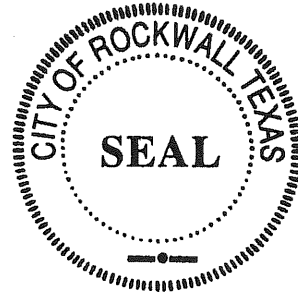


Dorothy Brooks, City Secretary

APPROVED AS TO FORM:



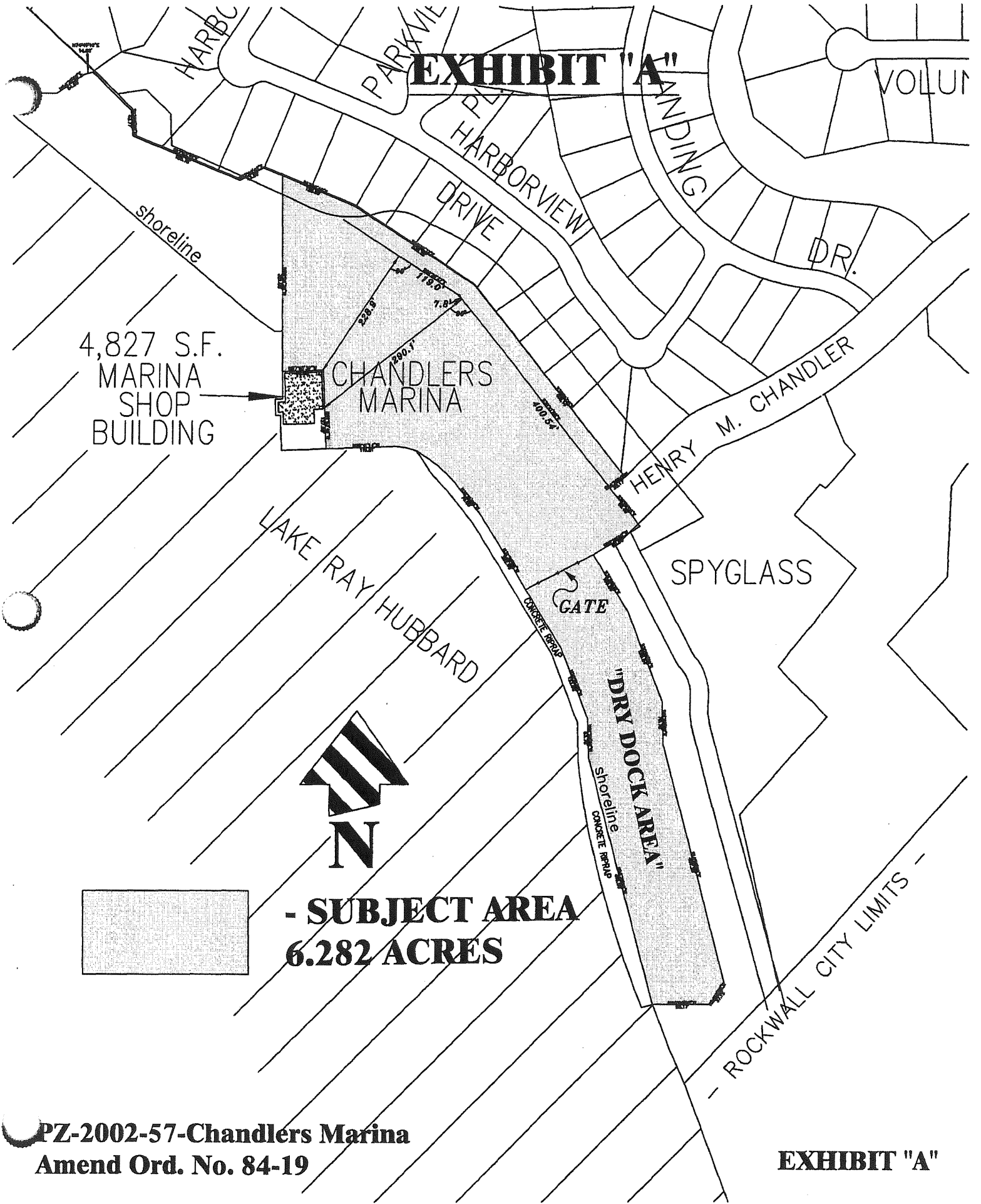
Pete Eckert, City Attorney



1st Reading: October 21, 2002

2nd Reading: November 4, 2002

EXHIBIT "A"



4,827 S.F.
MARINA
SHOP
BUILDING

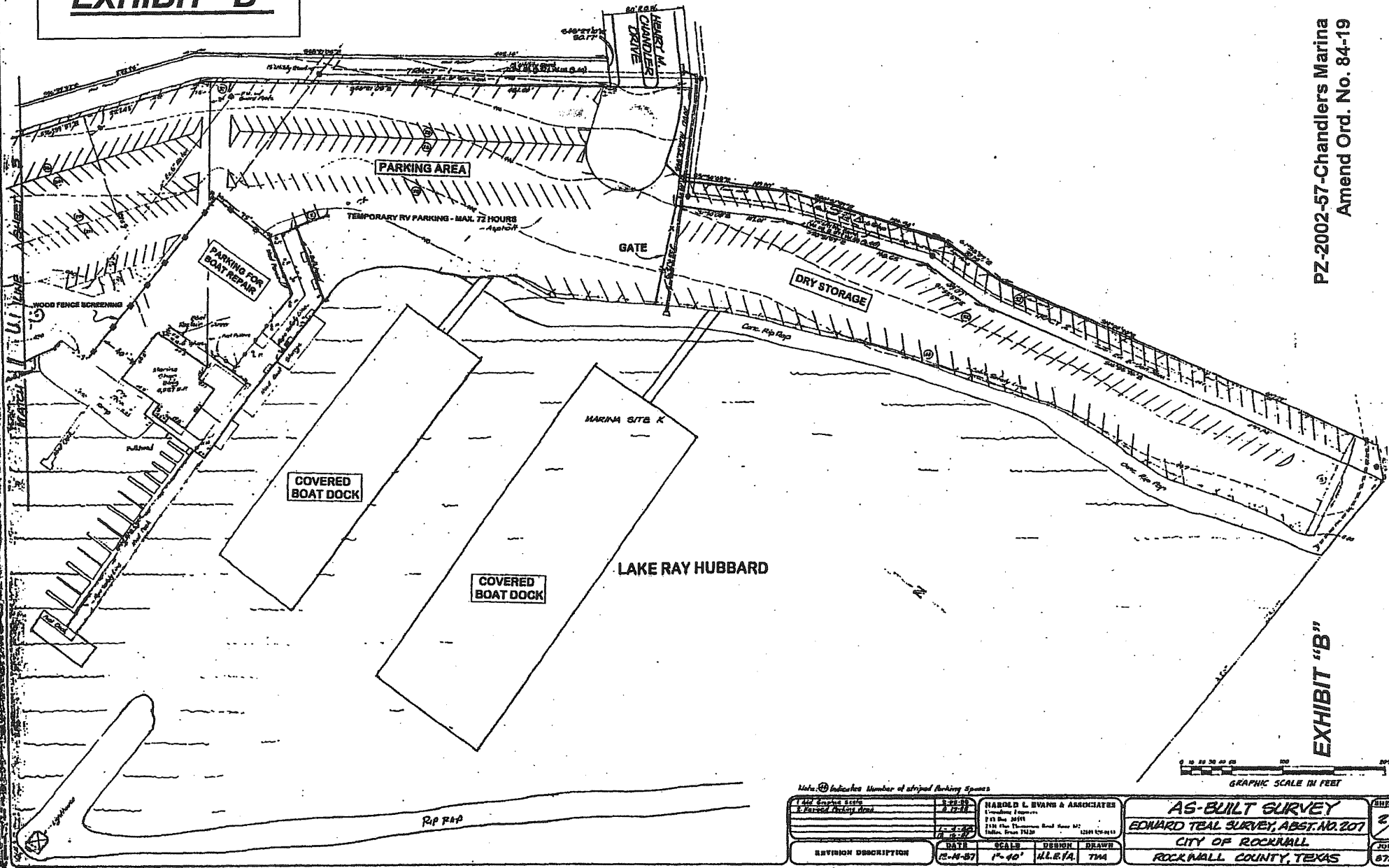
CHANDLERS
MARINA

"DRY DOCK AREA"

- SUBJECT AREA
6.282 ACRES

EXHIBIT "A"

EXHIBIT "B"



PZ-2002-57-Chandlers Marina
Amend Ord. No. 84-19

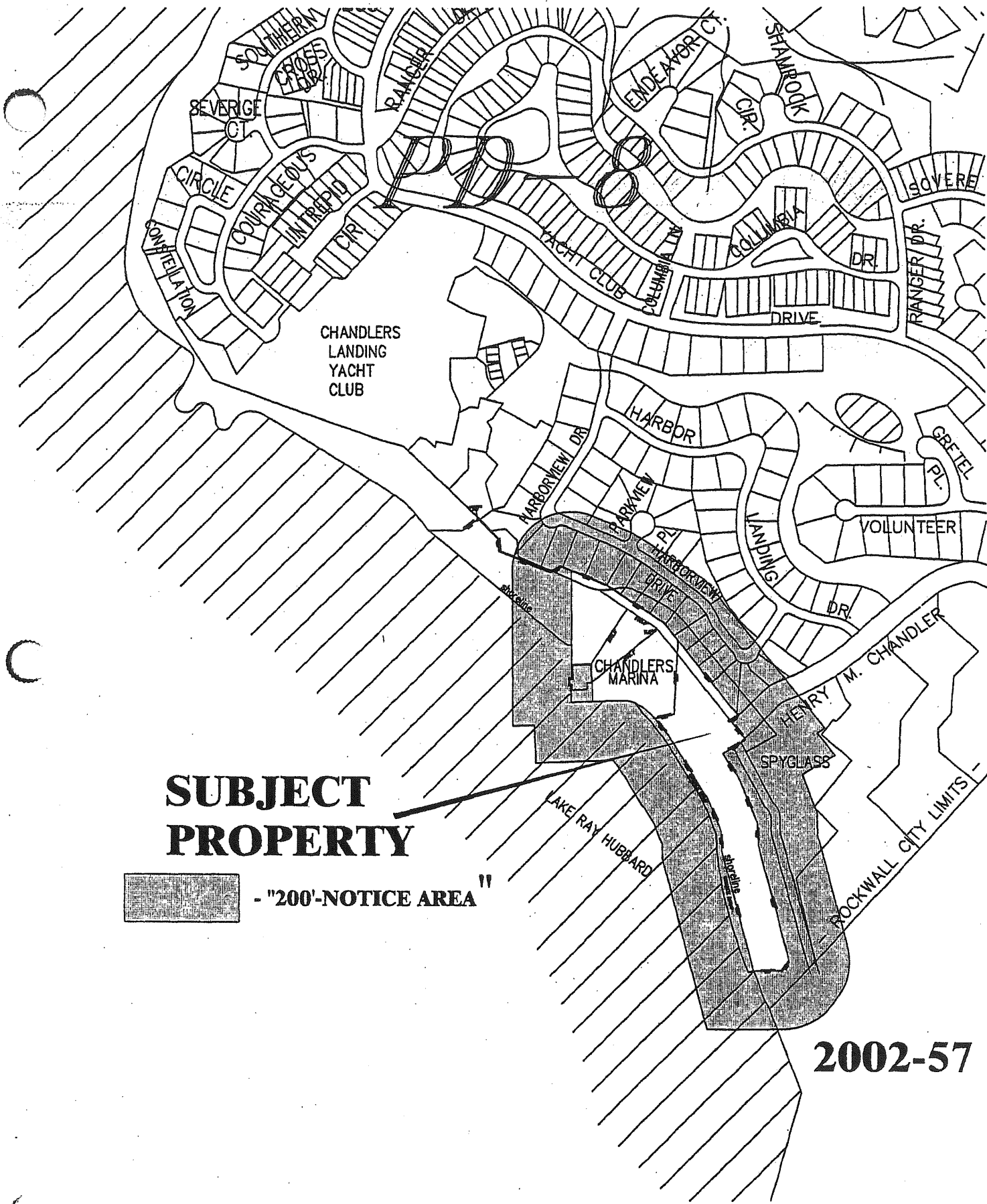
EXHIBIT "B"

Notes: (1) Indicates Number of striped parking spaces

NO. ENGINE SPACES	3,218	HAROLD L. EVANS & ASSOCIATES Professional Engineers 210 Elm Street Dallas, Texas 75201 1289120-9113	AS-BUILT SURVEY EDWARD TEAL SURVEY, ABST. NO. 207 CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS	SHEET 2 TOTAL 67				
NO. PARKED TRUCK SPACES	1,734							
DATE	2-21-07	SCALE	1"=40'	DESIGN	M.L.B./A.	DRAWN	T.M.A.	
DIVISION DESCRIPTION								

GRAPHIC SCALE IN FEET

2002-57



**SUBJECT
PROPERTY**



- "200'-NOTICE AREA "

2002-57

VIEW: Pdfile
RESTRICT: PHASE_NO = "MARINA VILLAGE"

SORT: PHASE_NO

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
9208		9239	MARINA VILLAGE	Z	AR ZLL ALL
9208		0	MARINA VILLAGE	PP	ALL

ORDINANCE NO. 92-39

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NO. 84-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN LAND USE DESIGNATION FROM MULTIFAMILY TO ZERO LOT LINE AND AMEND THE PRELIMINARY PLAN FOR A PORTION OF PD-8, CHANDLERS LANDING, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR AREA REQUIREMENTS; PROVIDING FOR A DEVELOPMENT PLAN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request for a change in land use designation under PD-8 from multifamily to zero lot line residential was submitted by Wayne Whitman on a 6.8 acre tract of land; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance 84-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinance No. 84-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-8" Planned Development District No. 8, Chandlers Landing on the property described on Exhibit "A", attached hereto and made a part hereof.

Section 2. That Planned Development District No. 8, Chandlers Landing shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 8, Chandlers Landing to the above described tract of land is subject to the following special conditions:

- A. All development of property covered by Planned Development District No. 8, Chandlers Landing shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments in accordance with the provisions of the Comprehensive Zoning Ordinance.
- B. The property described on Exhibit "A", attached hereto, shall be used for Zero Lot Line residential development and shall be regulated by the following area requirements. All area requirements not specifically listed herein shall comply with the requirements set forth in the corresponding standard zoning classification for said use.

Area Requirements

1.	Minimum Lot Area	5,000 sq.ft.(except as shown on the attached development plan, Exhibit "B")
2.	Maximum No. of Units per Lot -	1
3.	Minimum Sq. Footage per Unit -	1,700 sq. ft.
4.	Minimum Lot Frontage -	50 ft.
5.	Minimum Lot Depth -	90 ft. (except as shown on the attached development plan, Exhibit "B")
6.	Minimum Front Setback -	25 ft.
7.	Minimum Rear Setback -	20 ft. on Lots 16-28 10 ft on all other lots
8.	Minimum Side Setback - Zero Side Maint Easement Side - Abutting Street - Abutting Arterial -	0 ft. 10 ft. 15 ft. 20 ft.
9.	Maintenance Easement -	5 ft.
10.	Distance between buildings on the same lot -	10 ft.

- | | | |
|-----|--|------------------|
| 11. | Maximum Building Coverage - | 50% |
| 12. | Maximum Building Height - | 30 ft. |
| 13. | Minimum No. of Offstreet
Parking Spaces - | 2 + 2 car garage |

C. All development of this tract shall be in accordance with and regulated by the approved development plan as shown on Exhibit "B", attached hereto and made a part hereof.

D. The maximum height of structures, as calculated under the Comprehensive Zoning Ordinance, which may be constructed on lots 16-27, as shown on the approved development plan attached as Exhibit "B", shall not exceed the following elevations:

- Structures on Lots 24-27 shall not exceed an elevation of 508
- Structures on Lot 23 shall not exceed an elevation of 504
- Structures on Lot 22 shall not exceed an elevation of 498
- Structures on Lots 20-21 shall not exceed an elevation of 494
- Structures on Lots 16-18 shall not exceed an elevation of 485

E. No driveways shall be permitted on to Henry M. Chandler Drive.

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 19th day of October, 1992.

APPROVED:



Mayor

ATTEST:

By: Hilda Crangle

1st reading October 5, 1992

2nd reading October 19, 1992

BEING a tract of land situated in the E. TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas, and being a part of that 285.2916 acre tract as conveyed to Clarke-Frates Corporation, as recorded in Volume 102, Page 895, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point on the South line of Henry M. Chandler Drive, said point being the Northwest corner of Spyglass Hill Condominiums, Phase Three, an addition to the City of Rockwall, as recorded in Slide B, page 175, Map Records, Rockwall County, Texas, a 1/2" iron stake set for corner;

THENCE: Along the Westerly lines of said Spyglass Hill Condominiums, the following;

South 03 deg. 27' 05" East a distance of 39.65 feet to a 1/2" iron stake set for corner;

South 48 deg. 27' 05" East a distance of 160.16 feet to a 1/2" iron stake set for corner;

South 37 deg. 16' 05" West a distance of 180.50 feet to a 1/2" iron stake set for corner;

South 03 deg. 27' 05" East a distance of 142.73 feet to a 1/2" iron stake set for corner;

South 48 deg. 23' 55" West a distance of 95.59 feet to a 1/2" iron stake set for corner;

South 41 deg. 23' 55" West a distance of 56.00 feet to a 1/2" iron stake set for corner;

South 48 deg. 27' 05" East a distance of 203.00 feet to a 1/2" iron stake set for a corner;

THENCE: South 41 deg. 32' 55" West, along the Northerly line of Windward Slope Addition, and addition to the City of Heath, Rockwall County, Texas, a distance of 480.10 feet to a 1/2" iron stake found for corner;

THENCE: North 14 deg. 35' 26" West, a distance of 407.29 feet to a 1/2" iron stake set for corner;

THENCE; North 1 deg. 33' 59" West a distance of 70.75 feet to a 1/2" iron stake set for corner;

THENCE, North 20 deg. 51' 59" West a distance of 156.54 feet to a 1/2" iron stake set for corner;

THENCE, North 31 deg. 30' 08" West a distance of 109.80 feet to a 1/2" iron stake found for corner;

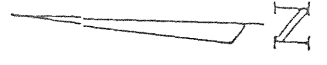
THENCE, along the Southerly line of Henry M. Chandler Drive, the following; North 58 deg. 29' 50" East a distance of 90.00 feet to a 1/2" iron stake set for corner;

North 45 deg. 29' 10" East a distance of 54.37 feet to the beginning of a curve to the right having a central angle of 18 deg. 36' 41", and a radius of 471.19 feet, a 1/2" iron stake set for corner;

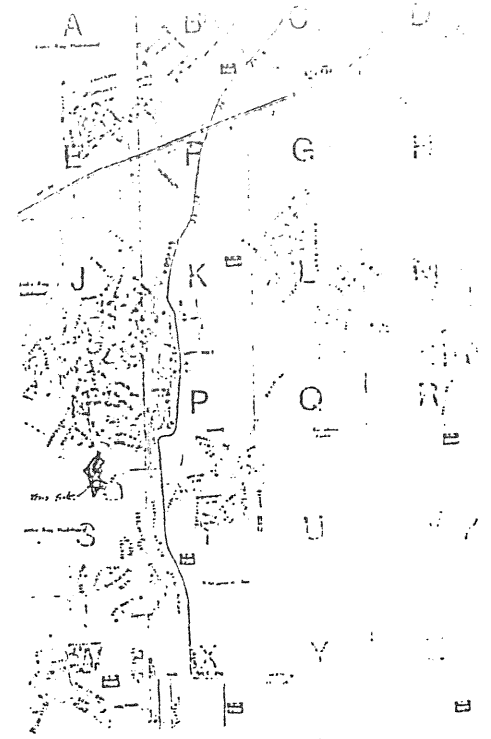
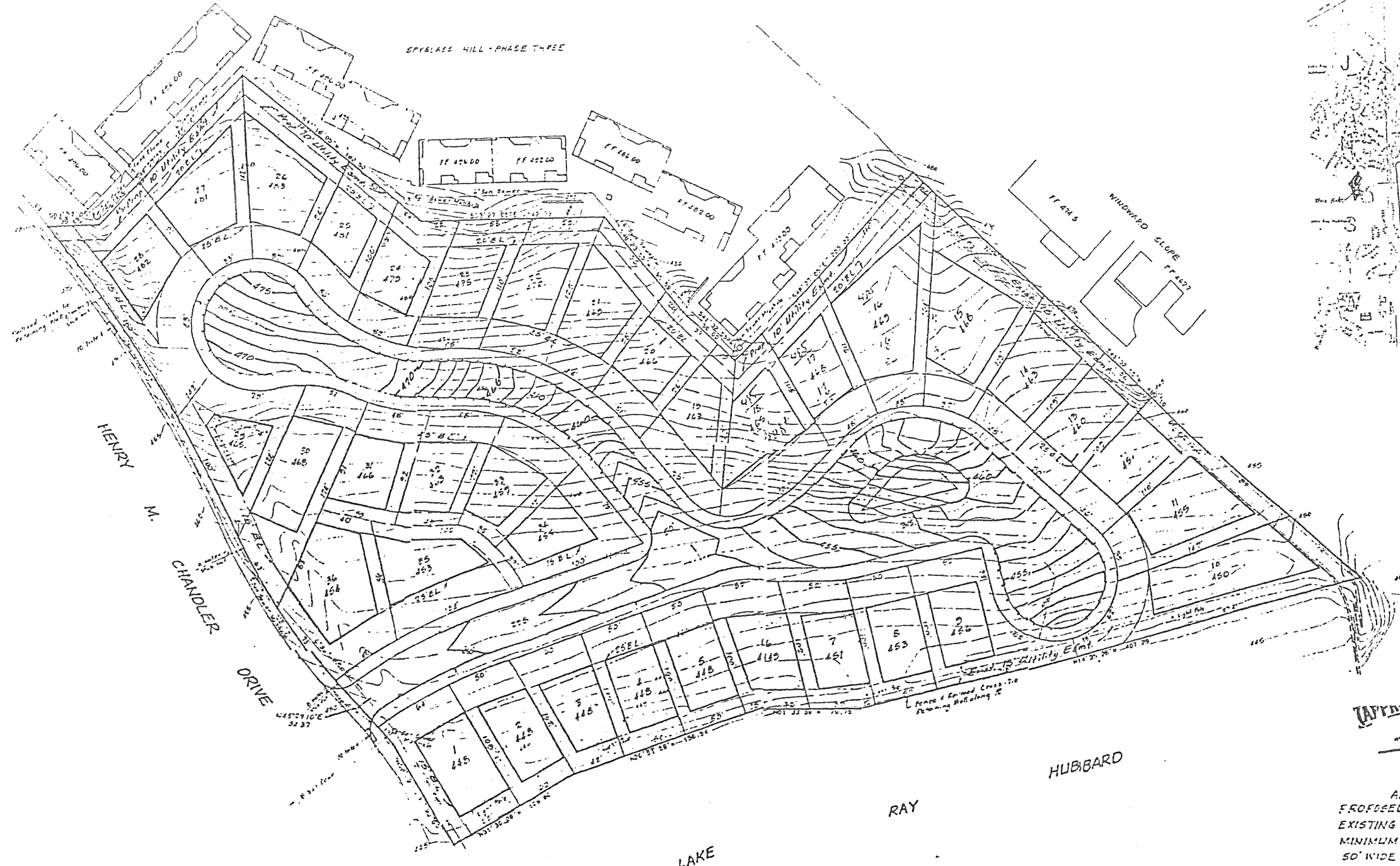
Around said curve, a distance of 153.06 feet to the beginning of a curve to the left having a central angle of 15 deg. 20' and a radius of 1040.00 feet, a 1/2" iron stake set for corner;

Around said curve a distance of 278.32 feet to the PLACE OF BEGINNING and containing 6.88 acres of land. This description is based on the Land Title Survey and Plat made by Kenneth E. Brown, Registered Professional Land Surveyor on February 25, 1992.

EXHIBIT "A"



SPYGLASS HILL - PHASE THREE



LOCATION MAP
Scale: 1" = 200'

SITE PLAN
(APPROVED)
(SUBMISSION)

AREA = 6.888 Acres
PROPOSED 36' 0" LOT LINE GARDEN HOM.
EXISTING ZONING = MULTI-FAMILY
MINIMUM LOT SIZE = 5,000 SQ. FT.
50' WIDE MIN. AT FRONT BUILDING LINE

Lot No.	Area (Sq. Ft.)	Area (Acres)
1	10,000	0.23
2	10,000	0.23
3	10,000	0.23
4	10,000	0.23
5	10,000	0.23
6	10,000	0.23
7	10,000	0.23
8	10,000	0.23
9	10,000	0.23
10	10,000	0.23
11	10,000	0.23
12	10,000	0.23
13	10,000	0.23
14	10,000	0.23
15	10,000	0.23
16	10,000	0.23
17	10,000	0.23
18	10,000	0.23
19	10,000	0.23
20	10,000	0.23
21	10,000	0.23
22	10,000	0.23
23	10,000	0.23
24	10,000	0.23
25	10,000	0.23
26	10,000	0.23
27	10,000	0.23
28	10,000	0.23
29	10,000	0.23
30	10,000	0.23
31	10,000	0.23
32	10,000	0.23
33	10,000	0.23
34	10,000	0.23
35	10,000	0.23
36	10,000	0.23

LEGEND

- 50--- Existing Contour
- 60--- Proposed Contour
- 668 Proposed Pad Elevation (+/- 2 Feet)

HAROLD L EVANS
CONSULTING ENGINEER
233. GUS THOMASSON RD. SUITE 102
DALLAS, TEXAS 75228
PHONE (214) 328-8133

MARINA VILLAGE
PRELIMINARY SITE & GRADING
EDWARD TEAL SURVEY, ABSTRACT NO. 207
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SCALE	DATE	JOB NO.
1" = 40'	8-10-92	0260

Rev 8-10-92, Rev 10-1-92

Exhibit "B"

CITY OF ROCKWALL

ORDINANCE NO. 21-38

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND THE PLANNED DEVELOPMENT CONCEPT PLAN AND DEVELOPMENT STANDARDS APPROVED WITH ORDINANCE NO. 92-39, BEING A 6.88-ACRE TRACT OF LAND IDENTIFIED AS LOT 4, BLOCK A, SPYGLASS HILL #4 ADDITION AND TRACT 134-12 OF THE E. TEAL SURVEY ABSTRACT NO 207, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Troy Lewis of Newstream Capital Partners for an amendment to the *Planned Development Concept Plan* and *Development Standards* contained within Planned Development District 8 (PD-8) [Ordinance No. 92-39], for a 6.88-acre tract of land identified as Lot 4, Block A, Spyglass Hill #4 Addition and Tract 134-12 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 8 (PD-8) [Ordinance No. 92-39] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 92-39*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Preliminary Plat
 - (2) PD Site Plan
 - (3) Final Plat
- (c) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall include a *Treescape Plan* for the area being platted.
- (d) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.
- (e) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

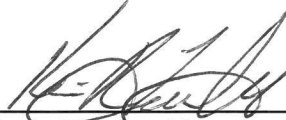
SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF AUGUST, 2021.




Kevin Fowler, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: August 2, 2021

2nd Reading: August 16, 2021



Exhibit 'A':
Legal Description

BEING a tract of land situated in the E. *TEAL SURVEY, ABSTRACT NO. 207*, City of Rockwall, Rockwall County, Texas, and being a part of that 285.2916-acre tract as conveyed to Clarke-Frates Corporation, as recorded in Volume 102, Page 895, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a point on the South line of Henry M. Chandler Drive, said point being the Northwest corner of Spyglass Hill Condominiums, Phase Three, an addition to the City of Rockwall, as recorded in Slide B, page 175, Map Records, Rockwall County, Texas, a ½" iron stake set for corner;

THENCE Along the Westerly lines of said Spyglass Hill Condominiums, the following:

South 03 deg. 27' 05" East a distance of 39.65 feet to a ½" iron stake set for corner;
South 48 deg. 27' 05" East a distance of 160.16 feet to a ½" iron stake set for corner;
South 37 deg. 16' 05" West a distance of 180.50 feet to a ½" iron stake set for corner;
South 03 deg. 27' 05" East a distance of 142.73 feet to a ½" iron stake set for corner;
South 48 deg. 23' 55" West a distance of 95.59 feet to a ½" iron stake set for corner;
South 41 deg. 23' 55" West a distance of 56.00 feet to a ½" iron stake set for corner;
South 48 deg. 27' 05" East a distance of 203.00 feet to a ½" iron stake set for a corner;

THENCE South 41 deg. 32' 55" West, along the Northerly line of Windward Slope Addition, and addition to the city of Heath, Rockwall County, Texas, a distance of 480.10 feet to a ½" iron stake found for corner;

THENCE North 14 deg. 35' 26" West, a distance of 407.29 feet to a ½" iron stake set for corner;

THENCE North 1 deg. 33' 59" West a distance of 70.75 feet to a ½" iron stake set for corner;

THENCE North 20 deg. 51' 59" West a distance of 156.54 feet to a ½" iron stake set for corner;

THENCE North 31 deg. 30' 08" West a distance of 109.80 feet to a ½" iron stake found for corner;

THENCE along the Southerly line of Henry M. Chandler Drive, the following:

North 58 deg. 29' 50" East a distance of 90.00 feet to a ½" iron stake set for corner;
North 45 deg. 29' 10" East a distance of 54.37 feet to the beginning of a curve to the right having a central angle of 18 deg. 36' 41", and a radius of 471.19 feet, a ½" iron stake set for corner;
Around said curve, a distance of 153.06 feet to the beginning of a curve to the left having a central angle of 15 deg. 20' and a radius of 1,040.00 feet, a ½" iron stake set for corner;

Around said curve a distance of 278.32 feet to the *PLACE OF BEGINNING* and containing 6.88 acres of land. This description is based on the Land Title Survey and Plat made by Kenneth E. Brown, Registered Professional Land Surveyor on February 25, 1992.

Exhibit 'B': Survey

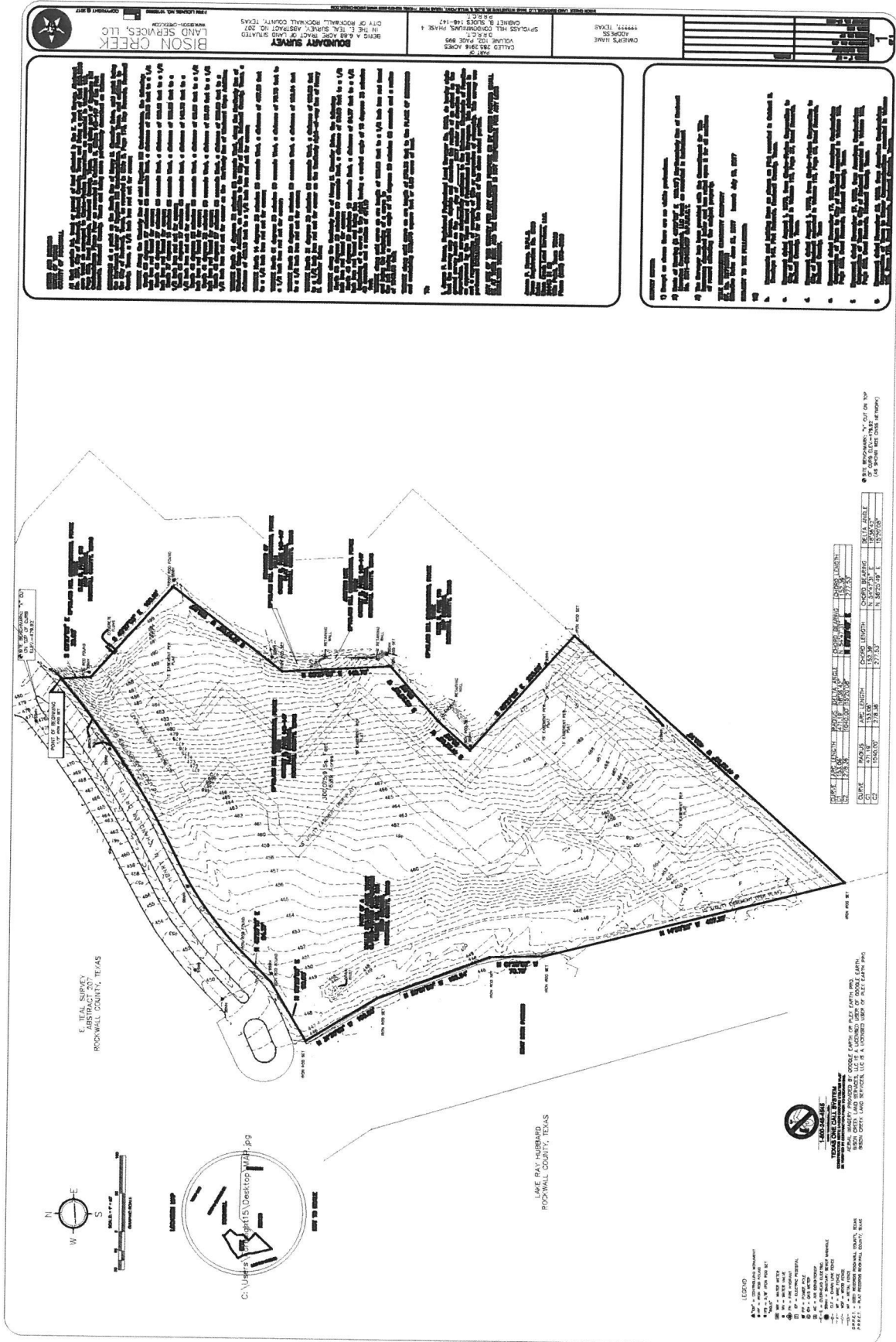
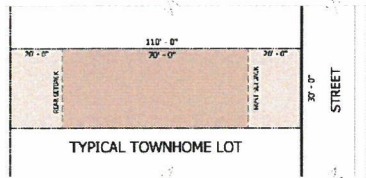


Exhibit 'C': Concept Plan



Data Summary

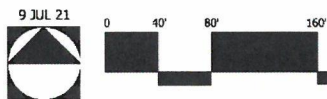
	Townhome Lots (30' x 100')	36 Lots	2.77 ac.
	Open Space	37.8%	2.60 ac.
	R.O.W.		1.51 ac.
	TOTAL	36 Lots	6.88 ac.

Applicant:
NEWSTREAM CAPITAL PARTNERS, LLC
 311 South Oak St. #250
 Rowlett, Texas 75082
 617-464-8153

Planner:

SAGE GROUP, INC.
 Master Planning
 Urban Design
 Architecture
 Landscape Architecture
 1180 N. Coit Ave., Ste. 200
 Rowlett, Texas 75080
 417-404-2828

TAN HATCH INDICATES GARAGE IS AT GRADE ON THE UPPER FLOOR
 BLUE HATCH INDICATES GARAGE IS AT GRADE ON THE LOWER FLOOR
 VISITOR PARKING - 23 SPOTS



Marina Village - Rockwall

Rockwall, Rockwall County, Texas

Exhibit 'D':
Density and Development Standards

PD Development Standards.

(1) Permitted Uses. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Two Family (2F) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on the *Subject Property*; however, the following additional land uses shall be permitted *by-right*:

- Townhomes/Townhouses

(2) Density and Dimensional Standards. Unless specifically provided by this Planned Development ordinance, any development on the *Subject Property* shall be subject to the density and dimensional requirements required for a Two Family (2F) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, the maximum permissible density for the *Subject Property* shall be 5.23 dwelling units per gross acre of land; however, in no case should the proposed development exceed 36-units. All development on the *Subject Property* shall conform to the standards stipulated by *Table 2: Lot Dimensional Requirements* below, and generally conform to the lot layout depicted in *Exhibit 'B'* of this ordinance.

Table 2: Lot Dimensional Requirements

Minimum Lot Width	30'
Minimum Lot Depth	110'
Minimum Lot Area	3,000 SF
Minimum Front Yard Setback ⁽¹⁾	20'
Minimum Side Yard Setback ⁽²⁾	0'/10'
Minimum Side Yard Setback (Adjacent to a Street)	15'
Minimum Length of Driveway Pavement from Front Property Line	25'
Maximum Height ⁽³⁾	30'
Minimum Rear Yard Setback	20'
Minimum Area/Dwelling Unit (SF) [Sum of All Floor Area's]	1,900 SF
Maximum Lot Coverage	90%

General Notes:

- ¹: Porches, stoops, bay windows, balconies, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to five (5) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks* where appropriate for such use and shall not encroach into the private right-of-way.
- ²: The side yard setback on the attached side maybe zero (0) if directly abutting a structure on an adjacent lot.
- ³: The Maximum Height shall be measured to the midpoint of the roof of the single-family home, and in no case should any home exceed an elevation of 500-feet above sea level.

(3) Garage Orientation. Garages shall be permitted to be forward facing (*i.e. facing onto the private street in a flat front entry configuration*) with a minimum driveway length of 25-feet.

(4) Building Standards. The building elevations shall differ in appearance through the use of varying entry features, use of detail and trim, use of materials, articulation and setback, and shall conform to the following requirements:

- (i) Masonry Requirements. The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall

Exhibit 'D':
Density and Development Standards

be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*) and, stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff) may be used for up to 50% of the exterior of the building and shall be limited to the anti-monotony restrictions as outlined in this ordinance.

- (ii) *Roof Design Requirements*. All buildings shall be designed such that no roof mounted mechanical equipment (i.e. *HVAC, satellite, vents, etc.*) shall be visible from any direction.

Note: Screening of mechanical equipment is necessary for all equipment regardless of location (i.e. *roof mounted, ground mounted, or otherwise attached to the building and/or located on the site*).

- (iii) *Architectural Requirements*. All units shall be architecturally finished on all sides of the building with the same materials, detailing and features.

- (5) *Anti-Monotony Restrictions*. All development shall adhere to the following anti-monotony restrictions:

- (i) Identical brick blends, paint colors and, cementaceous products (i.e. *Hardy Plank lap siding, etc.*) may not occur on adjacent (i.e. *side-by-side*) properties within the development without at least two (2) intervening townhomes of differing materials on the same side of the adjacent townhome beginning with the adjacent property.

- (ii) Front building elevations shall not repeat along any block face without at least two (2) intervening homes of differing appearance on the same block face within the development.

- (iii) The rear elevation of homes shall not repeat without at least two (2) (i.e. *side-by-side*) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- a) Front Encroachment (i.e. *Porch and/or Sunroom*) Type and Layout
- b) Roof Type and Layout
- c) Articulation of the Front Façade
- d) Differing Primary Exterior Materials

- (6) *Landscaping Standards*.

- (i) *Landscape Requirements*. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.

- (ii) *Landscape Buffers*. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Henry M. Chandler Drive, and shall incorporate a minimum of one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.

- (iii) *Irrigation Requirements*. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect.

Exhibit 'D':

Density and Development Standards

- (7) Trash Dumpster Enclosure. If proposed trash dumpster enclosures shall be four (4) sided, with eight (8) foot walls constructed and clad with materials matching the primary structures of the townhomes, and have a self-latching opaque gate. All trash dumpster enclosures shall be internal to the site and not be situated within any established building setbacks or landscape buffers.
- (8) Fence Standards. All fences shall be required to be wrought iron or a tubular steel fence. Wrought iron/tubular steel fences shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height.
- (9) Open Space. A minimum of 20% open space shall be provided which generally conforms to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall be responsible for maintaining all open space areas.
- (10) Private Right-of-Way. The proposed private right-of-way shall incorporate a minimum of a 29-foot *back-to-back* concrete street built to the City's standards.
- (11) Homeowner's Association (HOA). A Homeowner's Association shall be created or the subject property shall be incorporated into the existing Chandler's Landing Homeowner's Association to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks, open space and common areas, irrigation, landscaping, screening fences and the private roadways, drive aisles and drive approaches for the subject property associated with this development.
- (12) Variances. The variance procedures and standards for approval that are set forth in the UDC shall apply to any application for variances to this ordinance

VIEW: Pdffile
RESTRICT: PHASE_NO = "SCENIC ESTATES"

SORT: PHASE_NO

P&Z	CASE NO	ORDINANCE	PHASE NAME	ACTION	DESCRIPTION
8811	8817		SCENIC ESTATES	Z	LAND USE AND CONDITIONS

ORDINANCE NO. 88-17

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED AND AS IT RELATES TO PD-8, SO AS TO GRANT A CHANGE IN ZONING FROM "A" AGRICULTURAL TO "PD-8" PLANNED DEVELOPMENT ON A TRACT OF LAND DESCRIBED HEREIN; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR ORDERLY DEVELOPMENT OF "PD-8"; PROVIDING FOR LAND USE WITHIN PLANNED DEVELOPMENT NO. 8; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING A REPEALER CLAUSE; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in the classification of a zoning district has been requested by Chandlers Landing Development Corporation for the property described as Lot 2, Scenic Estates; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to give PD-8 District Classification to the tract of land described as Lot 2, Scenic Estates.

Section 2. That the property described as Lot 2, Scenic Estates shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, providing that granting of "PD-8" classification to the above described tract is subject to the following conditions:

- A. The tract of land described as Lot 2, Scenic Estates shall only be used for the following uses:
 - 1. Swimming amenities for PD-8 property owners

2. Community meeting center for small social and meeting functions of community members of PD-8
 3. Play area and large toy for children in PD-8
 4. Administrative offices for overall project management of PD-8; the facility is not to be used as sales offices
- B. All development of this tract shall be in accordance with and regulated by the approved site plan attached as Exhibit "A" and the following requirements:
1. A security fence of not less than six feet in height will be constructed around the sides and rear of the lot and will be of a material stronger than a cedar fence
 2. Men and women's restrooms will be constructed outside the house in the pool area
- or
- direct entry will be provided from the outside to indoor restroom facilities
3. Additional parking will be built in the rear of the house to provide space for a minimum of five (5) vehicles
 4. Additional screening/landscaping will be provided in the island area of the front parking lot including closing access to Ridge Road and constructing a berm along the property frontage on FM-740
 5. Drive access will be provided from Independence Place to the parking area adjacent to Ridge Road

Section 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance shall remain in full force and effect.

Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 2nd day of May, 1988.

APPROVED:

John S. Miller
Mayor

ATTEST:

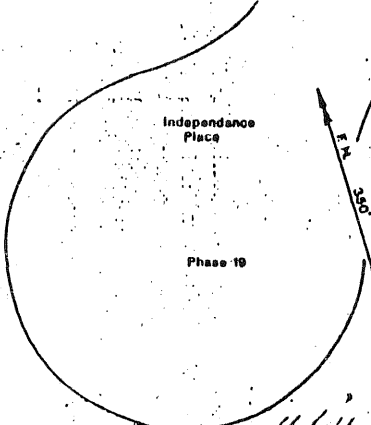
By: *[Signature]*

1st reading 4/18/88

2nd reading 5/2/88



NTS.



Independence Place

Phase 10

330'

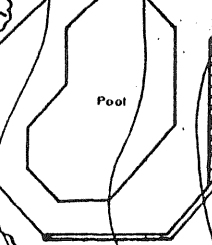
Photinia (Screening)
Approx. 2 1/2 Ft. Centers (Typ)

Existing Entrance Sign

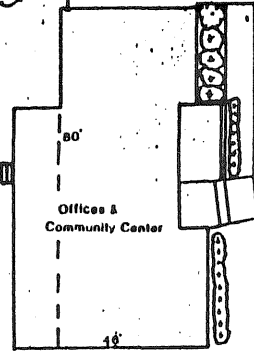
R/W



Play Area



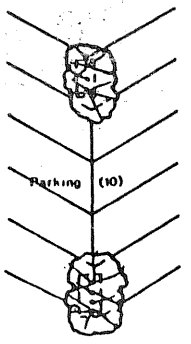
Pool



Offices & Community Center

80'

16'



Parking (10)

FM 740



R/W

Photinia

Photinia

Existing Exit Sign

Phase 10

CHANDLERS LANDING COMMUNITY CENTER

Area-Front of Bldg.	16,800 SF ±
Green Area-Front	3,800 SF ±
Area Behind Bldg.	30,000 SF ±
Comm. Center Rooms	910
Parking Spaces-Req'd.	10



CITY OF ROCKWALL

ORDINANCE NO. 05-30

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL AND ORDINANCE NO. 88-17, AS HERETOFORE AMENDED, SO AS TO AMEND (PD-8) PLANNED DEVELOPMENT DISTRICT NO. 8 TO ALLOW FOR SINGLE-FAMILY RESIDENTIAL USES ON A 1.21-ACRE TRACT KNOWN AS LOT 2, SCENIC ESTATES AND MORE FULLY DESCRIBED HEREIN AS EXHIBIT "A"; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kama Roux of the Chandlers Landing Community Association for an amendment to (PD-8), Planned Development District No. 8 to allow for Single-Family Residential uses on a 1.21-acre tract known as Lot 2, Scenic Estates and more fully described herein as Exhibit "A"; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code of the City of Rockwall and Ordinance No. 88-17, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to amend (PD-8), Planned Development District No. 8 to allow for Single-Family Residential uses on a 1.21-acre tract known as Lot 2, Scenic Estates and more fully described herein as Exhibit "A"; and

Section 2. That the property described herein shall be used only in the manner and for the purposes provided for in **Article V, Section 3.6, Single Family Residential (SF-7) District** of the Unified Development Code of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future and subject to the following additional conditions:

1. No Access shall be permitted from Ridge Road (FM 740).

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. Any person, firm, or corporation violating any of the provisions of this ordinance

shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

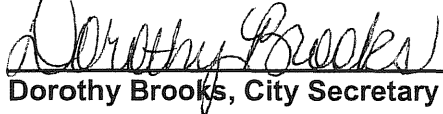
Section 6. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 5th day of July, 2005.


William R. Cecil, Mayor

ATTEST:

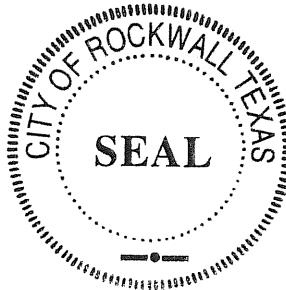

Dorothy Brooks, City Secretary

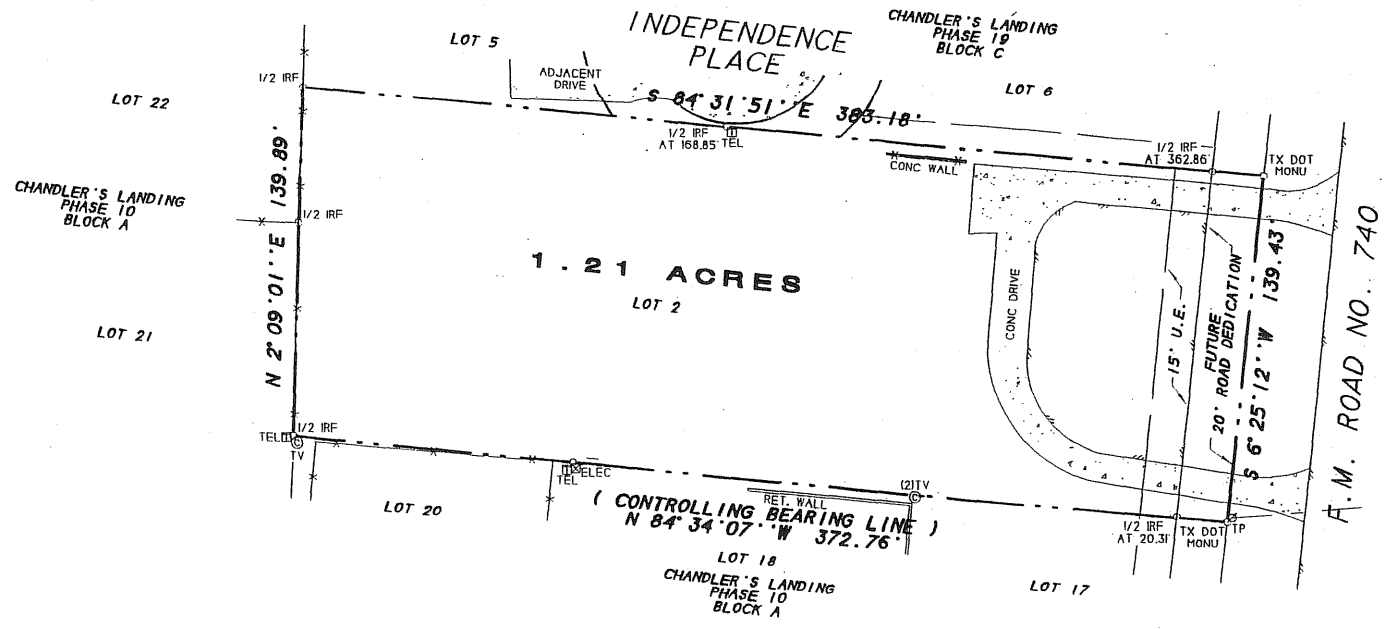
APPROVED AS TO FORM:


Pete Eckert, City Attorney

1st Reading: 06-20-05

2nd Reading: 07-05-05





RECEIVED
MAY 20 2005
By _____

DESCRIPTION

All that certain lot, tract or parcel of land situated in Rockwall County, Texas, and being out of the E. Teal Survey, and being all of Lot (2) of the Scenic Estate Subdivision, according to the Map thereof, recorded in Cabinet A, Slide 42, Map Records of Rockwall County, Texas.

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CHANDLER'S LANDING COMMUNITY ASSOCIATION at F.M. ROAD NO. 740, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 2nd day of May, 2005.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEY ACCEPTED BY:

DATE _____

DATE _____

[Signature]
Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND

TV	GAS	TEL	PH	FP
TELEPHONE	PIPE	PHONE	PIPE	FOUR
CABLE POST	METER	ROSER	HYDRANT	POLE
ELEC	TU ELEC	WATER	1/2" IRF	
ELECTRIC	BOX	METER	RIGHT ROD FOUND	
JUNCTION BOX		LF	1 CORNER	
FENCE		APL. EQD.	LIGHT	PROPANE
		UNIT	POLE	TANK
			PROPERTY	LINE

R.S.C.I.
ROCKWALL SURVEYING CO., INC. LAND SURVEYING

SURVEY DATE MAY 2, 2005
SCALE 1" = 50' FILE # 20050733
CLIENT C.L.C.A. GF # NONE

1984 S. FM 551 ROYSE CITY, TX 75189 972-772-5434 PHONE 972-772-5443 FAX

EXHIBIT "A"

FILE COP

2005 023

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CONSOLIDATE THE REGULATING ORDINANCES OF THE PLANNED DEVELOPMENT DISTRICT, BEING A 230.80-ACRE TRACT OF LAND SITUATED WITHIN THE E. TEAL SURVEY, ABSTRACT NO. 207, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has initiated an amendment to the Planned Development District 8 (PD-8) for the purpose of consolidating the regulating ordinances [*Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38* and *Resolution No.'s 87-19 & 87-20*].

WHEREAS, Planned Development District 8 (PD-8) is a 293.80-acre tract of land situated within the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and which is more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 8 (PD-8) [*Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38* and *Resolution No.'s 87-19 & 87-20*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No.'s 73-48, 84-04, 84-16, 84-19, 85-43, 86-04, 86-64, 86-87, 87-45, 88-17, 88-51, 90-38, 91-43, 92-39, 92-41, 92-43, 02-50, 05-30, 14-15, & 21-38* and *Resolution No.'s 87-19 & 87-20*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. Prior to the issuance of any building permit in Planned Development District 8 (PD-8), a final development plan prepared in accordance with the requirements of the Unified Development Code (UDC) [*Ordinance No. 20-02*] shall be filed with the City Council of the City of Rockwall and shall be approved by said governing body after review and recommendation from the Planning and Zoning Commission and filed as a part of this ordinance. Such required development plan shall set forth the requirements for ingress and egress to the property, public or private streets or drive, with adequate right-of-way to conform to the Master Thoroughfare Plan contain in the OURHometown Vision 2040 Comprehensive Plan of the City of Rockwall, sidewalks, utilities, drainage, parking, open space, all area requirements and maximum lot coverage, screening walls or fences, amenities, greenbelt areas, and all other development and protective requirements considered necessary by the City Council to create a reasonable transition to and protection of the adjacent property. Such approval by the City Council of the detailed final development plan shall be considered as an amendment to this ordinance and shall be applicable to the property involved.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF AUGUST, 2023.**

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 17, 2023

2nd Reading: August 7, 2023

Exhibit 'A':
Legal Description

BEING 293.80 acres of land situated in the Abstract 207, E. Teal Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the North Right of Way of Henry M. Chandler Dr. at the City of Rockwall Geodetic Control Monument #5. (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,589,936.483, N 7,007,500.489 Feet) bearing South 37° 22' 04" East, a distance of 488.384 feet to the POINT OF BEGINNING;

BEGINNING at a Southeastern corner of Abstract 207, E. Teal Survey, Tract 134-02, also known as Henry M. Chandler Park, (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,590,225.307, N 7,007,160.123 Feet);

- 1 THENCE North 88°-18'-11" West along the Southern City of Rockwall Limits line, a distance of 582.443 feet to a point;
- 2 THENCE North 89°-48'-59" West continuing along said City Limits line, a distance of 355.507 feet to a point;
- 3 THENCE South 43°-0'-23" West, a distance of 919.737 feet to a point;
- 4 THENCE South 67°-4'-25" West, a distance of 35.098 feet for a corner;
- 5 THENCE North 14°-30'-14" West along the City of Dallas Lake Ray Hubbard Takeline, a distance of 583.017 feet to a point;
- 6 THENCE North 29°-2'-31" West continuing along said Takeline, a distance of 137.581 feet for a corner;
- 7 THENCE North 56°-8'-41" East, a distance of 128.545 feet for a corner;
- 8 THENCE North 30°-32'-7" West, a distance of 69.156 feet to a point;
- 9 THENCE North 37°-8'-45" West, a distance of 390.351 feet to a point;
- 10 THENCE North 52°-36'-21" West, a distance of 145.287 feet to a point;
- 11 THENCE North 58°-32'-34" West, a distance of 118.386 feet to a point;
- 12 THENCE North 69°-16'-12" West, a distance of 73.067 feet to a point;
- 13 THENCE South 74°-15'-59" West, a distance of 77.354 feet to a point;
- 14 THENCE North 65°-43'-7" West, a distance of 256.437 feet to a point;
- 15 THENCE North 51°-11'-9" West, a distance of 281.288 feet to a point;
- 16 THENCE North 51°-53'-10" West, a distance of 279.71 feet to a point;
- 17 THENCE North 62°-32'-22" West, a distance of 447.671 feet to a point;
- 18 THENCE North 17°-20'-59" West, a distance of 37.541 feet to a point;
- 19 THENCE North 26°-11'-34" West, a distance of 17.364 feet to a point;
- 20 THENCE North 23°-38'-49" West, a distance of 92.977 feet to a point;
- 21 THENCE North 29°-3'-32" West, a distance of 15.446 feet to a point;
- 22 THENCE North 75°-11'-11" West, a distance of 79.16 feet to a point;
- 23 THENCE North 40°-51'-30" West, a distance of 103.986 feet to a point;
- 24 THENCE South 48°-53'-36" West, a distance of 22.644 feet to a point;
- 25 THENCE North 24°-19'-40" West, a distance of 248.667 feet to a point;
- 26 THENCE North 26°-7'-15" West, a distance of 28.5 feet to a point;
- 27 THENCE North 17°-59'-7" East, a distance of 281.413 feet to a point;
- 28 THENCE North 57°-36'-17" East, a distance of 106.753 feet to a point;
- 29 THENCE North 3°-51'-8" West, a distance of 137.544 feet to a point;
- 30 THENCE North 44°-49'-51" East, a distance of 136.993 feet to a point;
- 31 THENCE North 15°-21'-46" East, a distance of 138.342 feet to a point;
- 32 THENCE North 39°-56'-11" East, a distance of 15.252 feet to a point;
- 33 THENCE North 57°-56'-35" East, a distance of 236.839 feet to a point;
- 34 THENCE North 28°-19'-43" East, a distance of 98.253 feet to a point;
- 35 THENCE North 29°-9'-48" East, a distance of 92.112 feet to a point;
- 36 THENCE North 36°-59'-49" East, a distance of 15.953 feet to a point;
- 37 THENCE North 40°-49'-32" East, a distance of 64.585 feet to a point;
- 38 THENCE North 39°-57'-21" East, a distance of 79.555 feet to a point;
- 39 THENCE North 40°-17'-52" East, a distance of 102.428 feet to a point;
- 40 THENCE North 39°-59'-46" East, a distance of 45.353 feet to a point;

Exhibit 'A':
Legal Description

41 *THENCE* North 41°-24'-4" East, a distance of 55.609 feet to a point;
42 *THENCE* North 39°-1'-18" East, a distance of 102.883 feet to a point;
43 *THENCE* North 39°-56'-1" East, a distance of 51.761 feet to a point;
44 *THENCE* North 36°-1'-35" East, a distance of 21.146 feet to a point;
45 *THENCE* North 40°-3'-54" East, a distance of 55.794 feet to a point;
46 *THENCE* North 70°-51'-23" East, a distance of 25.361 feet to a point;
47 *THENCE* North 74°-3'-0" East, a distance of 53.495 feet to a point;
48 *THENCE* North 71°-19'-43" East, a distance of 59.736 feet to a point;
49 *THENCE* North 57°-6'-5" West, a distance of 85.273 feet for a corner;
50 *THENCE* North 57°-21'-4" West, a distance of 153.393 feet for a corner;
51 *THENCE* North 46°-48'-21" East, a distance of 115.66 feet for a corner;
52 *THENCE* South 58°-8'-28" East along the boundary of the Signal Ridge Place Addition, a distance of 390.89 feet to a point;
53 *THENCE* South 56°-59'-48" East continuing along said Signal Ridge Place boundary, a distance of 351.404 feet for a corner;
54 *THENCE* North 45°-48'-4" East, a distance of 112.664 feet to a point;
55 *THENCE* North 44°-19'-51" East, a distance of 247.254 feet to a point;
56 *THENCE* North 44°-19'-51" East, a distance of 206.252 feet to a point;
57 *THENCE* North 46°-3'-5" East, a distance of 314.449 feet to a point;
58 *THENCE* North 46°-3'-5" East, a distance of 303.267 feet to a point;
59 *THENCE* North 46°-3'-6" East, a distance of 93.323 feet to a point;
60 *THENCE* North 44°-27'-14" East, a distance of 188.011 feet to a point;
61 *THENCE* North 46°-20'-42" East, a distance of 211.787 feet to a point;
62 *THENCE* North 45°-53'-44" East, a distance of 40.132 feet to the beginning of a curve found in the Centerline of Summer Lee Dr.
63 said being the beginning of a curve to the left having a tangent of 49.883 feet and a radius of 525.622 feet with a chord distance of 99.319 feet and a chord bearing of South 60°-9'-24" East to a point;
64 *THENCE* South 46°-32'-42" East, a distance of 65.598 feet to a point;
65 *THENCE* South 45°-32'-36" East along the Southern boundary of the Newport Place Addition, a distance of 61.079 feet to a point;
66 *THENCE* South 44°-4'-56" East continuing along said Newport Place boundary, a distance of 90.696 feet to a point;
67 *THENCE* South 45°-42'-7" East, a distance of 127.883 feet to a point;
68 *THENCE* South 44°-41'-28" East, a distance of 93.59 feet to a point;
69 *THENCE* South 44°-12'-37" East along the Southern boundary of the Orleans on the Lake Addition, a distance of 91.186 feet to a point;
70 *THENCE* South 44°-11'-59" East continuing along said Orleans on the Lake boundary, a distance of 288.305 feet to a point;
71 *THENCE* South 44°-9'-51" East, a distance of 140.065 feet to a point;
72 *THENCE* South 43°-26'-16" East along said Orleans on the Lake boundary, a distance of 39.385 feet to the beginning of a curve,
73 said being the beginning of a curve to the left having a tangent of 117.273 feet and a radius of 86.764 feet with a chord distance of 139.499 feet and a chord bearing of North 77°-17'-18" East to a point;
74 *THENCE* North 19°-17'-22" East, a distance of 69.972 feet to a point;
75 *THENCE* North 19°-8'-59" East, a distance of 101.965 feet to a point;
76 *THENCE* North 18°-34'-28" East, a distance of 179.36 feet to a point;
77 *THENCE* North 9°-3'-26" East, a distance of 40.216 feet for a corner;
78 *THENCE* South 42°-45'-6" East, a distance of 208.889 feet for a corner;
79 *THENCE* North 41°-41'-29" East, a distance of 52.007 feet to a point;
80 *THENCE* North 38°-39'-57" East to the Centerline of Ridge Road, a distance of 80.613 feet to the beginning of a curve,
81 said being the beginning of a curve to the left having a tangent of 34.265 feet and a radius of 486.839 feet with a chord distance of 68.36 feet and a chord bearing of South 30°-3'-27" East to the beginning of a curve,
82 Continuing along a curve to the right having a tangent of 43.415 feet and a radius of 728.077 feet with a chord distance of 86.675 feet and a chord bearing of South 32°-43'-26" East to the beginning

Exhibit 'A':
Legal Description

- of a curve,
- 83 Continuing along a curve to the right having a tangent of 159.757 feet and a radius of 766.621 feet
with a chord distance of 312.794 feet and a chord bearing of South 17°-33'-54" East to a point;
- 84 *THENCE* South 5°-54'-11" East, a distance of 252.075 feet to the beginning of a curve,
- 85 said being the beginning of a curve to the left having a tangent of 121.934 feet and a radius of
3593.301 feet with a chord distance of 243.727 feet and a chord bearing of South 6°-48'-53" East to
the beginning of a curve,
- 86 Continuing along a curve to the left having a tangent of 115.369 feet and a radius of 15094.377 feet
with a chord distance of 230.732 feet and a chord bearing of South 8°-49'-25" East to the beginning
of a curve,
- 87 Continuing along a curve to the right having a tangent of 123.432 feet and a radius of 938.92 feet
with a chord distance of 244.758 feet and a chord bearing of South 3°-34'-39" East to a point;
- 88 *THENCE* South 6°-45'-10" West, a distance of 726.609 feet to a point;
- 89 *THENCE* South 6°-36'-9" West, a distance of 894.838 feet to a point;
- 90 *THENCE* South 19°-43'-59" West to a point intersecting the City of Heath City Limits, as described
in the adopted Boundary Agreement, City of Rockwall Ordinance 21-15 (exhibit area 1, dated March
23, 2021), a distance of 236.664 feet for a corner;
- 91 *THENCE* North 38°-39'-37" West continuing along said City Limits line, a distance of 88.874 feet to
the beginning of a curve,
- 92 said being the beginning of a curve to the left having a tangent of 20.272 feet and a radius of
1327.182 feet with a chord distance of 40.539 feet and a chord bearing of North 89°-14'-41" West
to the beginning of a curve,
- 93 Continuing along a curve to the left having a tangent of 44.837 feet and a radius of 3408.623 feet
with a chord distance of 89.666 feet and a chord bearing of South 87°-26'-59" West to the beginning
of a curve,
- 94 Continuing along a curve to a curve to the left having a tangent of 42.557 feet and a radius of
3577.031 feet with a chord distance of 85.108 feet and a chord bearing of South 84°-41'-24" West
to the beginning of a curve,
- 95 Continuing along a curve to the left having a tangent of 153.911 feet and a radius of 213.23 feet with
a chord distance of 249.594 feet and a chord bearing of South 34°-28'-51" West to a point;
- 96 *THENCE* South 2°-41'-7" East, a distance of 100.099 feet to a point;
- 97 *THENCE* South 5°-36'-7" East, a distance of 80.149 feet to a point;
- 98 *THENCE* South 1°-55'-40" East, a distance of 308.063 feet, to the *POINT OF BEGINNING AND
CONTAINING* 293.80 acres of land (12,797,923.461 square feet) more or less.

**Exhibit 'B':
Survey**



Exhibit 'C':
Concept Plan



Exhibit 'D':
Density and Development Standards

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Exhibit 'D':
Density and Development Standards

GENERAL REQUIREMENTS

- (A) PD Concept Plan. Planned Development District 8 (PD-8) shall be developed in accordance with the Concept Plan depicted in Exhibit 'C' of this ordinance, and no substantial change in the development shall be permitted except after obtaining approval of the change in the manner required for amendments as stipulated by the Unified Development Code (UDC) of the City of Rockwall, as heretofore amended, as amended herein by this zoning change, and as maybe amended in the future.
- (B) Development Plan. Prior to the issuance of any *Building Permit* in Planned Development District 8 (PD-8), a final *Development Plan* prepared in accordance with the requirements of the Unified Development Code (UDC) shall be filed with the City Council of the City of Rockwall and shall be approved by said governing body after review and recommendation by the Planning and Zoning Commission and filed as part of this ordinance. Such required *Development Plan* shall set forth the requirements for ingress and egress to the property, public or private streets or drive, with adequate right-of-way to conform to the Master Thoroughfare Plan of the City of Rockwall, sidewalks, utilities, drainage, parking spaces, all area requirements and maximum lot coverage, yards and open space, screening walls or fences, amenities, greenbelts areas, and all other development and protective requirements considered necessary by the City Council to create a reasonable transition to and protection of the adjacent property. Such approval by the City Council of the detailed final *Development Plan* shall be considered as an amendment to this ordinance and shall be applicable to the property involved.
- (C) Greenbelts and Open Space.
- (1) Greenbelt 'A'. That the area north of the existing entrance at the southeast corner of Planned Development District 8 (PD-8) [*designated as Greenbelt 'A' on the Concept Plan depicted in Exhibit 'C' of this ordinance*] shall be designated and maintained as a permanent greenbelt area.
 - (2) Greenbelt 'B'. That the area south of the existing entrance at the southeast corner of Planned Development District 8 (PD-) [*designated as Greenbelt 'B' on the Concept Plan depicted in Exhibit 'C' of this ordinance*] may be developed in a manner that would not interfere with the contemplated realignment and improvement of FM-740 [*i.e. Ridge Road*], and the governing body of the City of Rockwall must consider and specifically approve further development of said area.
- (D) Amenities (Per Ordinance No. 84-04). That the construction and development of amenities for Planned Development District 8 (PD-8) for all future development thereof shall be based upon recreational units with each single-family dwelling unit equaling one-half (½) recreation unit and each multi-family dwelling unit equaling one (1) recreation unit, said amenities are to consist of the follow:
- (1) Sports Park. A sports park will include a combination of one (1) sports court -- *lighted if properly located as not to disturb residences* --, exercise areas, rest areas, basketball, badminton, volleyball, racket tennis, paths and parking. All of the sports parks will be landscaped.

Ratio Required: 1/300 Recreation Unit
Number Required: 3
 - (2) Swim Club. The swim club will contain a minimum of a 1,500 SF swimming pool, 1,800 SF club pavilion, restrooms, manager's office, parking for guests, lighting and landscaping.

Ratio Required: 1/225 Recreation Unit
Number Required: 4
 - (3) Play Park. Each play park will be devoted to the young residents of Chandler's Landing and will have a large self-contained sand area with creative wood play equipment. These parks will be landscaped with shaded rest areas for adults.

Ratio Required: 1/250 Recreation Unit
Number Required: 4

Exhibit 'D':
Density and Development Standards

- (4) Upland Lakes. These are lakes either existing or to be built. These lakes will be kept clean and maintained to the shoreline for residents to enjoy. No swimming or motorized boating will be allowed.

Ratio Required: 1/300 Recreation Unit
Number Required: 3

- (5) Security Entrances. These entries will be well lighted, landscaped, and maintained. They are to be secured by guards, or by a mechanical system. These entrances are strategically located throughout the development in order to provide proper ingress and egress.
- (6) Landscape Developments. These entries are to be paved with a brick or cobblestone pattern. On either side of the landscaped boulevard there will be lush plantings, berms, and decorative fencings.
- (7) Architectural Graphics. These graphics and signs will be designated in harmony for all developable parcels in the remainder of Chandler's Landing. These signs will be very pleasing and will direct visitors through the development.
- (8) Common Greenbelts and Paths. These areas will flow through the development following the low areas as designated on the Master Plan. They will have paths for jogging, walking and golf carts. Along some areas of the greenbelts, we are planning an aerobic course.

NOTE: It should be noted that all of the above described recreation uses must be designated in detail at the time of Final Plat.

- (E) Amenities (Per Ordinance No. 85-43). That the construction and development of amenities for Planned Development District 8 (PD-8) shall be as depicted in the *Concept Plan* depicted in Subsection (G) below and as follows:

(1) Yacht Club Area.

- (a) Seven (7) tennis courts to be resurfaced.
- (b) A new improved lighting system will be installed on five (5) courts.
- (c) Landscaped retaining walls will be constructed around all steep slopes adjacent to the courts.
- (d) A subsurface drainage system will be installed to pick up surface run-off.
- (e) A new sidewalk system will be installed to accommodate golf carts that is a minimum of six (6) feet wide around the existing golf courts.
- (f) Major grading will be performed to improve landscaping and better maintain the erosion ditch.
- (g) The courts will have spectator accommodations where the terrain permits.
- (h) The existing children's play area will be renovated and enlarged.
- (i) Outdoor tennis pavilion.
- (j) Additional major improvements will be made to the Yacht Club, which will include better acoustics, carpeting, renovation of Commodore State Room, outside lounging accommodations, structure cosmetics, and landscaping.

(2) Area 'A': Swimming and Tennis Park.

- (a) Parking.
- (b) Swimming Pool.
- (c) Gazebo.
- (d) Children's Play Area.
- (e) Restrooms/Dressing.
- (f) Two (2) Tennis Courts with Lights.
- (g) General Landscaping.
- (h) Large Trees, Small Trees, Shrubs and Ground Cover, Lawn, Elevated Planters and Lights.

(3) Area 'B': Recreation Park.

- (a) Limited Parking and Access.

Exhibit 'D':
Density and Development Standards

- (b) Park Shelter.
- (c) Two (2) Children's Play Areas.
- (d) Four (4) Picnic Spots.
- (e) Volleyball Court.
- (f) Half Basketball Court.
- (g) Open Lawn Area.
- (h) Seven (7) Exercise Stations.
- (i) Pedestrian Trail.
- (j) Four (4) Bridges.
- (k) General Clearing and Channel Work.
- (l) Tree Pruning, Stone Boulders, Retaining Walls and Fencing, Flowering Trees, and Plants.

(F) Amenities (Per Ordinance No. 86-87). That the construction and development of amenities for Planned Development District 8 (PD-8) shall be as depicted in *Concept Plan* depicted in Subsection (G) below and as follows:

- (1) The tract of land shown in the *Concept Plan* depicted in Subsection (G) shall only be used for park and recreation purposes and as a Community Association maintenance facility.
- (2) The development of the tract of land shown in the *Concept Plan* depicted in Subsection (G) shall be in conformance with the *Concept Plan* depicted in Subsection (G) below.

(G) Concept Plan.



Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASES 1, 2 & 3

(H) Land Uses. Zero Lot Line Homes

(I) Development Cases.

PHASE 1.

- (1) Subdivision Plat. Approved by the Commissioners Court on July 9, 1973.
- (2) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.

PHASE 2.

- (3) Subdivision Plat. Approved by the Commissioners Court on July 9, 1973.
- (4) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.

PHASE 3.

- (5) Subdivision Plat. Approved by the Commissioners Court on July 9, 1973.
- (6) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.

(J) Regulating Ordinance. Ordinance No. 73-48

(K) Concept Plans.

PHASE 1. ZERO LOT LINE HOMES.



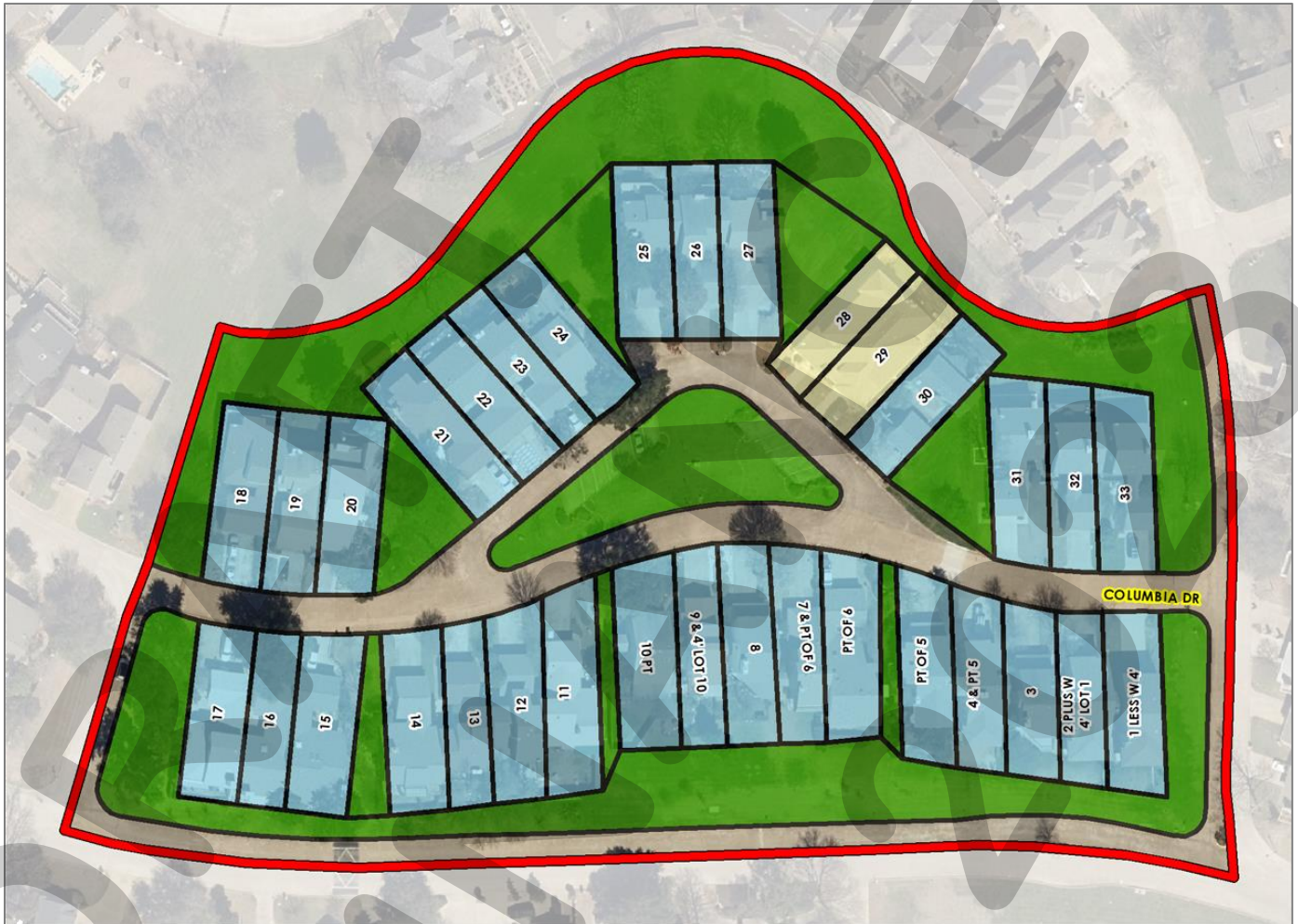
Exhibit 'D':
Density and Development Standards

PHASE 2. ZERO LOT LINE AND SINGLE-FAMILY HOMES.



Exhibit 'D':
Density and Development Standards

PHASE 3. ZERO LOT LINE SINGLE-FAMILY ATTACHED HOMES.



(L) Density and Development Standards.

	SINGLE-FAMILY	ZERO-LOT-LINE	SINGLE-FAMILY ATTACHED	MULTI-FAMILY OR CONDOMINIUM
MINIMUM LOT WIDTH	50'	40'	20'	70'
MINIMUM LOT DEPTH	100'	100'	100'	100'
MINIMUM LOT AREA	6,000 SF	4,000 SF	3,000 SF	2,000 SF
MINIMUM FRONT YARD SETBACK	25'	25'	25'	25'
MINIMUM SIDE YARD SETBACK	5'	10' ⁽¹⁾	0'	(2) & (3) ⁽³⁾
MINIMUM REAR YARD SETBACK	10'	10'	10' ⁽²⁾	10'
MINIMUM PARKING SPACES REQUIRED PER UNIT	2	2	2	1½
MAXIMUM BUILDING COVERAGE	40%	60%	60%	40%

NOTES:

- ¹: NO SIDE YARD REQUIRED ON ONE (1) SIDE.
- ²: NONE REQUIRED WHEN ADJOINING A COMMON AREA.
- ³: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

Exhibit 'D':
Density and Development Standards

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35-FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15-FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

DRAFT
ORDINANCE NO. 2023
07.17.2023

Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 4

(A) Land Uses. Zero Lot Line Homes

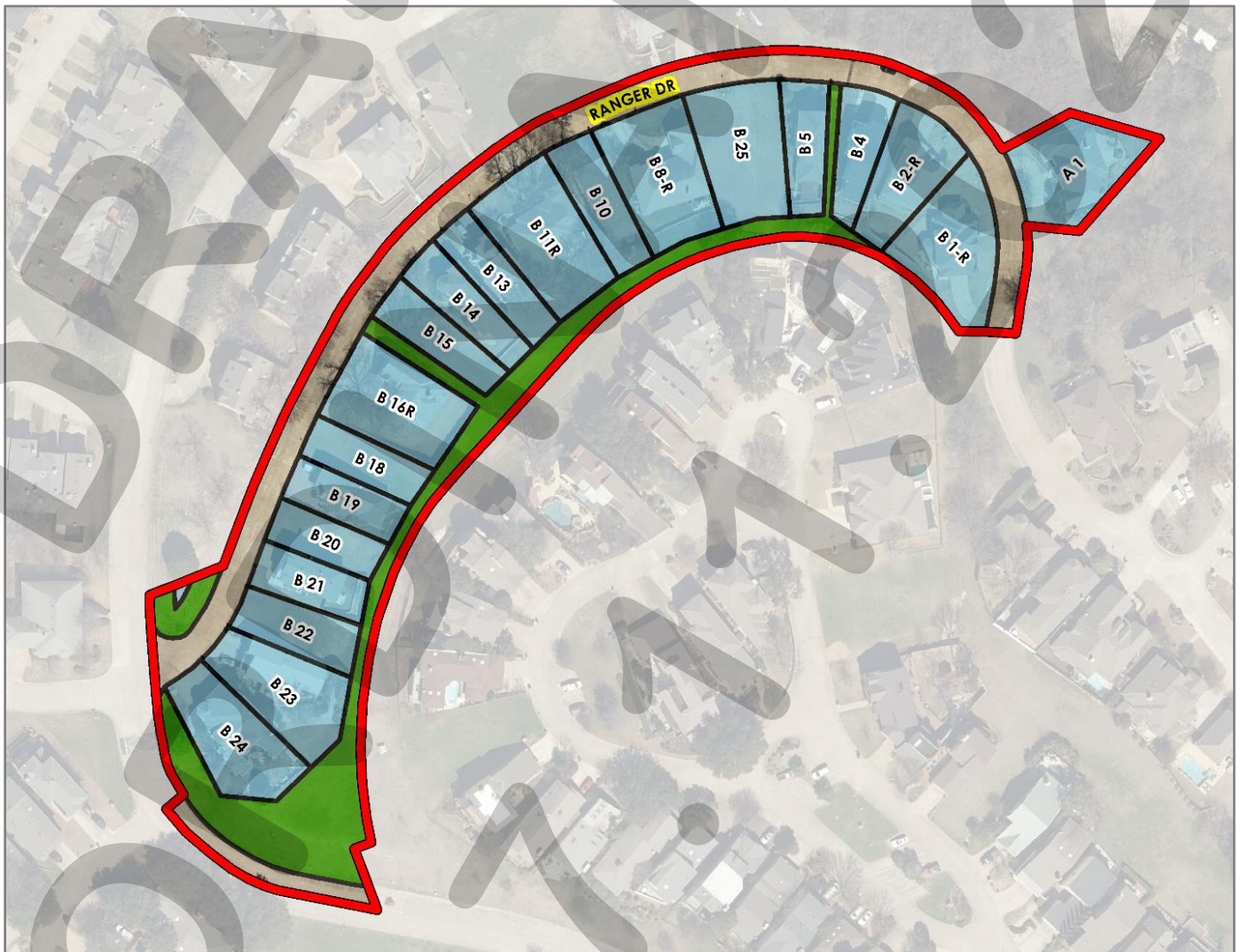
(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan, and Zoning Change [*Ordinance No. 84-04*]. Adopted on January 9, 1984.
- (4) PZ1984-023-01. Preliminary Plat. Adopted on March 5, 1985.
- (5) PZ1984-023-02. Concept Plan. Adopted on March 5, 1985.
- (6) PZ1984-045-01. Final Plat. Adopted on May 7, 1984.
- (7) PZ1996-005-01. Replat. Adopted on March 18, 1996.
- (8) PZ1999-030-01. Replat. Adopted on May 17, 1999.

(C) Original Regulating Ordinance. Ordinance No. 84-04

(D) Concept Plans.

PHASE 4. ZERO LOT LINE HOMES.



(E) Development Standards.

Exhibit 'D':
Density and Development Standards

ZERO LOT LINE HOMES.

MINIMUM LOT WIDTH	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	4,000 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	0'/10'
MINIMUM REAR YARD SETBACK	15'
MINIMUM PARKING SPACES REQUIRED ⁽¹⁾	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,500 SF
MAXIMUM BUILDING COVERAGE	60%

NOTES:

¹: EXCLUDING GARAGE SPACES.

DRAFT
ORDINANCE
07.17.2023

**Exhibit 'D':
Density and Development Standards**

CHANDLER'S LANDING, PHASE 5

(A) Land Uses. Single-Family, Single-Family Attached, and Zero Lot Line Homes

(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1976: Replat. Adopted on September 7, 1976.
- (3) 1977: Replat. Adopted on March 7, 1977.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(M) Concept Plans.

PHASE 5. SINGLE-FAMILY, SINGLE-FAMILY ATTACHED, AND ZERO LOT LINE HOMES.



(N) Density and Development Standards.

	SINGLE-FAMILY	ZERO-LOT-LINE	SINGLE-FAMILY ATTACHED	MULTI-FAMILY OR CONDOMINIUM
MINIMUM LOT WIDTH	50'	40'	20'	70'
MINIMUM LOT DEPTH	100'	100'	100'	100'
MINIMUM LOT AREA	6,000 SF	4,000 SF	3,000 SF	2,000 SF

**Exhibit 'D':
Density and Development Standards**

MINIMUM FRONT YARD SETBACK	25'	25'	25'	25'
MINIMUM SIDE YARD SETBACK	5'	10' ⁽¹⁾	0'	(2) & (3) ⁽³⁾
MINIMUM REAR YARD SETBACK	10'	10'	10' ⁽²⁾	10'
MINIMUM PARKING SPACES REQUIRED PER UNIT	2	2	2	1½
MAXIMUM BUILDING COVERAGE	40%	60%	60%	40%

NOTES:

¹: NO SIDE YARD REQUIRED ON ONE (1) SIDE.

²: NONE REQUIRED WHEN ADJOINING A COMMON AREA.

³: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35-FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15-FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

**Exhibit 'D':
Density and Development Standards**

CHANDLER'S LANDING, PHASE 6

(A) Land Uses. Single-Family, Single-Family Attached, and Zero Lot Line Homes

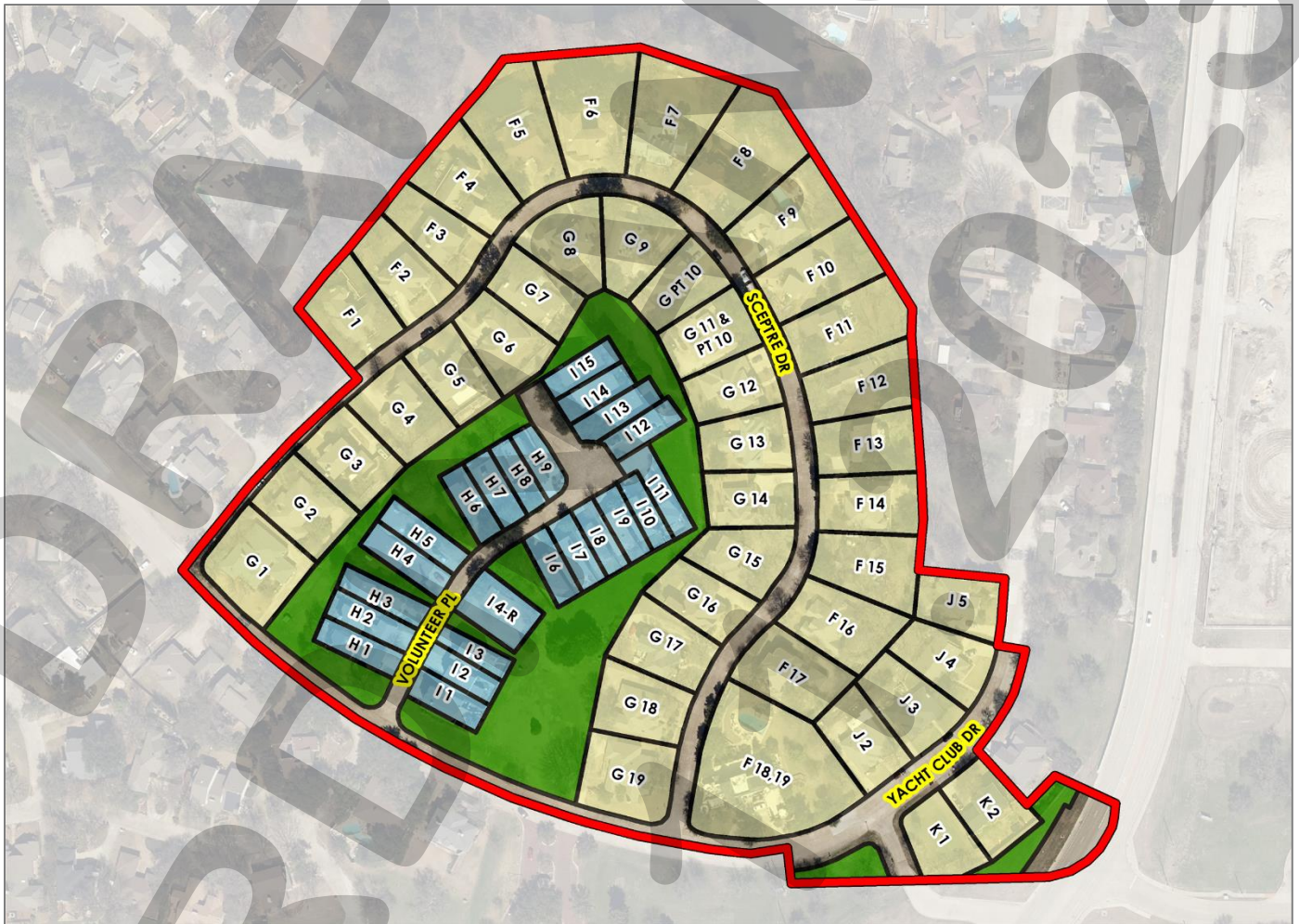
(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1977: Replat. Adopted on February 1, 1977.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(D) Concept Plans.

PHASE 6. SINGLE-FAMILY, SINGLE-FAMILY ATTACHED, AND ZERO LOT LINE HOMES.



(E) Density and Development Standards.

	SINGLE-FAMILY	ZERO-LOT-LINE	SINGLE-FAMILY ATTACHED	MULTI-FAMILY OR CONDOMINIUM
MINIMUM LOT WIDTH	50'	40'	20'	70'
MINIMUM LOT DEPTH	100'	100'	100'	100'
MINIMUM LOT AREA	6,000 SF	4,000 SF	3,000 SF	2,000 SF

**Exhibit 'D':
Density and Development Standards**

MINIMUM FRONT YARD SETBACK	25'	25'	25'	25'
MINIMUM SIDE YARD SETBACK	5'	10' ⁽¹⁾	0'	(2) & (3) ⁽³⁾
MINIMUM REAR YARD SETBACK	10'	10'	10' ⁽²⁾	10'
MINIMUM PARKING SPACES REQUIRED PER UNIT	2	2	2	1½
MAXIMUM BUILDING COVERAGE	40%	60%	60%	40%

NOTES:

¹: NO SIDE YARD REQUIRED ON ONE (1) SIDE.

²: NONE REQUIRED WHEN ADJOINING A COMMON AREA.

³: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35- FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15- FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

**Exhibit 'D':
Density and Development Standards**

CHANDLER'S LANDING, PHASE 7

(A) Land Uses. Single-Family Homes

(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1976: Final Plat of Phase 7, Installment 1. Adopted on June 7, 1976.
- (3) 1976: Final Plat of Phase 7, Installment 2. Adopted on June 7, 1976.

(C) Original Regulating Ordinance. Ordinance No. 73-48

(D) Concept Plans.

PHASE 7. SINGLE-FAMILY HOMES.



(E) Density and Development Standards.

	SINGLE-FAMILY	ZERO-LOT-LINE	SINGLE-FAMILY ATTACHED	MULTI-FAMILY OR CONDOMINIUM
MINIMUM LOT WIDTH	50'	40'	20'	70'
MINIMUM LOT DEPTH	100'	100'	100'	100'
MINIMUM LOT AREA	6,000 SF	4,000 SF	3,000 SF	2,000 SF

Exhibit 'D':
Density and Development Standards

<i>MINIMUM FRONT YARD SETBACK</i>	25'	25'	25'	25'
<i>MINIMUM SIDE YARD SETBACK</i>	5'	10' ⁽¹⁾	0'	(2) & (3) ⁽³⁾
<i>MINIMUM REAR YARD SETBACK</i>	10'	10'	10' ⁽²⁾	10'
<i>MINIMUM PARKING SPACES REQUIRED PER UNIT</i>	2	2	2	1½
<i>MAXIMUM BUILDING COVERAGE</i>	40%	60%	60%	40%

NOTES:

¹: NO SIDE YARD REQUIRED ON ONE (1) SIDE.

²: NONE REQUIRED WHEN ADJOINING A COMMON AREA.

³: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35-FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15-FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

**Exhibit 'D':
Density and Development Standards**

CHANDLER'S LANDING, PHASE 9

(A) Land Uses. Single-Family and Zero Lot Line Homes

(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1975: Replat. Adopted on April 1, 1975.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(D) Concept Plans.

PHASE 9. SINGLE-FAMILY AND ZERO LOT LINE HOMES.



(E) Density and Development Standards.

	SINGLE-FAMILY	ZERO-LOT-LINE	SINGLE-FAMILY ATTACHED	MULTI-FAMILY OR CONDOMINIUM
MINIMUM LOT WIDTH	50'	40'	20'	70'
MINIMUM LOT DEPTH	100'	100'	100'	100'
MINIMUM LOT AREA	6,000 SF	4,000 SF	3,000 SF	2,000 SF

Exhibit 'D':
Density and Development Standards

<i>MINIMUM FRONT YARD SETBACK</i>	25'	25'	25'	25'
<i>MINIMUM SIDE YARD SETBACK</i>	5'	10' ⁽¹⁾	0'	(2) & (3) ⁽³⁾
<i>MINIMUM REAR YARD SETBACK</i>	10'	10'	10' ⁽²⁾	10'
<i>MINIMUM PARKING SPACES REQUIRED PER UNIT</i>	2	2	2	1½
<i>MAXIMUM BUILDING COVERAGE</i>	40%	60%	60%	40%

NOTES:

¹: NO SIDE YARD REQUIRED ON ONE (1) SIDE.

²: NONE REQUIRED WHEN ADJOINING A COMMON AREA.

³: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35- FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15- FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

**Exhibit 'D':
Density and Development Standards**

CHANDLER'S LANDING, PHASE 9, SECTION 1

(A) Land Uses. Single-Family Home

(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1975: Replat. Adopted on April 1, 1975.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(D) Concept Plans.

PHASE 9, SECTION 1. SINGLE-FAMILY HOME.



(E) Density and Development Standards.

	SINGLE-FAMILY	ZERO-LOT-LINE	SINGLE-FAMILY ATTACHED	MULTI-FAMILY OR CONDOMINIUM
<i>MINIMUM LOT WIDTH</i>	50'	40'	20'	70'
<i>MINIMUM LOT DEPTH</i>	100'	100'	100'	100'
<i>MINIMUM LOT AREA</i>	6,000 SF	4,000 SF	3,000 SF	2,000 SF

**Exhibit 'D':
Density and Development Standards**

MINIMUM FRONT YARD SETBACK	25'	25'	25'	25'
MINIMUM SIDE YARD SETBACK	5'	10' ⁽¹⁾	0'	(2) & (3) ⁽³⁾
MINIMUM REAR YARD SETBACK	10'	10'	10' ⁽²⁾	10'
MINIMUM PARKING SPACES REQUIRED PER UNIT	2	2	2	1½
MAXIMUM BUILDING COVERAGE	40%	60%	60%	40%

NOTES:

¹: NO SIDE YARD REQUIRED ON ONE (1) SIDE.

²: NONE REQUIRED WHEN ADJOINING A COMMON AREA.

³: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35- FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15- FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 10

(A) Land Uses. Single-Family and Zero Lot Line Homes

(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1975: Replat. Adopted on August 1, 1975.
- (3) PZ1996-051-01. Replat [*Lot 11 and part of Lot 10*]. Adopted on August 19, 1996.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(D) Concept Plans.

PHASE 10. SINGLE-FAMILY AND ZERO LOT LINE HOMES.



(E) Density and Development Standards.

	SINGLE-FAMILY	ZERO-LOT-LINE	SINGLE-FAMILY ATTACHED	MULTI-FAMILY OR CONDOMINIUM
MINIMUM LOT WIDTH	50'	40'	20'	70'
MINIMUM LOT DEPTH	100'	100'	100'	100'
MINIMUM LOT AREA	6,000 SF	4,000 SF	3,000 SF	2,000 SF

**Exhibit 'D':
Density and Development Standards**

MINIMUM FRONT YARD SETBACK	25'	25'	25'	25'
MINIMUM SIDE YARD SETBACK	5'	10' ⁽¹⁾	0'	(2) & (3) ⁽³⁾
MINIMUM REAR YARD SETBACK	10'	10'	10' ⁽²⁾	10'
MINIMUM PARKING SPACES REQUIRED PER UNIT	2	2	2	1½
MAXIMUM BUILDING COVERAGE	40%	60%	60%	40%

NOTES:

¹: NO SIDE YARD REQUIRED ON ONE (1) SIDE.

²: NONE REQUIRED WHEN ADJOINING A COMMON AREA.

³: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35-FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15-FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 14

(A) Land Uses. Single-Family Homes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [Ordinance No. 84-04]. Adopted on January 9, 1984.
- (4) PZ1983-040-01. Preliminary Plat [Lots 1-21, Block B]. Adopted on December 5, 1983.
- (5) PZ1983-059-01. Final Plat. Adopted on December 5, 1983.
- (6) PZ1984-112-01. Final Plat. Adopted on December 3, 1984.
- (7) PZ1985-039-01. Zoning [Ordinance No. 85-43]. Adopted on August 26, 1985.
- (8) PZ1985-046-01. Final Plat. Adopted on July 2, 1985.
- (9) PZ1994-030-01. Replat. Adopted on November 21, 1994.
- (10) PZ1999-045-01. Replat [Lots 6 & 7, Block A]. Adopted on July 19, 1999.
- (11) PZ1999-046-01. Replat [Lots 6 & 7, Block B into Lot 6R, Block B]. Adopted on July 19, 1999.
- (12) PZ1999-111-01. Replat [Lots 11 -13, Block B into Lots 11R & 12R, Block B]. Adopted on January 28, 2000.
- (13) PZ2000-083-01. Replat [Lots 3-6, Block D]. Adopted on October 2, 2000.

(C) Original Regulating Ordinance. Ordinance No. 85-43

(D) Concept Plans.

PHASE 14. SINGLE-FAMILY HOMES.



**Exhibit 'D':
Density and Development Standards**

(E) Density and Development Standards.

BLOCK A. SINGLE-FAMILY HOMES.

MINIMUM LOT WIDTH	50'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	6,500 SF
MAXIMUM UNITS PER LOT	1
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED	2
MINIMUM NUMBER OF GARAGE PARKING SPACES	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS ON THE SAME LOT	10'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,200 SF
MAXIMUM BUILDING COVERAGE	40%

BLOCK B. PATIO HOMES.

MINIMUM LOT WIDTH ¹	40'
MINIMUM LOT DEPTH	105'
MINIMUM LOT AREA	4,200 SF
MINIMUM FRONT YARD SETBACK	25'
MINIMUM SIDE YARD SETBACK	0'/10'
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED	2
MINIMUM NUMBER OF PARKING SPACES ²	2
MAXIMUM HEIGHT	28'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM FLOOR AREA PER DWELLING UNIT	1,500 SF
MAXIMUM BUILDING COVERAGE	60%

NOTES:

- ¹: AT FRONT BUILDING LINE.
- ²: EXCLUDING GARAGE PARKING SPACES.

Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 15

(A) Land Uses. Single-Family Homes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [Ordinance No. 84-04]. Adopted on January 9, 1984.
- (4) PZ1983-076-01. Preliminary Plat. Adopted on January 9, 1984.
- (5) PZ1983-076-02. Concept Plan. Adopted on January 9, 1984.
- (6) PZ1984-032-01. Final Plat. Adopted on April 2, 1984.
- (7) PZ1986-045-01. Zoning [Ordinance No. 86-64; Zero Lot Line and Single-Family Homes]. Adopted on July 28, 1986.
- (8) PZ1986-058-01. Final Plat. Adopted on December 15, 1986.
- (9) PZ1992-038-01. Zoning (Ordinance No. 92-41; Superseded 84-04 & 86-64) [Single-Family Homes]. Adopted on November 16, 1992.
- (10) PZ1992-043-01. Preliminary Plat. Adopted on November 16, 1992.
- (11) PZ1994-012-01. Final Plat. Adopted on November 16, 1992.

(C) Original Regulating Ordinance. Ordinance No. 92-41

(D) Concept Plan.

PHASE 15. SINGLE-FAMILY HOMES.

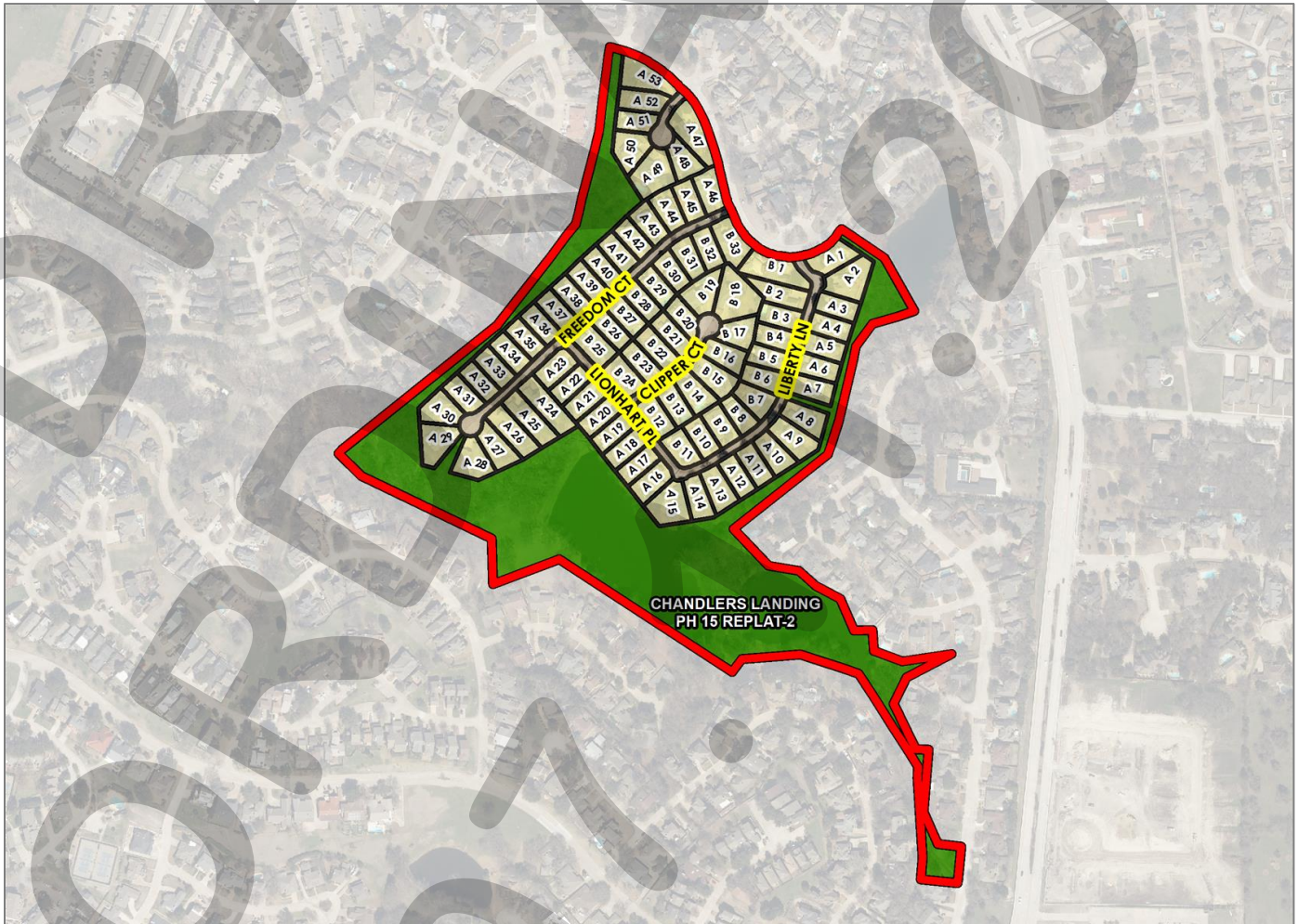


Exhibit 'D':
Density and Development Standards

(E) Development Standards. Unless specifically provided by this Planned Development ordinance, any development within Chandler's Landing, Phase 15 shall be subject to the density and dimensional requirements required for a property situated within the Single-Family 7 (SF-7) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however the following additional requirements shall apply:

MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,500 SF
MINIMUM INTERNAL SIDE YARD SETBACK	5'

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Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 16

(A) Land Uses. Zero Lot Line Homes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [Ordinance No. 84-04]. Adopted on January 9, 1984.
- (4) PZ1984-009-01. Preliminary Plat [Lots 1-19, Block C and Lots 1-7, Block D]. Adopted on February 6, 1984.
- (5) PZ1984-063-01. Final Plat. Adopted on June 11, 1984.
- (6) PZ1985-082-01. Final Plat and Zoning [Ordinance No. 86-04; Lots 1-22, Block E and Lots 1-12, Block F]. Adopted on January 20, 1986.
- (7) PZ1996-093-01. Replat [Lots 1 & 2, Block D]. Adopted on December 16, 1996.
- (8) PZ1999-034-01. Replat [Lots 1 & 2, Block E]. Adopted on May 17, 1999.
- (9) PZ2000-025-01. Replat [Lots 5-9 & 17-19, Block E and Lots 8-10, Block F]. Adopted on April 3, 2000.

(C) Original Regulating Ordinance. Ordinance No. 86-04

(D) Concept Plan.

PHASE 16. ZERO LOT LINE HOMES.



(E) Dimensional Standards. Unless specifically provided by this Planned Development ordinance, any development within Chandler's Landing, Phase 16 shall be subject to the density and dimensional requirements required for a property

Exhibit 'D':
Density and Development Standards

situated within the Zero Lot Line (ZL-5) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however the following additional requirements shall apply:

MINIMUM LOT WIDTH	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	4,000 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	0'/10'
MINIMUM REAR YARD SETBACK	15'
MINIMUM PARKING SPACES REQUIRED ⁽¹⁾	2
MINIMUM NUMBER OF GARAGE PARKING SPACES	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,500 SF
MAXIMUM BUILDING COVERAGE	60%

NOTES:

¹: EXCLUDING GARAGE SPACES.

Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 17

(A) Land Uses. Townhomes, Single-Family Homes, and Zero Lot Line Homes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [*Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20*]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [*Ordinance No. 84-04*]. Adopted on January 9, 1984.
- (4) PZ1984-010-01. Preliminary Plat. Adopted on February 6, 1984.
- (5) PZ1984-046-01. Final Plat. Adopted on June 11, 1984.
- (6) PZ1985-047-01. Replat. Adopted on July 2, 1985.
- (7) PZ1987-040-01: Replat [*Lots 1-4, Block C*]. Adopted on August 17, 1987.
- (8) PZ1987-041-01. Preliminary Plat and Zoning [*Ordinance No. 87-45; Single-Family to Townhomes*]. Adopted on August 17, 1987.
- (9) PZ1991-025-01. Replat. Adopted September on 16, 1991.
- (10) PZ1991-025-02. Zoning [*Ordinance No. 91-43*]. Adopted on October 7, 1991.
- (11) PZ1994-047-01. Replat [*Lot 21, Block A*]. Adopted on January 12, 1995.
- (12) PZ1996-025-01. Replat [*Lots 1-6, Block A into Lots 1R – 3R, Block A*]. Adopted on May 20, 1996.
- (13) PZ1996-042-01. Replat and Zoning Change [*Ordinance No. 96-18; Changed Zoning for Lots 1R – 3R, Block A*]. Adopted on July 1, 1996.
- (14) PZ2002-017-01. Replat [*Lot 21, Block A*]. Adopted on March 18, 2002.

(C) Original Regulating Ordinance. Ordinance No.'s 87-45, 91-43 & 96-18

**Exhibit 'D':
Density and Development Standards**

(D) Concept Plan.

PHASE 17. TOWNHOMES, SINGLE-FAMILY HOMES, AND ZERO LOT LINE HOMES.



(E) Dimensional Standards.

LOTS 1-25, BLOCK A, CHANDLER'S LANDING PHASE 17.

MINIMUM LOT WIDTH ⁽¹⁾	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	4,000 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	0'/10'
MINIMUM REAR YARD SETBACK	15'
MINIMUM PARKING SPACES REQUIRED ⁽²⁾	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,500 SF
MAXIMUM BUILDING COVERAGE	60%

NOTES:

- 1: AT FRONT YARD BUILDING SETBACK.
- 2: EXCLUDING GARAGE SPACES.

BLOCKS B, C, D, E, & F, CHANDLER'S LANDING PHASE 17.

MINIMUM LOT WIDTH	26'
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**Exhibit 'D':
Density and Development Standards**

MINIMUM LOT AREA	3,000 SF
MINIMUM FRONT YARD SETBACK ⁽¹⁾	20'
MINIMUM SIDE YARD SETBACK	0'
MINIMUM SIDE YARD ADJACENT TO A STREET	10'
MINIMUM REAR YARD SETBACK	10'
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS ⁽²⁾	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,000 SF
MAXIMUM BUILDING COVERAGE	60%

NOTES:

- ¹: 15-FEET WITH A SIDE ENTRY GARAGE.
- ²: MINIMUM OF 20-FEET BETWEEN BUILDINGS EVERY 250-FEET.

LOTS 1-4, BLOCK C, CHANDLER'S LANDING PHASE 17.

Unless specifically provided by this Planned Development ordinance, any development on Lots 1-4, Block C, Chandler's Landing, Phase 17 shall be subject to the density and dimensional requirements required for a property situated within the Zero Lot Line (ZL-5) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however the following additional requirements shall apply:

MINIMUM LOT WIDTH	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	5,000 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	0'/10'
MINIMUM PARKING SPACES REQUIRED ⁽¹⁾	2
MINIMUM REAR YARD SETBACK	15'
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,750 SF
MAXIMUM BUILDING COVERAGE	60%

NOTES:

- ¹: EXCLUDING GARAGE SPACES.

LOTS 1-R – 8-R, BLOCK B; LOTS 1-R, BLOCK C; AND LOTS 13-R & 14-R, BLOCK F, CHANDLER'S LANDING PHASE 17.

Unless specifically provided by this Planned Development ordinance, any development on Lots 1-R – 8-R, Block B; Lots 1-R, Block C; and Lots 13-R & 14-R, Block F, Chandler's Landing Phase 17 shall be subject to the density and dimensional requirements required for a property situated within the Single-Family 10 (SF-10) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however the following additional requirements shall apply:

MINIMUM LOT WIDTH	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	5,500 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM SIDE YARD ADJACENT TO A STREET	15'
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED ⁽¹⁾	2
MINIMUM GARAGE PARKING SPACES REQUIRED	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,750 SF
MAXIMUM BUILDING COVERAGE	40%

NOTES:

- ¹: EXCLUDING GARAGE SPACES.

Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 18/SECTION 1

(A) Land Uses. Townhomes and Single-Family Homes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [Ordinance No. 84-04]. Adopted on January 9, 1984.
- (4) PZ1984-024-01. Preliminary Plat and Concept Plan. Adopted on April 2, 1984.
- (5) PZ1985-039-01. Preliminary Plat, Final Plat, Site Plan, and Zoning [Ordinance No 85-43]. Adopted on August 26, 1985.
- (6) PZ1985-048-01. Final Plat. Adopted on July 2, 1985.
- (7) PZ1991-025-01. Replat [Lots 1-10, Block A to Lots 1-R – 5-R, Block A]. Adopted on September 16, 1991.
- (8) PZ1991-025-02. Zoning [Ordinance No. 91-43; Lots 1-R – 5-R, Block A]. Adopted on October 7, 1991.
- (9) PZ1992-041-01. Replat [Lots 11-15, Block A to Lots 6-R – 8-R, Block A] and Zoning [Ordinance No. 92-43; Lots 6-R – 8-R]. Adopted on December 7, 1992.
- (10) PZ1994-006-01. Replat [Lots 1-R & 2-R, Block A]. Adopted on March 21, 1994.
- (11) PZ1999-002-01. Replat [Lots 7 & 8, Block A to Lot 7RA, Block A]. Adopted on February 9, 1999.

(C) Original Regulating Ordinance. Ordinance No. 's 85-43, 91-43 & 92-43

(F) Concept Plan.

PHASE 18/SECTION 1, TOWNHOMES AND SINGLE-FAMILY HOMES.



**Exhibit 'D':
Density and Development Standards**

(D) Dimensional Standards.

TOWNHOMES.

MINIMUM LOT WIDTH ⁽¹⁾	26'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	3,000 SF
MAXIMUM UNITS PER LOT	1
MINIMUM FRONT YARD SETBACK [FRONT ENTRY GARAGE] ⁽²⁾	20'
MINIMUM SIDE YARD SETBACK	0'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET	10'
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED	2
MINIMUM NUMBER OF GARAGE PARKING SPACES	2
MAXIMUM HEIGHT	30'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT ON SIDE OR REAR	20'
MINIMUM DISTANCE BETWEEN BUILDINGS ⁽³⁾	20'
MAXIMUM NUMBER OF ATTACHED UNITS ⁽⁴⁾	8
MAXIMUM DENSITY [DWELLING UNITS PER ACRE]	8
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,000 SF
MINIMUM LANDSCAPING PERCENTAGE	10%
MAXIMUM BUILDING COVERAGE	60%

NOTES:

- 1: THE MINIMUM LOT WIDTH SHALL BE MEASURE AT THE FRONT YARD BUILDING SETBACK.
- 2: THE FRONT YARD SETBACK CAN BE REDUCED TO 15-FEET FOR SIDE AND REAR ENTRY GARAGES.
- 3: EVERY 250-FEET.
- 4: UP TO 250-FEET.

LOTS 1-R – 5-R, BLOCK A, CHANDLER'S LANDING PHASE 18/SECTION 1.

Unless specifically provided by this Planned Development ordinance, any development on Lots 1-R – 5-R, Block A, Chandler's Landing Phase 18/Section 1 shall be subject to the density and dimensional requirements required for a property situated within the Single-Family 10 (SF-10) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however the following additional requirements shall apply:

MINIMUM LOT WIDTH	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	6,000 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM SIDE YARD ADJACENT TO A STREET	15'
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED ⁽¹⁾	2
MINIMUM GARAGE PARKING SPACES REQUIRED	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,750 SF
MAXIMUM BUILDING COVERAGE	40%

NOTES:

- 1: EXCLUDING GARAGE SPACES.

LOTS 6-R – 8-R, BLOCK A, CHANDLER'S LANDING PHASE 18/SECTION 1.

Unless specifically provided by this Planned Development ordinance, any development on Lots 6-R – 8-R, Block A, Chandler's Landing Phase 18/Section 1 shall be subject to the density and dimensional requirements required for a property situated within the Single-Family 10 (SF-10) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however the following additional requirements shall apply:

MINIMUM LOT WIDTH	40'
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Exhibit 'D':
Density and Development Standards

MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	5,700 SF
MINIMUM FRONT YARD SETBACK	25'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM REAR YARD SETBACK	20'
MINIMUM PARKING SPACES REQUIRED ⁽¹⁾	2
MINIMUM GARAGE PARKING SPACES REQUIRED	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,750 SF
MAXIMUM BUILDING COVERAGE	40%

NOTES:

¹: EXCLUDING GARAGE SPACES.

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Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 18/SECTION 2

(A) Land Uses. Zero Lot Line Homes and Single-Family Homes

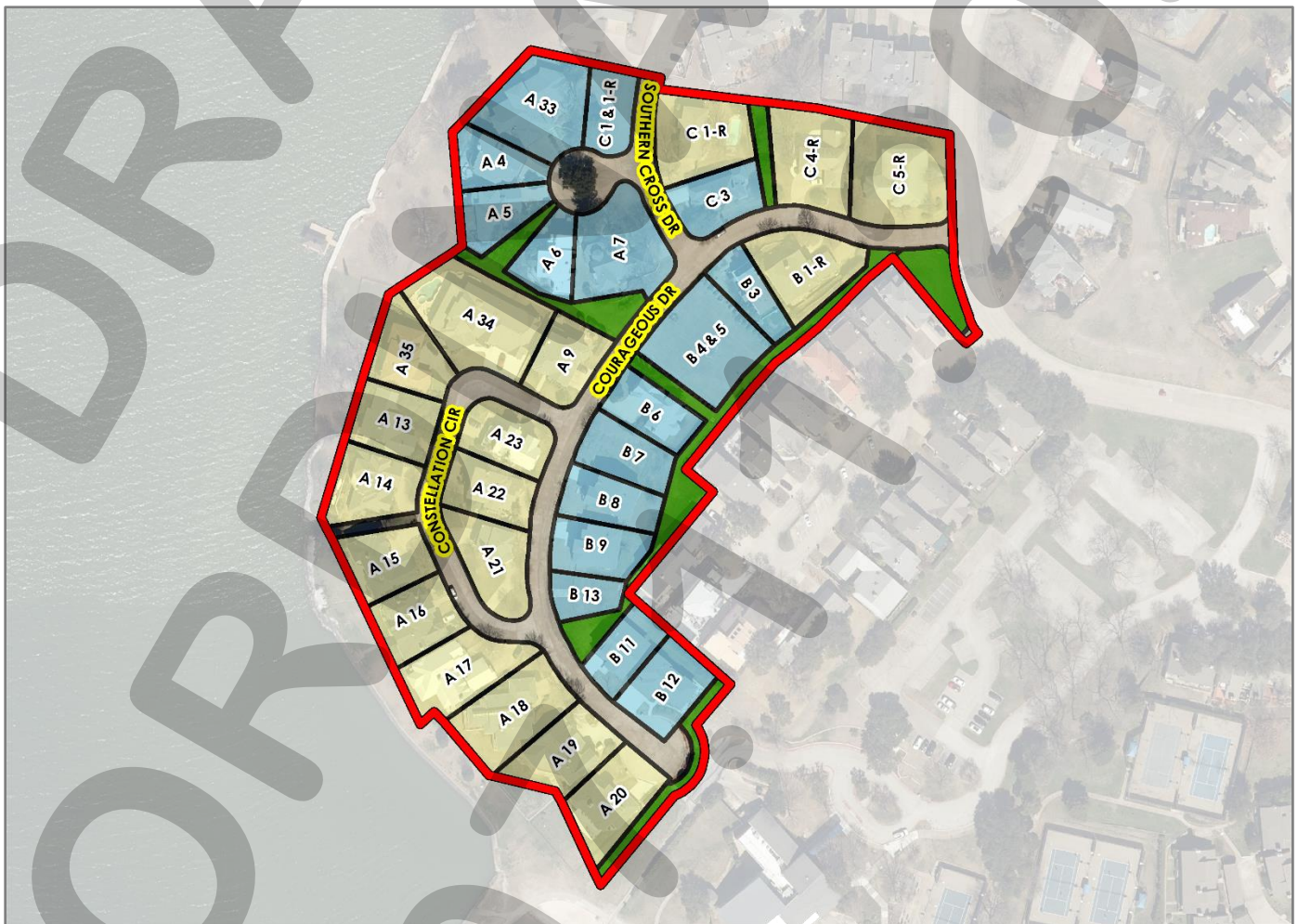
(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [Ordinance No. 84-04]. Adopted on January 9, 1984.
- (4) PZ1984-024-01. Preliminary Plat and Concept Plan. Adopted on April 2, 1984.
- (5) PZ1985-039-01. Preliminary Plat, Final Plat, Site Plan, and Zoning [Ordinance No 85-43]. Adopted on August 26, 1985.
- (6) PZ1985-048-01. Final Plat. Adopted on July 2, 1985.
- (7) PZ1988-008-01. Replat [Lots 1, 7 & 8, Block A and Lots 1-3, Block C]. Adopted on May 2, 1988.
- (8) PZ1988-032-01. Replat [Lots 1-32, Block A and Lots 4-16, Block B]. Adopted on August 1, 1988.
- (9) PZ1988-038-01. Zoning [Ordinance No. 88-51; Single Family Homes for Lots 9-23, Block A]. Adopted on October 3, 1988.
- (10) PZ1988-059-01. Replat [Lots 1, 7 & 8, Block A and Lots 1-3, Block C]. Adopted on March 20, 1989.
- (11) PZ1991-025-01. Replat [Lots 1-10, Block A to Lots 1-R – 5-R, Block A]. Adopted on September 16, 1991.
- (12) PZ1991-025-02. Zoning [Ordinance No. 91-43; Lots 1-R – 5-R, Block A]. Adopted on October 7, 1991.

(C) Original Regulating Ordinance. Ordinance No.'s 84-04, 88-51 & 91-43

(D) Concept Plan.

PHASE 18/SECTION 2, ZERO LOT LINE HOMES AND SINGLE-FAMILY HOMES



**Exhibit 'D':
Density and Development Standards**

(E) Dimensional Standards.

ZERO LOT LINE HOMES.

MINIMUM LOT WIDTH ⁽¹⁾	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	4,000 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	0'/10'
MINIMUM REAR YARD SETBACK	15'
MINIMUM PARKING SPACES REQUIRED ⁽²⁾	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,750 SF
MAXIMUM BUILDING COVERAGE	60%

NOTES:

- ¹: THE MINIMUM LOT WIDTH SHALL BE MEASURE AT THE FRONT YARD BUILDING SETBACK.
- ²: EXCLUDING GARAGE SPACES.

LOTS 9-23, BLOCK A, CHANDLER'S LANDING PHASE 18/SECTION 2 (SINGLE-FAMILY DETACHED HOMES).

MINIMUM LOT WIDTH ⁽¹⁾	45'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	6,500 SF
MAXIMUM HOMES PER LOT	1
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM REAR YARD SETBACK	15'
MINIMUM PARKING SPACES REQUIRED	2
MINIMUM GARAGE PARKING SPACES REQUIRED	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN SEPARATE BUILDINGS ⁽²⁾	10'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,500 SF
MAXIMUM BUILDING COVERAGE	40%

NOTES:

- ¹: THE MINIMUM LOT WIDTH SHALL BE MEASURE AT THE FRONT YARD BUILDING SETBACK.
- ²: ON THE SAME LOT OR PARCEL OF LAND.

LOT 1-R, BLOCK B AND LOTS 1-R, 4-R & 5-R, BLOCK C, CHANDLER'S LANDING PHASE 18/SECTION 2.

Unless specifically provided by this Planned Development ordinance, any development on Lot 1-R, Block B and Lots 1-R, 4-R, & 5-R, Block C, Chandler's Landing Phase 18/Section 2 shall be subject to the density and dimensional requirements required for a property situated within the Single-Family 10 (SF-10) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however the following additional requirements shall apply:

MINIMUM LOT WIDTH	40'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	6,000 SF
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM SIDE YARD ADJACENT TO A STREET	15'
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED ⁽¹⁾	2
MINIMUM GARAGE PARKING SPACES REQUIRED	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,750 SF
MAXIMUM BUILDING COVERAGE	40%

NOTES:

- ¹: EXCLUDING GARAGE SPACES.

Exhibit 'D':
Density and Development Standards

CHANDLER'S LANDING, PHASE 19

(A) Land Uses. Single-Family Homes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [Ordinance No. 84-04]. Adopted on January 9, 1984.
- (4) PZ1985-025-01. Preliminary Plat. Adopted on April 2, 1984.
- (5) PZ1985-025-01. Concept Plan. Adopted on April 2, 1984.
- (6) PZ1985-039-01. Preliminary Plat, Final Plat, Site Plan, and Zoning Change [Ordinance No. 85-43]. Adopted on July 2, 1985.
- (7) PZ1985-045-01. Preliminary Plat and Concept Plan. Adopted on July 2, 1985.
- (8) PZ1985-056-01. Final Plat. Adopted on July 2, 1985.
- (9) PZ1996-015-01. Replat [Lots 7 & 8, Block A to Lot 7R, Block A]. Adopted on May 20, 1996.
- (10) PZ1998-040-01. Replat [Lots 33 & 34, Block A]. Adopted on September 21, 1998.
- (11) PZ1999-015-01. Replat. Adopted on March 15, 1999.
- (12) PZ2000-009-01. Replat [Lot 1R, Block B]. Adopted on March 20, 2000.

(C) Original Regulating Ordinance. Ordinance No. 85-43

(D) Concept Plan.

PHASE 19. SINGLE-FAMILY HOMES



**Exhibit 'D':
Density and Development Standards**

(E) Dimensional Standards.

SINGLE-FAMILY HOMES.

MINIMUM LOT WIDTH	50'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	6,000 SF
MAXIMUM UNITS PER LOT	1
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED	2
MINIMUM NUMBER OF GARAGE PARKING SPACES	2
MAXIMUM HEIGHT	30'
MINIMUM DISTANCE BETWEEN BUILDINGS ON THE SAME LOT	10'
MINIMUM DISTANCE BETWEEN BUILDINGS	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,200 SF
MAXIMUM BUILDING COVERAGE	40%

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07.17.2023

**Exhibit 'D':
Density and Development Standards**

CHANDLER'S LANDING, PHASE 20

(A) Land Uses. Single-Family Homes

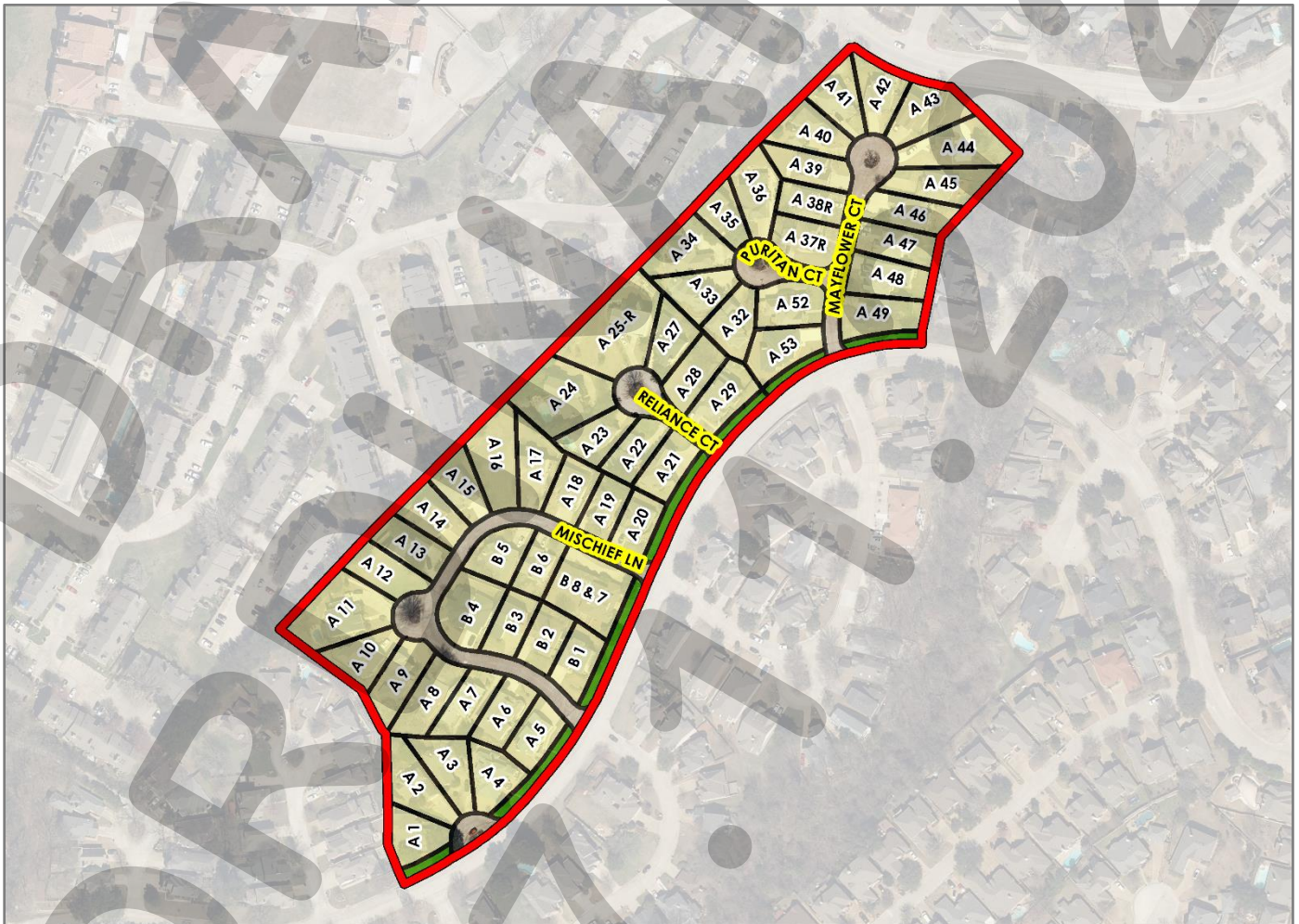
(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1983-012-01. Site Plan [Phases 4, 14, 15, 16, 17, 18, 18A, 19 & 20]. Adopted on May 2, 1983.
- (3) PZ1983-037-01. Preliminary Plat, Site Plan and Zoning Change [Ordinance No. 84-04]. Adopted on January 9, 1984.
- (4) PZ1985-039-01. Preliminary Plat, Final Plat, Site Plan, and Zoning Change [Ordinance No. 85-43]. Adopted on July 2, 1985.
- (5) PZ1985-049-01. Preliminary Plat and Concept Plan. Adopted on July 2, 1985.
- (6) PZ1985-051-01. Final Plat. Adopted on July 2, 1985.
- (7) PZ1994-029-01. Replat. Adopted on November 21, 1994.
- (8) PZ2002-034-01. Replat [Lots 37 & 38, Block A to Lot 37A, Block A]. Adopted on May 20, 2002.

(C) Original Regulating Ordinance. Ordinance No. 85-43

(D) Concept Plan.

PHASE 20. SINGLE-FAMILY HOMES



(E) Dimensional Standards.

SINGLE-FAMILY HOMES.

MINIMUM LOT WIDTH	50'
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Exhibit 'D':
Density and Development Standards

<i>MINIMUM LOT DEPTH</i>	100'
<i>MINIMUM LOT AREA</i>	6,000 SF
<i>MAXIMUM UNITS PER LOT</i>	1
<i>MINIMUM FRONT YARD SETBACK</i>	20'
<i>MINIMUM SIDE YARD SETBACK</i>	5'
<i>MINIMUM REAR YARD SETBACK</i>	10'
<i>MINIMUM PARKING SPACES REQUIRED</i>	2
<i>MINIMUM NUMBER OF GARAGE PARKING SPACES</i>	2
<i>MAXIMUM HEIGHT</i>	30'
<i>MINIMUM DISTANCE BETWEEN BUILDINGS ON THE SAME LOT</i>	10'
<i>MINIMUM DISTANCE BETWEEN BUILDINGS</i>	10'
<i>MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]</i>	1,200 SF
<i>MAXIMUM BUILDING COVERAGE</i>	40%

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Exhibit 'D':
Density and Development Standards

THE CABANAS AT CHANDLER'S LANDING.

(A) Land Uses. Townhomes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1984-081-01. Development Plan. Adopted on September 10, 1984.
- (3) PZ1985-072-01. Concept Plan. Adopted on September 10, 1984.
- (4) PZ1990-029-01. Zoning Change [Ordinance No. 90-38]. Adopted on November 5, 1990.
- (5) Z2014-006. Zoning [Ordinance No. 14-15]. Adopted on April 7, 2014.
- (6) P2014-007. Replat. Adopted on July 7, 2014.

(C) Original Regulating Ordinance. Ordinance No. 14-15

(D) Concept Plan.

THE CABANAS AT CHANDLER'S LANDING. TOWNHOMES



(E) Development Standards.

- (1) Purpose. It was the intent of *Ordinance No. 14-15* to maintain the current conditions of the subject property, while permitting property owners to physically subdivide their properties into lots to delineate the open space that will be dedicated to the *Chandler's Landing Homeowner's Association*.

**Exhibit 'D':
Density and Development Standards**

(2) Permitted Uses. The following are the only permitted land uses that shall be established on the *Subject Property*:

- (a) Permitted Uses. Uses permitted *by right* or by *Specific Use Permit (SUP)* in Planned Development District 8 (PD-8). Uses subject to the approval of a *Specific Use Permit (SUP)* shall be required to follow the procedure for requesting a *SUP* as set forth in Article 11, *Development Applications and Review Procedures*, of the Unified Development Code.
- (b) Townhomes. A single-family dwelling unit constructed in a series, or group of units that share common walls, and are situated on an individual or separate lot.

NOTE: All development of the *Subject Property* should conform to the *Concept Plan* depicted above.

(3) Maximum Number of Units. The *Subject Property* may contain no more than nine (9) townhomes that conform to the *Concept Plan* depicted above.

(4) Density and Development Requirements.

TOWNHOMES

MINIMUM LOT WIDTH	20'
MINIMUM LOT DEPTH	40'
MINIMUM LOT AREA	2,200 SF
MAXIMUM UNITS PER LOT	1
MINIMUM FRONT YARD SETBACK	0'
MINIMUM SIDE YARD SETBACK ¹	0'
MINIMUM REAR YARD SETBACK	0'
MINIMUM OFF-STREET PARKING SPACES REQUIRED	2
MAXIMUM HEIGHT	30'
MAXIMUM BUILDING COVERAGE (AS PERCENTAGE OF LOT AREA)	100%

NOTES:

¹: THE INTERNAL SIDE YARD SETBACK SHALL BE SUBJECT TO ALL BUILDING CODES AND THE SIDE YARD ABUTTING A STRUCTURE SHALL BE REQUIRED TO BE SEPERATED BY A FIRE-RETARDANT WALL.

(5) Additional Restrictions. No fences or any other type of barricade shall be permitted on any property depicted in the *Concept Plan* depicted above.

Exhibit 'D':
Density and Development Standards

THE CABANAS.

(A) Land Uses. Townhomes

(B) Development Cases.

- (1) 1973: Zoning (Ordinance No. 73-48). Adopted on November 12, 1973.
- (2) PZ1990-029-01. Zoning Change [*Ordinance No. 90-38*]. Adopted on November 5, 1990.
- (3) PZ1990-029-02. Final Plat. Adopted on November 5, 1990.

(C) Original Regulating Ordinance. Ordinance No. 90-38

(D) Concept Plan.

THE CABANAS. TOWNHOMES



(E) Development Standards.

- (1) Permitted Uses. One (1) attached townhouse unit with fire walls on an individual lot with a maximum of two (2) attached units on two (2) separate lots.
- (2) Density. Development or redevelopment of the above described tract shall be limited to no more than six (6) single-family townhouse lots.

Exhibit 'D':
Density and Development Standards

(3) Density and Development Requirements.

TOWNHOMES

MINIMUM LOT WIDTH ¹	25'
MINIMUM LOT DEPTH	42'
MINIMUM LOT AREA	1,050 SF
MAXIMUM UNITS PER LOT	1
MINIMUM SQUARE FOOT PER DWELLING UNIT	1,200 SF
MINIMUM FRONT YARD SETBACK	0'
MINIMUM SIDE YARD SETBACK ²	0'
MINIMUM REAR YARD SETBACK	0'
MINIMUM OFF-STREET PAVED PARKING SPACES REQUIRED ³	2
MAXIMUM HEIGHT	23'
MAXIMUM BUILDING COVERAGE (AS PERCENTAGE OF LOT AREA)	100%

NOTES:

¹: ON A PUBLIC STREET OR APPROVED PRIVATE ACCESS.

²: THE INTERNAL SIDE YARD SETBACK SHALL BE SUBJECT TO ALL BUILDING CODES AND THE SIDE YARD ABUTTING A STRUCTURE SHALL BE REQUIRED TO BE SEPERATED BY A FIRE-RETARDANT WALL.

³: REQUIRED FOR EACH RESIDENTIAL DWELLING UNIT.

**Exhibit 'D':
Density and Development Standards**

MATCH POINT.

(A) Land Uses. Townhomes

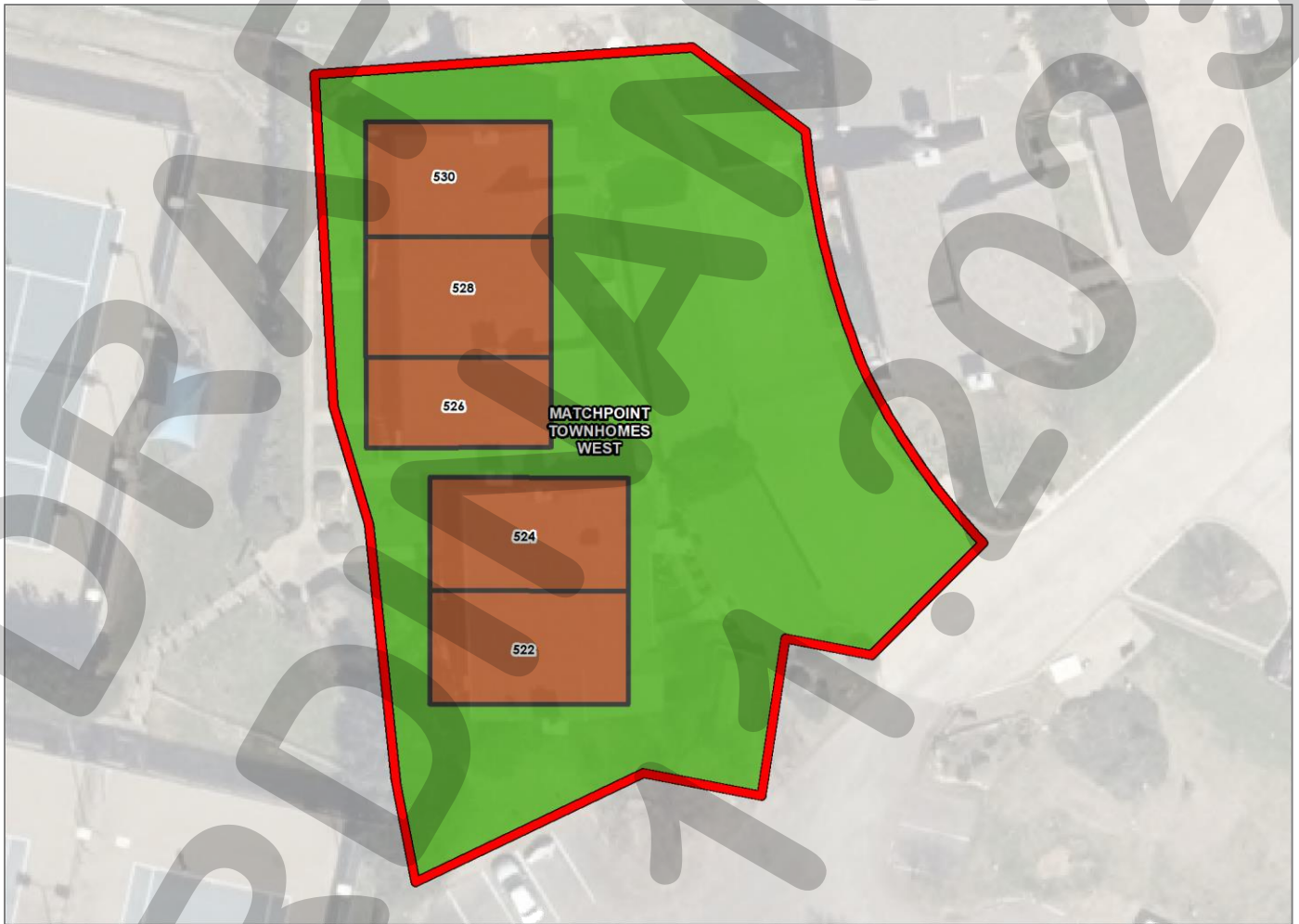
(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1981: Final Plat. Adopted on August 5, 1981.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(D) Concept Plan.

MATCH POINT. MULTI-FAMILY STRUCTURE OR CONDOMINIUM



(E) Density and Development Standards.

MULTI-FAMILY STRUCTURE OR CONDOMINIUM

MINIMUM LOT WIDTH	70'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	2,000 SF
MINIMUM FRONT YARD SETBACK	25'
MINIMUM SIDE YARD SETBACK	(2) & (3) ⁽¹⁾
MINIMUM REAR YARD SETBACK	10'

Exhibit 'D':
Density and Development Standards

MINIMUM PARKING SPACES REQUIRED PER UNIT	1½
MAXIMUM BUILDING COVERAGE	40%

NOTES:

¹: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35-FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15-FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

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**Exhibit 'D':
Density and Development Standards**

CUTTER HILL, PHASES 1, 2, & 3

(A) Land Uses. Condominiums

(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1977: Final Plat for Phase 1. Adopted on January 4, 1977.
- (3) 1977: Final Plat for Phase 2. Adopted on November 17, 1977.
- (4) 1981: Final Plat for Phase 3. Adopted on June 15, 1981.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(D) Concept Plan.

CUTTER HILL, PHASES 1, 2, & 3. MULTI-FAMILY STRUCTURE OR CONDOMINIUM



(E) Density and Development Standards.

MULTI-FAMILY STRUCTURE OR CONDOMINIUM

<u>MINIMUM LOT WIDTH</u>	70'
<u>MINIMUM LOT DEPTH</u>	100'
<u>MINIMUM LOT AREA</u>	2,000 SF
<u>MINIMUM FRONT YARD SETBACK</u>	25'

Exhibit 'D':
Density and Development Standards

MINIMUM SIDE YARD SETBACK	(2) & (3) ⁽¹⁾
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED PER UNIT	1½
MAXIMUM BUILDING COVERAGE	40%

NOTES:

¹: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (2) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35-FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (3) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15-FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

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Exhibit 'D':
Density and Development Standards

HARBOR LANDING, PHASES 1 & 2

(A) Land Uses. Single-Family Homes

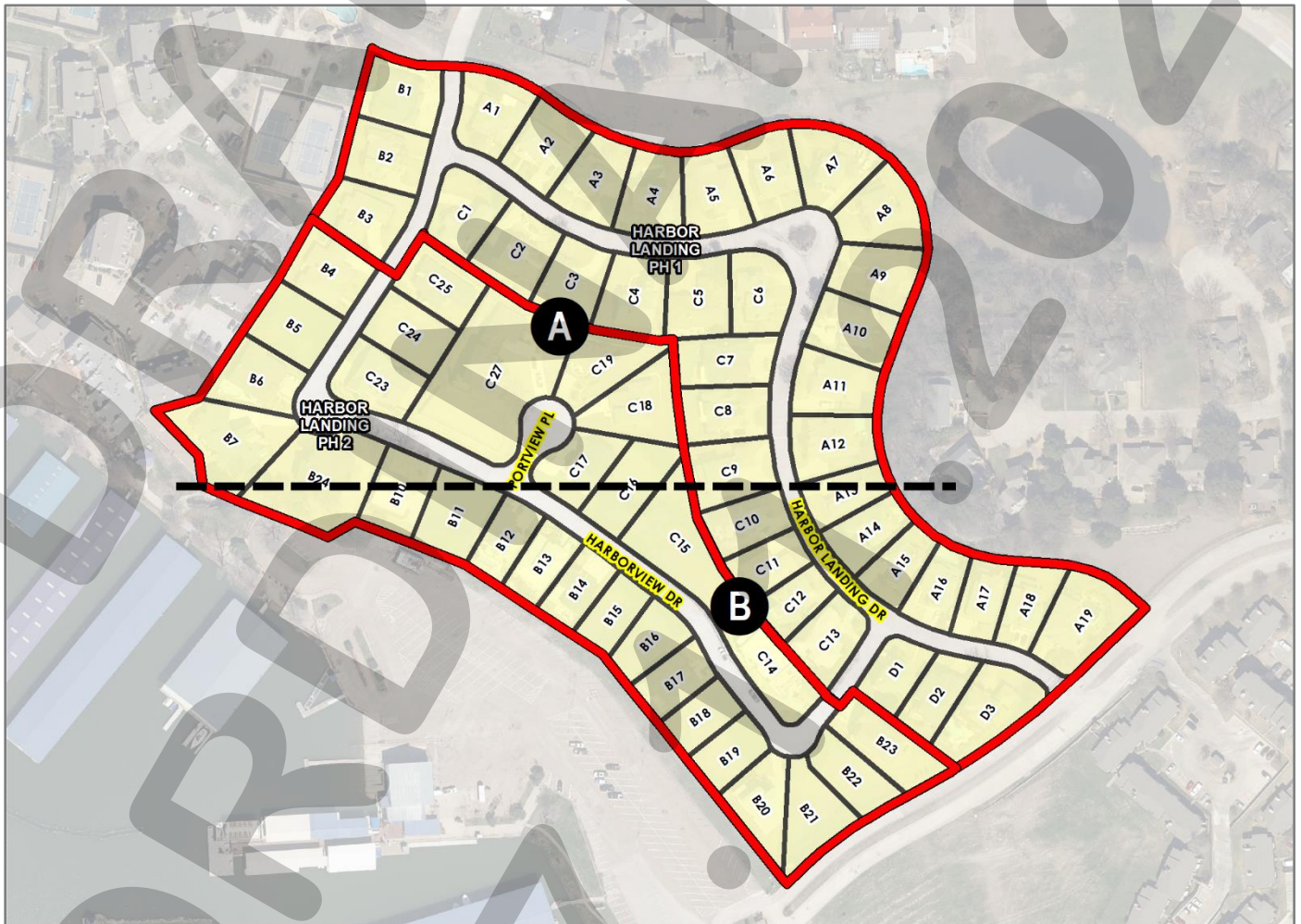
(B) Development Cases.

- (1) PZ1984-030-01: Zoning Change [Ordinance No. 84-16; Single-Family 10 (SF-10) District & Single-Family 7 (SF-7) District Land Uses]. Adopted on April 2, 1984.
- (2) PZ1984-030-01: Resolution [Resolution No. 87-19; Settlement Agreement]. Adopted on June 15, 1987.
- (3) PZ1984-030-01: Resolution [Resolution No. 87-20; Settlement Agreement]. Adopted on June 15, 1987.
- (4) PZ1986-048-01: Final Plat for Phase 1. Adopted on December 15, 1986.
- (5) PZ1987-022-01: Preliminary Plat for Phase 2. Adopted on April 20, 1987.
- (6) PZ1987-030-01: Final Plat for Phase 2. Adopted on June 15, 1987.

(C) Original Regulating Ordinance. Ordinance No. 84-16

(D) Concept Plan.

PHASES 1 & 2. SINGLE-FAMILY HOMES



(E) Elevations Per Settlement Agreement.

**Exhibit 'D':
Density and Development Standards**

BLOCK B.

LOT NO.	MAXIMUM ROOFTOP ELEVATION PER COURT ORDER	MAXIMUM PAD ELEVATION PER COURT ORDER	AS-BUILT PAD ELEVATION	MAXIMUM HEIGHT PER COURT ORDER	ADJUSTED MAXIMUM HEIGHT
4	488.00	466.00		22.00'	
5	488.00	459.00		29.00'	
6	471.00	448.00	450.00	23.00'	21.00'
7	471.00	448.00		23.00'	
8	471.00	448.00		23.00'	
9	469.00	447.00		22.00'	
10	469.00	447.00		22.00'	
11	478.50	452.00		26.50'	
12	489.00	451.00		29.00'	
13	474.50	451.50		23.00'	
14	469.00	446.00		23.00'	
15	469.00	446.00		23.00'	
16	468.00	445.00	446.00	23.00'	22.00'
17	468.00	445.00	447.00	23.00'	21.00'
18	468.00	445.00	448.00	23.00'	20.00'
19	477.00	449.00		28.00'	
20	480.00	450.00		30.00'	
21	477.00	450.00		27.00'	
22	484.00	458.00	454.00	26.00'	30.00'
23	490.00	460.00		30.00'	

BLOCK C.

LOT NO.	MAXIMUM ROOFTOP ELEVATION PER COURT ORDER	MAXIMUM PAD ELEVATION PER COURT ORDER	AS-BUILT PAD ELEVATION	MAXIMUM HEIGHT PER COURT ORDER	ADJUSTED MAXIMUM HEIGHT
14	479.00	456.00	459.00	23.00'	20.00'
15	481.00	456.00		25.00'	
16	482.00	457.00		25.00'	
17	485.50	462.50		23.00'	
18	495.00	470.00		25.00'	
19	496.50	473.50		23.00'	
20	493.00	470.00		23.00'	
21	492.00	466.50		26.50'	
22	478.50	456.00		22.50'	
23	479.00	457.00		22.00'	
24	479.00	457.00		22.00'	
25	489.00	467.00		22.00'	

(F) **Dimensional Standards.** That all development in Area 'A' (i.e. Lots A1 – A12; Lots B1 - B7, & B24; Lots C1 – C9, C17 – C19, C23 – C25; & C27) on the above *Concept Plan* shall meet the requirements of the Single-Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). That all development in Area 'B' (i.e. Lots A13 – A19; Lots B10 – B23; C10 – C16; Lots D1 – D3) on the above *Concept Plan* shall meet the requirements of the Single-Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC).

(G) **Maximum Height.** That all development shall meet the height restrictions of no more than 30-feet above existing grade nor 12-feet above the building line of the uphill lot.

Exhibit 'D':
Density and Development Standards

MARINA VILLAGE.

(A) Land Uses. Townhomes

(B) Development Cases.

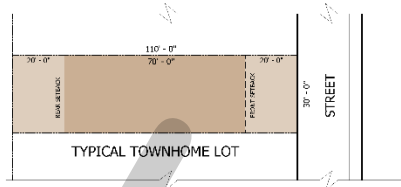
- (1) PZ1992-008-01. Zoning Change [*Ordinance No. 92-39*]. Adopted on October 19, 1992.
- (2) PZ1992-008-02. Preliminary Plat. Adopted on November 5, 1992.
- (3) Z2021-026. Zoning Change [*Ordinance No. 21-38*]. Adopted on August 16, 2021.

(C) Original Regulating Ordinance. *Ordinance No. 21-38*

(D) Concept Plan.

**Exhibit 'D':
Density and Development Standards**

MARINA VILLAGE, TOWNHOMES HOMES



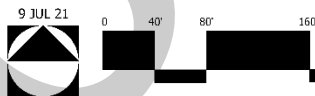
Data Summary

	Townhome Lots (30' x 100')	36 Lots	2.77 ac.
	Open Space	37.8%	2.60 ac.
	R.O.W		1.51 ac.
	TOTAL	36 Lots	6.88 ac.

Applicant:
NEWSTREAM CAPITAL PARTNERS, LLC
311 South Dixie, #250
Rockwall, Texas 75082
817-464-8193

Planner:

SAGE GROUP, INC.
Master Planning
Urban Design
Architecture
Landscape Architecture
1180 N. Central Ave., Ste. 300
Southlake, Texas 76092
817-464-9206



TAN HATCH INDICATES GARAGE IS AT GRADE ON THE UPPER FLOOR

BLUE HATCH INDICATES GARAGE IS AT GRADE ON THE LOWER FLOOR

VISITOR PARKING - 23 SPOTS

Marina Village - Rockwall

Rockwall, Rockwall County, Texas

**Exhibit 'D':
Density and Development Standards**

(E) Dimensional Standards.

(1) Permitted Uses. Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Two Family (2F) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future are permitted on the *Subject Property*; however, the following additional land uses shall be permitted *by-right*.

- Townhomes/Townhouses

(2) Density and Dimensional Standards. Unless specifically provided by this Planned Development ordinance, any development on the *Subject Property* shall be subject to the density and dimensional requirements required for a Two Family (2F) District, as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, the maximum permissible density for the *Subject Property* shall be 5.23 dwelling units per gross acre of land; however, in no case should the proposed development exceed 36-units. All development on the *Subject Property* shall conform to the standards stipulated by *Table 2: Lot Dimensional Requirements* below, and generally conform to the lot layout depicted in *Exhibit 'B'* of this ordinance.

Table 2: Lot Dimensional Requirements

MINIMUM LOT WIDTH	30'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	3,000 SF
MINIMUM FRONT YARD SETBACK ⁽¹⁾	20'
MINIMUM SIDE YARD SETBACK ⁽²⁾	0'/25'
MINIMUM SIDE YARD SETBACK (ADJACENT TO A STREET)	15'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT FROM FRONT PROPERTY LINE	25'
MAXIMUM HEIGHT ⁽³⁾	30'
MINIMUM REAR YARD SETBACK	10'
MINIMUM AREA/DWELLING UNIT (SF) [SUM OF ALL FLOOR AREA'S]	1,900 SF
MAXIMUM LOT COVERAGE	90%

NOTES:

- ¹: PORCHES, STOOPS, BAY WINDOWS, BALCONIES, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCR OACH BEYOND THE *FRONT YARD BUILDING SETBACK* BY UP TO FIVE (5) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON *SIDE YARD SETBACKS* WHERE APPROPRIATE FOR SUCH USE AND SHALL NOT ENCR OACH INTO THE PRIVATE RIGHT-OF-WAY.
- ²: THE SIDE YARD SETBACK ON THE ATTACHED SIDE MAYBE ZERO (0) IF DIRECTLY ABUTTING A STRUCTURE ON AN ADJACENT LOT.
- ³: THE MAXIMUM HEIGHT SHALL BE MEASURED TO THE MIDPOINT OF THE ROOF OF THE SINGLE-FAMILY HOME, AND IN NO CASE SHOULD ANY HOME EXCEED AN ELEVATION OF 500- FEET ABOVE SEA LEVEL.

(3) Garage Orientation. Garages shall be permitted to be forward facing (*i.e. facing onto the private street in a flat front entry configuration*) with a minimum driveway length of 25-feet.

(4) Building Standards. The building elevations shall differ in appearance through the use of varying entry features, use of detail and trim, use of materials, articulation and setback, and shall conform to the following requirements:

- (i) Masonry Requirements. The minimum masonry requirement for the exterior façades of all buildings shall be 90%. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementaceous fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and, stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) may be used for up to 50% of the exterior of the building and shall be limited to the anti-monotony restrictions as outlined in this ordinance.
- (ii) Roof Design Requirements. All buildings shall be designed such that no roof mounted mechanical equipment (*i.e. HVAC, satellite, vents, etc.*) shall be visible from any direction.

Exhibit 'D':
Density and Development Standards

Note: Screening of mechanical equipment is necessary for all equipment regardless of location (*i.e. roof mounted, ground mounted, or otherwise attached to the building and/or located on the site*).

- (iii) Architectural Requirements. All units shall be architecturally finished on all sides of the building with the same materials, detailing and features.
- (5) Anti-Monotony Restrictions. All development shall adhere to the following anti-monotony restrictions:
- (i) Identical brick blends, paint colors and, cementaceous products (*i.e. Hardy Plank lap siding, etc.*) may not occur on adjacent (*i.e. side-by-side*) properties within the development without at least two (2) intervening townhomes of differing materials on the same side of the adjacent townhome beginning with the adjacent property.
 - (ii) Front building elevations shall not repeat along any block face without at least two (2) intervening homes of differing appearance on the same block face within the development.
 - (iii) The rear elevation of homes shall not repeat without at least two (2) (*i.e. side-by-side*) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:
 - (a) Front Encroachment (*i.e. Porch and/or Sunroom*) Type and Layout
 - (b) Roof Type and Layout
 - (c) Articulation of the Front Façade
 - (d) Differing Primary Exterior Materials
- (6) Landscaping Standards.
- (i) Landscape Requirements. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.
 - (ii) Landscape Buffers. A minimum of a ten (10) foot landscape buffer shall be provided along the frontage of Henry M. Chandler Drive, and shall incorporate a minimum of one (1) canopy tree and one (1) accent tree per 50-feet of linear frontage.
 - (iii) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect.
- (7) Trash Dumpster Enclosure. If proposed trash dumpster enclosures shall be four (4) sided, with eight (8) foot walls constructed and clad with materials matching the primary structures of the townhomes, and have a self-latching opaque gate. All trash dumpster enclosures shall be internal to the site and not be situated within any established building setbacks or landscape buffers.
- (8) Fence Standards. All fences shall be required to be wrought iron or a tubular steel fence. Wrought iron/tubular steel fences shall be a minimum of four (4) feet in height; however, may not exceed a maximum of eight (8) feet in height.
- (9) Open Space. A minimum of 20% open space shall be provided which generally conforms to the *Concept Plan* contained in *Exhibit 'B'* of this ordinance. The Homeowner's Association (HOA) shall be responsible for maintaining all open space areas.
- (10) Private Right-of-Way. The proposed private right-of-way shall incorporate a minimum of a 29-foot *back-to-back* concrete street built to the City's standards.
- (11) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the Subdivision Regulations contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all neighborhood parks,

Exhibit 'D':
Density and Development Standards

open space and common areas, irrigation, landscaping, screening fences and the private roadways, drive aisles and drive approaches for the subject property associated with this development.

(12) Variances. The variance procedures and standards for approval that are set forth in the UDC shall apply to any application for variances to this ordinance

DRAFT
ORDINANCE
07.17.2023

Exhibit 'D':
Density and Development Standards

SPYGLASS HILL, PHASES 1, 2, & 3

(A) Land Uses. Condominiums

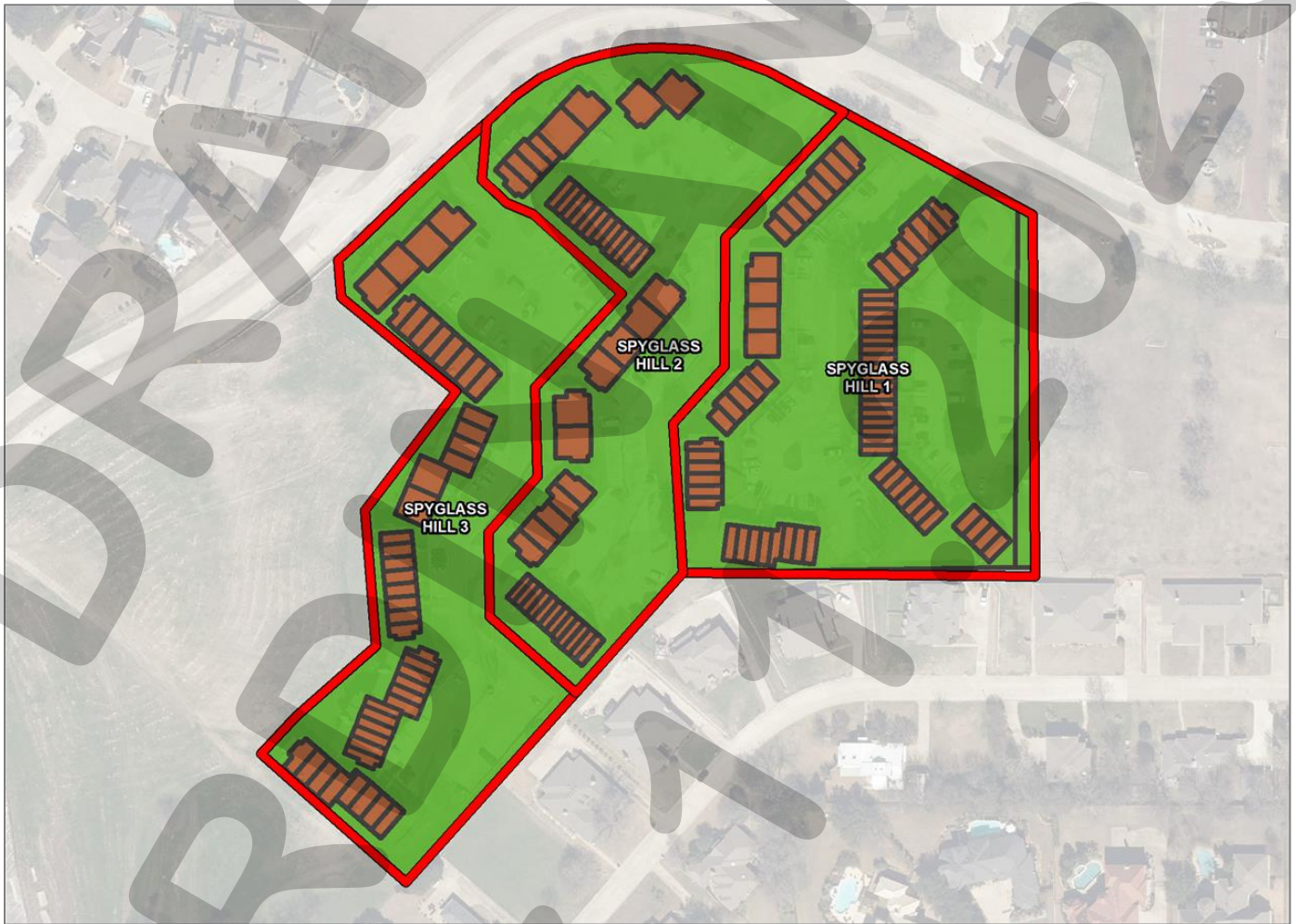
(B) Development Cases.

- (1) 1973: Zoning (*Ordinance No. 73-48*). Adopted on November 12, 1973.
- (2) 1982: Final Plat for Phase 1. Adopted on April 5, 1982.
- (3) 1982: Final Plat for Phase 2. Adopted on August 2, 1982.
- (4) 1985: Final Plat for Phase 3. Adopted on January 15, 1985.

(C) Original Regulating Ordinance. *Ordinance No. 73-48*

(D) Concept Plan.

SPYGLASS HILL, PHASES 1, 2, & 3. MULTI-FAMILY STRUCTURE OR CONDOMINIUM



(E) Density and Development Standards.

MULTI-FAMILY STRUCTURE OR CONDOMINIUM

MINIMUM LOT WIDTH	70'
MINIMUM LOT DEPTH	100'
MINIMUM LOT AREA	2,000 SF
MINIMUM FRONT YARD SETBACK	25'

Exhibit 'D':
Density and Development Standards

MINIMUM SIDE YARD SETBACK	(2) & (3) ⁽¹⁾
MINIMUM REAR YARD SETBACK	10'
MINIMUM PARKING SPACES REQUIRED PER UNIT	1½
MAXIMUM BUILDING COVERAGE	40%

NOTES:

¹: AS PER 9-602 OF THE 1972 ZONING ORDINANCE:

- (4) MULTIPLE FAMILY DWELLINGS NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL PROVIDE A MINIMUM SIDE YARD OF FIFTEEN (15) FEET BETWEEN ANY BUILDING WALL CONTAINING OPENINGS FOR WINDOWS, LIGHT, AND AIR AND ANY SIDE LOT LINE EXCEPT THAT ANY SUCH BUILDING FACE OR WALL NOT EXCEEDING 35-FEET IN WIDTH MAY PROVIDE A MINIMUM SIDE YARD OF TEN (10) FEET. WHERE A BUILDING WALL CONTAINS NO OPENINGS FOR WINDOWS, LIGHT OR AIR, A MINIMUM SIDE YARD OF TEN (10) FEET SHALL BE PROVIDED BETWEEN SUCH WALL AND THE SIDE LOT LINE.
- (5) ON A CORNER LOT, A SIDE YARD ADJACENT TO A STREET FOR A MULTIPLE FAMILY DWELLING NOT EXCEEDING THREE (3) STORIES IN HEIGHT SHALL NOT BE LESS THAN 15-FEET AND NO BALCONY OR PORCH OR ANY PORTION OF THE BUILDING MAY EXTEND INTO SUCH REQUIRED SIDE YARD EXCEPT THAT A ROOF MAY OVERHANG SUCH SIDE YARD NOT TO EXCEED FOUR (4) FEET.

DRAFT
ORDINANCE
07.17.2023



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 11, 2023
APPLICANT: Christopher Touoboun
CASE NUMBER: Z2023-030; *Zoning Change from Agricultural (AG) District to a Light Industrial (LI) District*

SUMMARY

Hold a public hearing to discuss and consider a request by Christopher Touoboun on behalf of Dennis Lewis of Meals on Wheels Senior Service of Rockwall County for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.

BACKGROUND

The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10 [i.e. Case No. A1998-001]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to Rockwall Central Appraisal District, there was an 1,892-SF single-family residential home that was constructed on the property in 1975; however, according to the newest aerial images, the residential home has been removed from the subject property. Staff could not find a demolition permit for this removal. The subject property is currently vacant.

PURPOSE

On June 16, 2023, the applicant -- *Christopher Touoboun* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1780 Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of Airport Road is one (1) tract of land (*i.e. Tract 22 of the D. Harr Survey, Abstract No. 102*). Beyond this is a 42.66-acre vacant tract of land (*i.e. Tract 7 of the D. Harr Survey, Abstract No. 102*) that forms part of a 43.66-acre tract of land zoned Agricultural (AG) District. North of this is E. State Highway 66, which is classified as a P6D (*i.e. principal arterial, six (6) lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Beyond this is a vacant 4.114-acre tract of land (*i.e. which is part of a larger 10.291-acre tract of land and is identified as Tract 2-2 of the D Harr. Survey, Abstract No. 102*). Beyond this is a vacant two (2) acre tract of land (*i.e. Tract 2-8, of the D. Harr Survey, Abstract 102*). Both of these properties are zoned Agricultural (AG) District. Beyond that is an 18.5175-acre vacant tract of land (*i.e. Tract 3-5, of the J Lockhart Survey, Abstract 134*) zoned Light Industrial (LI) District and Commercial (C) District.

East: Directly east of the subject property is a 16.89-acre tract of land (*i.e. Tract 4 of the D. Harr Survey, Abstract No. 102*) zoned Light Industrial District. Beyond this are two (2) tracts of land (*i.e. 1890 and 1930 Airport Road*), which are

developed with the Blackland Water Supply Pump Station and the other with a single-family home. Both of these lots are zoned Agricultural (AG) District. East of this is an 8.415-acre tract of land (i.e. *Tract 25-01 of the E.M. Elliot Survey, Abstract No. 77*) that is zoned Agricultural (AG) District.

West: Directly west of the subject property is a 6.177-acre tract of vacant land (i.e. *Tract 2-01 of the D. Harr Survey, Abstract No. 102*), which is zoned Agricultural (AG) District and belongs to *Rockwall Presbyterian Church*. Beyond this is a 5.784-acre tract of vacant land (i.e. *Tract 2-03 of the D. Harr Survey, Abstract No. 102*), which is zoned Agricultural (AG) District. West of this is a vacant 5.07-acre tract of vacant land (i.e. *Tract 2-06 of the D. Harr Survey, Abstract No. 102*) also zoned Agricultural (AG) District. Beyond this is S. John King Boulevard, which is identified as a P6D (i.e. *a principal arterial, six [6] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the 6.21-acre parcel of land from an Agricultural (AG) District to a Light Industrial (LI) District. It should be noted, that if this zoning change is approved, any development on the subject property will be required to adhere to all applicable requirements of the Unified Development Code (UDC) for a property that is zoned Light Industrial (LI) District and is situated within the Airport Overlay (AP OV) District.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses ... [and] is intended for industrial parks and larger, cleaner types of industries.” In this case, the properties adjacent to the subject property are zoned Light Industrial (LI) and Agricultural (AG) District. Based on this, the requested zoning change does appear to conform to the surrounding area. If the applicant’s zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Light Industrial (LI) District, which are summarized as follows:

TABLE 1: LIGHT INDUSTRIAL (LI) DISTRICT DEVELOPMENT STANDARDS

<i>Minimum Lot Area</i>	12,500 SF
<i>Minimum Lot Width</i>	100’
<i>Minimum Lot Depth</i>	125’
<i>Minimum Front Yard Setback</i> ⁽¹⁾	25’
<i>Minimum Side Yard Setback</i> ^{(2) & (3)}	15’ + ½ Height Over 36’
<i>Minimum Rear Yard Setback</i> ^{(2) & (3)}	10’
<i>Minimum Between Buildings</i> ^{(2) & (3)}	15’ + ½ Height Over 36’
<i>Maximum Building Height</i> ⁽⁴⁾	60’
<i>Maximum Building Size</i>	N/A
<i>Maximum Lot Coverage</i>	60%
<i>Minimum Landscaping</i>	15%

General Notes:

- ^{1:} From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.
- ^{2:} Not to exceed 50-feet.
- ^{3:} ½ Height Over 36-feet with a fire rated wall.
- ^{4:} Building height may be increased up to 120-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Central District and is designated for Technology/Employment Center land uses. The Central District is defined as being “...composed of a wide range of uses that vary from single-family to industrial... [and] (t)he Central District also incorporates a high volume of industrial land uses adjacent to the Union Pacific/Dallas Garland and Northeastern Railroad line that bisects the district.” Based on this the proposed zoning change conforms to the Technology/Employment Center land use designation and with the District Strategies of the Central District.

NOTIFICATIONS

On June 22, 2023, staff notified 16 property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff had not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1770 + 1780 Airport Road

SUBDIVISION D. Harr Survey

Traff 2 Abstract 102

GENERAL LOCATION E of the intersection of S. John King Boulevard & Airport Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agricultural

CURRENT USE Vacant

PROPOSED ZONING Light Industrial

PROPOSED USE _____

ACREAGE 6.21

LOTS [CURRENT] _____

1

LOTS [PROPOSED] _____

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Dennis Lewis

APPLICANT Christopher Touboun

CONTACT PERSON _____

CONTACT PERSON _____

ADDRESS _____

ADDRESS 1628 Trowbridge Circle

Rockwall, TX, 75082

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE 316-377-4770

E-MAIL _____

E-MAIL tsotezo@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DENNIS LEWIS [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

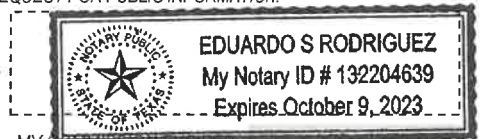
"I HEREBY CERTIFY THAT, I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$293.15 ~~2023~~ June 2023, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF June, 2023

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

Eduardo S. Rodriguez

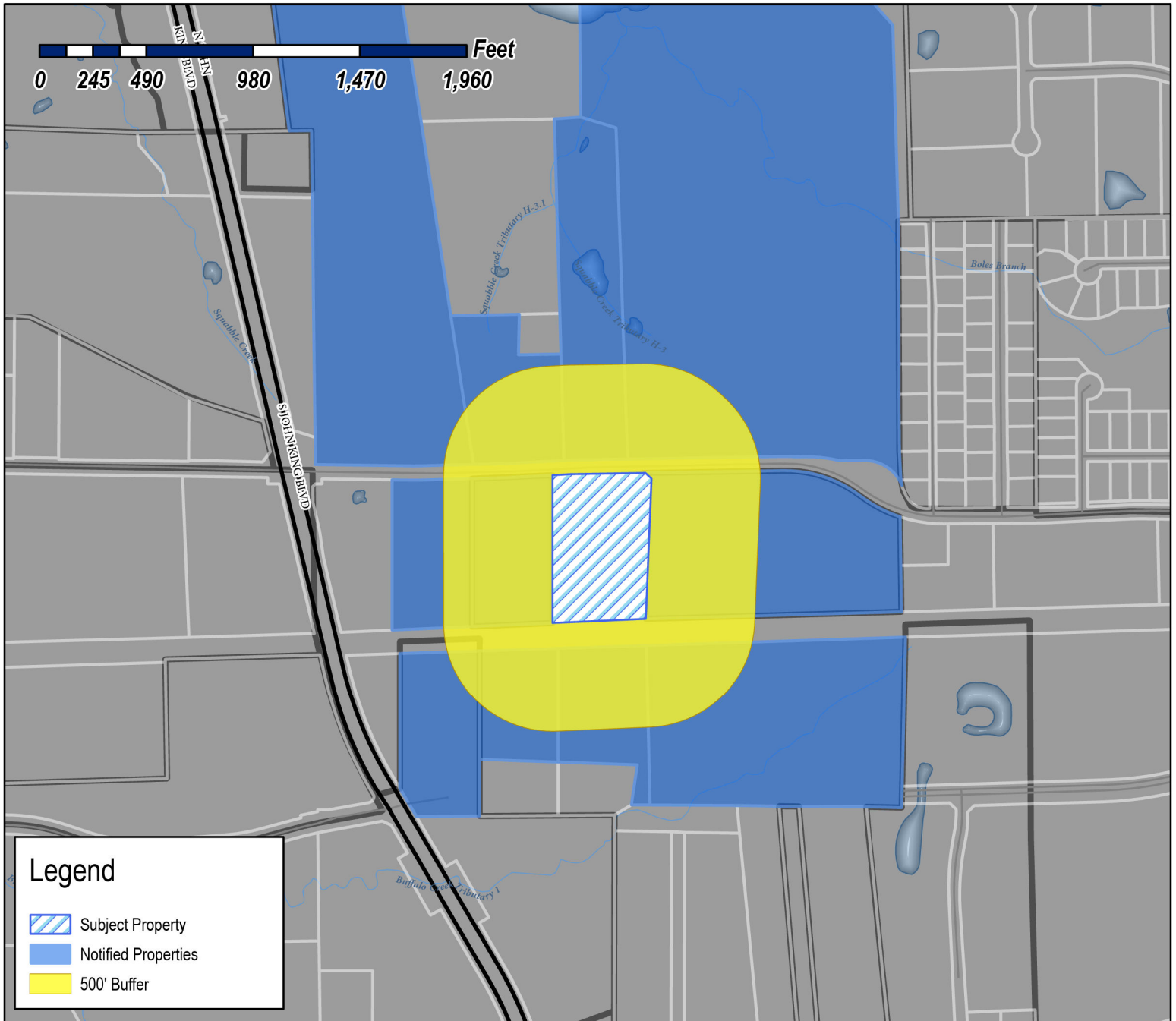




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

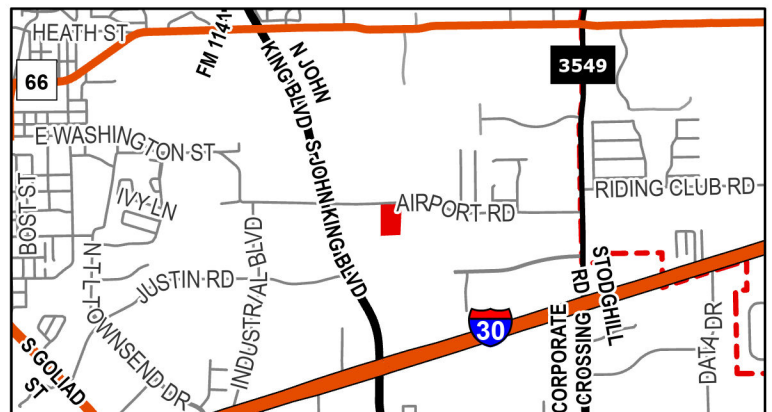
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-030
Case Name: Zoning Change from AG to LI
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1770 Airport Road

Date Saved: 6/19/2023

For Questions on this Case Call: (972) 771-7746



RESIDENT
1701 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
1765 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
1780 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
1815 AIRPORT RD
ROCKWALL, TX 75087

RESIDENT
1820 JUSTIN RD
ROCKWALL, TX 75087

RESIDENT
1824 AIRPORT RD
ROCKWALL, TX 75087

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

ATHEY JACKIE R
212 JOE WHITE
ROCKWALL, TX 75087

ROCKWALL PRESBYTERIAN CHURCH
306 EAST RUSK ST
ROCKWALL, TX 75087

BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JCP JUSTIN LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

PLATFORM ROCKWALL LP
ATTN JUSTIN T DAY
4131 SPICEWOOD SPRINGS RD SUITE E4
AUSTIN, TX 78759

ADD REAL ESTATE LTD
PO BOX 679
KELLER, TX 76248

MEALS ON WHEELS SENIOR SERVICES OF
ROCKWALL COUNTY
PO BOX 910
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-030: Zoning Change from AG to LI

Hold a public hearing to discuss and consider a request by Christopher Touoboun on behalf of Dennis Lewis of Meals on Wheels Senior Service of Rockwall County for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-030: Zoning Change from AG to LI

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS CHRISTOPHER TOUBOUN and MEALS ON WHEELS SENIOR SERVICES OF ROCKWALL COUNTY, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being a part of Tract D-1 described in a deed to Jackie Ray Athey, as recorded in Volume 4875, Page 140 of the Official Public Records of Rockwall County, Texas, and being the same tract of land as described in a Warranty deed from Arupa Holdings, LLC to Christopher Touoboun, as recorded in Document no. 2022000025054 of the Official Public Records of Rockwall County, Texas and the same tract as described in a Warranty deed to Meals on Wheels Senior Services of Rockwall County, as recorded in Document no. 20210000014426 and Document no. 20210000008327 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the intersection of the west boundary line of said Tract D-1, with the south line of Airport Road, said point also being in the east boundary of a tract of land as described in a Warranty deed to Rockwall Presbyterian Church, dated October 23, 2019 and being recorded in Document number 2019000018892 of the Official Public Records of Rockwall County, Texas;

THENCE N. 89 deg 46 min. 28 sec. E. along the south line of Airport Road, a distance of 383.27 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 12 min. 22 sec. E. a distance of 57.86 feet to a 1/2" iron rod found for corner;

THENCE S. 05 deg. 52 min. 46 sec. W. a distance of 665.72 feet to a 1/2" iron rod found for corner in the north right-of-way of the Union Pacific Railroad;

THENCE S. 89 deg. 20 min. 54 sec. W. along said railroad right-of-way, a distance of 403.86 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 13 min. 58 sec. E. along the west boundary line of said tract, a distance of 690.41 feet to the POINT OF BEGINNING and containing 301,247 square feet or 6.92 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as AIRPORT SOUTH ADDITION, LOT 1 AND 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in AIRPORT SOUTH ADDITION, LOT 1 AND 2, BLOCK A have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curbs and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

Christopher Touoboun _____

for Meals on Wheels Senior Services of Rockwall County _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Christopher Touoboun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas _____ My Commission Expires: _____

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.



Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission _____ Date _____

APPROVED

I hereby certify that the above and foregoing plat of AIRPORT SOUTH ADDITION, LOT 1 AND 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, _____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____, _____.

Mayor, City of Rockwall _____ City Secretary City of Rockwall _____

City Engineer _____ Date _____

FINAL PLAT
AIRPORT SOUTH ADDITION
LOT 1 AND 2, BLOCK A
6.92 ACRES 301,247 S.F.

DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
MEALS ON WHEELS
SENIOR SERVICES
OF ROCKWALL COUNTY
P.O. BOX 910
ROCKWALL, TEXAS 75087

OWNER:
CHRISTOPHER TOUBOUN
1648 TROWBRIDGE CIR
ROCKWALL, TEXAS 75032

SYMBOL LEGEND	
TV	TELEVISION
CS	CABLE RISER
GA	GAS
PH	PHONE
RI	RISER
HT	HORSE
PO	POWER
EB	ELEC BOX
WT	WATER
LI	LIGHT
SP	SPRING
IR	IRON ROD FOUND
CP	CORNER
---	EASEMENT LINE
---	Property Line

SURVEY DATE NOVEMBER 29, 2022
SCALE 1" = 50' FILE # 20200471-FP
CLIENT ARUPA HOLDINGS, LLC

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		P
Animal Shelter or Loafing Shed	(6)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		P
Convalescent Care Facility/Nursing Home	(6)		S
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Crematorium	(8)		S
Daycare with Seven (7) or More Children	(9)	(4)	S
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		S
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Regional Post Office	(19)		P
Prison/Custodial Institution	(20)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Rescue Mission or Shelter for the Homeless	(24)		P
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		P
Golf Driving Range	(6)		P
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		P
Public Park or Playground	(12)		P
Sexually Oriented Businesses [Art. XI; CH. 12; Municipal Code]	(13)	(7)	S
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		P
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	S
General Retail Store	(15)		S
Hair Salon and/or Manicurist	(16)		S
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		S
Pawn Shop	(22)		P
Permanent Cosmetics	(23)	(7)	A

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Temporary Real Estate Sales Office	(25)		P
Rental Store without Outside Storage and/or Display	(26)	(8)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		P
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Taxidermist Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		P
Building and Landscape Material with Outside Storage	(2)	(1)	P
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales with Outside Storage	(3)	(3)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Commercial Cleaners	(4)		P
Custom and Craft Work	(5)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Feed Store or Ranch Supply	(7)		S
Furniture Upholstery/Refinishing and Resale	(8)	(4)	P
Gunsmith Repair and Sales	(9)		P
Rental, Sales and Service of Heavy Machinery and Equipment	(10)	(5)	S
Locksmith	(11)		P
Machine Shop	(12)		P
Medical or Scientific Research Lab	(13)		P
Research and Technology or Light Assembly	(15)		P
Trade School	(17)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Major Auto Repair Garage	(1)	(1)	S
Minor Auto repair garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Used Motor Vehicle Dealership for Cars and Light Trucks}	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
Towing and Impound Yard	(12)	(9)	S
Towing Service without Storage	(13)	(10)	P
Truck Rental	(14)		S
Truck Stop with Gasoline Sales and Accessory Services	(15)	(11)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Asphalt or Concrete Batch Plant	(1)	(1)	S
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Bottle Works for Milk or Soft Drinks	(3)		P
Brewery or Distillery	(4)	(3)	P
Carpet and Rug Cleaning	(5)		P
Environmentally Hazardous Materials	(6)	(4)	S
Food Processing with No Animal Slaughtering	(7)		P
Light Assembly and Fabrication	(8)		P
Heavy Manufacturing	(9)		S
Light Manufacturing	(10)		P
Metal Plating or Electroplating	(11)		S
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
Printing and Publishing	(13)		P
Salvage or Reclamation of Products Indoors	(14)		P
Salvage or Reclamation of Products Outdoors	(15)		S
Sheet Metal Shop	(16)		P
Tool, Dye, Gauge and/or Machine Shop	(17)		P
Welding Repair	(18)		P
Winery	(19)	(6)	P
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Cold Storage Plant	(1)		P
Heavy Construction/Trade Yard	(2)		P
Mini-Warehouse	(4)	(1)	P
Outside Storage and/or Outside Display	(5)	(2)	P
Recycling Collection Center	(6)		P
Warehouse/Distribution Center	(7)		P
Wholesale Showroom Facility	(8)		P
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Airport, Heliport or Landing Field	(1)		S
Antenna, as an Accessory	(2)	(1)	P

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PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Commercial Antenna	(3)	(2)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	P
Mounted Commercial Antenna	(7)	(6)	P
Bus Charter Service and Service Facility	(8)		P
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Trucking Company	(19)		P
TV Broadcasting and Other Communication Service	(20)		P
Utilities Holding a Franchise from the City of Rockwall	(21)		P
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO LIGHT INDUSTRIAL (LI) DISTRICT FOR A 6.21-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACT 4 AND ALL OF TRACT 2 OF THE D. HARR SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Christopher Touoboun on behalf of Dennis Lewis of Meals on Wheels for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Light Industrial (LI) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 05.01, *General Industrial District Standards*; Section 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF AUGUST, 2023.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 17, 2023

2nd Reading: August 7, 2023

Exhibit 'A'
Legal Description

EXHIBIT A

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being a part of Tract D-1 described in a deed to Jackie Ray Athey, as recorded in Volume 4875, Page 140 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner in the south line of Airport Road, said point also being at the northeast corner of a 0.70 acres tract of land as described in a Warranty deed to Arupa Holdings, LLC, dated January 21, 2021 and being recorded in Document number 20210000001559 of the Official Public Records of Rockwall County, Texas;

THENCE N. 89 deg 46 min. 28 sec. E. along the south line of Airport Road, a distance of 253.27 feet to a 1/2" iron rod found for corner at the northwest corner of said tract as recorded in Deed to Jo Ann Athey and Jackie Ray Athey, as recorded in Document no. 20200000022373 of the Official Public Records of Rockwall County, Texas,

THENCE S. 01 deg. 11 min. 10 sec. W. a distance of 686.93 feet to a 1/2" iron rod found for corner in the north right-of-way of Union Pacific Railroad, at the southeast corner of Tract D-1;

THENCE S. 89 deg. 12 min. 30 sec. W. along said right-of-way line, a distance of 371.89 feet to a 1/2" iron rod found for corner at the southwest corner of said Tract D-1;

THENCE N. 00 deg. 13 min. 58 sec. E. along the west boundary line of said tract, a distance of 455.85 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner at the southwest corner of said 0.70 acres tract of land;

THENCE N. 89 deg. 46 min. 28 sec. E. a distance of 130.00 feet to a 1/2" iron rod with yellow plastic cap stamped "RPLS 5034" set for corner at the southeast corner of said 0.70 acres tract of land;

THENCE N. 00 deg. 13 min. 58 sec. E. a distance of 234.56 feet to the POINT OF BEGINNING and containing 5.27 acres of land.

Exhibit 'A'
Legal Description

EXHIBIT A

BEING a 0.940 acre tract of land situated in the **DAVID HARR SURVEY, ABSTRACT NO. 102**, in the City Rockwall, Rockwall County, Texas, being a portion of that certain tract of land described in a deed to Ruby L. Athey, recorded in Volume 254, Page 916, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with plastic cap stamped "BLUESTAR SURVEYING" set for the northwest corner of a tract of land described in a deed to RBB/GCF Properties, LP, recorded in Volume 6690, Page 217, Deed Records, Rockwall County, Texas, said point being in the south right-of-way line of Airport Road (a variable width public right-of-way);

THENCE S 47°15'09" E, crossing said Ruby L. Athey tract, and along the west line of said RBB/GCF Properties, LP tract, a distance of 38.73 feet to a 1/2 inch iron rod with plastic cap stamped "BLUESTAR SURVEYING" set for corner;

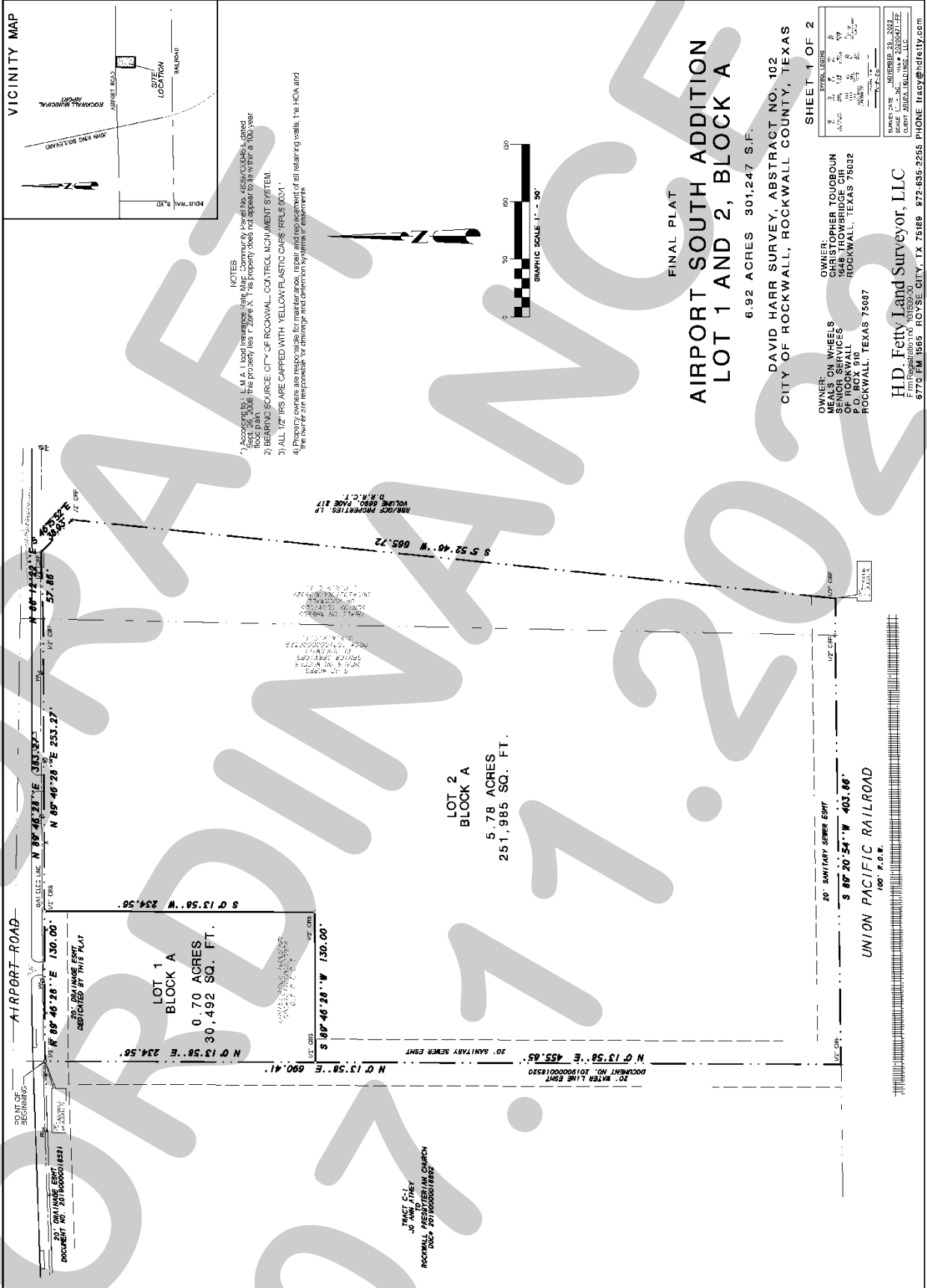
THENCE S 04°48'43" W, crossing said Ruby L. Athey tract, and along the west line of said RBB/GCF Properties, LP tract, a distance of 665.73 feet to a 1/2 inch iron rod found for the southwest corner of said RBB/GCF Properties, LP tract, said point being in the north right-of-way line of M. K. & T. Railroad;

THENCE S 89°37'27" W, crossing said Ruby L. Athey tract, a distance of 32.02 feet to a 1/2 inch iron rod found for corner, said point being the southeast corner of a tract of land described in a deed to Jackie Ray Athey, recorded in Volume 4875, Page 140, Deed Records, Rockwall County, Texas;

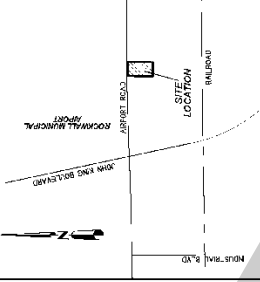
THENCE N 00°10'05" E, crossing said Ruby L. Athey tract, and along the east line of said Jackie Ray Athey tract, a distance of 638.17 feet to a 1/2 inch iron rod with cap stamped "BRITTON & CRAWFORD" set for corner, said point being in the south right-of-way line of said Airport Road;

THENCE N 88°17'24" E, crossing said Ruby L. Athey tract, a distance of 57.43 feet to the **POINT OF BEGINNING** and containing 40,959 square feet or 0.940 acres of land more or less.

Exhibit 'B'
Zoning Exhibit



VICINITY MAP



NOTES

- 1) According to L.M.A. field measurements, the Community Parcel No. 4582, C/O.D.S. Limited liability Co. the property lies 7' from A. This property does not appear to be within a 100-year flood plain.
- 2) BEARING SOURCE: CITY OF ROCKWALL - CONTROL ACQUISITION SYSTEM.
- 3) ALL 1/2\"/>

FINAL PLAT
AIRPORT SOUTH ADDITION
LOT 1 AND 2, BLOCK A

6.92 ACRES 301,247 S.F.

DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:	MEALS ON WHEELS
OWNER:	CHRISTOPHER TOROBLON
OWNER:	SENIOR SERVICES
OWNER:	1848 TROWBRIDGE CIR
OWNER:	ROCKWALL, TEXAS 75082
OWNER:	P.O. BOX 810
OWNER:	ROCKWALL, TEXAS 75087

H.D. Fetty Land Surveyor, LLC
 Firm Registration No. 10165000
 8770 FM 1985, ROCKWALL, TEXAS 75087
 PHONE: 872-695-2255
 EMAIL: hfdetty@hdfetty.com



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 11, 2023

APPLICANT: Manuel Tijerina

CASE NUMBER: Z2023-031; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision at 709 Forest Trace*

SUMMARY

Hold a public hearing to discuss and consider a request by Manuel Tijerina for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation.

PURPOSE

The applicant -- *Manuel Tijerina* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 709 Forest Trace. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is are three (3) parcels of land (*i.e. 703, 705, and 707 Forest Trace*) developed with single-family homes. North of these properties is W. Boydston Avenue, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond this is one (1) parcel of land (*i.e. 202 W. Boydston Avenue*) developed with a single-family home. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property are four (4) parcels of land (*i.e. 711, 713, 715, and 201 Forest Trace*) developed with single-family homes. Beyond this is the Lake Meadows Subdivision, which consists of 26 single-family residential lots on 18.53-acres. These properties and this subdivision are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

East: Directly east of the subject property are two (2) parcels of land (*i.e. 706 and 710 S. Alamo Road*) developed with single-family homes that are zoned Single-Family 10 (SF-10) District. East of this is the intersection of S. Alamo Road and W. Ross Street. Both of these roadways are identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan. Beyond

this are Lots 1-7 of the Amachris Place Subdivision and Lot 5, Block F, of the Sanger Addition which are zoned Planned Development District 12 (PD-12), as well as a portion of the Sanger Subdivision (*i.e. Lots 6-13, Block M, Sanger Addition*) zoned Zero Lot Line 5 (ZL-5) District.

West: Directly west of the subject property are two (2) parcels of land (*i.e. 708 and 710 Forest Trace*) developed with single-family homes. East of these are an additional two (2) parcels of land (*i.e. 707 and 709 Ridgeview Drive*) developed with single-family homes and are zoned Single-Family 10 (SF-10) District. Beyond this is Ridgeview Drive, which is identified an R2 (*i.e. residential, two (2) lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is located in the Highridge Estates Subdivision, which has been in existence since 1972, consists of 99 single-family residential lots, and is more than 90.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Forest Trace compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Forest Trace	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	All of the homes located along Forest Trace are oriented towards Forest Trace.	The front elevation of the home will face onto Forest Trace.
Year Built	1976-2003	N/A
Building SF on Property	2,509 SF – 4,730 SF	4,237 SF
Building Architecture	Traditional Brick/Stone Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) foot rear yard setback.	10-Feet
Building Materials	HardiBoard/HardiePlank, Brick, and Stone.	Combination of Brick, Stone, and Siding
Paint and Color	White, Cream, Red, Pink, Beige, and Brown	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the rear of the homes and not visible from Forest Trace.	The garage will be located in the rear of the proposed home.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Forest Trace and the proposed building elevations in the attached packet. The approval of this

request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On June 22, 2023, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Bent Creek Condos, Stonebridge Meadows, and Highridge Estates Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: *Alji*

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 709 Forest Trace

SUBDIVISION High Ridge Estates

LOT 13 BLOCK A

GENERAL LOCATION Skolisel & Boydston Ave

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE Vgent

PROPOSED ZONING _____

PROPOSED USE New Home Construction

ACREAGE _____

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Manuel Tijerina

APPLICANT _____

CONTACT PERSON Manuel Tijerina

CONTACT PERSON Olivia Pasadas

ADDRESS 7922 Garner Rd

ADDRESS 41 Anna Leis Dr

CITY, STATE & ZIP Rowlett, TX 75088

CITY, STATE & ZIP Waxahatchie TX 75167

PHONE 214-773-9971

PHONE 214 284 5571

E-MAIL manueltijerina70@gmail.com

E-MAIL OlPasadas@gmail.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Manuel Tijerina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

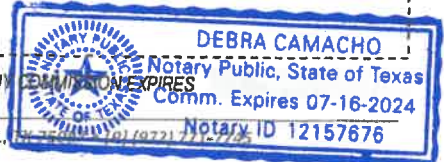
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF June 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF June, 2023

OWNER'S SIGNATURE Manuel Tijerina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Debra Camacho





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

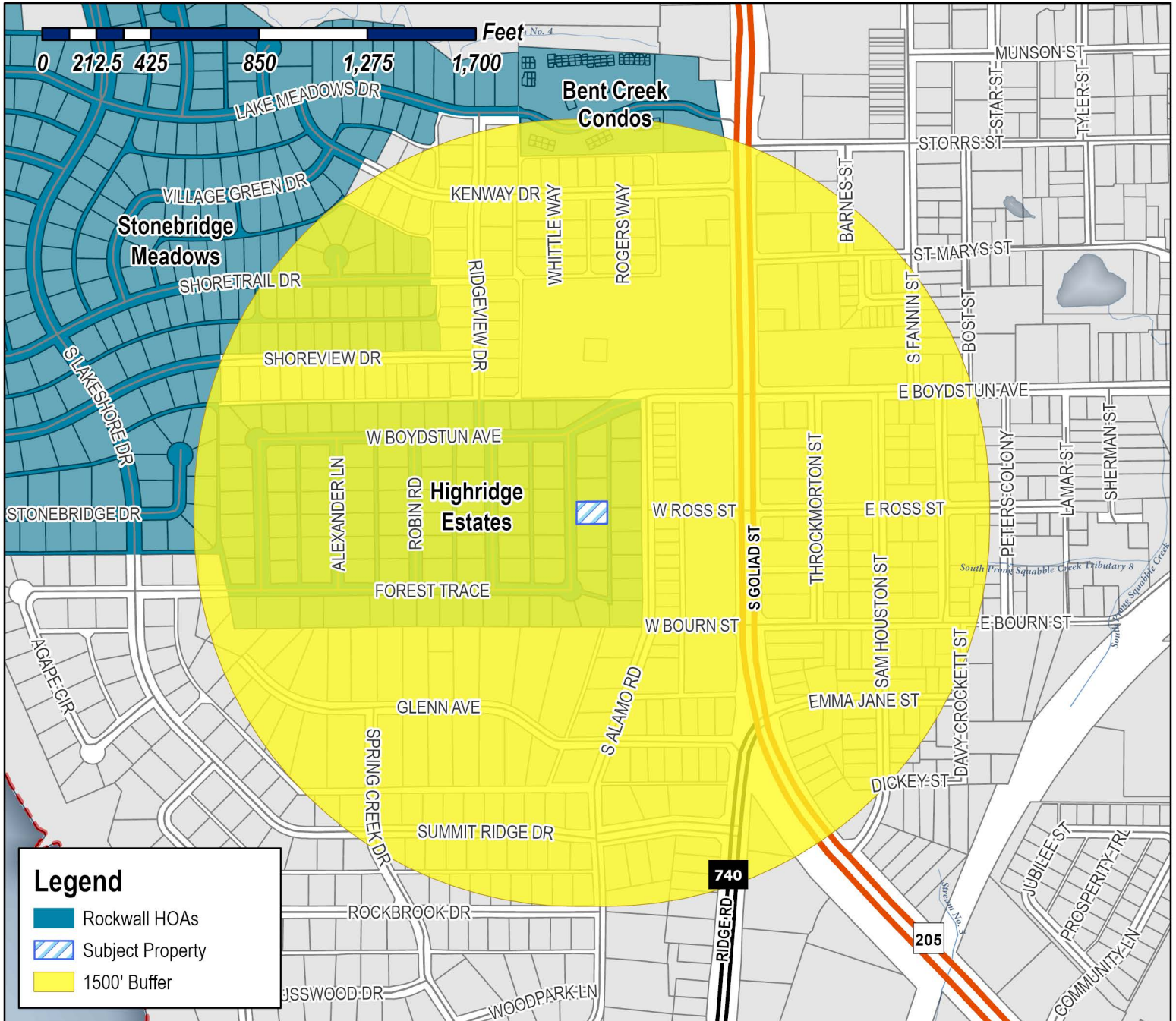




City of Rockwall

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Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Guevara, Angelica](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-031]
Date: Monday, June 19, 2023 3:54:11 PM
Attachments: [HOA Map \(06.16.2023\).pdf](#)
[Public Notice \(P&Z\) - \(06.19.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [June 23, 2023](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 11, 2023 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 17, 2023 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-
Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

Thank you,

Melanie Zavala

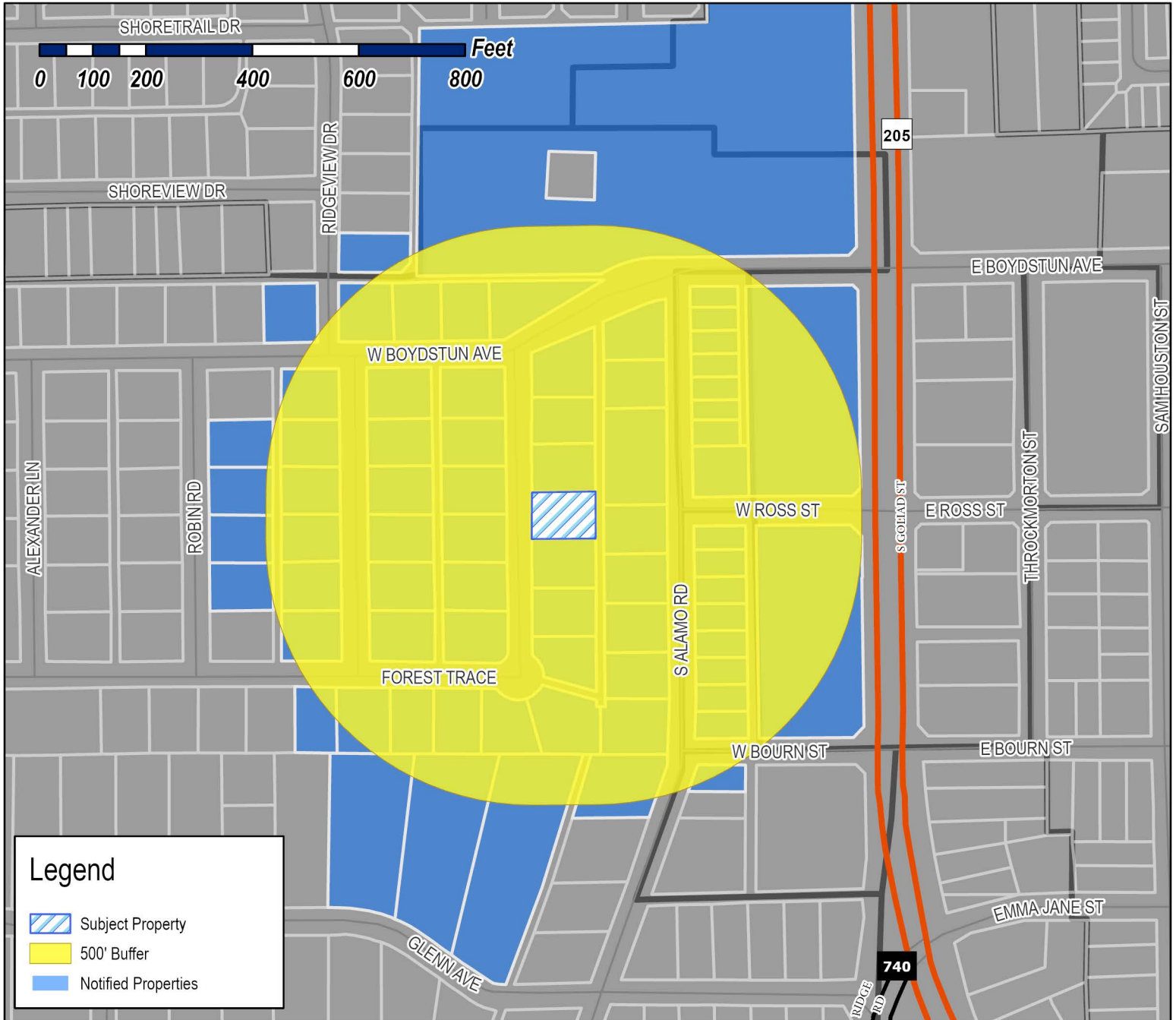
Planning Coordinator
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-771-6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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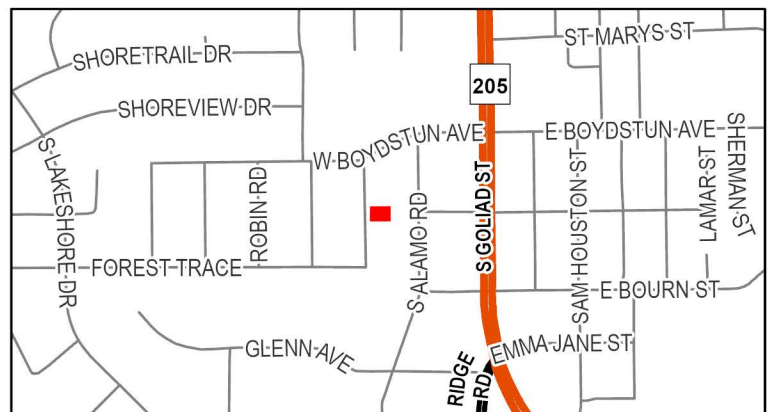
Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2023-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 709 Forest Trace

Date Saved: 6/16/2023

For Questions on this Case Call: (972) 771-7746



BAUMANN HARRY EDWARD
10 WATERS EDGE CT
HEATH, TX 75032

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

OTTO IRIS
1502 S 1ST ST STE 3
GARLAND, TX 75040

TIJERINA MANUEL
1713 MISSION DR
GARLAND, TX 75042

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

RADNEY JAMES C
1972 CR 2296
QUINLAN, TX 75474

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA
202 W BOYDSTUN ST
ROCKWALL, TX 75087

RESIDENT
203 FOREST TRACE
ROCKWALL, TX 75087

CHANHMISAY KESONE & SYAMPHAY
204 GLENN AVE
ROCKWALL, TX 75087

MARKS RICHARD R & JUNE
TRUSTEES OF THE MARKS FAMILY LIVING TRUST
204 W BOYDSTUN AVE
ROCKWALL, TX 75087

HAYDICKY JOSEPH N
205 FOREST TRACE
ROCKWALL, TX 75087

ANGIEL JOHN H & KAY M
206 GLENN AVE
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011
REX M PREDDY AND PATTI S PREDDY- TRUSTEES
206 WEST BOYDSTUN AVE
ROCKWALL, TX 75087

BROWN BREANNE ELIZABETH STRAWN AND
AARON KRISTOPHER
207 FOREST TRACE
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA
208 BOYDSTUN AVE
ROCKWALL, TX 75087

STOVALL RAYMOND P
2404 DOVE CREEK DR
LITTLE ELM, TX 75068

ST CLAIR DOUG & KELLY
301 FOREST TRACE
ROCKWALL, TX 75087

COMPTON HAYDEN AND TAYLOR LOVERA
302 W BOYDSTUN AVE
ROCKWALL, TX 75087

CONFIDENTIAL
303 FOREST TRACE
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON
517 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
602 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST
664 SORITA CIR
HEATH, TX 75032

REED DARLENE
701 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
702 S ALAMO DR
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY
703 FOREST TRACE
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY
703 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

RESIDENT
703 S ALAMO
ROCKWALL, TX 75087

FREED SARAH
704 FOREST TRACE
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J
704 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
704 S ALAMO DR
ROCKWALL, TX 75087

CULLINS JENNIFER L
705 FOREST TRACE
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST
C/O ROBERT LOUIS AND
705 RIDGEVIEW DR
ROCKWALL, TX 75087

STROMAN ROBERT E & JUDY DANIELS
705 ROBIN RD
ROCKWALL, TX 75087

RESIDENT
705 S ALAMO
ROCKWALL, TX 75087

FORD CLYDE G
706 FOREST TRACE
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S
706 RIDGEVIEW DRIVE
ROCKWALL, TX 75087

MILLS CHARLES O
706 S ALAMO RD
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &
DAVID SCOTT
707 FOREST TRCE
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE
707 RIDGEVIEW DR
ROCKWALL, TX 75087

FLOWERS DONALD
707 ROBIN DR
ROCKWALL, TX 75087

RESIDENT
707 S ALAMO
ROCKWALL, TX 75087

KELEMEN ANNA V AND
MATTHEW BURBRIDGE
708 FOREST TRACE
ROCKWALL, TX 75087

FLOURA ROSEANN EXECUTOR
708 RIDGEVIEW DR
ROCKWALL, TX 75087

RESIDENT
709 FOREST TRACE
ROCKWALL, TX 75087

RESIDENT
709 ROBIN RD
ROCKWALL, TX 75087

FALCON ANN L & LEONARD
709 RIDGEVIEW DR
ROCKWALL, TX 75087

FLEMING LINDA
709 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
710 RIDGEVIEW DR
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY
710 FOREST TRACE
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT
710 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
710 S GOLIAD ST
ROCKWALL, TX 75087

SMITH MARY AND KEITH H
711 FOREST TRACE
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M
711 RIDGEVIEW
ROCKWALL, TX 75087

MUNOZ THOMAS & SUZANNE
711 ROBIN DR
ROCKWALL, TX 75087

POPP KATHLEEN
711 S ALAMO
ROCKWALL, TX 75087

GRAY JIM
712 FOREST TRACE
ROCKWALL, TX 75087

MORI DANIEL J & JUDY
712 RIDGEVIEW DR
ROCKWALL, TX 75087

HILLMAN DORIANN AND
JOEL OTT
713 FOREST TRACE
ROCKWALL, TX 75087

COHEN MARK A
713 RIDGEVIEW DR
ROCKWALL, TX 75087

SHERA DEBORAH K
713 S ALAMO RD
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS
714 FOREST TRCE
ROCKWALL, TX 75087

SIPLE MARIAN C
714 RIDGEVIEW DR
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P
715 FOREST TRCE
ROCKWALL, TX 75087

MILLS CHARLES O
715 S ALAMO RD
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN
801 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
802 S GOLIAD
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S
803 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
804 S ALAMO DR
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA
805 S ALAMO RD
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST
SHARON K FRENCH, TRUSTEE
806 SOUTH ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
807 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND
LACEY WALLACE
808 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
809 ALAMO RD
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO ROAD
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

RESIDENT
813 S ALAMO RD
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

CROSBY SILAS SAMUEL AND RACHEL E
8706 WESTFIELD DRIVE
ROWLETT, TX 75088

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO ROAD
ROCKWALL, TX 75087

RESIDENT
902 S ALAMO
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-031: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Manuel Tigering for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.248-acre parcel of land identified as Lot 13, Block A, Highridge Estate Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-031: SUP for Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

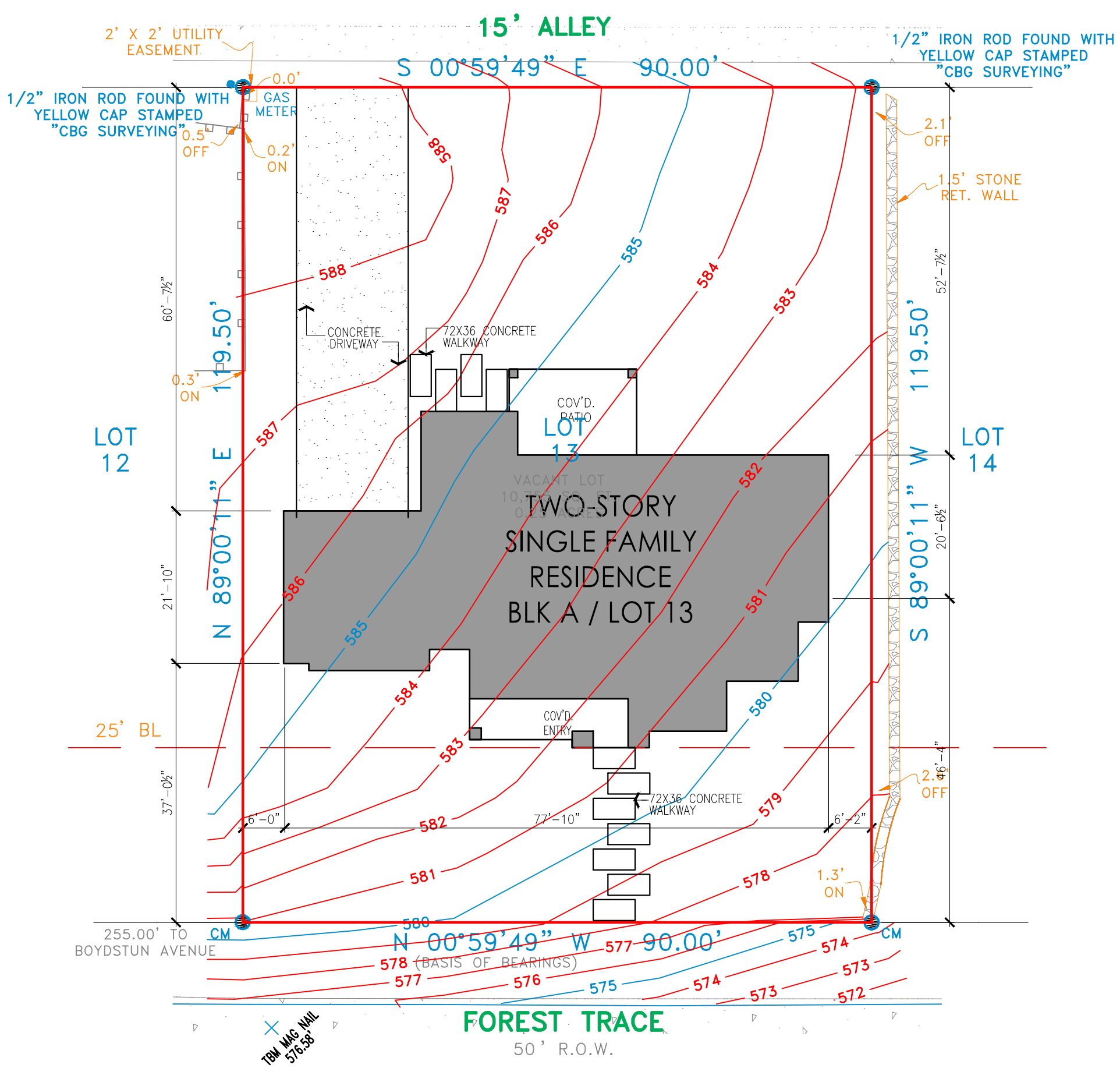
[Empty form area for comments]

Name: [Input field]

Address: [Input field]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



709 FOREST TRACE
 BLK A / LOT 13 / HIGH RIDGE STATE
 ROCKWALL, ROCKWALL COUNTY, TX



LEGEND:

- DRAINAGE ARROW
- REAR PATIO AREA
- NOTE: CROSS HATCHED AREA INDICATES REAR YARD OPEN SPACE.
- NOTE: BUILDER SHOULD PLANT TREE AS PER COMMUNITY STANDARD AS REQUIRED.

FLATWORK AREA TABULATIONS			
LEAD WALK	APPROX.	18	S.F.
CITY WALK	APPROX.	0	S.F.
DRIVE	APPROX.	970	S.F.
APPROACH	APPROX.	0	S.F.
TOTAL	APPROX.	988	S.F.

LOT COVERAGE			
LOT AREA	APPROX.	10755	S.F.
MAIN BUILDING AREA	APPROX.	2982	S.F.
LOT COVERAGE	APPROX.	27.73	%

1 SITE PLAN
 SP1 SCALE: 1/16" = 1'-0"

SHEET NO. SP1 OF 13	DRAWN BY: LRN	DESIGN PLAN NAME/NUMBER: 3235 PLAN	NEW RESIDENCE FOR: MANUEL TIJERILLA	ADDRESS: 709 FOREST TRACE ROCKWALL, ROCKWALL COUNTY, TX BLK A/LOT 13/HIGH RIDGE STATE
	ISSUED FOR REVIEW 06-28-2023	ELEVATION: STONE GARAGE: REAR ENTRY		

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

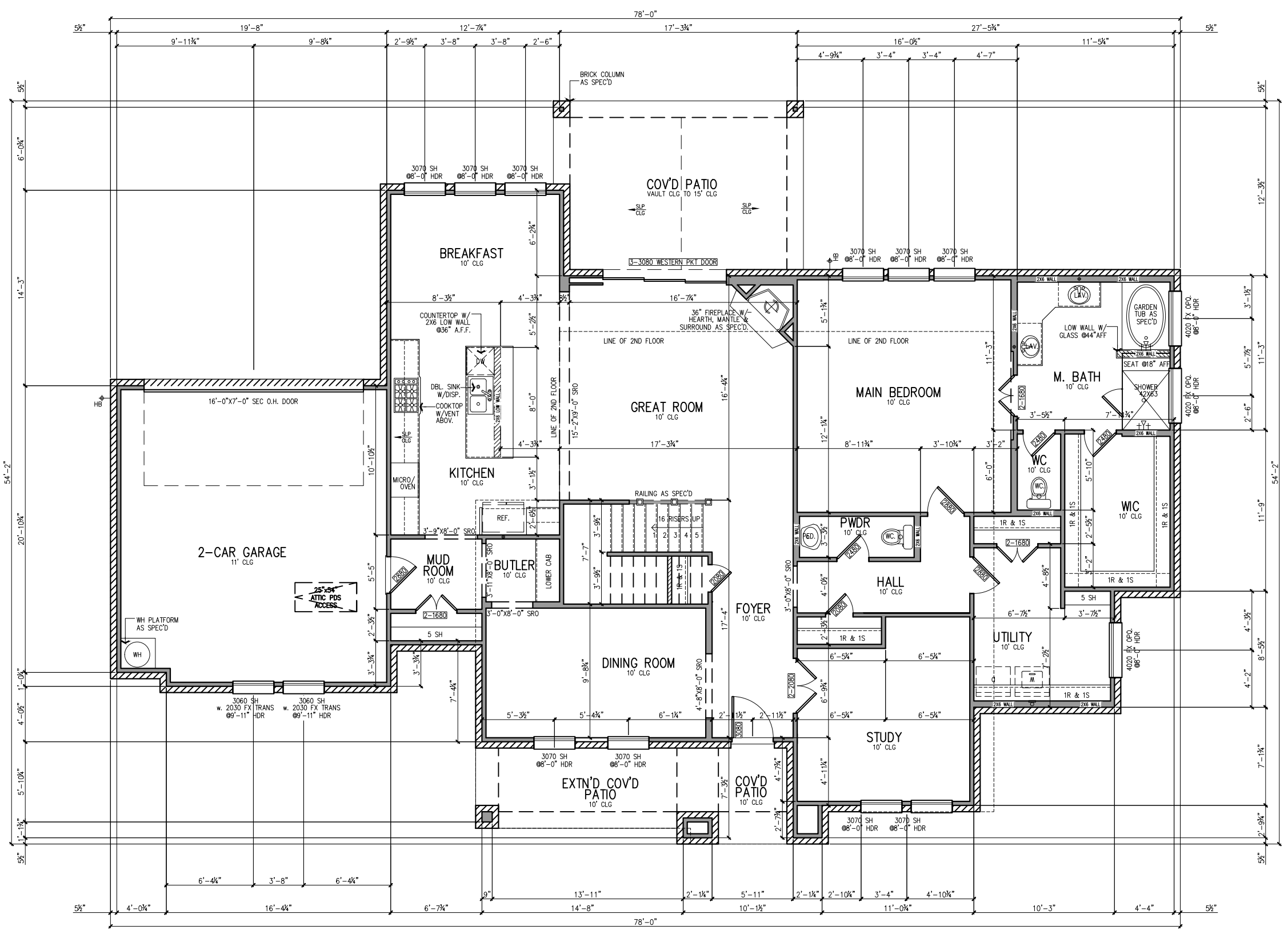
NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911	SQ. FT.	1,970	SQ. FT.	2,055
Second Floor	981	SQ. FT.	1,046	SQ. FT.	1,052
Total	2,892	SQ. FT.	3,016	SQ. FT.	3,107
Total Living Area					3,107
1-Car Garage	0	SQ. FT.	0	SQ. FT.	0
2-Car Garage	411	SQ. FT.	429	SQ. FT.	458
3-Car Garage	0	SQ. FT.	0	SQ. FT.	0
Total Garage Area	411	SQ. FT.	429	SQ. FT.	458
Covered Porch	0	SQ. FT.	147	SQ. FT.	149
Covered Patio	0	SQ. FT.	211	SQ. FT.	217
Covered Balcony	0	SQ. FT.	151	SQ. FT.	167
Total Covered Porch/Patio Area	0	SQ. FT.	509	SQ. FT.	533
Total Slab Area					2,879
Total Under Roof					4,098
Total Interior Frame	3,303	SQ. FT.			
Total Exterior Frame			3,954	SQ. FT.	
Overall Width = 78'-0"			Overall Depth = 54'-2"		

1 FIRST FLOOR PLAN
 A1 SCALE: 1/8" = 1'-0"

C:\USERS\JUANNE.RIVERA\LOCAL\DOWNLOADS\2022-02-03_709 FOREST TRACE.DWG

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

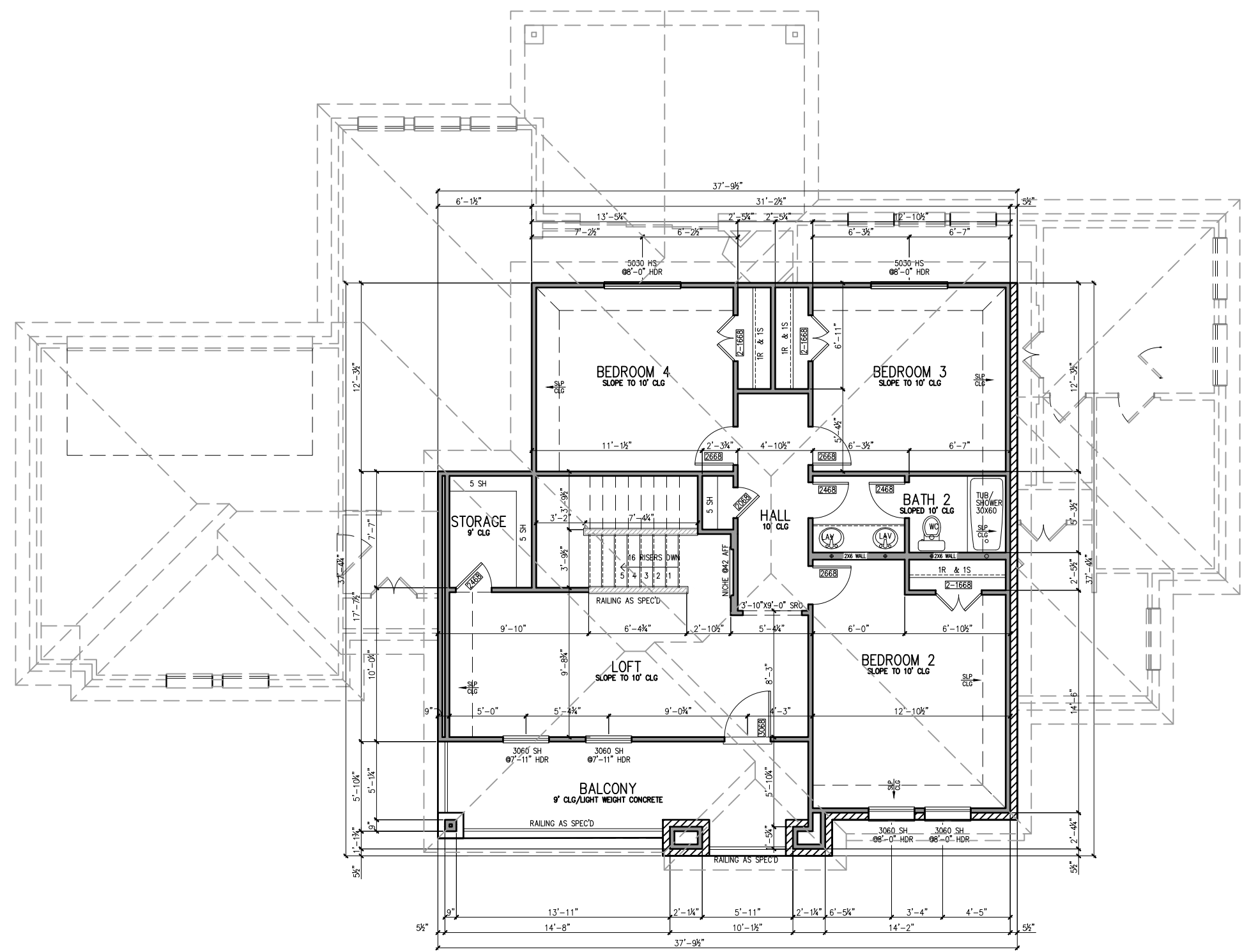
NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
A1.1
 OF
 13



AREA CALCULATIONS_709 FOREST TRACE

	INTERIOR FRAME	EXTERIOR FRAME	W/MASONRY		
First Floor	1,911 SQ. FT.	1,970 SQ. FT.	2,055 SQ. FT.		
Second Floor	981 SQ. FT.	1,046 SQ. FT.	1,052 SQ. FT.		
Total	2,892 SQ. FT.	3,016 SQ. FT.			
Total Living Area			3,107 SQ. FT.		
1-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
2-Car Garage	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
3-Car Garage	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.		
Total Garage Area	411 SQ. FT.	429 SQ. FT.	458 SQ. FT.		
Covered Porch	0 SQ. FT.	147 SQ. FT.	149 SQ. FT.		
Covered Patio	0 SQ. FT.	211 SQ. FT.	217 SQ. FT.		
Covered Balcony	0 SQ. FT.	151 SQ. FT.	167 SQ. FT.		
Total Covered Porch/Patio Area	0 SQ. FT.	509 SQ. FT.	533 SQ. FT.		
Total Slab Area			2,879 SQ. FT.		
Total Under Roof			4,098 SQ. FT.		
Total Interior Frame	3,303 SQ. FT.				
Total Exterior Frame		3,954 SQ. FT.			
Overall Width = 78'-0"			Overall Depth = 54'-2"		

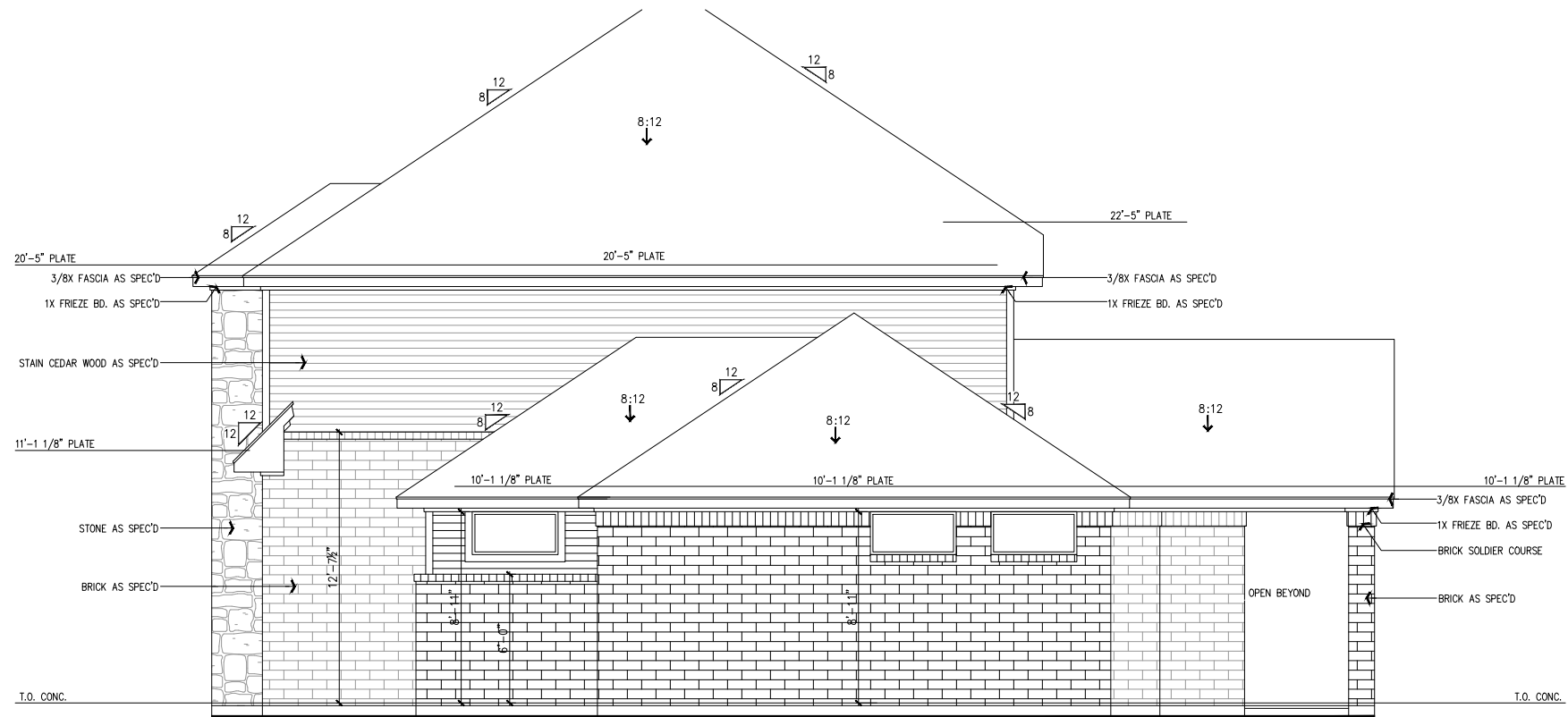
1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

C:\USERS\LUANNE.RIVERA\LOCAL\DOWNLOADS\2022-02-03_709 FOREST TRACE.DWG

MATERIAL AREA TABULATIONS		709 FOREST TRACE									
		BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL			
Front Elevation	487	S.F.	53.22%	256	S.F.	27.98%	172	S.F.	18.80%	915	S.F.
Right Side Elevation	413	S.F.	67.48%	44	S.F.	7.19%	155	S.F.	25.33%	612	S.F.
Rear Elevation	458	S.F.	71.23%	0	S.F.	0.00%	185	S.F.	28.77%	643	S.F.
Left Side Elevation	489	S.F.	78.37%	22	S.F.	3.53%	113	S.F.	18.11%	624	S.F.
Total Area	1,847	S.F.		322	S.F.		625	S.F.		2,794	S.F.
Total Brick Area							1,847	S.F.		66.11%	
Total Stone Area				322	S.F.					11.52%	
Total Siding Area						625	S.F.			22.37%	
Overall Width = 78'-0"		Overall Depth = 54'-2"									



1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

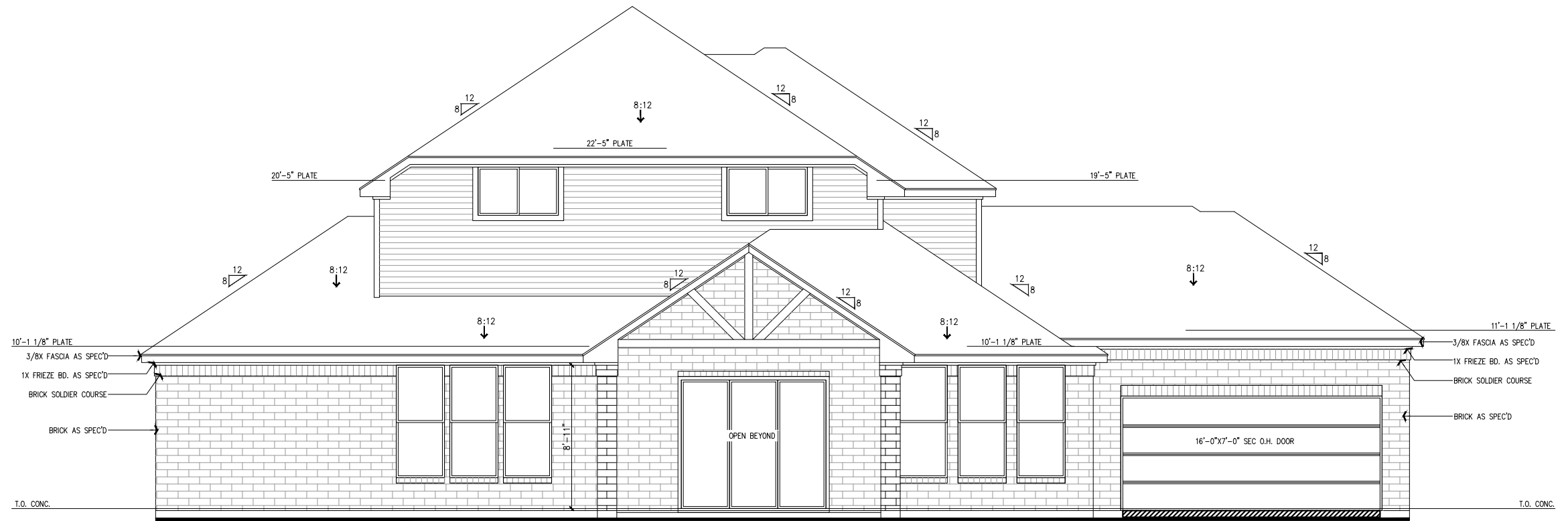
NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

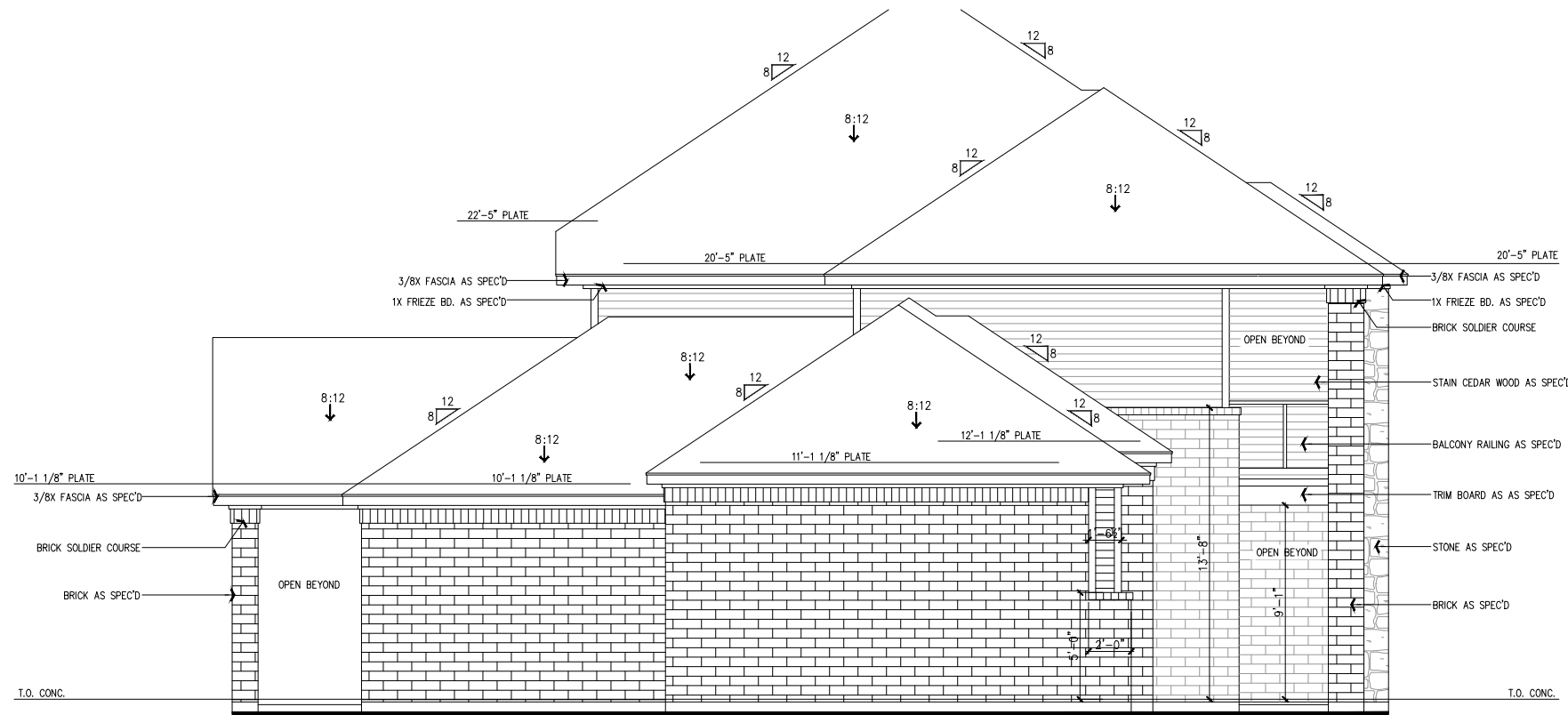
DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A3
OF
13



1 REAR ELEVATION
 A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
 A4 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
 ROCKWALL, ROCKWALL COUNTY, TX
 BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
 MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
 3235 PLAN
 ELEVATION: STONE
 GARAGE: REAR ENTRY

DRAWN BY:
 LRN

ISSUED ON
 06-28-2023

SHEET NO.
 A4
 OF
 13

GENERAL ROOF NOTES:

ROOF PITCH:
8:12 UNLESS OTHERWISE NOTED.

OVERHANG:
1'-4 1/2" FROM FRAME UNLESS OTHERWISE NOTED.

SLOPE DOWN IN DIRECTION OF ARROWS.

GUTTER & DOWNSPOUT LOCATIONS AS SPECIFIED.

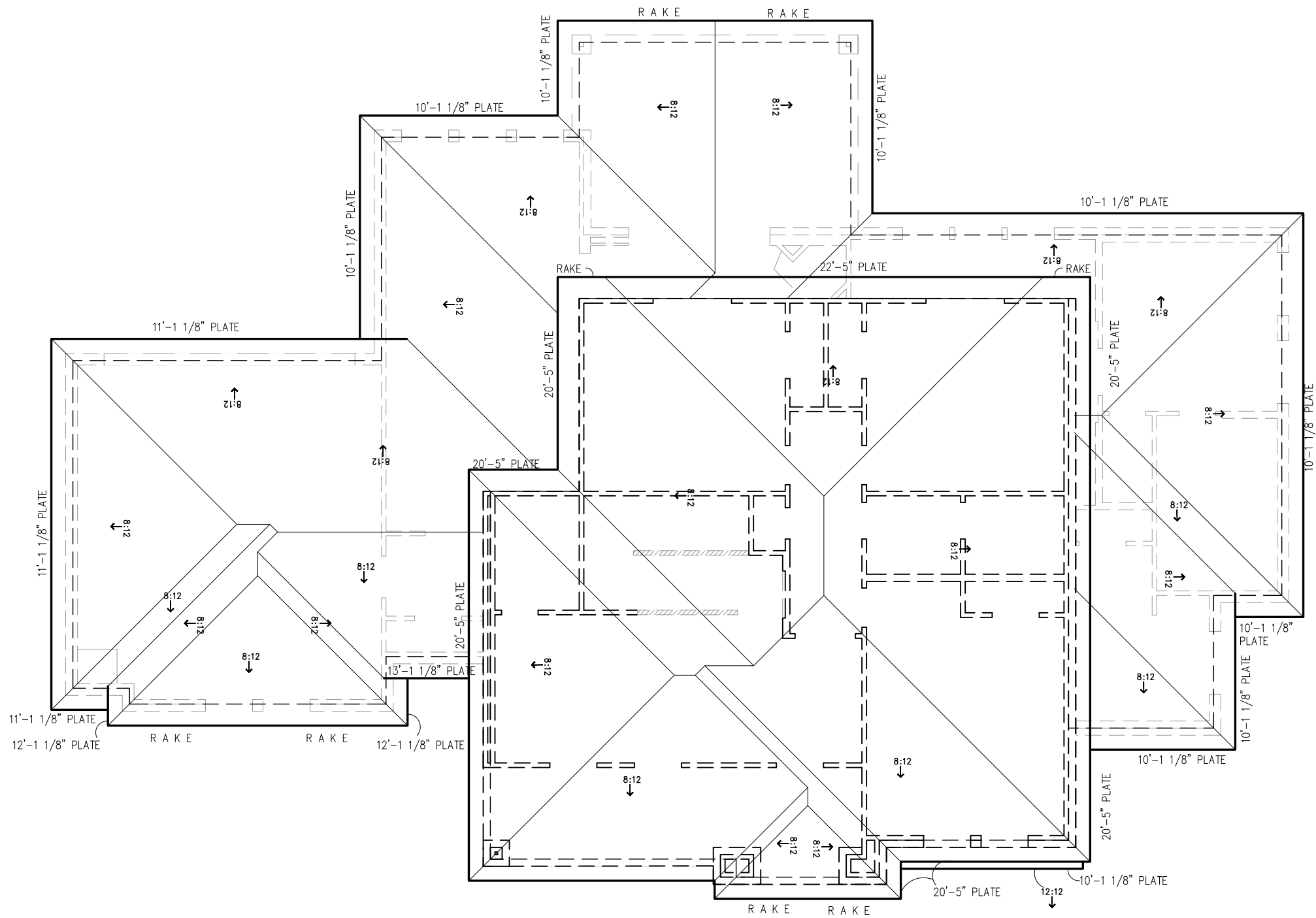
ROOFING MATERIAL AS SPECIFIED.

PRE-FINISHED GALV. METAL FLASHING AND DRIP EDGE SHALL BE USED AT ALL APPLICABLE LOCATIONS.

METAL VENT STACKS SHALL BE PRE-FINISHED OR PAINTED TO MATCH ROOF.

REFER TO ROOF PLAN FOR ROOF SLOPES, PLATE HEIGHTS AND INFORMATION NOT PROVIDED IN THESE NOTES.

PROPER ATTIC VENTILATION REQUIRES THAT THE RATIO OF TOTAL NET FREE VENTILATING AREA TO THE AREA OF THE CEILING SHALL BE NO LESS THAN 1/300 PROVIDED THAT A VAPOR RETARDED HAVING A PERMANENCE NOT EXCEEDING ONE PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING OR AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' ABOVE EAVE OR CORNICE VENTS) WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. VERIFY VENTILATION REQUIREMENTS WITH ROOF SYSTEM MANUFACTURER



1 ROOF PLAN
A5 SCALE: 1/8" = 1'-0"

ADDRESS: 709 FOREST TRACE
ROCKWALL, ROCKWALL COUNTY, TX
BLK A/LOT 13/HIGH RIDGE STATE

NEW RESIDENCE FOR:
MANUEL TIJERILLA

DESIGN PLAN NAME/NUMBER:
3235 PLAN
ELEVATION: STONE
GARAGE: REAR ENTRY

DRAWN BY:
LRN

ISSUED ON
06-28-2023

SHEET NO.
A5
OF
13



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, and Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
713 Forest Trace	Single-Family Home	1993	2,509	N/A	Brick
715 Forest Trace	Single-Family Home	1980	4,075	N/A	Brick
714 Forest Trace	Single-Family Home	1981	3,165	N/A	Brick and Siding
712 Forest Trace	Single-Family Home	1985	3,631	384	Brick
710 Forest Trace	Single-Family Home	1979	3,818	N/A	Brick
708 Forest Trace	Single-Family Home	1981	3,016	164	Brick
706 Forest Trace	Single-Family Home	1976	4,103	N/A	Brick
	AVERAGES:	1983	3,638	213	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-031

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703 Forest Trace



705 Forest Trace



CITY OF ROCKWALL

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707 Forest Trace



709 Forest Trace



CITY OF ROCKWALL

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711 Forest Trace



713 Forest Trace



CITY OF ROCKWALL

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715 Forest Trace



714 Forest Trace



CITY OF ROCKWALL

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712 Forest Trace



710 Forest Trace



CITY OF ROCKWALL

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708 Forest Trace



706 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.248-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 13, BLOCK A, HIGHRIDGE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Manuel Tijerina for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.248-acre parcel of land identified as Lot 13, Block A, of the Highridge Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 709 Forest Trace, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7th DAY OF AUGUST, 2023.

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: July 17, 2023

2nd Reading: August 7, 2023

**Exhibit 'A':
Location Map**

Address: 709 Forest Trace

Legal Description: Lot 13, Block A, Highridge Estates Addition



**Exhibit 'B':
Residential Plot Plan**

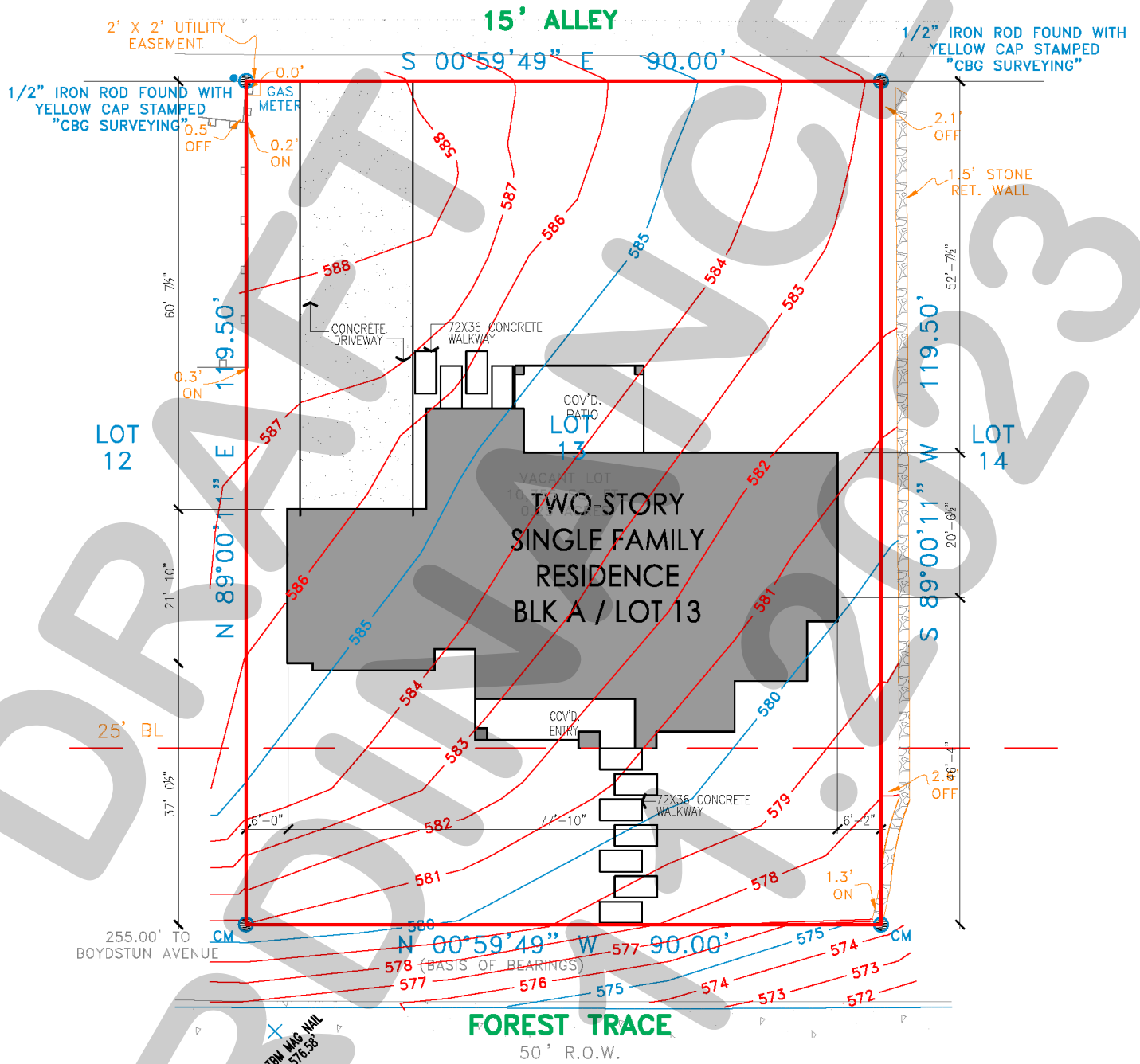
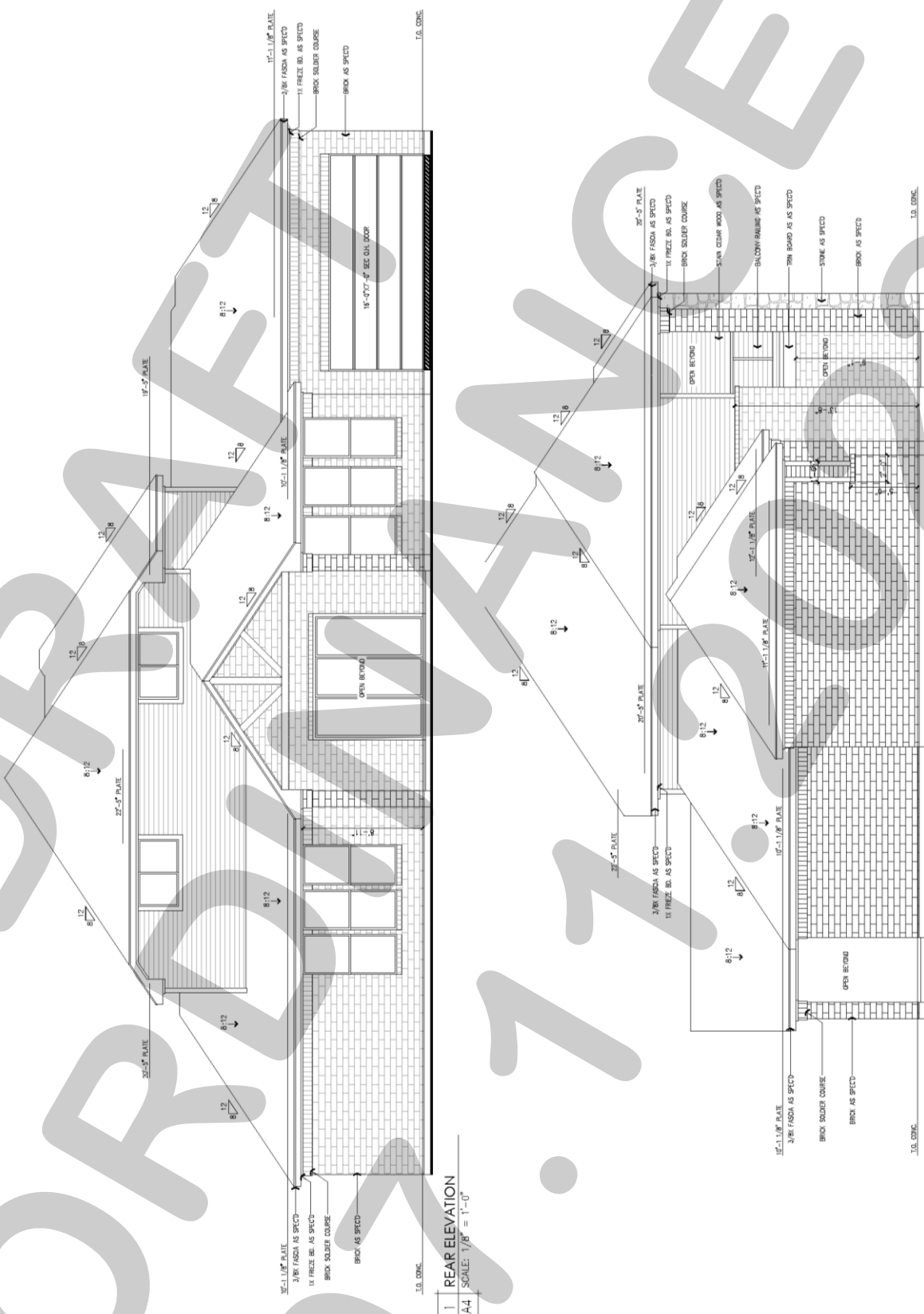


Exhibit 'C':
Building Elevations



1 REAR ELEVATION
A-4 SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 11, 2023

APPLICANT: Drew Donosky; *Claymoore Engineering*

CASE NUMBER: Z2023-032; *Specific Use Permit (SUP) for the Expansion of an Existing Motor Vehicle Dealership at 1540 E. IH-30*

SUMMARY

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 22-02 [S-266]* and allowing the expansion of an existing *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 by *Ordinance No. 85-69 (Case No. A1985-002)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. The subject property remained zoned Agricultural (AG) District until June 6, 2005 when the City Council approved *Ordinance No. 05-25 (Case No. Z2005-019)* changing the zoning to a Light Industrial (LI) District. The building on the subject property was constructed as a house of worship (*i.e. Church of Christ*) in 1990 and was remodeled in 2012-2013 after the City Council approved *Ordinance No. 12-11 (Case No. Z2012-005)* -- on June 18, 2012 -- allowing a *New Motor Vehicle Dealership for Cars and Light Trucks* on property. The changes to the exterior of the building were approved by site plan under *Case No. SP2012-010* on June 12, 2012.

On January 14, 2013, the then owner of the property applied for a sign variance to [1] allow two (2) pole signs along the IH-30 frontage road (*i.e. a 40-foot tall sign with 400 SF of sign area and a 50-foot tall sign with 600 SF of sign area*), [2] to have the 40-foot tall pole sign situated one (1) foot from the property line, [3] allow a 600 SF electronic message display, and [4] to have a 16-foot tall by 16-foot wide (*i.e. 256 SF*) wall sign. At the time, the code allowed one (1) pole sign a maximum of 30-foot tall and 167 SF in size to be situated on a property as long as it was setback a minimum of ten (10) feet from all property lines. In addition, wall signs were permitted to be a maximum of six (6) feet tall and six (6) feet wide. This request was approved by the City Council on January 22, 2013 and the permits for these signs (*Case No.'s SGN2013-015 & SGN2013-0017*) were issued on February 7, 2013.

In 2017, the current owner (*i.e. Clay Cooley Hyundai*) purchased the property. In 2021, staff engaged the property owner about building a metal fence without a permit around an area being used for outside storage. At this time, outside storage was not permitted on the subject property. In addition, automotive work was being done on vehicles in this unenclosed area, which is expressly prohibited by the Unified Development Code (UDC) and the Specific Use Permit (SUP) that was in effect at the time. On January 3, 2022, a Specific Use Permit (SUP) [*Case No. Z2021-049; Ordinance No. 22-02*] was approved by City Council allowing the expansion of the *New Motor Vehicle Dealership*, and adding the *Minor Automotive Repair Garage, Car Wash, and Outside Storage* land uses to the subject property. On February 15, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-003*] allowing the expansion of the *New Motor Vehicle Dealership* and adding the two (3) accessory uses (*i.e. a Car Wash, Outside Storage, and a Minor Auto Repair Garage*) in compliance with the approved Specific Use Permit (SUP) [*Ordinance No. 22-02*].

Recently, the applicant approached staff about increasing the size of the proposed expansion of the *New Motor Vehicle Dealership* and changing the proposed *Minor Automotive Repair Garage* to a *Major Automotive Repair Garage*. Staff explained to the applicant that since this would constitute a major change to the approved conceptual site plan and building

elevations and the land uses permitted in the approved Specific Use Permit (SUP), that the current Specific Use Permit (SUP) would need to be superseded with a new Specific Use Permit (SUP). On June 16, 2023, the applicant submitted an application requesting to amend the previously approved Specific Use Permit (SUP) to allow for the further expansion of the existing *New Motor Vehicle Dealership*, and changing the proposed accessory land use of a *Minor Automotive Repair Garage* to *Major Automotive Repair Garage*.

PURPOSE

The applicant -- *Drew Donosky of Claymoore Engineering* -- is requesting to amend the previously approved Specific Use Permit (SUP) to allow for the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks*, and adding the *Major Auto Repair Garage* as an accessory land use in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1540 E. IH-30 and is currently being used as a *Motor Vehicle Dealership (i.e. Clay Cooley Hyundai of Rockwall)*. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads. Beyond this are three (3) parcels of land currently occupied by an appliance store (*i.e. North Texas Appliance*), a house of worship (*i.e. Landmark Fellowship Church*), and a multi-tenant facility consisting of two (2) metal buildings. All of these properties are zoned Light Industrial (LI) District.

South: Directly south of the subject property is a dedicated 60-foot right-of-way followed by a 2.40-acre parcel of vacant land (*i.e. Lot 1, Block 2, Rockwall Recreational Addition*) zoned Light Industrial (LI) District. South of this parcel of land is a 21.684-acre tract of vacant land (*i.e. Tract 4-09 of the N. M. Ballard Survey, Abstract No. 24*) zoned Light Industrial (LI) District.

East: Directly east of the subject property is a *Motor Vehicle Dealership (i.e. Rockwall Honda)*, which is situated on an 8.686-acre parcel of land (*i.e. Lot 1, Block 1, Honda of Rockwall Addition*) that is zoned Commercial (C) District. Beyond this are two (2) vacant tracts of land (*i.e. Tract 2 of the J. Lockhart Survey, Abstract No. 134 and Tract 3 of the J. M. Allen Survey, Abstract No. 2*) that are zoned Commercial (C) District.

West: Directly west of the subject property is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an overflow sales/inventory storage lot for the motor vehicle dealership operating on the subject property (*i.e. Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership (i.e. S-189; Ordinance No. 18-22)*. Beyond this are two (2) metal buildings (*i.e. Rockwall Utility Trailers, M & P Concrete, Living Earth Rockwall, and Elliott Electric Supply*) on one (1) tract of land (*i.e. Tract 4-4 of the N. M. Ballard Survey, Abstract No. 24*) and one (1) parcel of land (*i.e. Lot 1, Block A, Lane Business Park Addition*). These properties are zoned Planned Development District 31 (PD-31) for limited Heavy Commercial (HC) District land uses and Planned Development District 26 (PD-26) for limited Light Industrial (LI) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE WITH THE CITY'S CODE

The applicant has submitted a new concept plan and building elevations in conjunction with the request to amend the Specific Use Permit (SUP). The submitted concept plan shows that the proposed detached *Minor Automotive Repair Garage* will be increased from three (3) bays to eight (8) bays, and -- *based on the applicant's response to staff's comments* -- will be changed to a *Major Automotive Repair Garage*. The proposed concept also shows that the proposed transformer and fuel storage islands will be moved to the parking islands along the southern most drive isle. In addition, the canopy structure on the west side of the main building will be increased in size. These changes have been annotated on excerpts from the approved and proposed concept plans as depicted in *Figure 1* and *Figure 2* below.

FIGURE 1: APPROVED CONCEPT PLAN

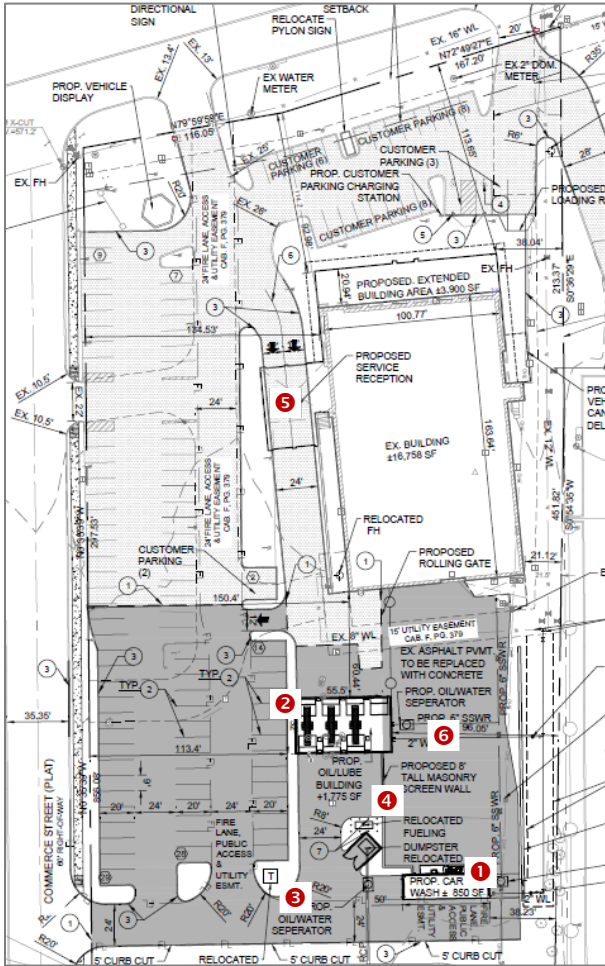
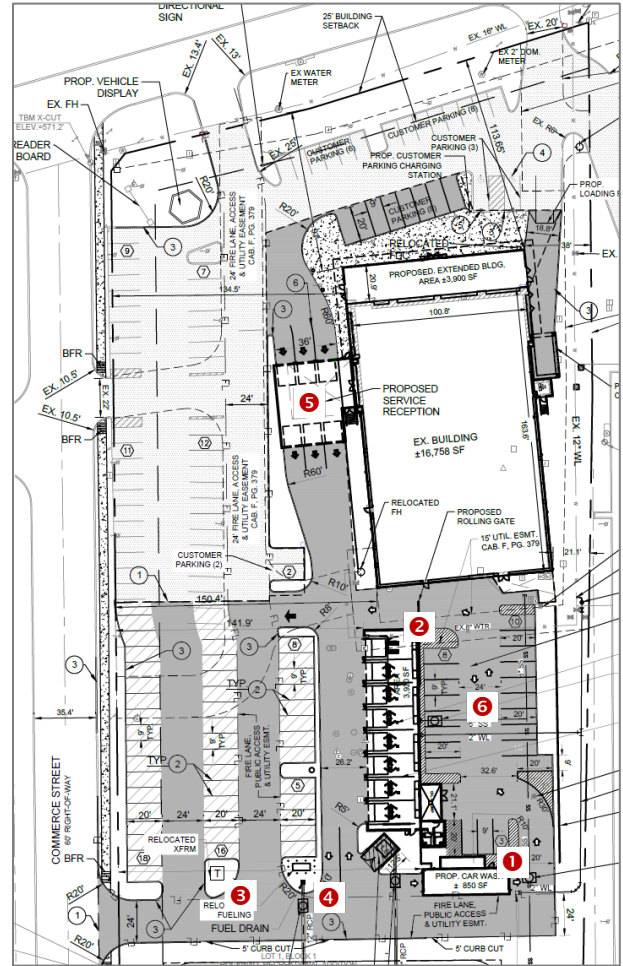


FIGURE 2: PROPOSED CONCEPT PLAN



1: CARWASH; 2: AUTOMOTIVE REPAIR GARAGE; 3: TRANSFORMER; 4: FUEL STORAGE ISLAND; 5: CANOPY; 6: OUTSIDE STORAGE

According to Article 13, *Definitions*, of the Unified Development Code (UDC) a *New Motor Vehicle Dealership for Cars and Light Trucks* is defined as the “(r)etail sales of new automobiles or light load vehicles, including, as a minor part of the business, the sale of used automobiles or light load vehicles and the service of new or used vehicles within an area or enclosed building.” In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) sets forth the following *Conditional Land Use Standards* for this land use: [1] all outside display of vehicles must be on an approved concrete, or enhanced concrete surface, and [2] all vehicle display areas must meet the landscape standards for parking areas. Currently, the subject property is considered to be in compliance with these requirements. The landscaping on the site was originally approved in 2012, and is considered to be legally non-conforming; however, staff has included a condition of approval of this case that the landscaping be upgraded as part of the required site plan in accordance with the requirements of Subsection 02, *Application of Article*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). This section of the code states that “(t)he landscape and screening provisions of this Article shall apply to ... (t)he expansion of a non-residential parking lot that increases the existing impervious area by 30.00% or that adds 2,000 SF of impervious areas.

With regard to the definitions and *Conditional Land Use Standards* for the proposed accessory land uses, the Unified Development Code (UDC) states the following:

- (1) **Car Wash.** A Car Wash is defined by Article 13, *Definitions*, of the Unified Development Code (UDC) as “(a) facility or area for the cleaning or steam cleaning, washing, polishing, or waxing of passenger vehicles by machine or hand-operated facilities. A car wash may be [1] a single unit type that has a single bay or a group of single bays with each bay to accommodate one vehicle only; or [2] a tunnel type that allows washing of multiple vehicles in a tandem arrangement while moving through the structure.” The code goes on to list the following *Conditional Land Use Standards* for the Car Wash land use: [1] entrances and exists to the car wash shall not directly face any public right-of-way; however, on corner lots, the entrances and exists shall not open toward the street with the highest traffic volume as determined by the Director of Planning and Zoning, and [2] the car wash shall be setback a minimum of 50-feet from any street frontage.

Conformance to the Conditional Land Use Standards for a Car Wash: Based on the submitted materials, the applicant's concept plan is in conformance with the *Conditional Land Use Standards for a Car Wash*. Specifically, the proposed *Car Wash* is oriented towards Commerce Street as opposed to IH-30, and is setback approximately 150-feet from the right-of-way along Commerce Street.

- (2) Major Automotive Repair Garage. Article 13, *Definitions*, of the Unified Development Code (UDC) defined a *Major Automotive Repair Garage* as consisting of "(m)ajor repair, rebuilding or reconditioning of engines, transmissions, or other major components for motor vehicles; collision services including body, frame, or fender straightening or repair; customizing; overall painting or paint shop; automotive glass and upholstery; those uses listed under *Minor Auto Repair Garage*, and other similar uses. All repair work shall be performed inside an enclosed building. Vehicles shall not be stored on site no longer than 90-days." Article 04, *Permissible Uses*, of the Unified Development Code (UDC) goes on to list the *Conditional Land Use Standards* for this land use as [1] garage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property, and [2] vehicles, equipment, parts or inventory shall not be stored outside overnight unless granted by the Planning and Zoning Commission and City Council through Specific Use Permit (SUP). If permitted all stored items shall be screened from public right-of-way, sidewalks and open space, and any residentially zoned or used property in accordance with the screening standards in the Unified Development Code (UDC).

Conformance to the Conditional Land Use Standards for a Major Automotive Repair Garage: In this case, the proposed *Major Automotive Repair Garage* has bay doors facing onto Commerce Street. Staff did recommend that the applicant consider combining the two (2) middle rows of parking, which would allow [1] the ability to provide additional landscaping to properly screen the bay doors and [2] additional width to the drive isle in front of the bay doors for turning movements; however, the applicant has chosen not to incorporate this into the plan. The aspect of the applicant's request is considered not conforming with respect to the code requirements. With regard to the outside storage, the applicant is proposing an outside storage area that will be situated behind an eight (8) foot masonry wall. Staff did include a provision prohibiting the outside storage of tires and maintenance equipment -- as this can create mosquito harborage -- and from maintenance work being performed outside.

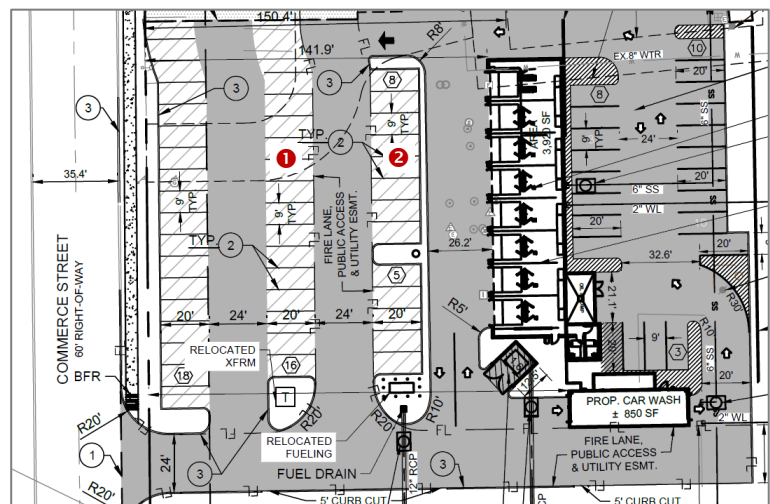


FIGURE 3: MAJOR AUTOMOTIVE REPAIR GARAGE
THE DRIVE ISLES IN BETWEEN THE PARKING LABELED AS 1 & 2 CAN BE REMOVED AND THE PARKING COMBINED IN A HEAD TO HEAD FORMAT TO CREATE ADDITIONAL SPACE FOR LANDSCAPE SCREENING.

- (3) Outside Storage. *Outside Storage* is defined by Article 13, *Definitions*, of the Unified Development Code (UDC) as "(t)he permanent or continuous keeping, displaying, or storing of unfinished goods, material, merchandise, equipment, service vehicles or heavy vehicles outside of a building on a lot or tract overnight or for more than 24-hours." In addition, Article 04, *Permissible Uses*, of the Unified Development Code (UDC) list the following *Conditional Land Use Standards* for this land use as: [1] all outside storage areas shall be screened in accordance with the screening standards of the Unified Development Code (UDC), and [2] no outside storage shall be allowed adjacent to IH-30; however, on Light Industrial (LI) District property the Planning and Zoning Commission and City Council may allow outside storage on a case-by-case basis through a Specific Use Permit (SUP).

Conformance to the Conditional Land Use Standards for Outside Storage: According to Subsection 01.05(E), *Outside Storage*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "... screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers." In this case, the applicant has indicated that the outside storage area will be screened

with an eight (8) foot masonry wall; however, due to the location they are unable to provide the required canopy trees. Based on this the applicant's request is not in conformance with the requirements for outside storage.

In addition to the requirements for the proposed primary and accessory land uses, staff has identified the following deficiencies in the proposed conceptual site plan and building elevations:

- (1) Cementitious Materials. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(t)he use of cementitious materials (e.g. stucco) shall be limited to 50.00% of the building's exterior façade; however, stucco shall not be used within the first four (4) feet of grade on a building's façade." In this case, the applicant is requesting to use primarily stucco on all the building's facades and is proposing to incorporate stucco in the first four (4) feet from grade on all of the buildings. This will require a variance.
- (2) Stone. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case, the proposed building elevations for the main structure and the proposed *Major Automotive Repair Garage and Car Wash* do not incorporate any stone. This will require a variance.
- (3) Four (4) Sided Architecture. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (i.e. four [4] or more accent or canopy trees) shall be planted along perimeter of the subject property to the rear of the building." In this case, the proposed building does not meet the articulation standards for all four (4) facades and there is not an additional row of trees proposed at the back of the property. This will require a variance.
- (4) Screening. According to Subsection 05.02(A), *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(o)ff-street loading docks and outside storage areas shall be screened from all public streets, open space, adjacent properties and any residential zoning districts or residentially used properties that abut or are directly across a public street or alley from the loading dock or outside storage area in accordance with the requirements of Subsection 02.03 (H2) of Article 08, *Landscape and Screening*, of the UDC." In this case, the applicant is requesting not to screen the bay doors of the *Major Auto Repair Garage*. This will require a variance.
- (5) Garage Door Orientation. According to Article 04, *Permissible Uses*, of the Unified Development Code (UDC), "(g)arage doors shall not face a public right-of-way, park or open space, or residentially zoned or used property." In this case, the proposed building elevations and concept plan shows the garage doors facing on to Commerce Street. This will require an exception.

If the proposed case is approved, the Planning and Zoning Commission and City Council will be granting the abovementioned variances and exceptions. Typically, when variances and exceptions are requested as part of a site plan, the Unified Development Code (UDC) requires compensatory or off-setting measures; however, in this case, the applicant has not indicated any compensatory measures for the requested variances and exception. In addition, variances and exceptions being requested through the site plan process require a three-quarter majority vote of the Planning and Zoning Commission for approval. In this case, the requested variances and exceptions are essential to the applicant's Specific Use Permit (SUP) request and -- *since they are associated with the zoning request* -- will only require a simple majority vote of the City Council for approval. All of these aspects of this case are considered to be discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

STAFF ANALYSIS

The proposed building was originally converted from an existing *House of Worship*, and as a result many aspects of the site are considered to be legally non-conforming. The applicant's current request does increase the non-conformities existing on the site and does not conform to many of the standards of the *General Overlay District Requirements* and the *Conditional Land Use Standards* for the *Major Automotive Repair Garage* and *Outside Storage* land uses. Staff should point out that some of the variances listed in the above sections relating to the design standards associated with the existing buildings have been granted through previous Specific Use Permit (SUP) requests; however, based on the applicant's current request, these variances have been increased or changed. This is why they have been relisted as part of this Specific Use Permit (SUP)

request and should be reconsidered with the applicant's current proposal. With this being said, requests for Specific Use Permits (SUPs) are discretionary decisions for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On June 22, 2023, staff mailed 17 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received no notices in regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for the expansion of an existing *Motor Vehicle Dealership*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) All operations on this property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
 - (b) The development or redevelopment of the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
 - (c) No vehicle display areas shall be permitted within the required landscape buffers along IH-30 and Commerce Street.
 - (d) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored on an unimproved surface.
 - (e) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored within the Commerce Street right-of-way (*i.e. Commerce Street is for public parking only*).
 - (f) The outside storage of tires or any other automotive parts shall be prohibited.
 - (g) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.
 - (h) Outside storage shall be screened by an eight (8) foot masonry wall as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) The applicant will be required to submit a site plan with building elevations, a material sample board, a landscape plan, and photometric plan prior to the submittal of engineering plans or the issuance of a building permit.
- (3) The applicant shall provide a detail of the proposed masonry wall with the site plan submittal. The proposed masonry wall shall -- where feasible -- provide canopy trees on 20-foot centers to bring the request closer into conformance with the requirements for screening of outside storage.
- (4) All unpermitted improvements and activities that do not conform to the Unified Development Code (UDC) shall be brought into conformance with the City's code requirements at the time of site plan.

- (5) The applicant shall update the site to conform to the current requirements for landscaping as stipulated in Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) in accordance with the requirements outline in Subsection 02, *Application of Article*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC).
- (6) The applicant's landscape plan submitted with the site plan shall provide landscape screening for the proposed transformer and fuel storage island in conformance with the requirements of the Unified Development Code (UDC).
- (7) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1540 I30 Rockwall TX		
SUBDIVISION	Rockwall Recreational Addition	LOT	1&2 BLOCK 1
GENERAL LOCATION	IH30 & Clay Cooley Drive		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	F1	CURRENT USE	Auto Dealer
PROPOSED ZONING		PROPOSED USE	
ACREAGE	7.17	LOTS [CURRENT]	2
		LOTS [PROPOSED]	

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	1540 East IH 30 Rockwall LLC	<input checked="" type="checkbox"/> APPLICANT	Claymoore Engineering
CONTACT PERSON	Clay Cooley	CONTACT PERSON	Drew Donosky
ADDRESS	PO Box 570809	ADDRESS	1903 Central Drive, Suite 406
CITY, STATE & ZIP	Dallas TX 75357	CITY, STATE & ZIP	Bedford TX 76012
PHONE		PHONE	817-458-4008
E-MAIL		E-MAIL	Drew@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

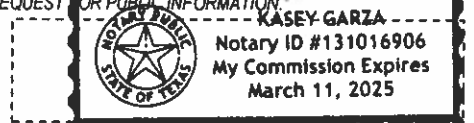
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Clay Cooley (OWNER) THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ November TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11 DAY OF November, 2021 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

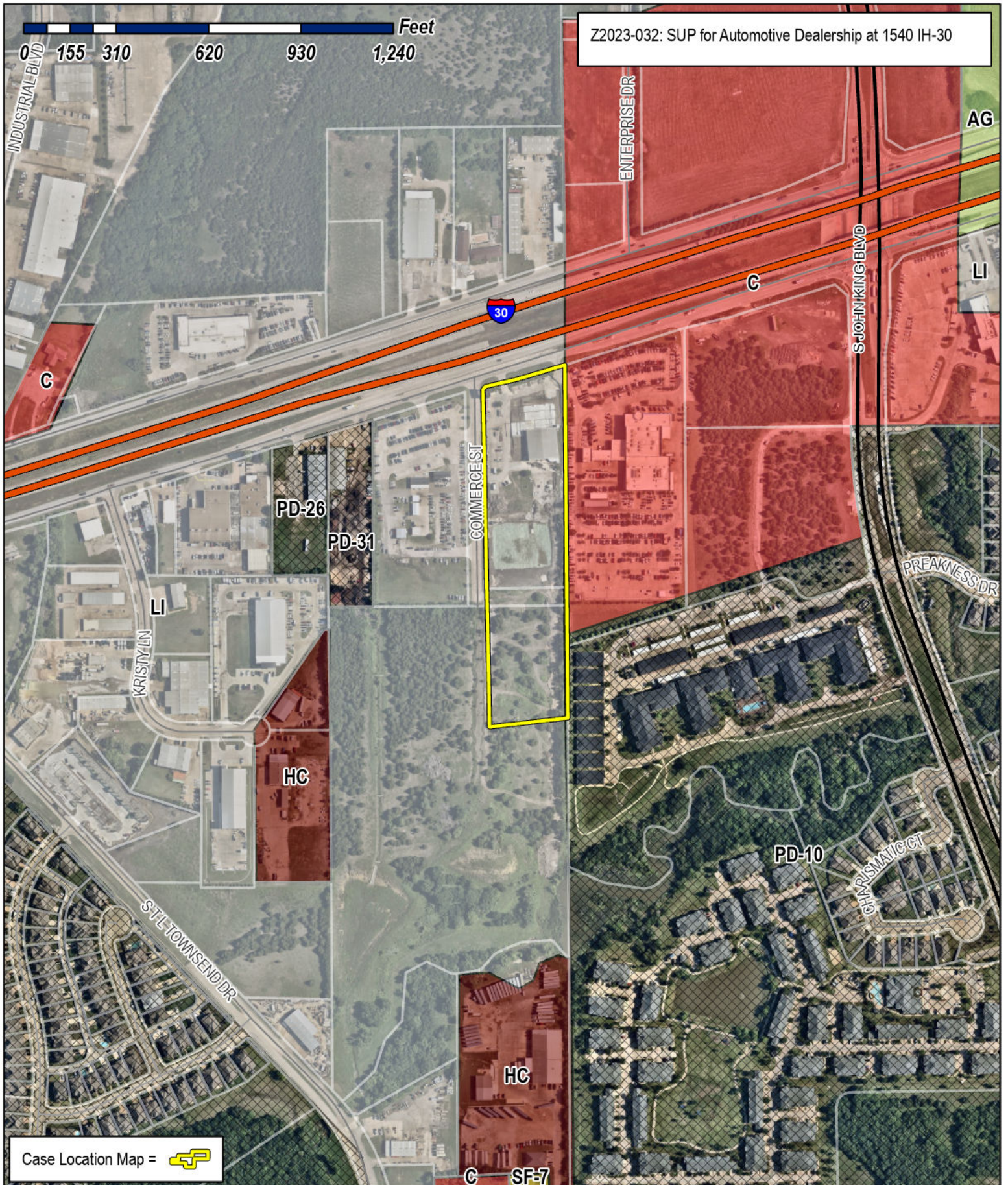
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF November 2021

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 03/11/2025



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

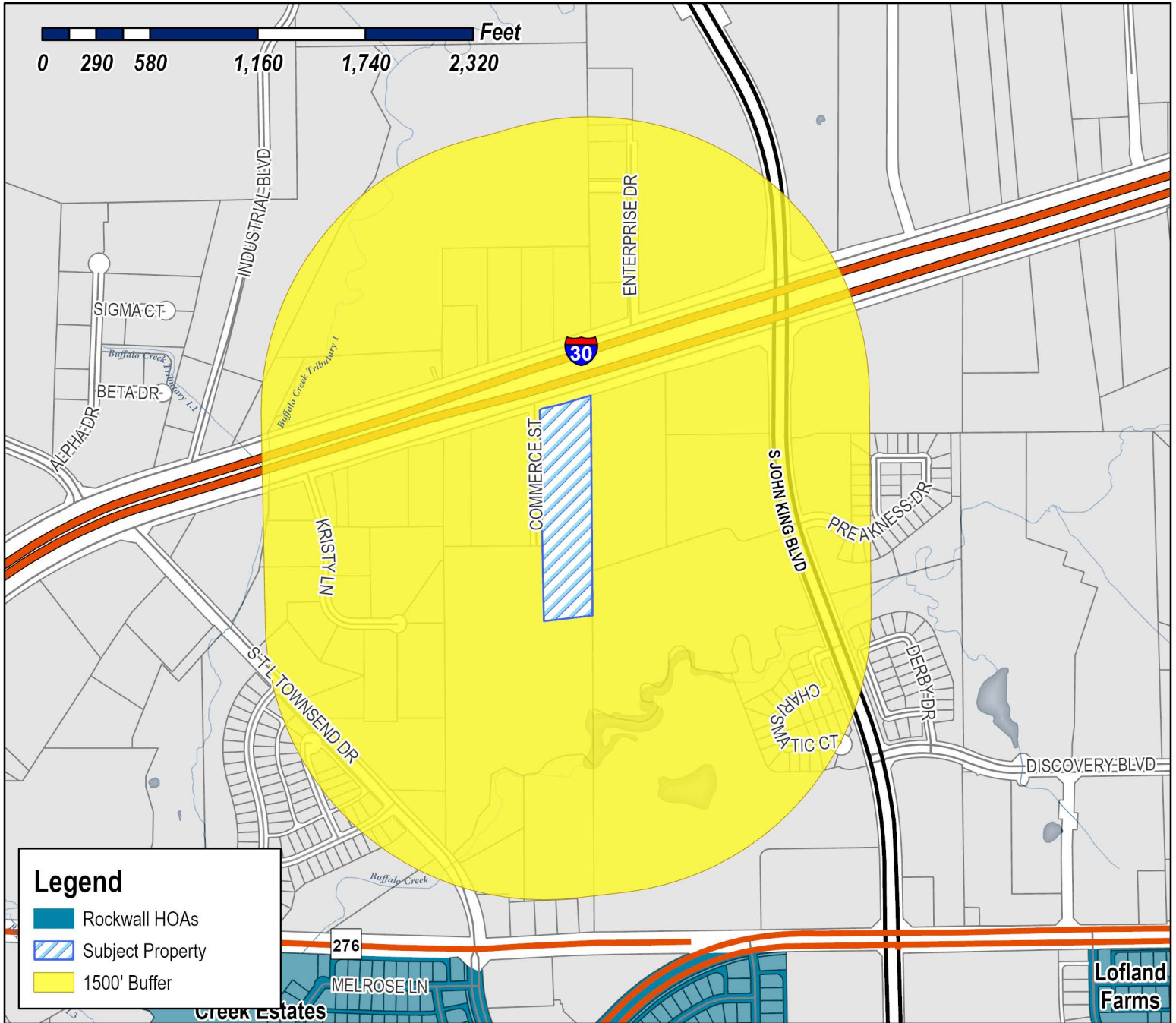




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Case Number: Z2023-032
Case Name: SUP for Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1540 IH-30

Date Saved: 6/16/2023
 For Questions on this Case Call (972) 771-7745

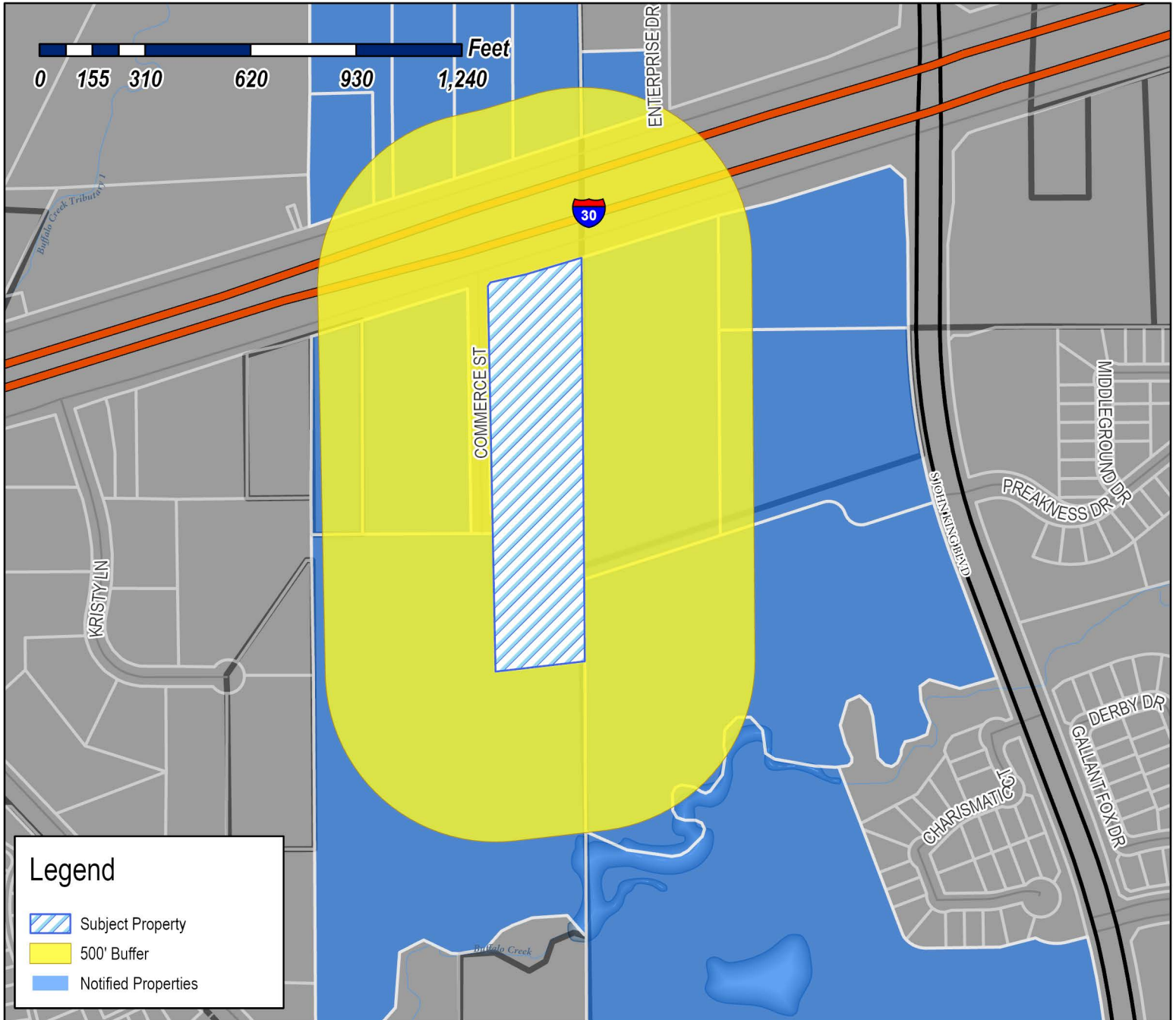
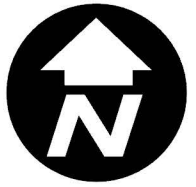




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Case Number: Z2023-032
Case Name: SUP for Automotive Dealership
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1540 IH-30

Date Saved: 6/16/2023

For Questions on this Case Call: (972) 771-7746



LITHIA REAL ESTATE INC
150 N BARTLETT STREET
MEDFORD, OR 97501

RESIDENT
1520 E I30
ROCKWALL, TX 75087

RESIDENT
1530 S I30
ROCKWALL, TX 75087

RESIDENT
1535 I30
ROCKWALL, TX 75087

RESIDENT
1540 I30
ROCKWALL, TX 75087

RESIDENT
1545 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1550 E I30
ROCKWALL, TX 75087

AM ROCKWALL INVESTMENTS LP
A TEXAS LTD PARTNERSHIP
1551 E INTERSTATE 30 STE A
ROCKWALL, TX 75087

RESIDENT
1650 S JOHN KING
ROCKWALL, TX 75087

DVB FAMILY LIMITED PARTNERSHIP
2421 KATHRYN DR
HEATH, TX 75032

H E B LP
646 SOUTH FLORES STREET
SAN ANTONIO, TX 78204

DYNACAP HOLDINGS LTD &
CHARLES SMITH
709 W RUSK ST STE B
ROCKWALL, TX 75087

ZBH/1535 E INTERSTATE 30 LTD
9669 JOURDAN WAY
DALLAS, TX 75230

ROCKWALL CREDIT SERVICES LC
PO BOX 1870
ROCKWALL, TX 75087

STAR HUBBARD LLC
C/O STEADFAST COMPANIES
PO BOX 530292
BIRMINGHAM, AL 35253

1540 EAST IH 30 ROCKWALL LLC
PO BOX 570809
DALLAS, TX 75357

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-032: SUP for Automotive Dealership

Hold a public hearing to discuss and consider a request by Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a *Specific Use Permit (SUP)* superseding Ordinance No. 22-02 [S-266] and allowing the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 11, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 17, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 17, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-032: SUP for Automotive Dealership

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



June 16, 2023

Planning Dept.
City of Rockwall
385 S Goliad St.
Rockwall, Texas 75087

Re: SUP Zoning Request
Letter of Intent

To Whom It May Concern,

Please let this letter serve as the Letter of Intent for the SUP Zoning request of approximately 7.17 acres of land located off I-30 in Rockwall, Texas. It is our understanding that a SUP rezoning is required to amend the site plan and building elevations on the subject tract. The proposed development will include a building renovation, expansion on the front façade, expanded service canopy, addition of a new customer delivery canopy, a carwash, and an oil/lube building. The property currently has open storage in the rear of the building that is non-conforming. This SUP requests this area be allowed given improved screening and paving are to be provided as a part of this project.

This SUP request is in response to a change in the site plan, from the previously approved SUP for the subject property. The major changes from the approved SUP are 1) an additional bay has been added to the service canopy attached to the east side of the existing building. 2) The oil/lube building has grown and rotated 90 degrees. Other minor site changes have been made in response to these changes for paving and parking stalls in the areas adjacent to the major changes.

Should you have any questions, please feel free to contact me.

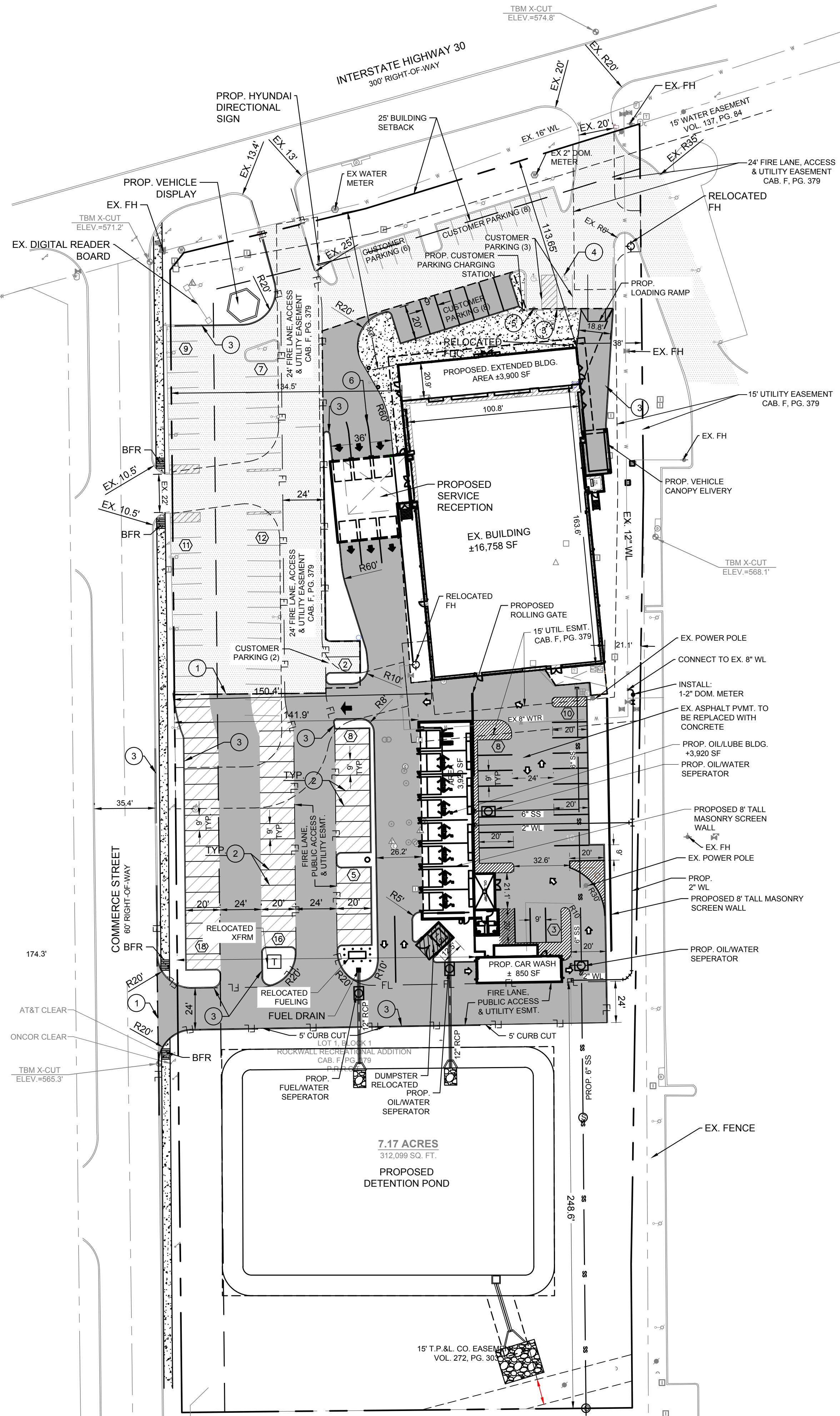
Sincerely,

Claymoore Engineering, Inc.
1903 Central Drive Ste. 406
Bedford, TX 76021
817-281-0572

A handwritten signature in blue ink that reads "Drew Donosky".

Drew Donosky, P.E.

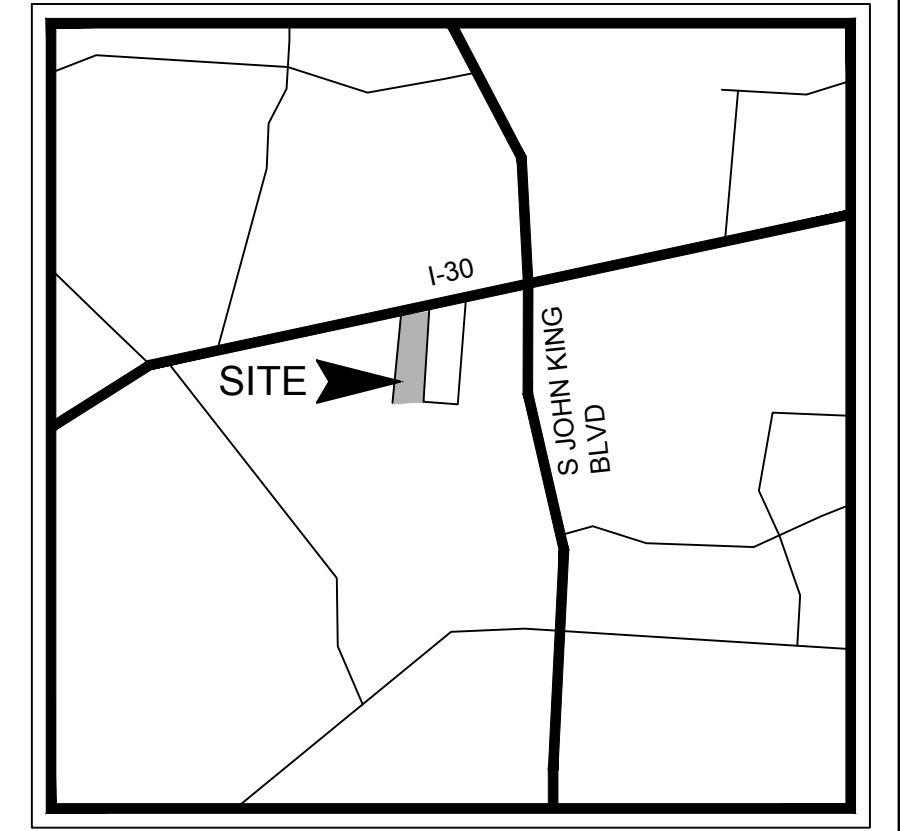
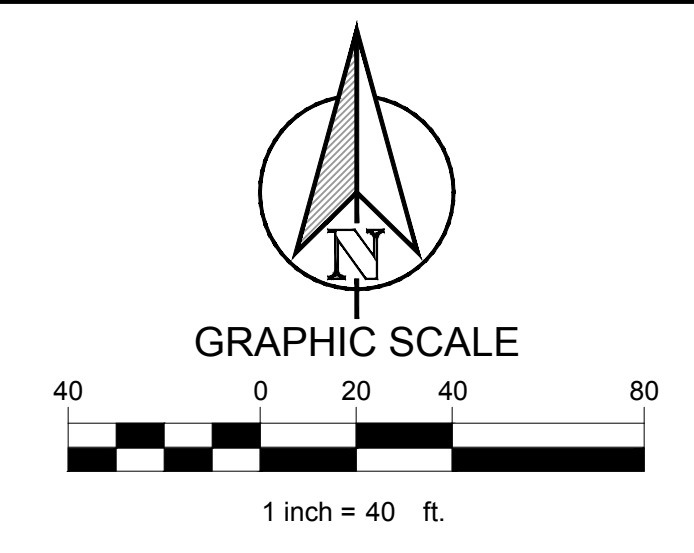
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 PLOT DATE: 7/15/2023 5:09 PM
 LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG
 LAST SAVED: 6/27/2023 2:33 PM



SITE DATA TABLE	
SITE AREA	7.71 AC (312,099 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,920 SF (OIL/LUBE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07 : 1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/ 250 SF	16 SPACES
OFFICE SF 1/ 300 SF	5 SPACES
1 PER 2 BAY	6 SPACES
TOTAL:	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	86 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
SERVICE/STORAGE PARKING	21 SPACES

CONSTRUCTION SCHEDULE	
	EXISTING CONCRETE PAVEMENT
	FIRE LANE AND DRIVE AISLE 6", 3600 PSI (6.5 SACK/CY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
	PARKING 5", 3600 PSI (6.5 SACK/CY), #3 ON 24" ON 6" LIME STABILIZED SUBGRADE
	PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK
	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-16
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
	PROPOSED FIRE LANE
	PROPOSED SAWCUT
	PARKING COUNT



CONSTRUCTION SCHEDULE	
①	PROP. SAW CUT FULL DEPTH EXISTING PAVEMENT
②	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
③	PROP. CONCRETE CURB & GUTTER
④	EX. HANDICAP SYMBOL
⑤	EX. HANDICAP SIGN
⑥	PROP. PAVEMENT STRIPING
⑦	PROP. PROPOSED BOLLARD

- NOTES:
- A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
 - ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
 - ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
 - NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
 - SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
 - ALL DUMPSTERS TO HAVE SELF LATCHING GATES.
 - ADDITIONAL LANDSCAPING SHALL BE ADDED AS A COMPENSATORY MEASURE FOR THE SITE PLAN VARIANCES.

CLAY COOLEY HYUNDAI ROCKWALL, TX 75087
<u>LEGAL DESCRIPTION AND OR ADDRESS:</u> ROCKWALL RECREATION ADDITION LOT 1 BLOCK 1 7.17 AC (312,099 SF)
<u>OWNER:</u> CLAY COOLEY AUTO 1251 E. AIRPORT FREEWAY IRVING, TX 75062
<u>APPLICANT:</u> CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
<u>CASE NUMBER</u> Z2021-049
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____.
WITNESS OUR HANDS THIS ____ DAY OF _____.
DESIGN: LRR DRAWN: LRR CHECKED: CLC DATE: 7/5/2023
PLANNING AND ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 WWW.CLAYMOOREENR.COM

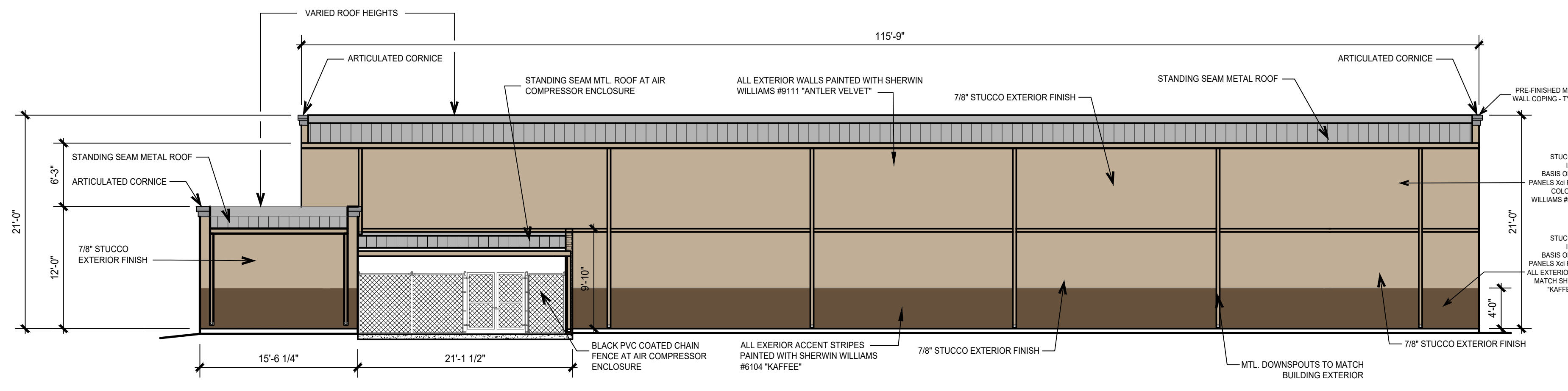
STATE OF TEXAS
 DREW DONOSKY
 25861
 LICENSED PROFESSIONAL ENGINEER
 7/5/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

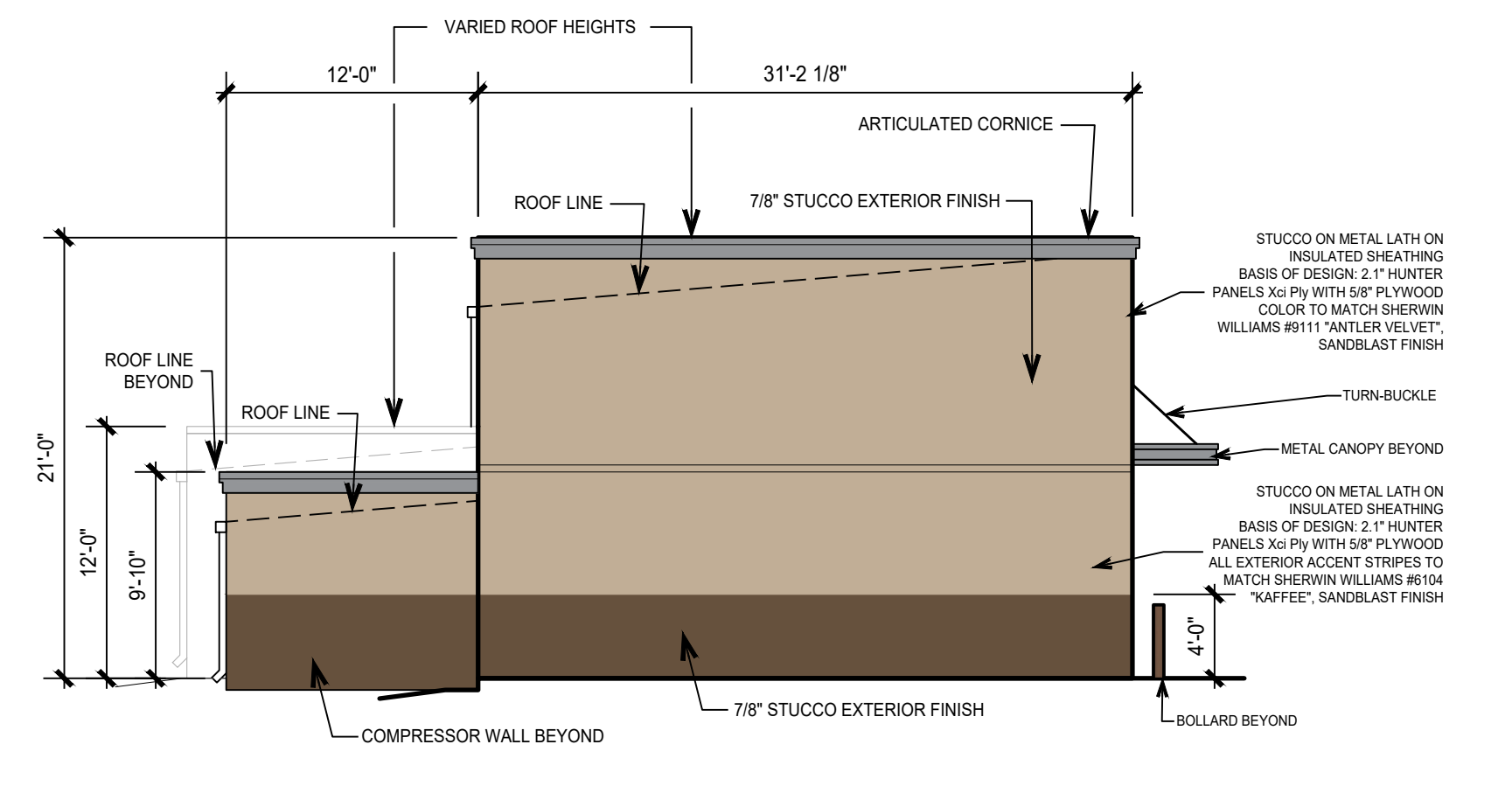
CITY SITE PLAN

CITY SITE PLAN

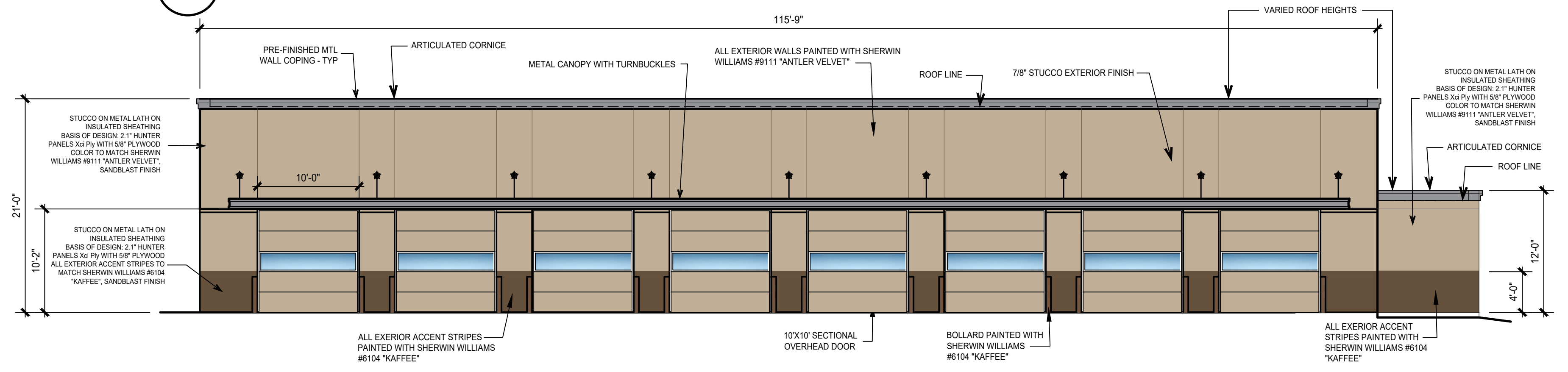
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 LAST SAVED: 6/30/2023 1:56 PM



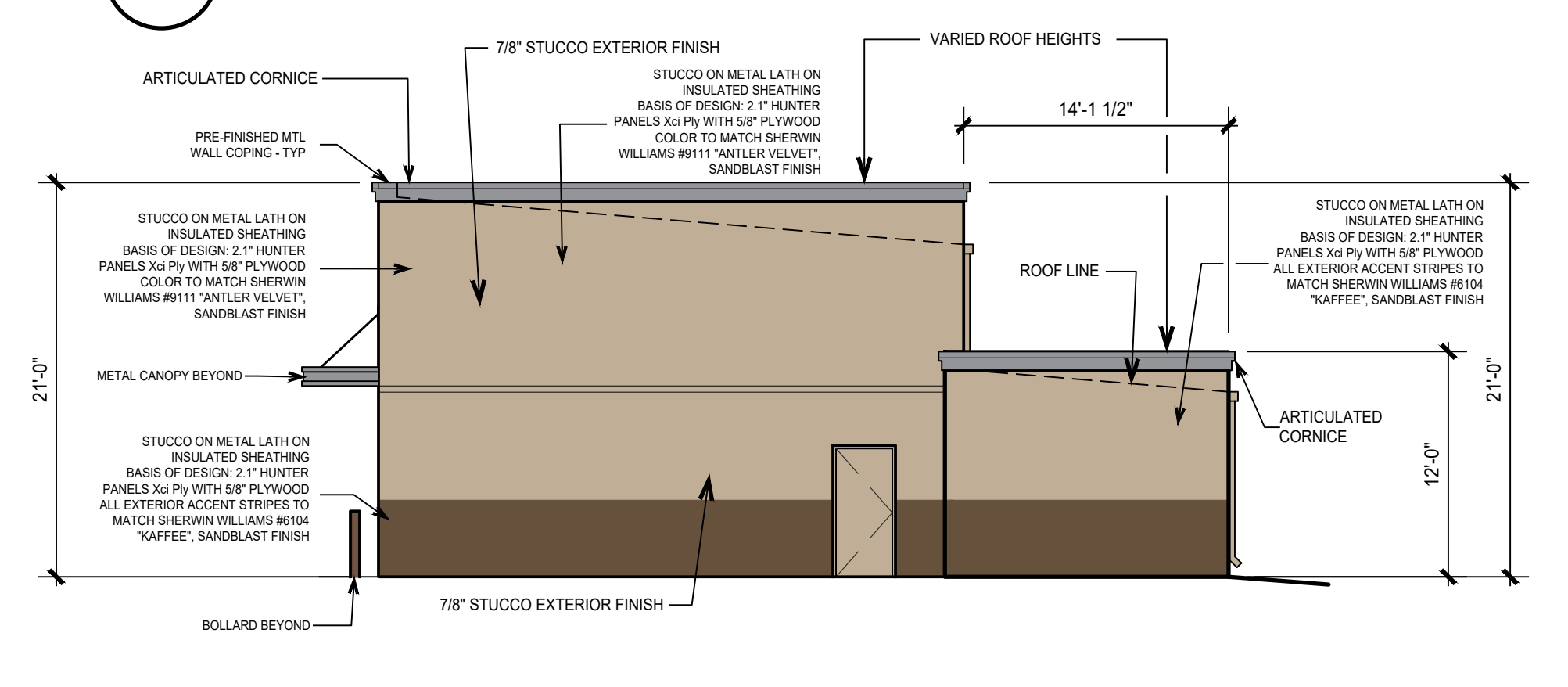
8 EAST ELEVATION - SERVICE BUILDING 2,562 SF
SCALE 1/8"=1'-0"



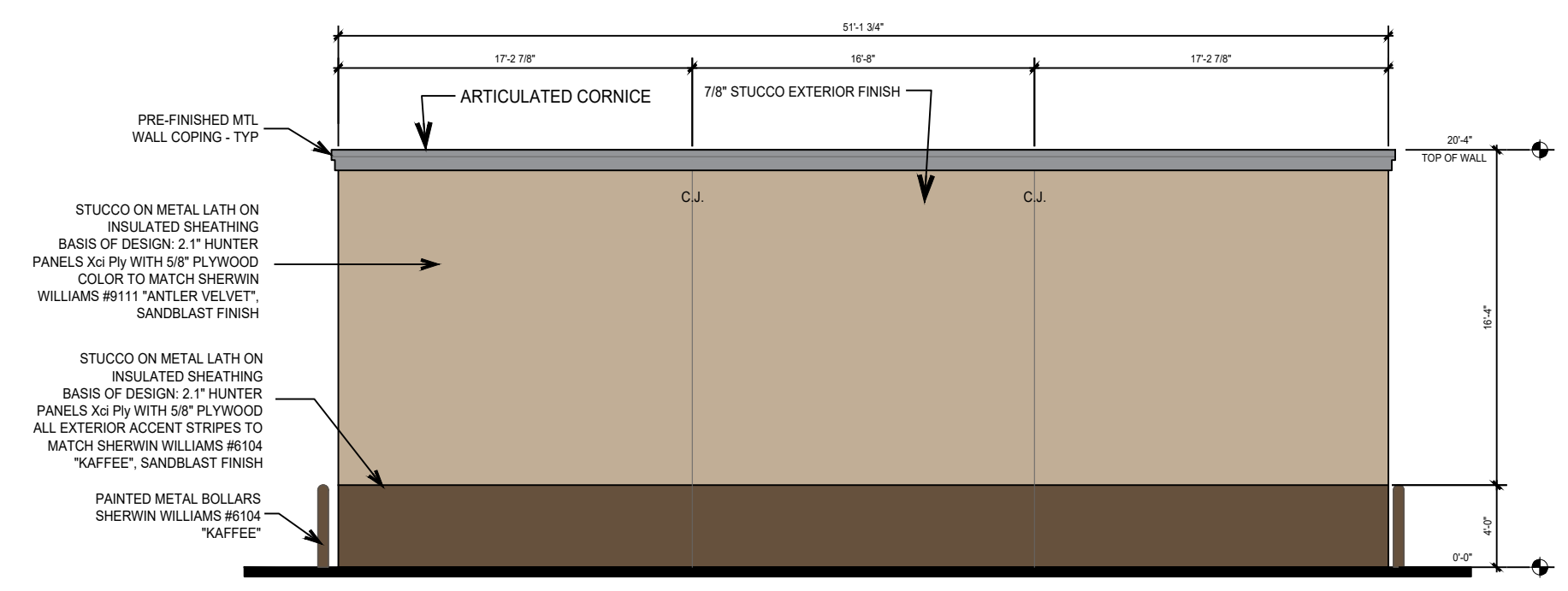
7 NORTH ELEVATION - SERVICE BUILDING 785 SF
SCALE 1/8"=1'-0"



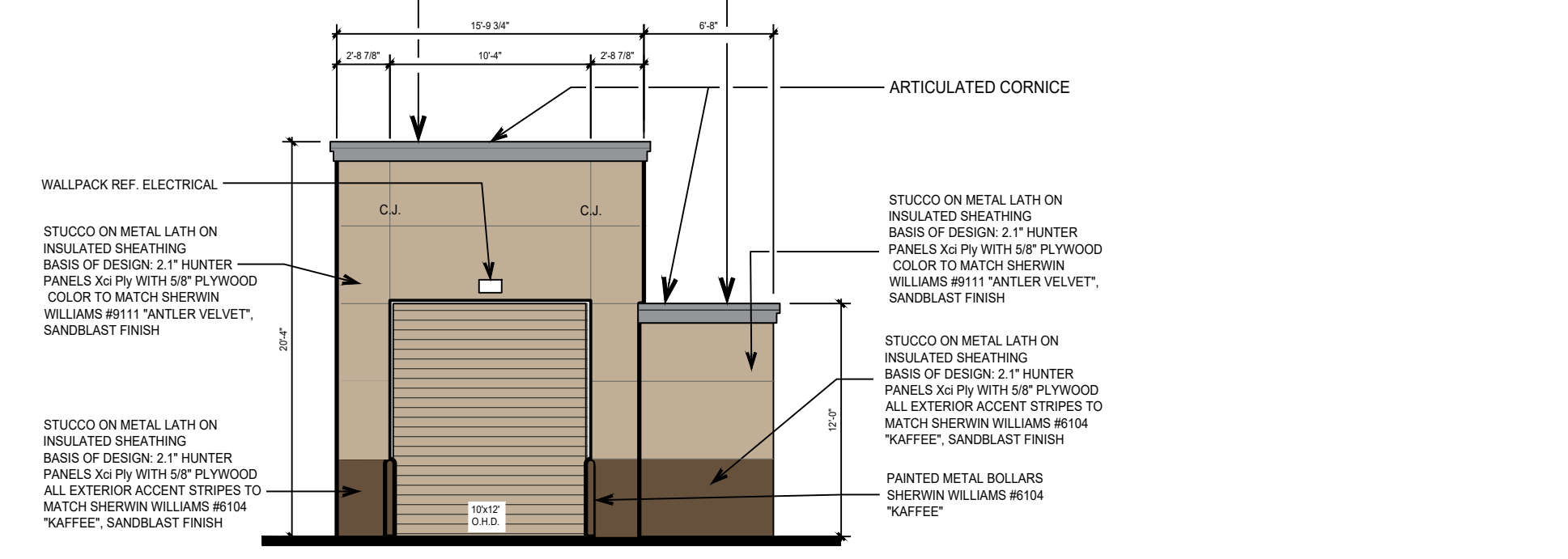
16 WEST ELEVATION - SERVICE BUILDING - FACES CLAY COOLEY BLVD. 2,551 SF
SCALE 1/8"=1'-0"



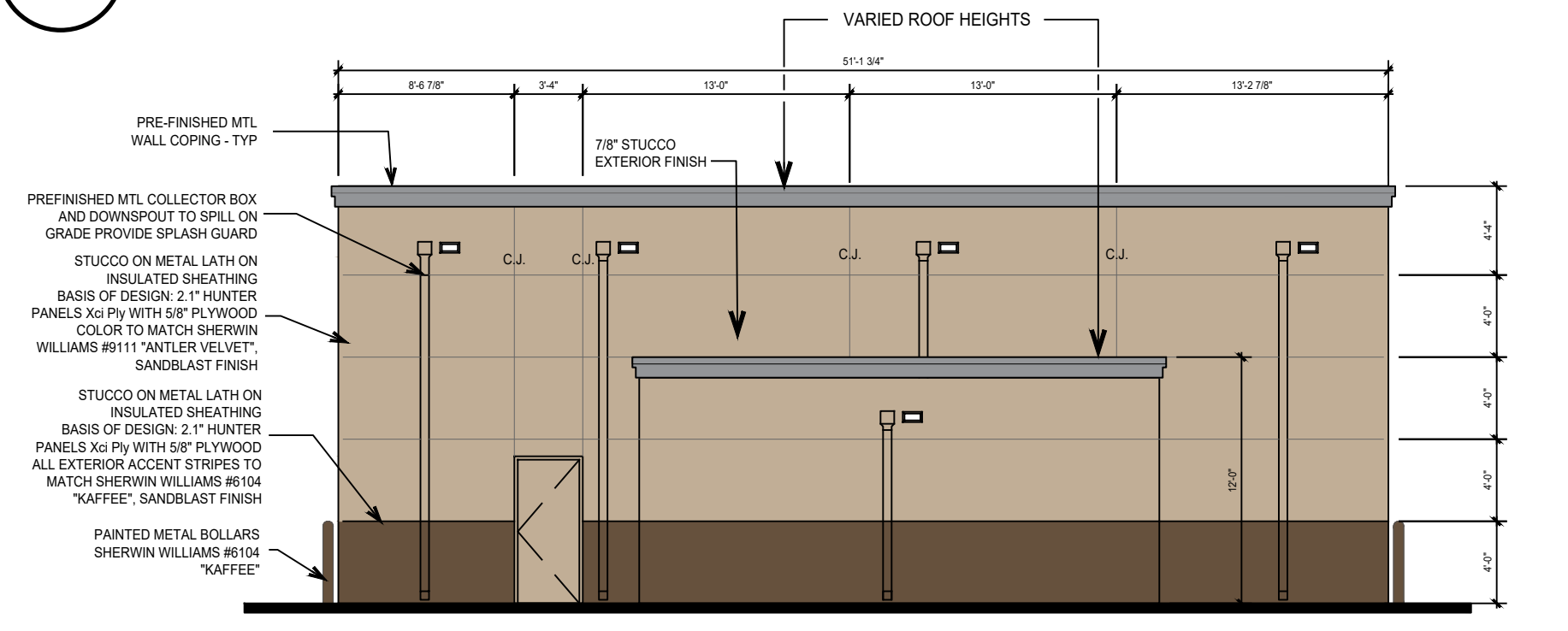
5 SOUTH ELEVATION - SERVICE BUILDING 824 SF
SCALE 1/8"=1'-0"



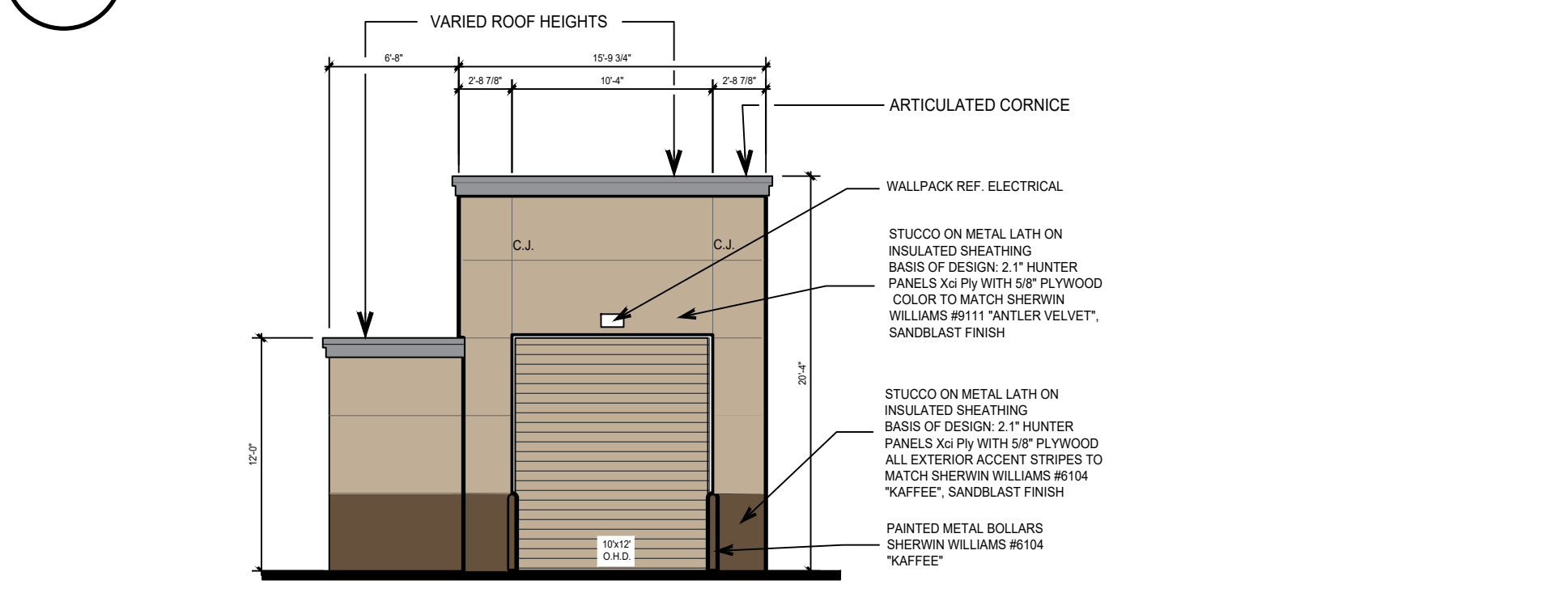
4 SOUTH ELEVATION - CAR WASH 1,040 SF
SCALE 1/8"=1'-0"



3 EAST ELEVATION - CAR WASH 395 SF
SCALE 1/8"=1'-0"



2 NORTH ELEVATION - CAR WASH 1,040 SF
SCALE 1/8"=1'-0"



1 WEST ELEVATION - CAR WASH 395 SF
SCALE 1/8"=1'-0"

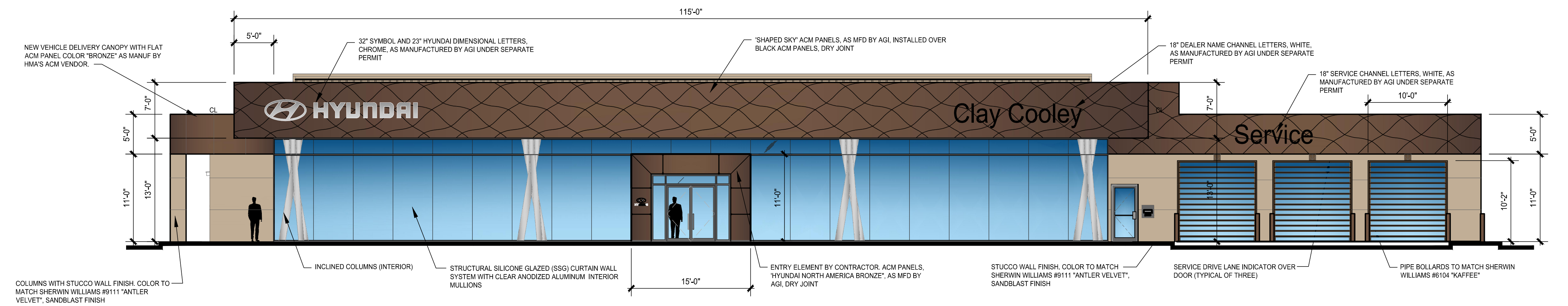
CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN(S) IS/ARE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL APPLICABLE CITY ORDINANCES AND ZONING REGULATIONS OF THE CITY OF ROCKWALL, TEXAS.

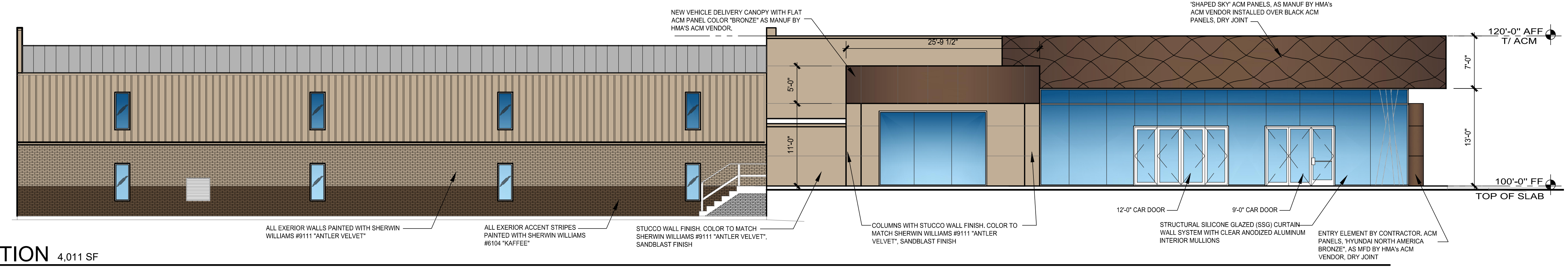
WITNESS OUR HANDS THIS ____ DAY OF _____, 2023.

PLANNING AND ZONING COMMISSION CHAIRMAN
 DIRECTOR OF PLANNING AND ZONING

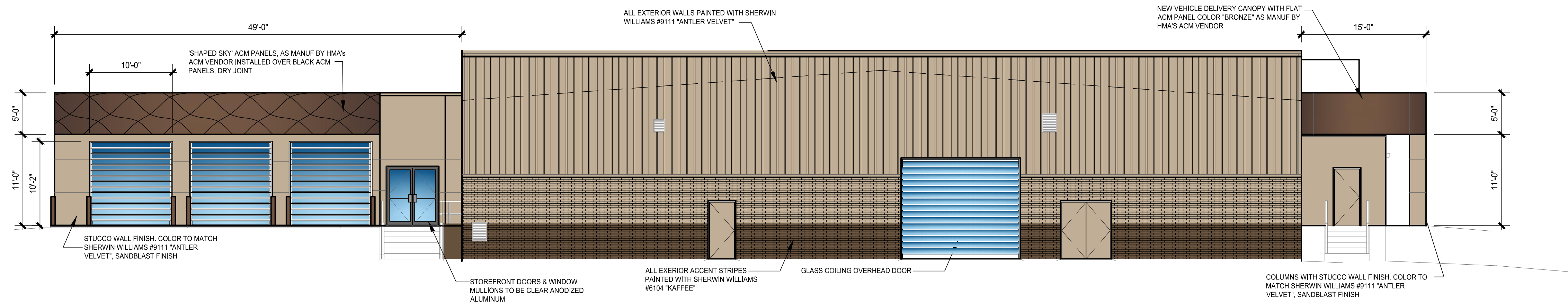
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 PLOT DATE: 6/15/2023 2:23 PM
 LOCATION: Z:\ARCHITURE\ACTIVE\CLAY COOLEY HYUNDAI\DRAWING FILES\RENDERINGS\21034 CC HYUNDAI ROCKWALL SERVICE EXPANSION_COLOR ELEVATIONS_2023-06-15.DWG
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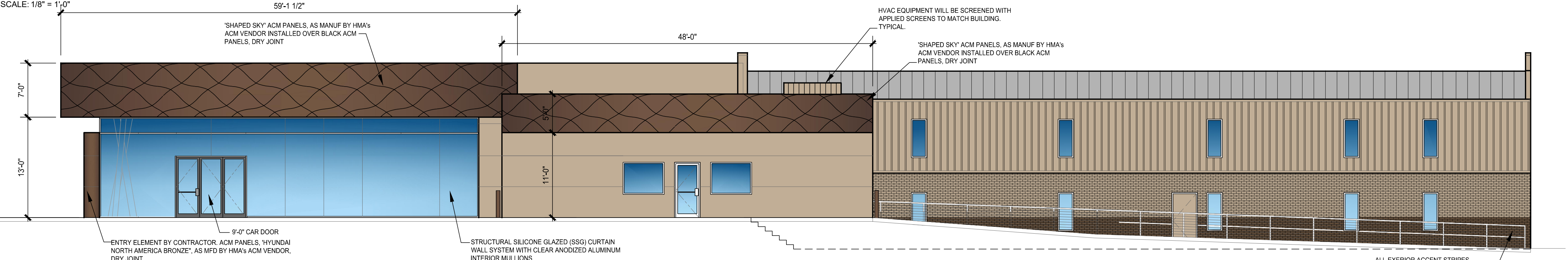
4 NORTH ELEVATION - FACES I-30 3,115 SF
 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION 4,011 SF
 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION 3,591 SF
 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION 3,908 SF
 SCALE: 1/8" = 1'-0"

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING ARE TRUTHFUL
 A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, AND APPROVED
 BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF
 ROCKWALL ON THE _____ DAY OF _____, 2023.

 PLANNING AND ZONING COMMISSION CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED ON THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
- SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES. PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
- THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE UDC. (ARTICLE 08, SUBSECTION 05.04)

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE DATA TABLE	
SITE AREA	7.71 AC / 312,099 SF
ZONING	LI (Light Industrial)
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CAR WASH)
	1,175 SF (OIL/LUBE)
LOT COVERAGE	0.07%
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1-STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PLANTING LEGEND

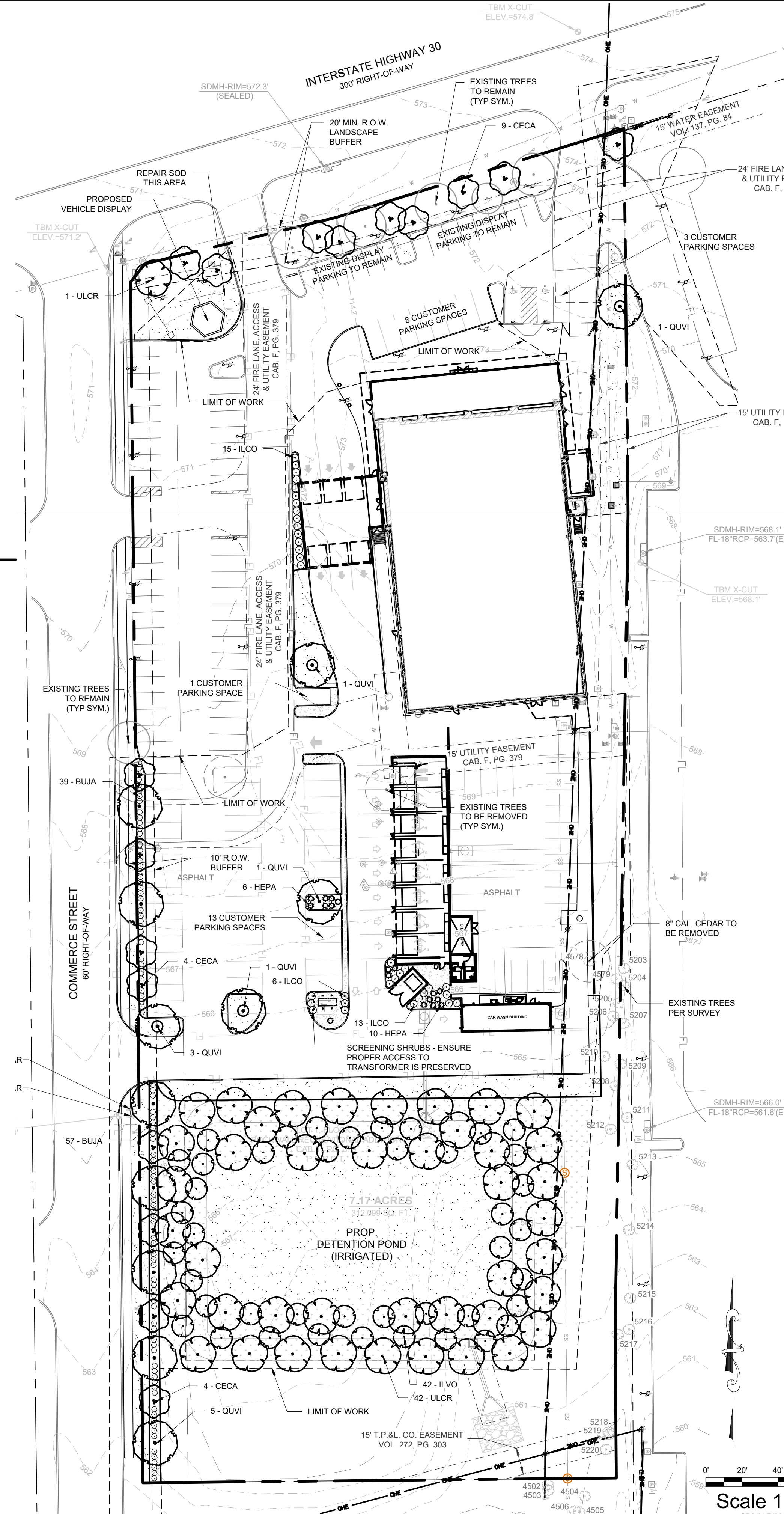
SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CECA	<i>Cercis canadensis</i> 'Texana'	Texas Redbud	1.5" cal., 4'-6" high	Per plan	17	
ILVO	<i>Ilex vomitoria</i>	Yaupon Holly	1.5" cal., 4'-6" high	Per plan	42	
QUVI	<i>Quercus virginiana</i>	Live Oak	4" cal., 12'-15' high	Per plan	12	
ULCR	<i>Ulmus crassifolia</i>	Cedar Elm	4" cal., 12'-15' high	Per plan	43	
SHRUBS						
BUJA	<i>Buxus micro. japonica</i> 'Green Beauty'	Green Beauty Boxwood	5 gallon	3' o.c.	96	
HEPA	<i>Hesperaloe parviflora</i> 'Brakelights'	Red Yucca	5 gallon	4' o.c.	16	
ILCO	<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly	5 gallon	4' o.c.	34	
TURF AND SEED						
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	- - -	~ 24,885 SF	
		Dam Slope Mix (Contact Native American Seed)	Hydromulch	20 lbs / acre	~ 20,481 SF	

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

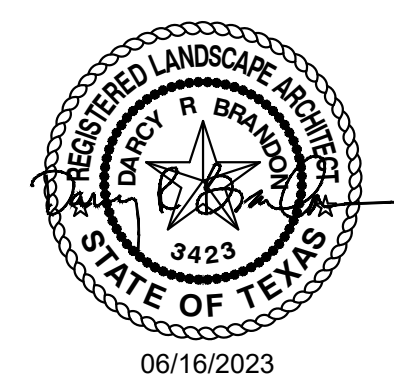
LANDSCAPE STANDARDS

- 08.05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL**
REQ. ABUTTING A PUBLIC RIGHT-OF-WAY: 10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LN. FEET OF FRONTAGE
- COMMERCE STREET:**
±398' OF STREET FRONTAGE
PROVIDED IN 10' BUFFER: 8 OAKS, 8 REDBUDS, SHRUBS, & GROUND COVER
- 05.06 GENERAL OVERLAY DISTRICT STANDARDS - IH-30 OVERLAY**
REQ. LANDSCAPE BUFFER: 20' WIDE W/ GROUND COVER & BUILT-UP BERM & SHRUBBERY ALONG ENTIRE LENGTH OF FRONTAGE, 30"-48" HIGH; 2 CANOPY TREES + 4 ACCENT TREES PER 100 LN. FT. OF PRIMARY ROADWAY
4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES
4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY
1 CEDAR ELM + 9 REDBUDS
- ±237 ROADWAY FRONTAGE REQ. PLANTING:**
PROVIDED IN 20' BUFFER, EXISTING:
PROPOSED IN 20' BUFFER:
- 05.02 LANDSCAPE SCREENING**
REQ. HEADLIGHT SCREENING: HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING: BOXWOOD SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGE TO MATCH EXISTING SHRUBS
- 05.03 LANDSCAPE REQUIREMENTS - L-1 DISTRICT**
TOTAL SITE AREA: 312,099 SF
LANDSCAPE AREA REQUIRED TOTAL SITE: 62,420 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE: ±79,574 SF (25%)
- LOCATION OF LANDSCAPING:** MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
- MIN. SIZE OF AREAS** ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
- DETENTION BASINS**
DETENTION BASIN AREA: MIN. 1 CANOPY & 1 ACCENT TREE PER 750 SF
REQUIRED TREES: ±31,539 SF
PROVIDED TREES: 42 CANOPY TREES & 42 ACCENT TREES
42 CEDAR ELM & 42 YAUPON HOLLY
- PARKING LOT LANDSCAPING** MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
27 (2 ADA) SPACES, ±20,759 SF
PROPOSED CUSTOMER PARKING AREA: 87 SPACES, ±27,124 SF
PROPOSED DISPLAY PARKING AREA: 1,038 SF (5%)
REQ. PARKING LOT LANDSCAPING: 3,734 SF (18%)
REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

PARKING DATA TABLE	
PARKING REQUIRED	
SALES FLOOR 1/250 SF	16 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 SPACE PER 2 BAY	6 PARKING
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	87 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES



Scale 1" = 40'



I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP
 (800) 680-6630
 15455 Dallas Pkwy., Ste 600
 Addison, TX 75001
 www.EvergreenDesignGroup.com

CLAY MOORE ENGINEERING

1903 CENTRAL DR. SUITE #408
 ROCKWALL, TX 75087
 PHONE: 972.981.0072
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY

FOR REVIEW ONLY
 Not for construction purposes.

CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING
 CONSULTANTS
 DREW DONOSKY
 P.E. No. 125651, Exp. 5/16/2023
 07/02/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

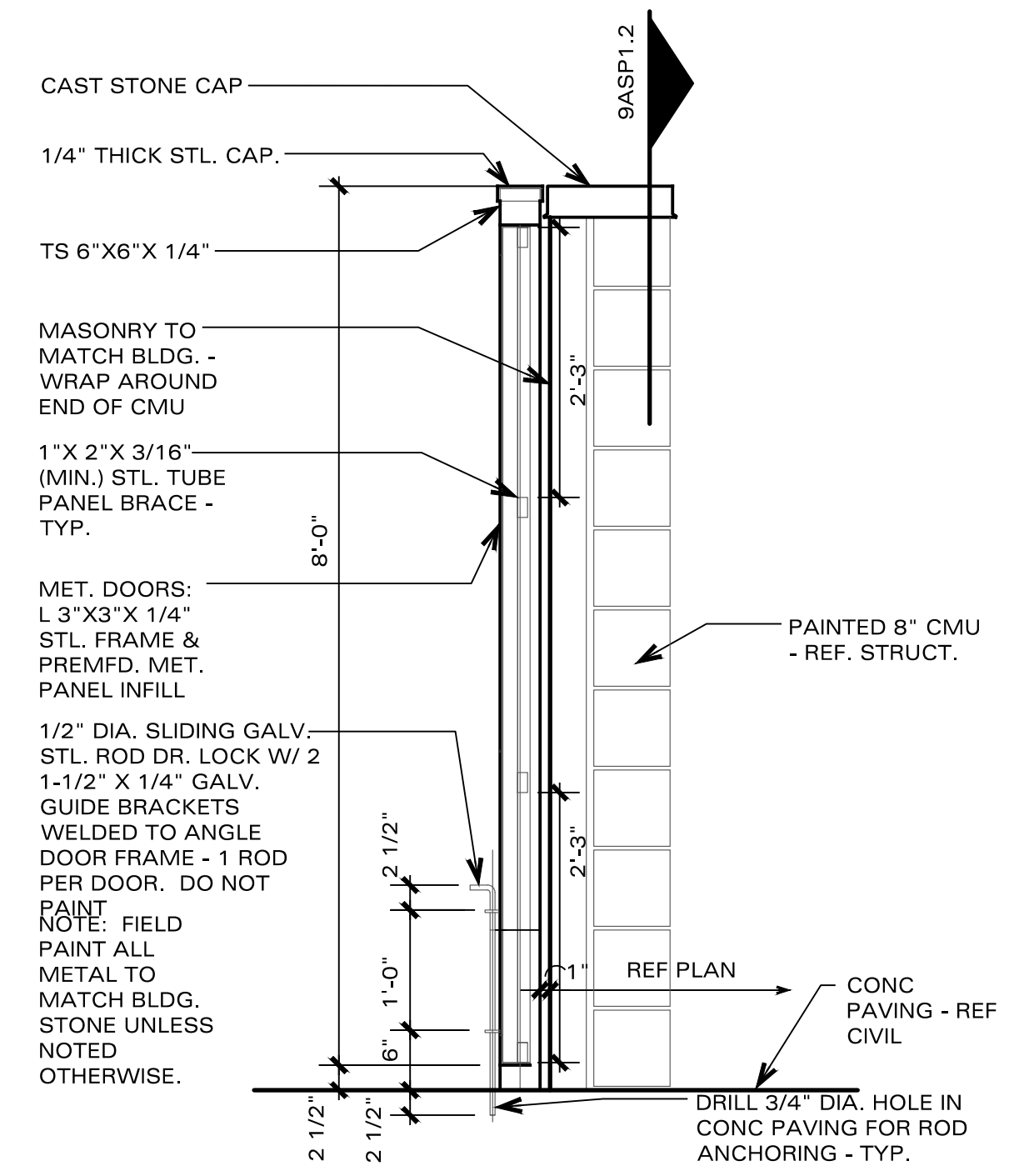
LANDSCAPE PLANTING PLAN

DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 02-02-2020

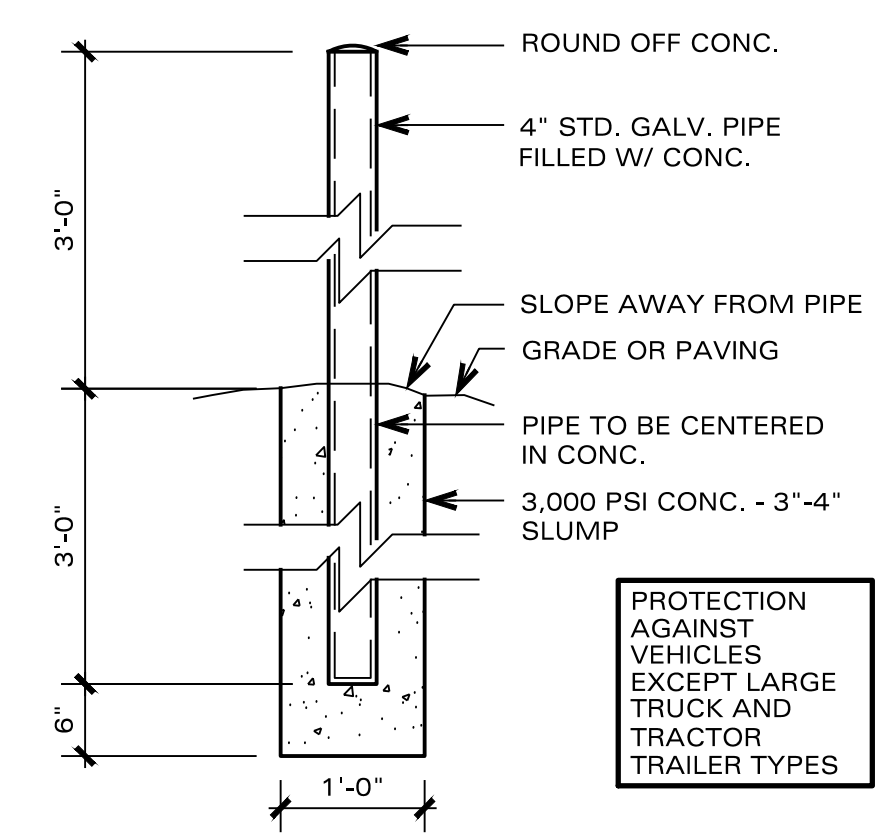
SHEET
LP-1

File No. 2020-021

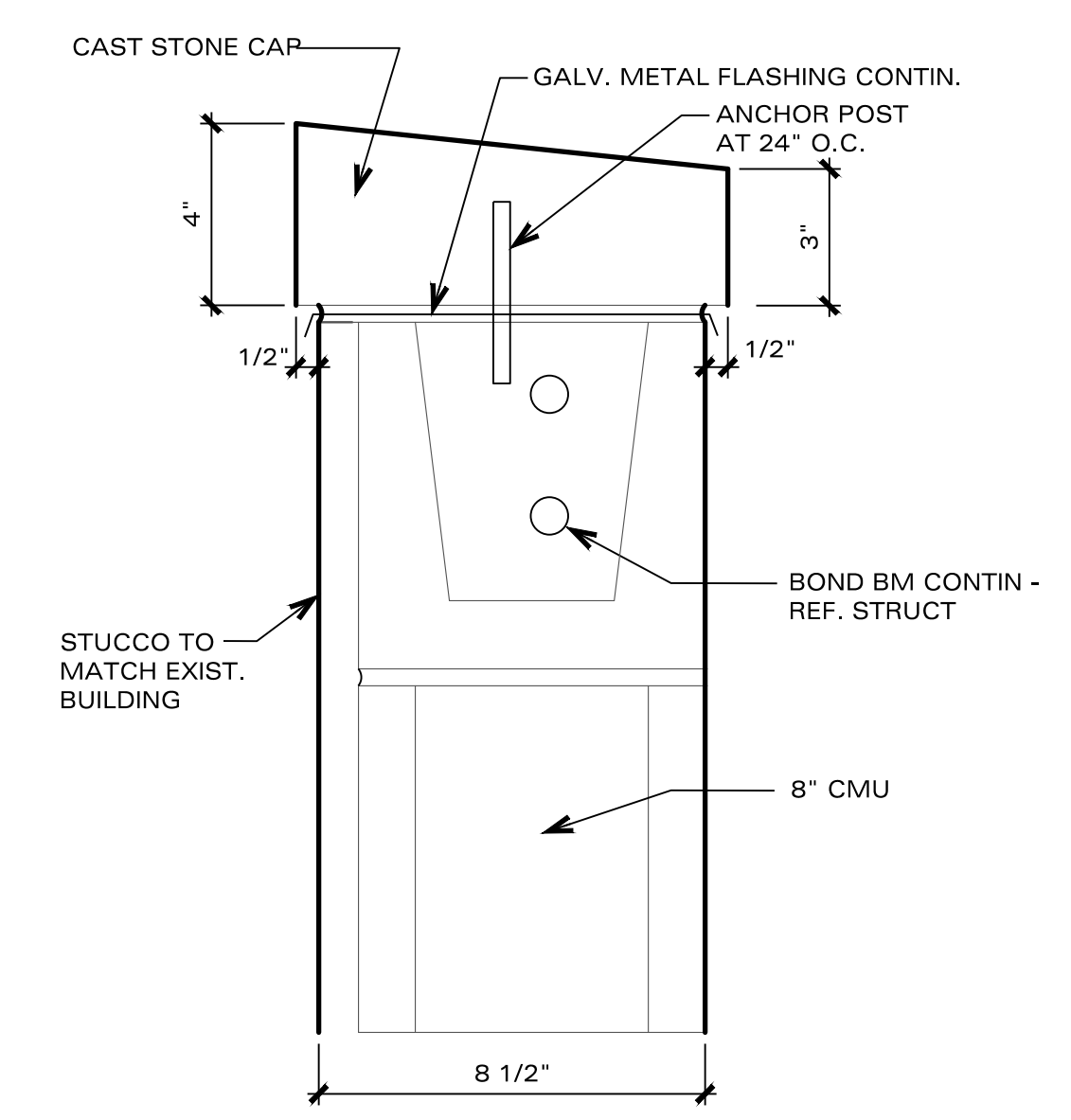
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 PLOT DATE: 6/16/2023 10:38 AM
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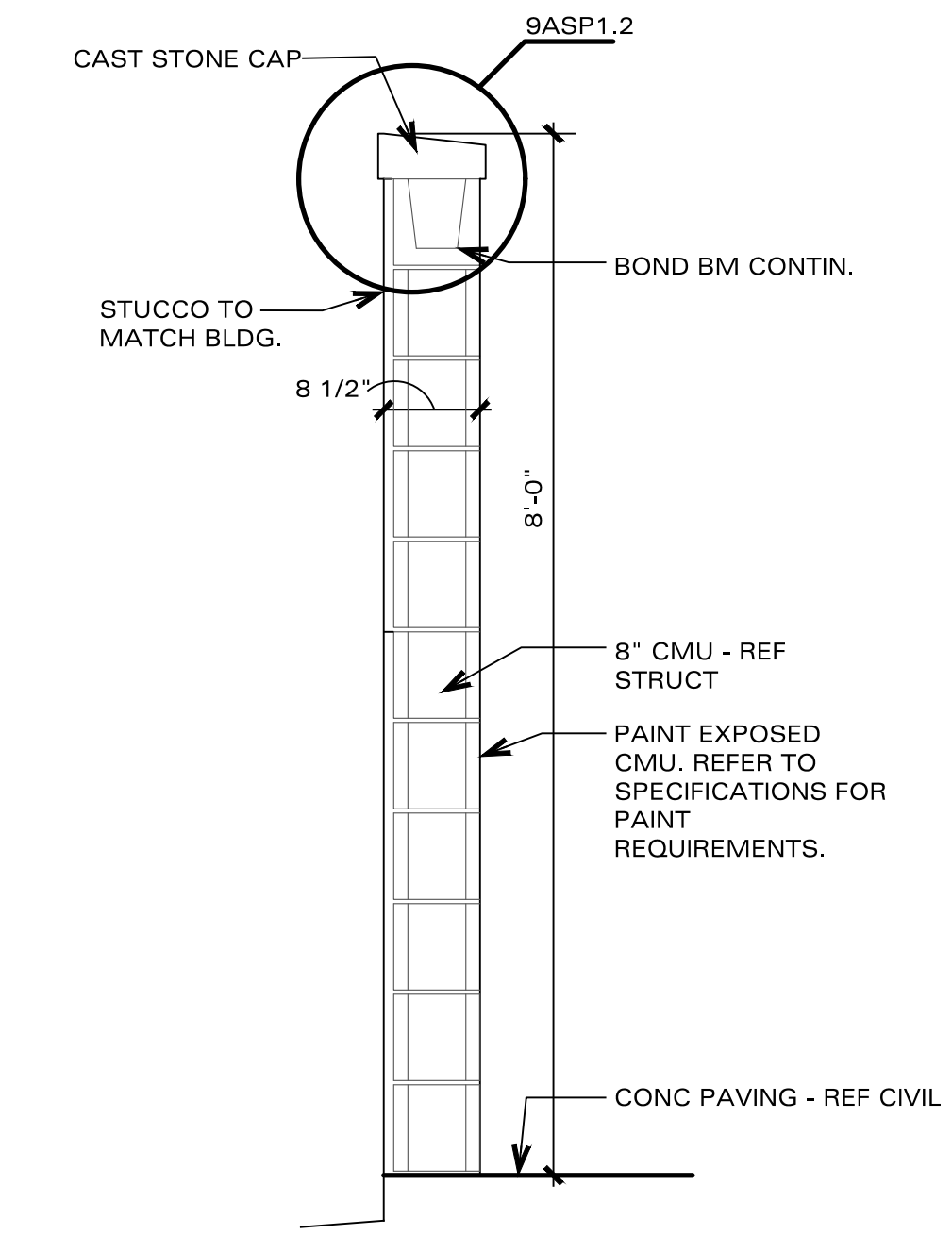
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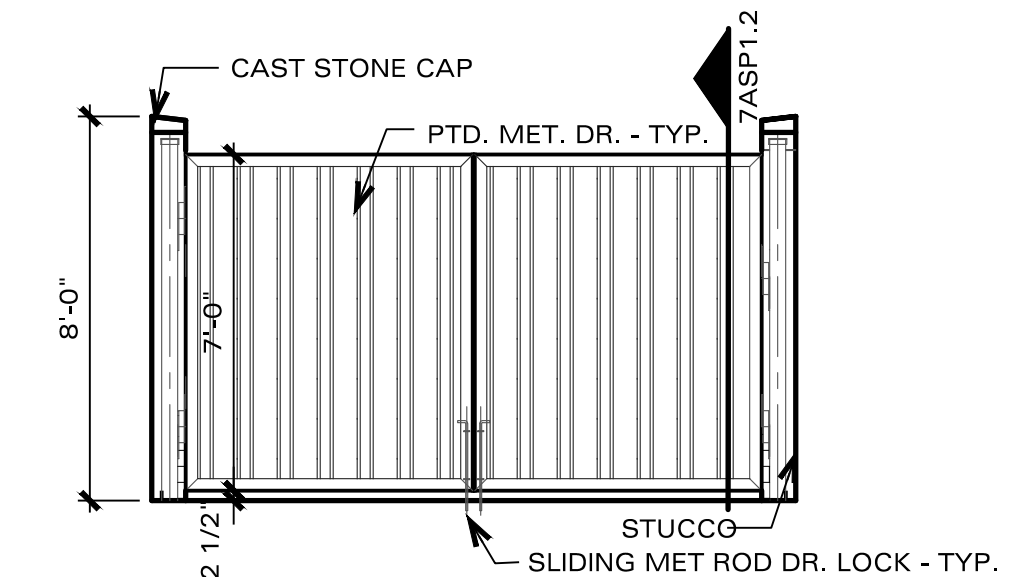
6 BOLLARD
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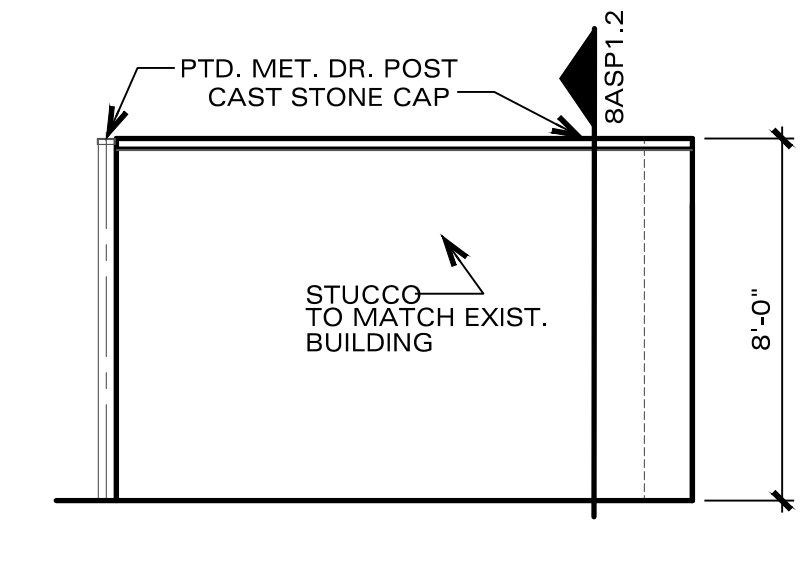
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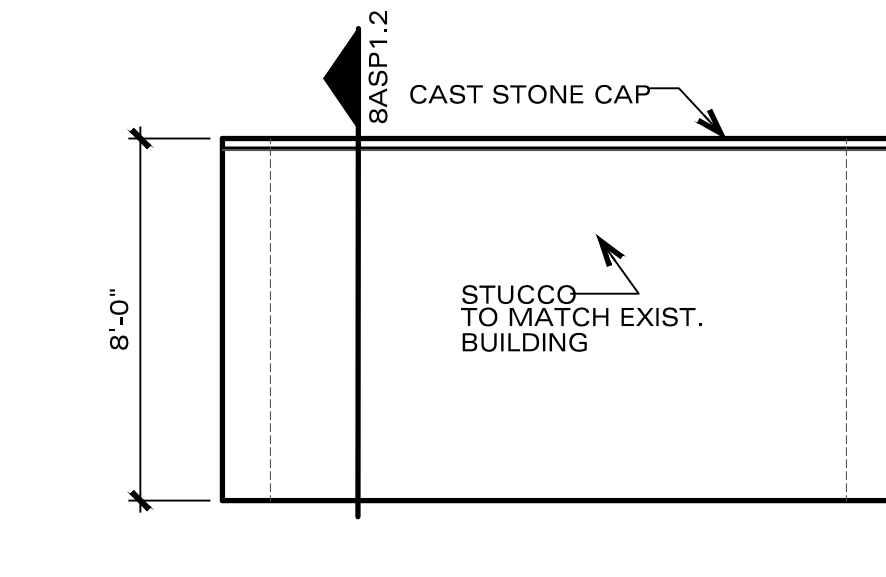
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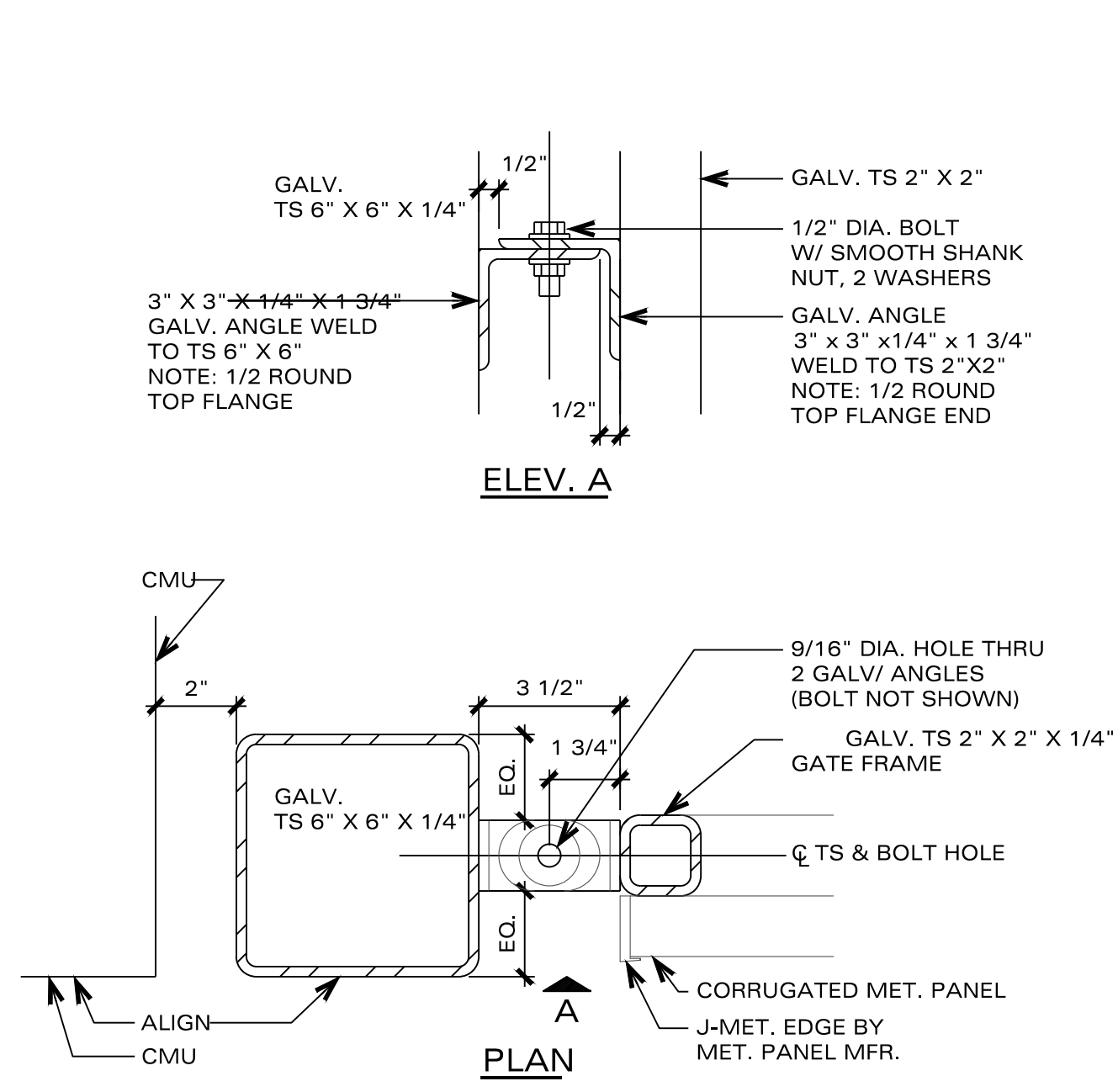
5 ELEVATION
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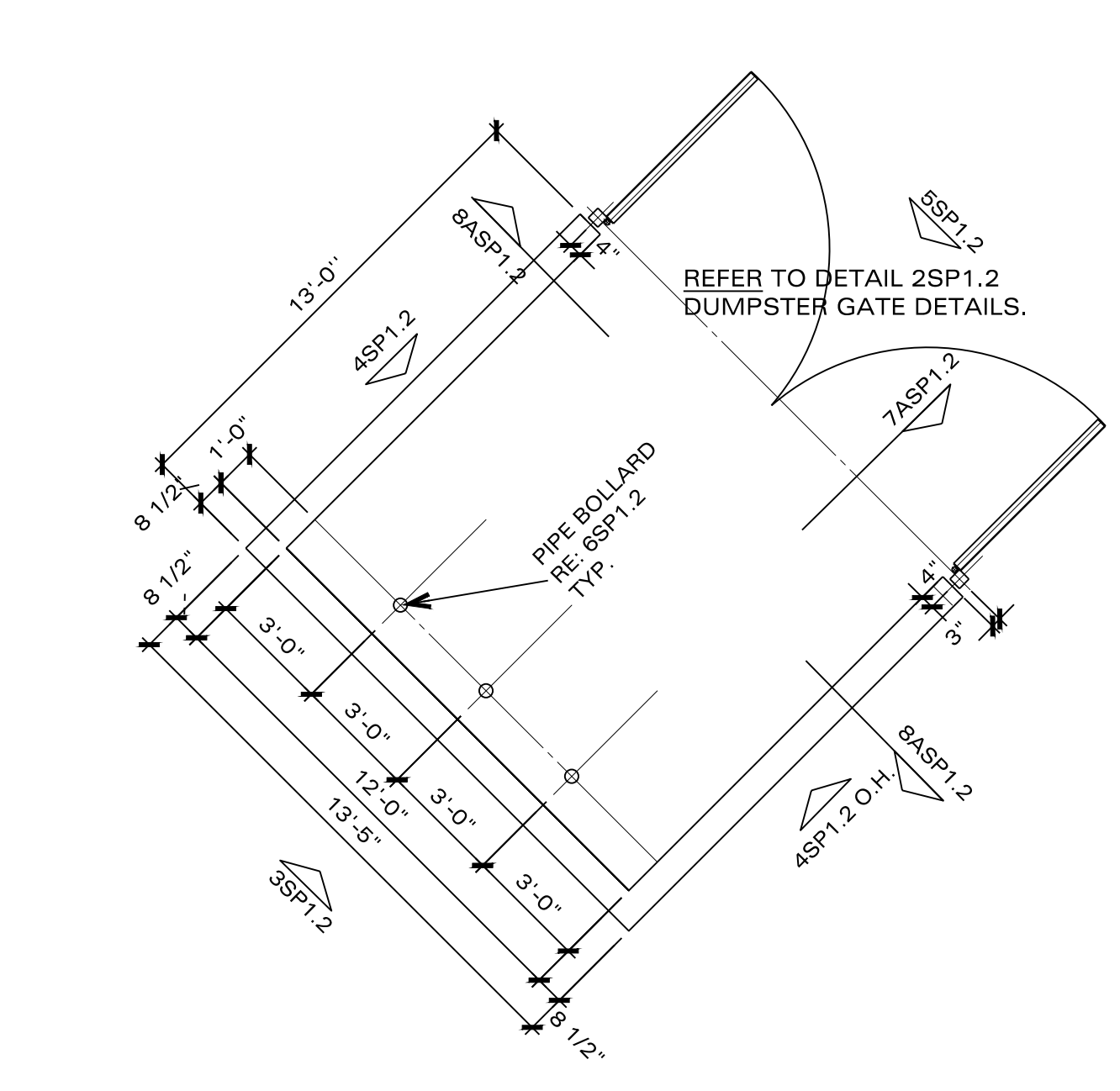
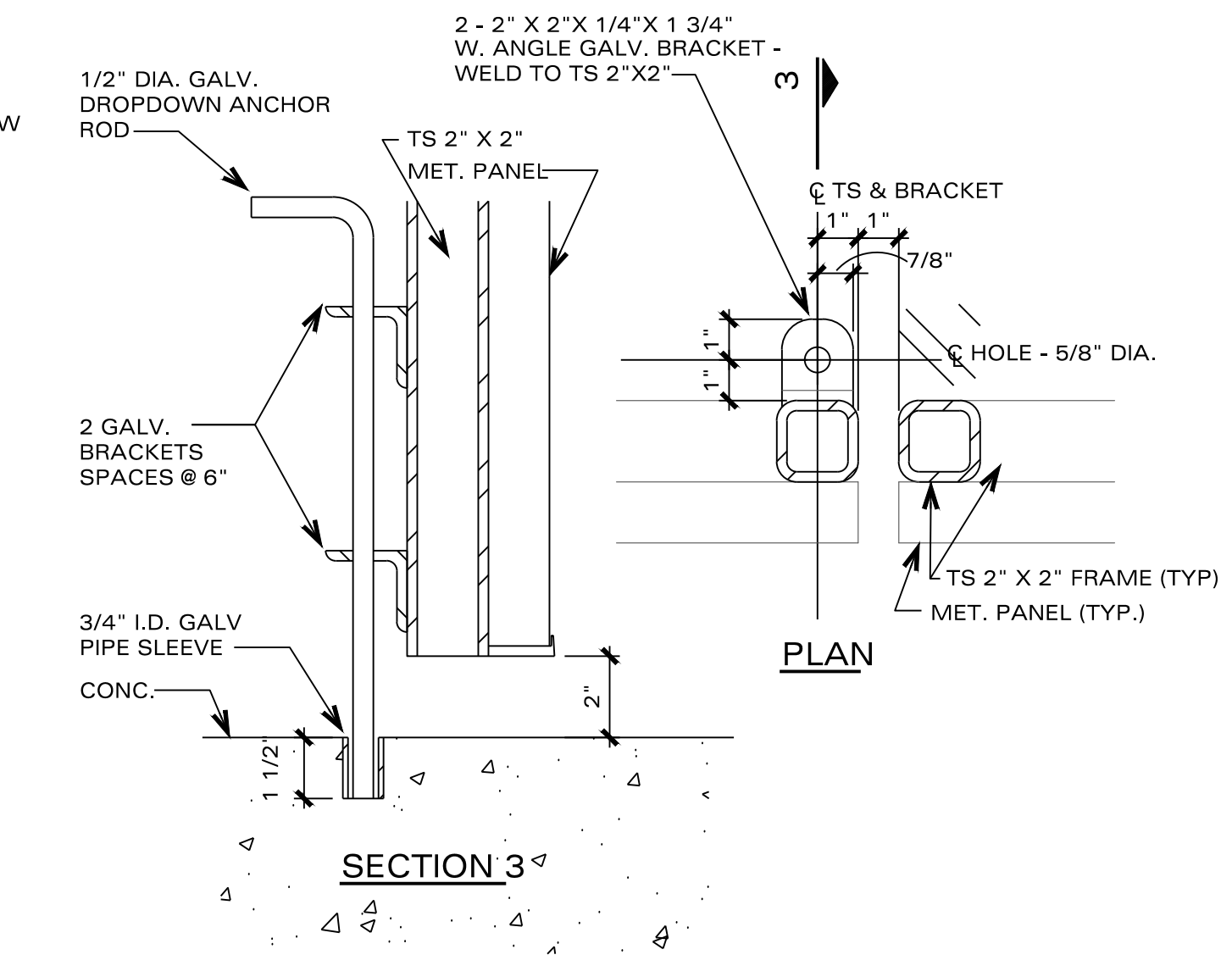
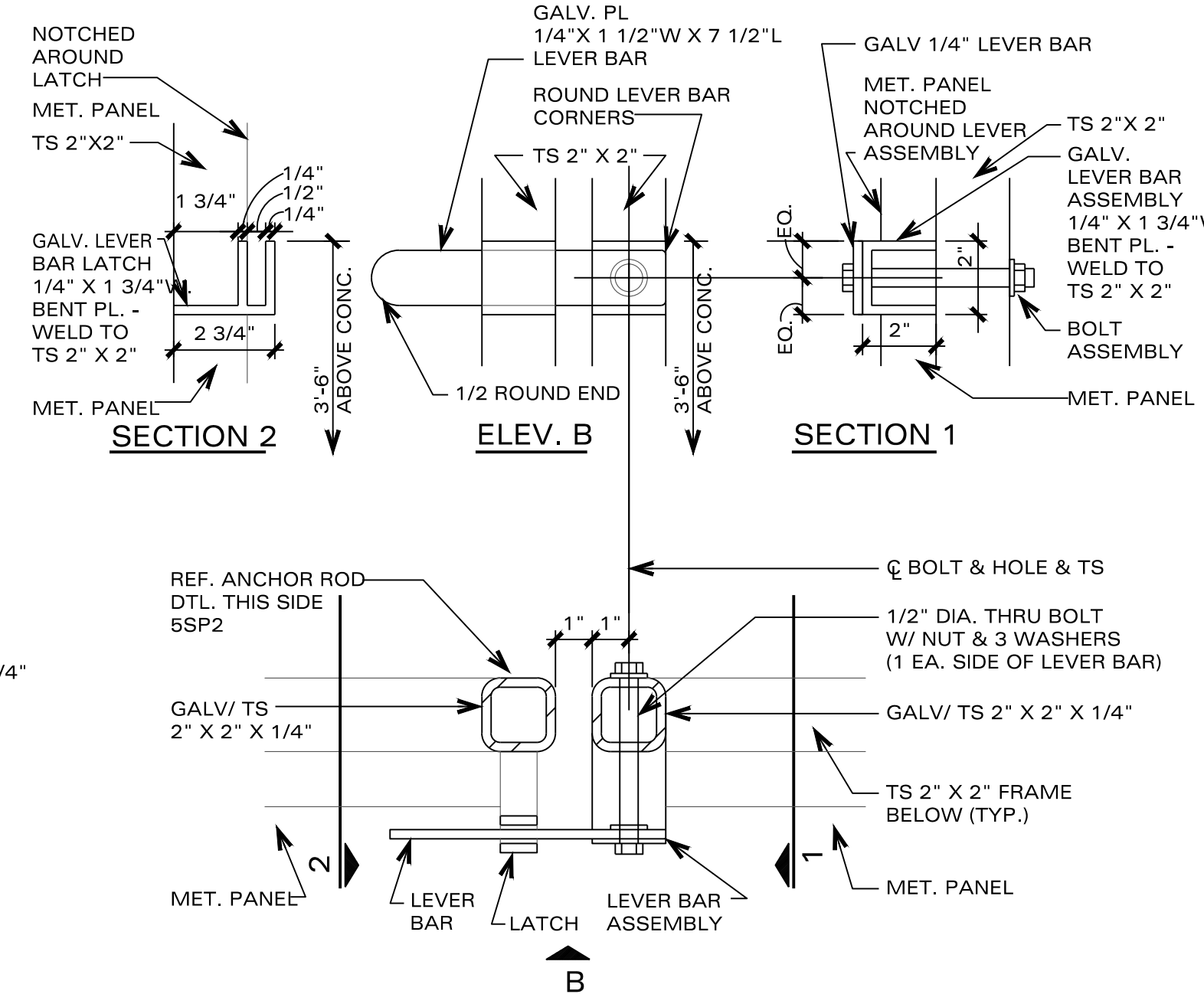
4 ELEVATION
SCALE 1/4"=1'-0"



3 ELEVATION
SCALE 1/4"=1'-0"




2 GATE DETAILS
SCALE 3"=1'-0"



1 PLAN
SCALE 1/4"=1'-0"

INCOMPLETE CONSTRUCTION DOCUMENTS
THIS DOCUMENT IS INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. (TBAE - EFFECTIVE 10-01-2003)
JAMES R. HARDIN, ARCHITECT TEXAS
REGISTRATION NO. 11546
DATE: 11/30/2021



HYUNDAI

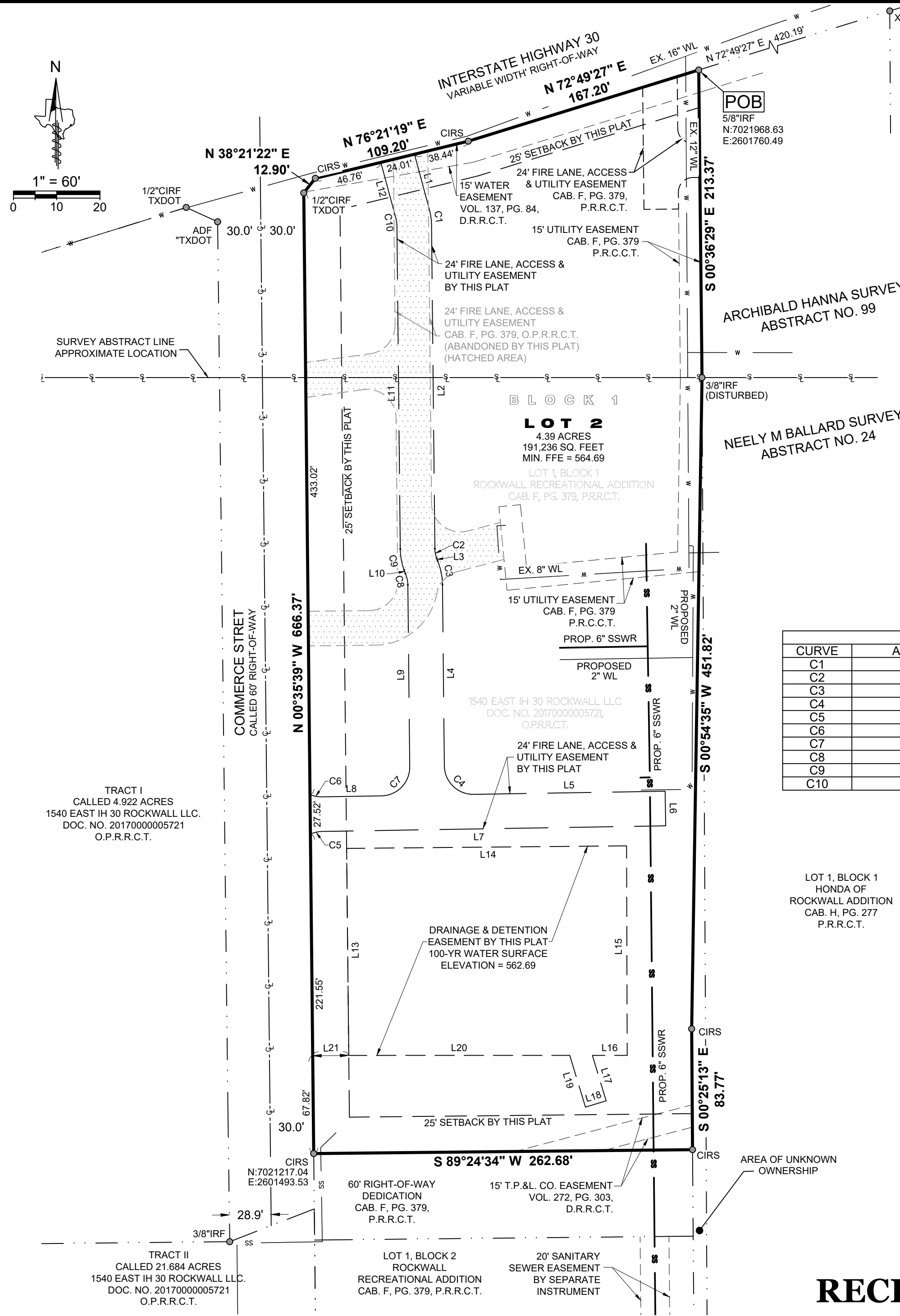
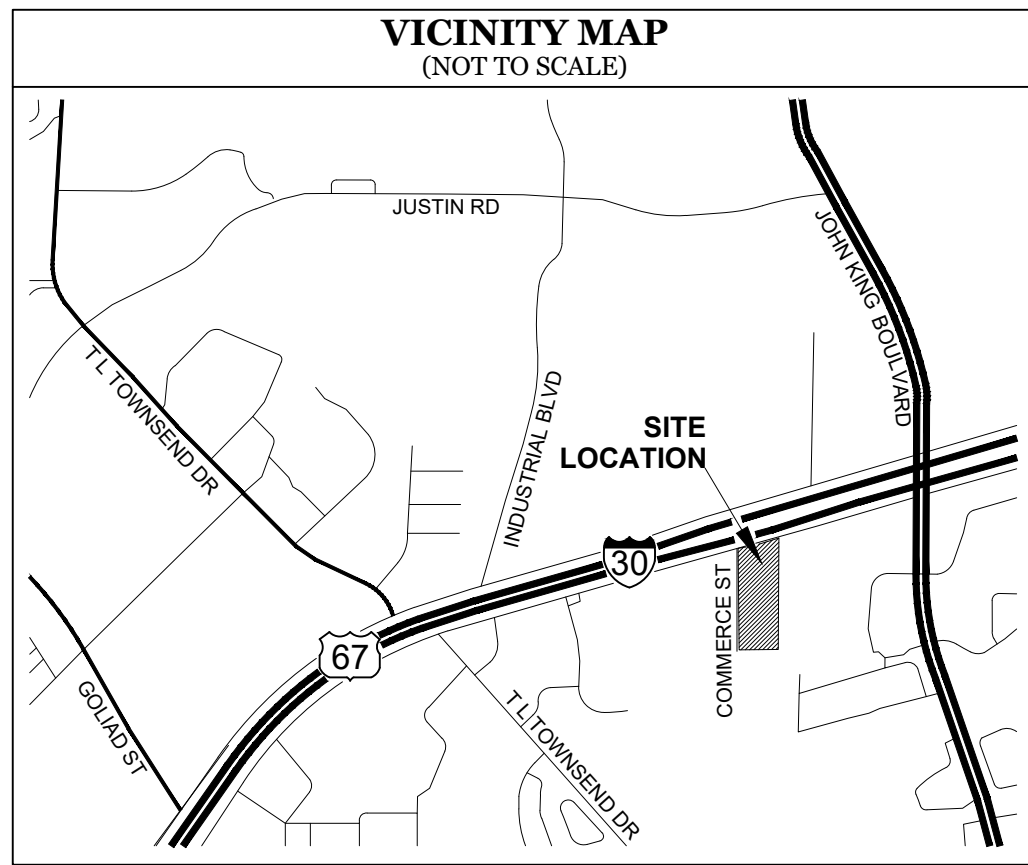
CLAY COOLEY HYUNDAI ROCKWALL
Showroom & Service Building

PROJECT: AN ADDITION & RENOVATION FOR: CLAY COOLEY HYUNDAI ROCKWALL
ADDRESS: 1540 Interstate 30 E
CITY: ROCKWALL STATE: TX ZIP: 75087

DUMPSTER SCREEN

JOB NO.	21034	
DATE	ISSUE FOR	DRAWN BY
11/30/2021	75 % REVIEW	MS, AP

SP1.2



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 15°03'39\"	39.66'
L2	N 00°35'39\"	224.29'
L3	N 19°58'51\"	1.97'
L4	N 00°35'39\"	125.72'
L5	S 89°03'46\"	132.78'
L6	N 00°56'14\"	24.00'
L7	N 89°03'46\"	238.24'
L8	S 89°03'47\"	41.21'
L9	S 00°35'39\"	126.11'
L10	S 19°58'51\"	2.63'
L11	S 00°35'39\"	224.29'
L12	S 15°03'39\"	40.25'
L13	N 00°35'39\"	143.59'
L14	N 89°28'24\"	194.12'
L15	S 00°10'06\"	145.33'
L16	S 89°59'29\"	24.13'
L17	S 16°50'46\"	32.94'
L18	S 73°09'14\"	15.00'
L19	N 16°50'46\"	37.48'
L20	S 89°59'29\"	153.25'
L21	S 89°24'21\"	25.00'

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	11.11'	44.00'	14°28'00\"	N 07°49'39\" W	11.08'
C2	6.77'	20.00'	19°23'12\"	N 10°17'15\" W	6.74'
C3	16.92'	44.00'	22°01'42\"	N 11°36'30\" W	16.81'
C4	31.54'	20.00'	90°20'35\"	N 45°45'56\" W	28.37'
C5	8.41'	20.00'	24°04'46\"	N 77°01'23\" E	8.34'
C6	8.51'	20.00'	24°22'18\"	N 78°45'04\" W	8.44'
C7	31.30'	20.00'	89°39'26\"	S 44°14'04\" W	28.20'
C8	8.14'	20.00'	23°18'19\"	S 12°14'49\" E	8.08'
C9	14.89'	44.00'	19°23'12\"	S 10°17'15\" E	14.82'
C10	5.05'	20.00'	14°28'00\"	S 07°49'39\" E	5.04'

GENERAL NOTES

- The purpose of this plat is to dedicate easements for site development.
- This property is located in **Non-Shaded Zone "X"** as scaled from the F.E.M.A. Flood Insurance Rate Map dated September 26th, 2008 and is located in Community Number 480547 as shown on Map Number 48397C0045L. The location of the Flood Zone is approximate, no vertical datum was collected at the time of the survey. For the exact Flood Zone designation, please contact 1-(877) FEMA MAP.
- The grid coordinates shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011) State Plane Coordinate System (Texas North Central Zone - 4202).
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law, and is subject to fines and/or withholding of utilities and building permits.
- All interior property corners are marked with a 1/2-inch iron rod with a green plastic cap stamped "EAGLE SURVEYING" unless noted otherwise.
- The bearings shown on this plat are based on GPS observations utilizing the AllTerra RTKNET Cooperative network. NAD 83(2011).
- Property owner is responsible for repair, replacement, and maintenance off all detention and drainage systems in easements on-site.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

LEGEND	
PG	= PAGE
CAB	= CABINET
POB	= POINT OF BEGINNING
CIRS	= CAPPED IRON ROD SET
CIRF	= CAPPED IRON ROD FOUND
DOC. NO.	= DOCUMENT NUMBER
D.R.R.C.T.	= DEED RECORDS, ROCKWALL COUNTY, TEXAS
P.R.R.C.T.	= PLAT RECORDS, ROCKWALL COUNTY, TEXAS
---	= SUBJECT BOUNDARY
---	= ADJOINER BOUNDARY
W	= WATER LINE
SS	= SANITARY SEWER LINE
---	= EASEMENT

**REPLAT
LOT 2, BLOCK 1
ROCKWALL
RECREATIONAL ADDITION
4.39 ACRES (191,236 SF)**

BEING A REPLAT OF LOT 1, BLOCK 1
OF ROCKWALL RECREATIONAL ADDITION,
RECORDED IN CABINET F, PAGE 379, P.R.R.C.T.,
SITUATED IN THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99,
AND THE NEELY M BALLARD SURVEY, ABSTRACT NO. 24
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	2110.002	<p>EAGLE SURVEYING, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177</p>
Date	07/27/2022	
Drafter	BE	

<p>SURVEYOR Eagle Surveying, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009</p>	<p>ENGINEER Claymoore Engineering, Inc. Contact: Drew Donosky 1903 Central Drive, Suite: 406 Bedford, TX 76021 (817) 281-0572</p>	<p>OWNER 1540 East IH 30 Rockwall LLC PO BOX 570809 Dallas, TX 75357</p>
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OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS §
 COUNTY OF ROCKWALL §

WHEREAS 1540 EAST IH 30 ROCKWALL LLC is the sole owner of a 4.39 acre tract of land situated in the ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99 and the NEELY M BALLARD SURVEY, ABSTRACT NO. 24, in the City of Rockwall, Rockwall County, Texas, and being a portion of Lot 1, Block 1 of Rockwall Recreational Addition, a subdivision of record in Cabinet F, Page 379, of the Plat Records of Rockwall County, Texas, conveyed to 1540 East IH 30 Rockwall LLC by Special Warranty Deed With Vendor's Lien recorded in Document Number 2017000005721, of the Official Public Records of Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING, at a 5/8" iron rod found in the south right-of-way line of Interstate Highway 30 (a variable width right-of-way), at the northwest corner of Lot 1, Block 1, Honda of Rockwall Addition, a subdivision of record in Cabinet H, Page 277, of said Plat Records, and the northeast corner of said Lot 1, Block 1, Rockwall Recreational Center, from which an x-cut found at the northeast corner of said Lot 1, Block 1, Honda of Rockwall Addition bears N72°49'27"E, a distance of 420.19 feet;

THENCE, along the east line of said Lot 1, Block 1, Rockwall Recreational Center, the following three (3) courses and distances:

- S00°36'29"E, a distance of 213.37 feet to a 3/8" iron rod found (disturbed);
- S00°54'35"W, a distance of 451.82 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- S00°25'13"E, a distance of 83.77 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set at the northeast corner of a 60' right-of-way dedication (unimproved) and the southeast corner of said Lot 1, Block 1, Rockwall Recreational Center;

THENCE, S89°24'34"W, along the north line of said 60' right-of-way dedication, being the common south line of said Lot 1, Block 1, Rockwall Recreational Center, a distance of 262.68 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set in the east right-of-way line of said Commerce Street (a called 60' right-of-way), at the northwest corner of said 60' right-of-way dedication and the southwest corner of said Lot 1, Block 1, Rockwall Recreational Center;

THENCE, N00°35'39"W, along the east right-of-way line of said Commerce Street, being the common west line of said Lot 1, Block 1, Rockwall Recreational Center, a distance of 666.37 feet to a 1/2" inch iron rod with plastic cap stamped "TXDOT" found in the south right-of-way line of said Interstate Highway 30, at the southwest corner of a called 0.0092 acre tract of land conveyed to the State of Texas by Deed of record in Document Number 2010-00429943, of said Official Public Records;

THENCE, along the south right-of-way line of said Interstate Highway 30, the following three (3) courses and distances:

- N38°21'22"E, a distance of 12.90 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N76°21'19"E, a distance of 109.20 feet to a 1/2" iron rod with green plastic cap stamped "EAGLE SURVEYING" set;
- N72°49'27"E, a distance of 167.20 feet to the **POINT OF BEGINNING** and containing an area of 4.39 Acres, or (191,236 Square Feet) of land, more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, **1540 EAST IH 30 ROCKWALL LLC**, the undersigned owner of the land shown on this plat, and designated herein as **ROCKWALL RECREATIONAL ADDITION**, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the **ROCKWALL RECREATIONAL ADDITION**, subdivision have been notified and signed this plat. I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exactions made herein.

OWNER: 1540 EAST IH 30 ROCKWALL LLC

BY: _____
 Signature Date

BY: _____
 Printed Name & Title

STATE OF TEXAS §
 COUNTY OF _____ §

BEFORE ME, the undersigned authority, on this day personally appeared _____, _____ of 1540 EAST IH 30 ROCKWALL LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF THE OFFICE this _____ day of _____, 2022.

 Notary Public in and for the State of Texas

CERTIFICATE OF SURVEYOR

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, **MATTHEW RAABE**, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY
 this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

 Matthew Raabe Date
 Registered Professional Land Surveyor #6402

CERTIFICATE OF APPROVAL

 Chairman Date
 Planning & Zoning Commission

APPROVED:

I hereby certify that the above and foregoing plat of **ROCKWALL RECREATIONAL ADDITION**, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, Texas, within one hundred eighty (180) days from the said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

 Mayor, City of Rockwall City Secretary, City of Rockwall

 City Engineer

**REPLAT
 LOT 2, BLOCK 1
 ROCKWALL
 RECREATIONAL ADDITION
 4.39 ACRES (191,236 SF)**

BEING A REPLAT OF LOT 1, BLOCK 1
 OF ROCKWALL RECREATIONAL ADDITION,
 RECORDED IN CABINET F, PAGE 379, P.R.R.C.T.,
 SITUATED IN THE ARCHIBALD HANNA SURVEY, ABSTRACT NO. 99,
 AND THE NEELY M BALLARD SURVEY, ABSTRACT NO. 24
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Project	2110.002	 EAGLE SURVEYING, LLC 222 S. Elm Street, Suite: 200 Denton, TX 76201 (940) 222-3009 TX Firm #10194177
Date	07/27/2022	
Drafter	BE	

SURVEYOR
 Eagle Surveying, LLC
 222 S. Elm Street, Suite: 200
 Denton, TX 76201
 (940) 222-3009

ENGINEER
 Claymoore Engineering, Inc.
 Contact: Drew Donosky
 1903 Central Drive, Suite: 406
 Bedford, TX 76021
 (817) 281-0572

OWNER
 1540 East IH 30 Rockwall LLC
 PO BOX 570809
 Dallas, TX 75357

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 22-02 [S-266]* AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *NEW MOTOR VEHICLE DEALERSHIP FOR CARS AND LIGHT TRUCKS, A MAJOR AUTO REPAIR GARAGE, AND OUTSIDE STORAGE ON A 7.17-ACRE PARCEL OF LAND IDENTIFIED AS LOT 2, BLOCK 1 , ROCKWALL RECREATIONAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.*

WHEREAS, the City has received a request from Drew Donosky of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Specific Use Permit (SUP) superseding *Ordinance No. 22-02 [S-266]* and allowing the expansion of an existing *New Motor Vehicle Dealership for Cars and Light Trucks (i.e. Clay Cooley Hyundai)* being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreational Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that *Ordinance No. 22-02 [S-266]* the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 22-02*.

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *New Motor Vehicle Dealership for Cars and Light Trucks, Major Auto*

Repair Garage, and Outside Storage as stipulated by Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, and Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

3.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New Motor Vehicle Dealership for Cars and Light Trucks* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The development or redevelopment of the *Subject Property* shall generally conform to the Concept Plan depicted in *Exhibit 'B'* of this ordinance.
- (2) The development or redevelopment of the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; however, these elevations shall be subject to review and recommendation by the Architectural Review Board (ARB) and approval by the Planning and Zoning Commission through the site plan review process.
- (3) No vehicle display areas shall be permitted within the required landscape buffers along IH-30 and Commerce Street.
- (4) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored on an unimproved surface.
- (5) Motor vehicle inventory for the proposed *New Motor Vehicle Dealership for Cars and Light Trucks* shall not be stored within the Commerce Street Right-of-Way (*i.e. Commerce Street is for public parking only*).

The following conditions pertain to the operation of a *Major Auto Repair Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The outside storage of tires or any other automotive parts shall be prohibited.
- (2) Any maintenance of motor vehicles shall be performed in a completely enclosed building, and no work on motor vehicles shall be performed outdoors.

The following conditions pertain to the operation of *Outside Storage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) Outside storage shall be screened by an eight (8) foot masonry wall as depicted in *Exhibit 'B'* of this ordinance.

3.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Certificate of Occupancy (CO)* and/or building permit, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 7TH DAY OF AUGUST, 2023.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 17, 2023

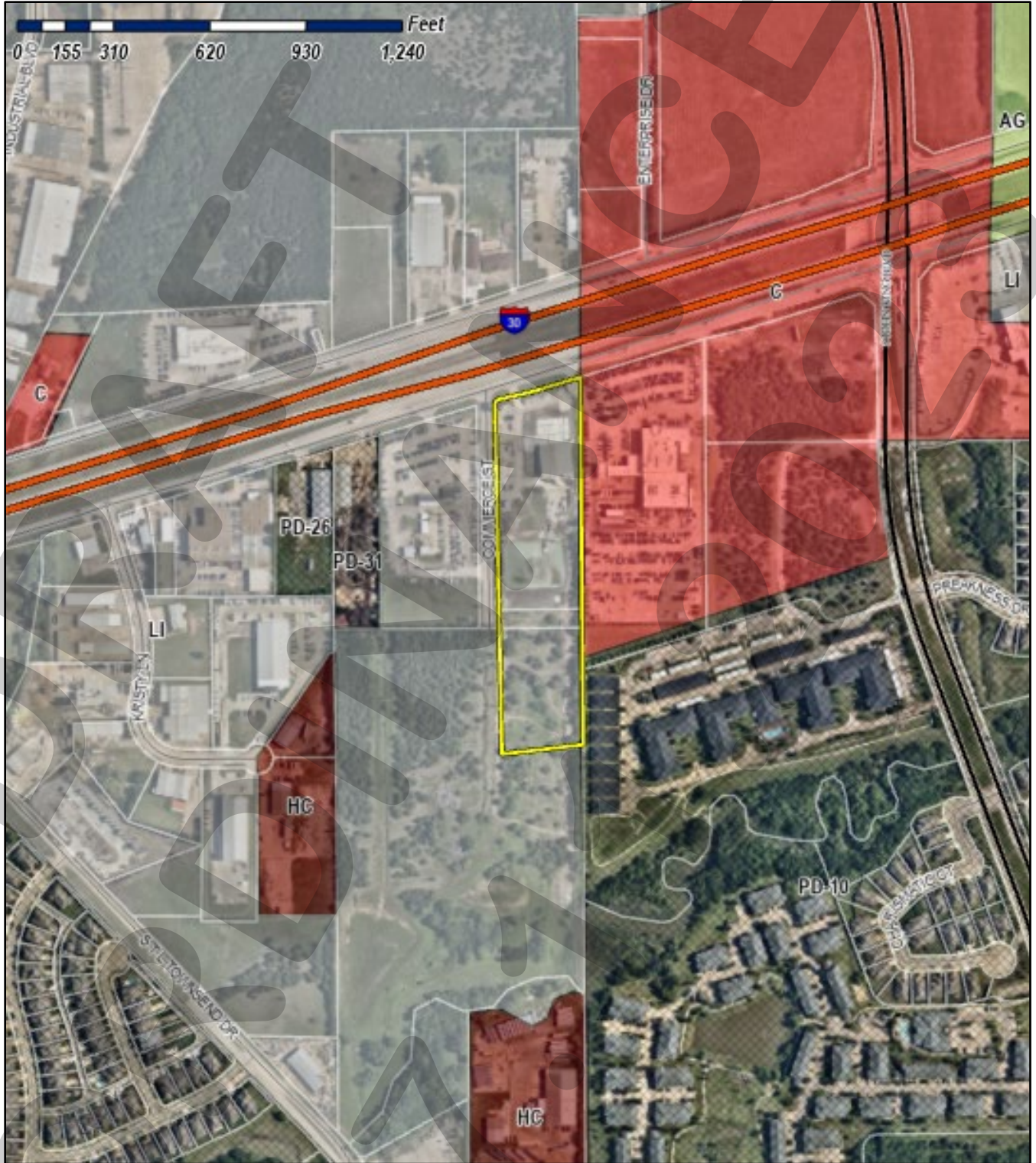
2nd Reading: August 7, 2023

DRAFT
ORDINANCE
07.17.2023

Exhibit 'A'
Zoning Exhibit

Address: 1540 E. IH-30

Legal Description: Lot 2, Block 1, Rockwall Recreational Addition



**Exhibit 'C':
Building Elevations**

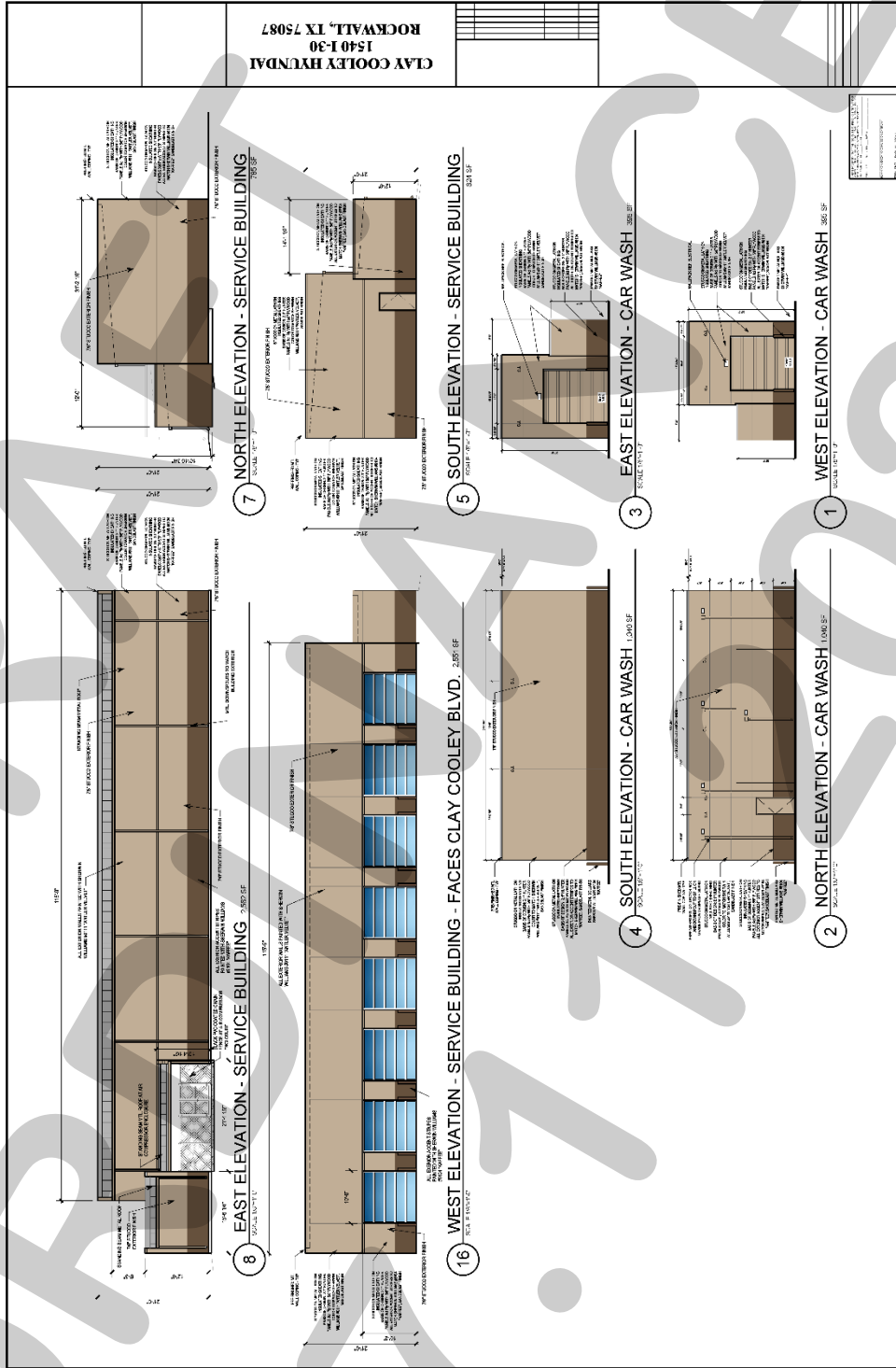
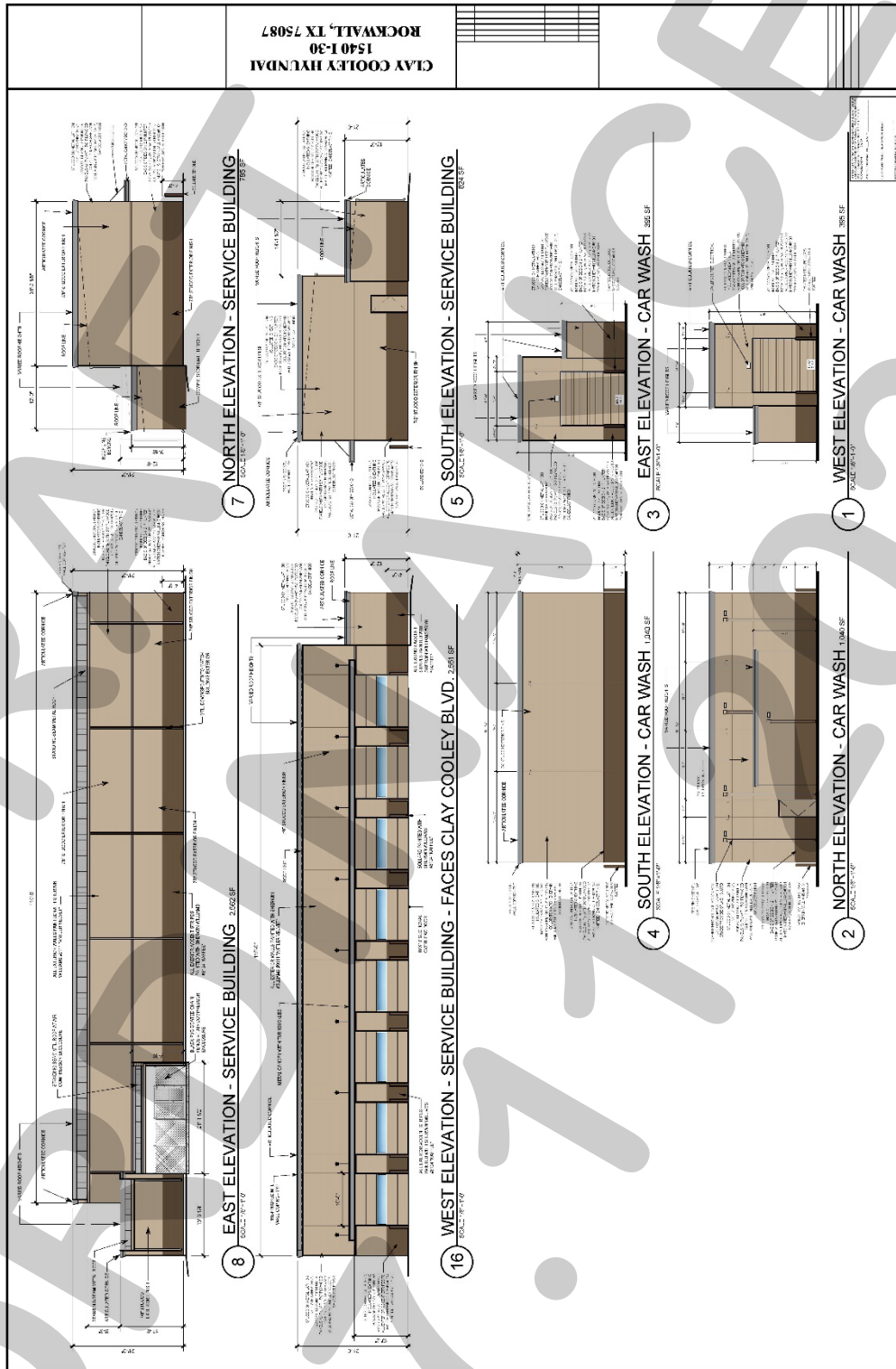


Exhibit 'C': Building Elevations





TO: Planning and Zoning Commission
FROM: Bethany Ross, *Planner*
DATE: July 11, 2023
SUBJECT: MIS2023-008; *Special Request for 327 Nicole Drive*

On June 16, 2023, the applicant -- *Guicherme Credidio Braga* -- submitted an application requesting the *Consideration of a Special Request* for 327 Nicole Drive to facilitate the subdivision of the existing tract of land into three (3) parcels of land. One (1) of the three (3) parcels of land is proposed to have a lot width of 45-feet (see *Figure 1*), which is five (5) feet less than the required minimum lot width of 50-feet. Typically, requests for variances to the density and dimensional requirements of a zoning district are in the purview of the Board of Adjustments (BOA); however, Section (3)(c), *PD Development Standards*, of Planned Development District 75 (PD-75) [Ordinance No. 16-01] states, "(t)he City Council may consider special requests in the Lake Rockwall Estates Subdivision. Such request may include but not necessarily be limited to the use of alternative building materials, reductions in the building setbacks, exceptions to the fencing requirements, or other requests submitted for consideration to the Planning and Zoning Department. Upon receipt of such requests, the Planning and Zoning Commission shall review the case and forward a recommendation to the City Council for consideration. The City Council may approve a special request. Any such approval shall preempt any other underlying zoning restrictions in the Unified Development Code [UDC]. Such requests may be denied by the City Council by the passage of a motion to deny. Special Requests shall not include any request to change the land use of a property." Staff is obligated to point out, that while other lots of a similar size do exist in the Lake Rockwall Estates Subdivision they were created prior to annexation in 2009; however, no lot less than 50-feet has been approved by the City Council since the original zoning ordinance (*i.e.* Ordinance No. 09-37) was approved on September 21, 2009.

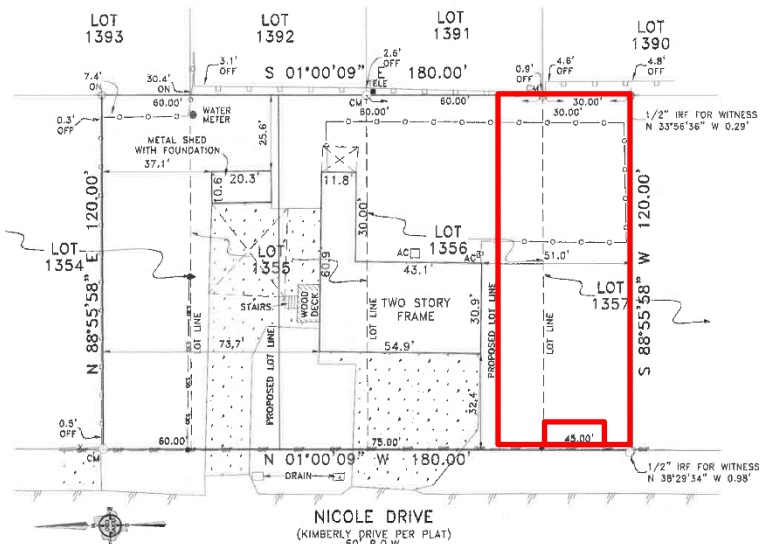


FIGURE 1: EXHIBIT OF THE PROPOSED THREE (3) LOTS

Staff should also note that if this *Special Request* is approved, the applicant will not have access to City Sewer or the ability to obtain an On-Site Sewage Facility (OSSF) for either of the proposed new lots. According to Section 3, *On Site Sewage Facilities (OSSF)*, of Article 05, *County Authority and Responsibilities*, of the *Interim Interlocal Agreement By and Between the City of Rockwall and Rockwall County*, "(t)he County retains exclusive jurisdiction to administer and enforce the County's on-site sewage facility (OSSF) regulations on property in the City's Extraterritorial Jurisdiction (ETJ); provided that the County reject as incomplete any application for an on-site sewage facility (OSSF) that is not accompanied by an approved subdivision plat or a statement from the City that a subdivision plat is not required for the development of a property." Rockwall County requires at least 1.5 acre lots for On-Site Sewage Facilities (OSSF). Based on this, the applicant would not be approved for a OSSF on either of the proposed new lots. With this being said, staff should point out that the City is in the early stages of adding sewer to Area 2 in Lake Rockwall Estates, but does not currently have a timeframe on the implementation of a sewer system in this area. In addition, a building permit cannot be approved for either of the proposed new lots until City sewer is in place.

In this case, while the applicant's request does not appear to create a negative or adverse effect on any of the adjacent properties, the case could create a precedence in the area. In addition, the request is considered to be a self-created hardship; however, the approval of a *Special Request* in the Lake Rockwall Estates Subdivision is a discretionary decision for City Council pending a recommendation from the Planning and Zoning Commission. In the attached packet, staff has included a copy of the applicant's letter and an exhibit showing the proposed three (3) lots. Should the Planning and Zoning Commission have any questions, staff will be available at the July 11, 2023 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

MIS2023-808

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 327 NICOLE DRIVE

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB316Z THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER GUIHERME CREDIDIO BRAGA

APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS 327 NICOLE DRIVE

ADDRESS

CITY, STATE & ZIP ROCKWALL, TX, 75032

CITY, STATE & ZIP

PHONE 214 469 8773

PHONE

E-MAIL GUI.CB@HOTMAIL.COM

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Guilherme Credidio Braga [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

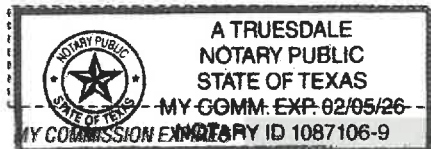
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

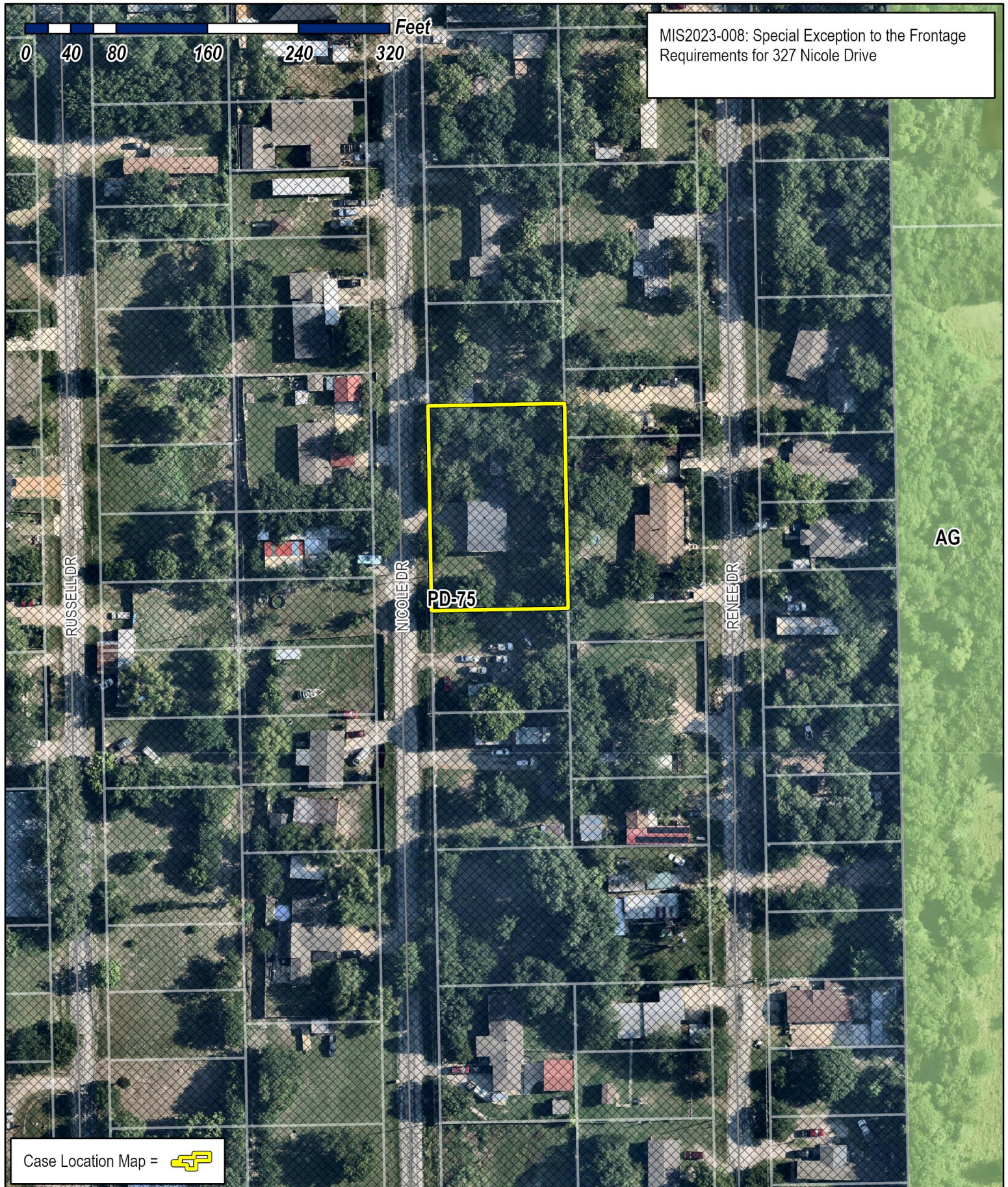
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 9 DAY OF June, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]






MIS2023-008: Special Exception to the Frontage Requirements for 327 Nicole Drive

PD-75

AG

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

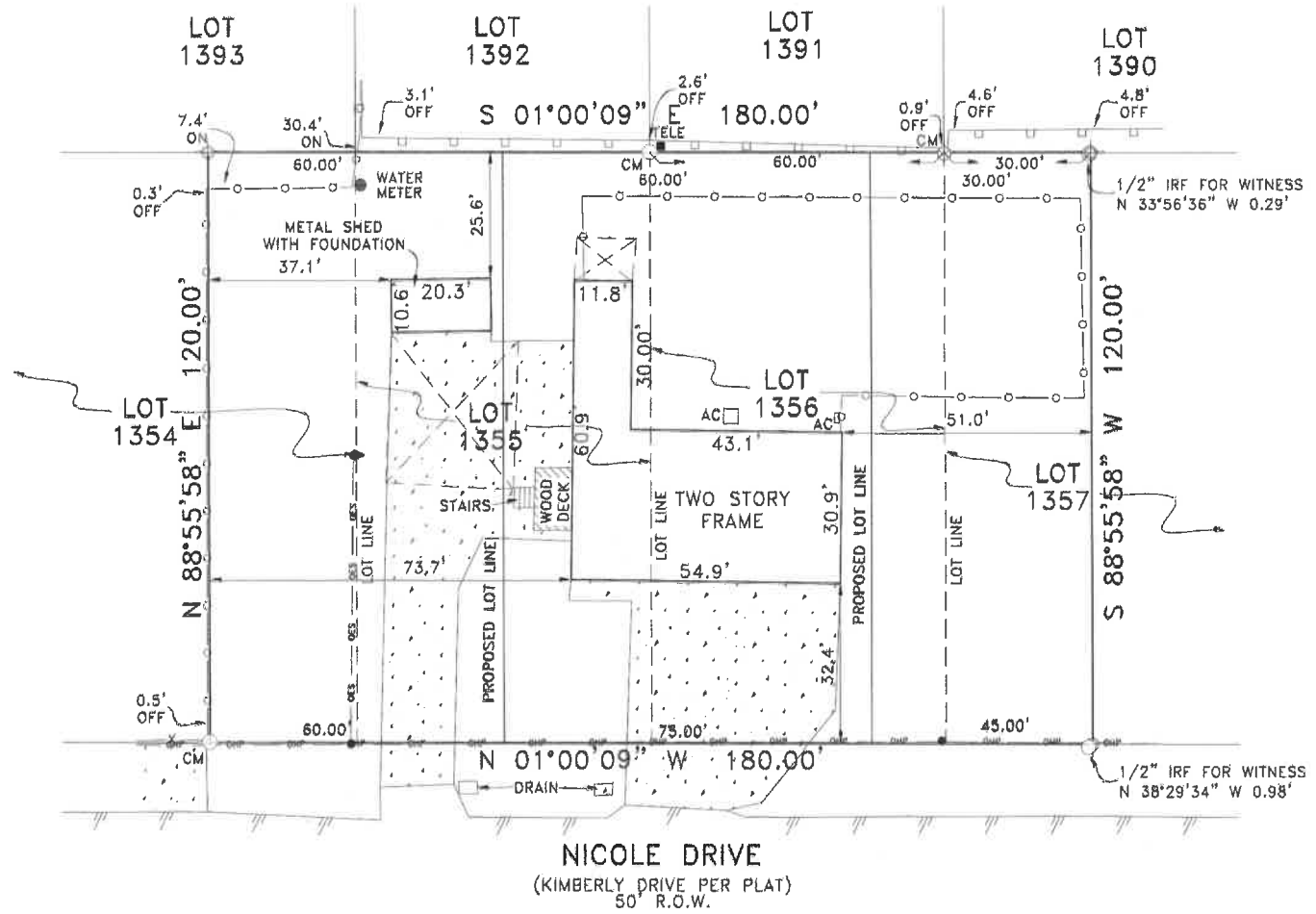
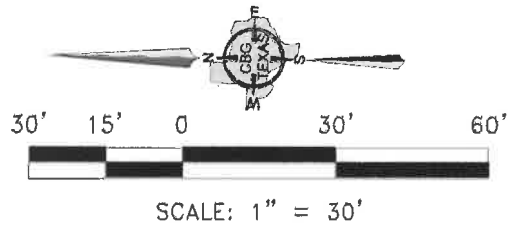


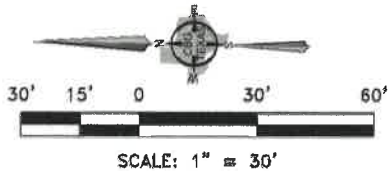
Hello,

I'm Guilherme Braga, owner at 327 Nicole drive, I have a big 0.5 acre lot, and I would like to subdivide my lot in 3 lots. For one lot it's easy to have 60 x 120, but my house is sited almost in the middle of the 2 other lots.

I know for the PD 75 the lots requirements are minimum 50 x 120, but my house does not allow 50 x 120 with the 5 ft side yard setback, the distance between the lot lines and the house is 51ft.

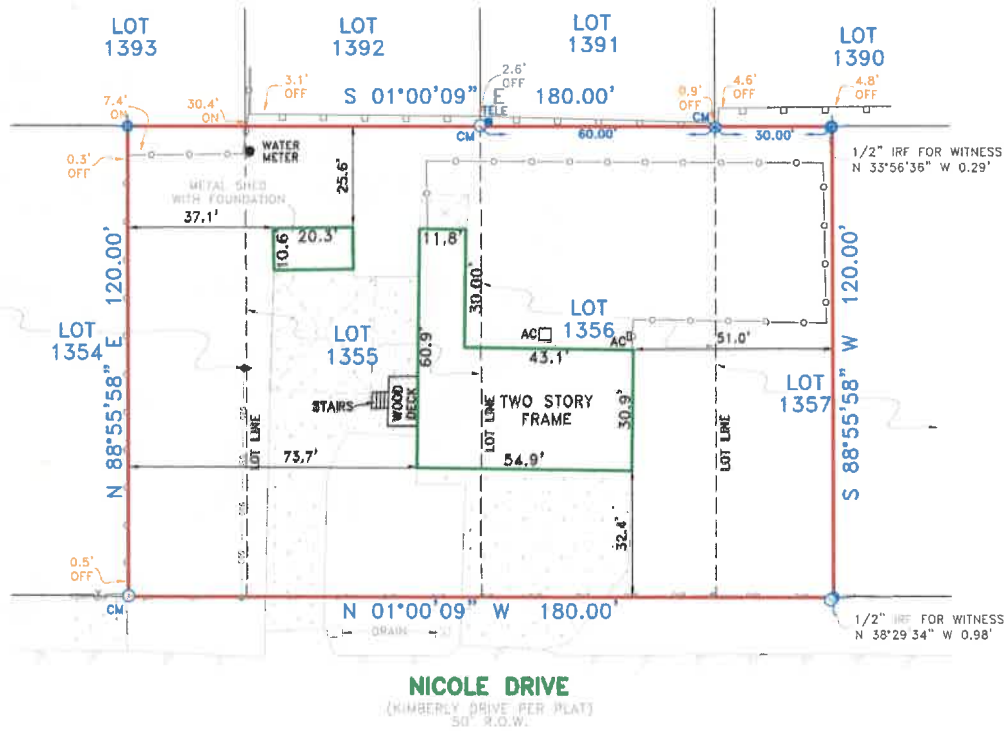
So, I'm requesting to separate in 3 lots, 60 x 120, 75 x 120, 45 x 120. My plans for the future is to build 2 new houses, one in 60 x 120 lot and another in the 45 x 120, and keep my house in the 75 x 120. But first I need to have the lots separated.





327 Nicole Drive

Being the South half of Lot 1354, all of Lots 1355 and 1356, and the North half of Lot 1357, of Rockwell Lake Properties Development No. 2, an Addition to the City of Rockwell of Rockwell, Rockwall County, Texas, according to the Plat Herein recorded in Cabinet A, Slide 79, Map and/or Plat Records, Rockwall County, Texas.



LEGEND

- | | |
|---------------------------------|-------------------------|
| ○ 1/2" ROD FOUND | □ FENCE POST FOR CORNER |
| ⊗ 1/2" ROD SET | □ CONTROLLING MONUMENT |
| ⊠ 1" PIPE FOUND | CM CONTROL MONUMENT |
| ⊡ 3/4" POINT FOUND/SET | AC AIR CONDITIONER |
| ⊙ POINT FOR CORNER | PE POOL EQUIPMENT |
| ⊕ 5/8" ROD FOUND | ● POWER POLE |
| T TRANSFORMER PAD | △ OVERHEAD ELECTRIC |
| ■ COLUMN | — — IRON FENCE |
| ▲ UNDERGROUND ELECTRIC | —X— WIRE FENCE |
| —OHP— OVERHEAD ELECTRIC POWER | — — EDGE OF ASPHALT |
| —OES— OVERHEAD ELECTRIC SERVICE | — — EDGE OF GRAVEL |
| ○ CHAIN LINK | ▭ STONE |
| ▭ WOOD FENCE 0.5' WIDE TYPICAL | ▭ CONCRETE |
| ▭ DOUBLE SIDED WOOD FENCE | ▭ COVERED AREA |
| | ▭ BRICK |

EXCEPTIONS:

NOTE: This survey is made in conjunction with the information provided by the client. CBG Surveying Texas, LLC has not researched the land title records for the existence of easements, restrictive covenants or other encumbrances.

NOTES:

BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, TEXAS NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983 (2011).
 EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by The Client. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Date: _____ Accepted by: _____
 Purchaser
 Purchaser

Drawn By: JLA
 Scale: 1" = 30'
 Date: 03/14/2023
 GF NO.: N/A
 Job No. 2303000



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Henry Lee, *Senior Planner*
DATE: July 11, 2023
SUBJECT: SP2023-020; *Site Plan for 5811 Horizon Road (FM-3097)*

The applicant, Veronica O'Neal on behalf of Ashwani Agarwal and Azul Kumar, is requesting the approval of a Site Plan for the expansion of the existing parking areas at 5811 Horizon Road [FM-3097] for the purpose of establishing a Daycare Facility. The subject property is a 2.308-acre parcel of land (*i.e. Lot 21 of the Rainbo Acres Addition*) generally located southeast of the intersection of Horizon Road [FM-3097] and Ranch Trail. According to Subsection 03.02, *Applicability*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(a)n Amended Site Plan shall be required for ... (a)ll expansions of non-residential parking lots that increase the existing impervious area by 30% or that add 2,000 SF of impervious coverage." In addition, Subsection 02.01, *Applicability*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that "(t)he landscape and screening provisions of this Article shall apply to ... (t)he expansion of a non-residential parking lot that increases the existing impervious area by 30% or that adds 2,000 SF of impervious coverage." Based on this the applicant is required to submit an *Amended Site Plan* and bring the landscaping into conformance with the current requirements of the Unified Development Code (UDC).

The proposed site plan provided by the applicant indicates that additional parking, a turnaround for vehicle cueing and pickup and drop off, and a wrought iron fence will be constructed with the conversion of the site to a Daycare Facility. The proposed turnaround and wrought iron fence meet the requirements contained within the Unified Development Code (UDC). According to Table 5, *Parking Requirement Schedule* contained in Article 06, *Parking and Loading*, of the Unified Development Code (UDC), *Daycare Facilities* are required to have a minimum cueing of four (4) vehicles for pick up and drop off, and one (1) parking space per 300 SF of building area. In this case, the applicant is required eight (8) parking spaces (*i.e. 2,115 SF / 300 SF = 7.05 Parking Spaces*), but is only proposing seven (7) parking spaces on the site plan. This will require a variance from the Planning and Zoning Commission. In addition, the site plan does not delineate the required vehicle cueing; however, based on the incorporation of the turnaround, the site appears to be able to provide sufficient cueing to the meet the requirements of the Unified Development Code (UDC). According to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "...parking should not be located between the front façade and the property line." In this case, the existing site has parking already located between the front façade of the building and the property line; however, the applicant is proposing to increase this non-conformity. Based on this the applicant will require an exception to this requirement and has provided a letter requesting this. According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested exception. Based on the submitted site plan, the applicant is proposing to add additional landscaping to offset the requested parking variance and exception to the location of the parking.

The proposed landscape plan provided by the applicant delineates the landscape buffer and subsequent landscaping. According to Subsection 05.01(B), *Non-Residential Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) "(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way..." and shall incorporate one (1) canopy and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant had indicated the required four (4) canopy and four (4) accent trees. In addition, the applicant has provided five (5) gallon evergreen shrubs along the proposed drive to screen vehicle headlights from Horizon Road [FM-3097] in accordance with Subsection 05.02(C), *Headlight Screening*, of Article 08,

Landscape and Fence Standards, of the Unified Development Code (UDC). The proposed landscape plan appears to meet all of the necessary requirements of the Unified Development Code (UDC).

All this being said, the applicant's request brings the subject property closer into conformance with the Unified Development Code (UDC) despite increasing the non-conformity in parking. Should the Planning and Zoning Commission choose to approve the applicant's request staff recommends the following conditions of approval for this case:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff and the applicant will be available at the July 11, 2023 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input checked="" type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²</p> <p>NOTES:</p> <p>¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
---	--

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 5811 FM 3097, Rockwall Texas 75082

SUBDIVISION: Rainbow Acres LOT: 21, 20 BLOCK: _____

GENERAL LOCATION: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Commercial (C) District CURRENT USE: N/A

PROPOSED ZONING: N/A PROPOSED USE: Daycare & Preschool

ACREAGE: 2.308 acres LOTS [CURRENT]: N/A LOTS [PROPOSED]: N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT] CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED

<input checked="" type="checkbox"/> OWNER	Ashwani Agarwal / Ashwani Kumar	APPLICANT	Veronica O'Neal
CONTACT PERSON	Ashwani Agarwal	CONTACT PERSON	Veronica O'Neal
ADDRESS	3435 Arbun Street	ADDRESS	5405 FM 3097
CITY, STATE & ZIP	Dallas, Texas 75205	CITY, STATE & ZIP	Rockwall, TX 75082
PHONE		PHONE	469 412-1461
E-MAIL	ash1dfw@gmail.com	E-MAIL	vonreal@skywheelacademy.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ashwani Agarwal [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

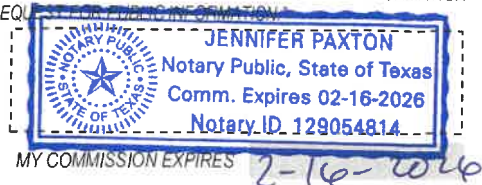
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ June 8 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 2023 DAY OF June BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8 DAY OF June 2023

OWNER'S SIGNATURE

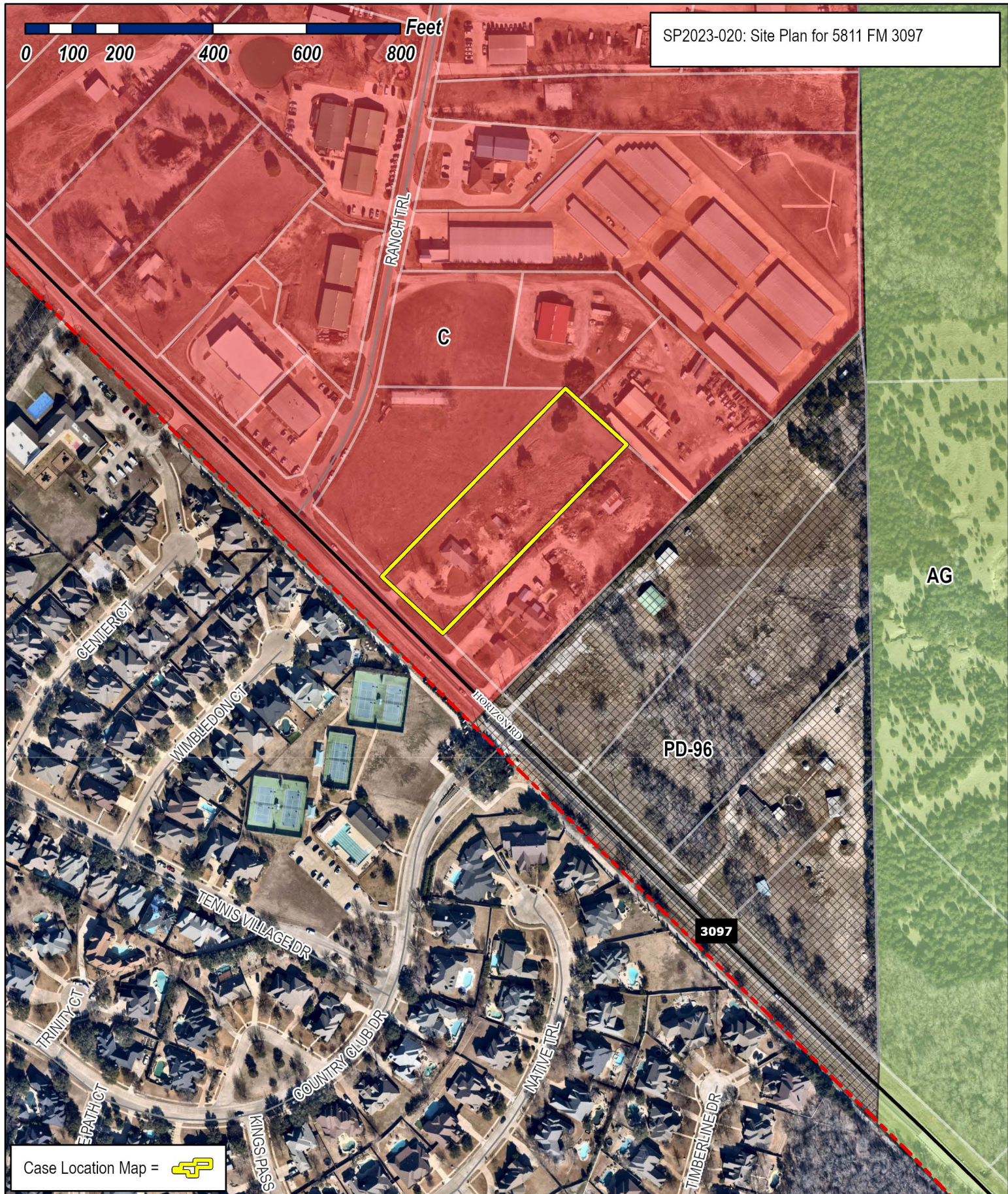
[Signature]
Jennifer Paxton


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2023-020; Site Plan for 5811 FM 3097



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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FLOOR PLAN

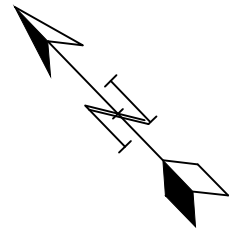
5811 FM 3097

Rockwall, Texas 75032

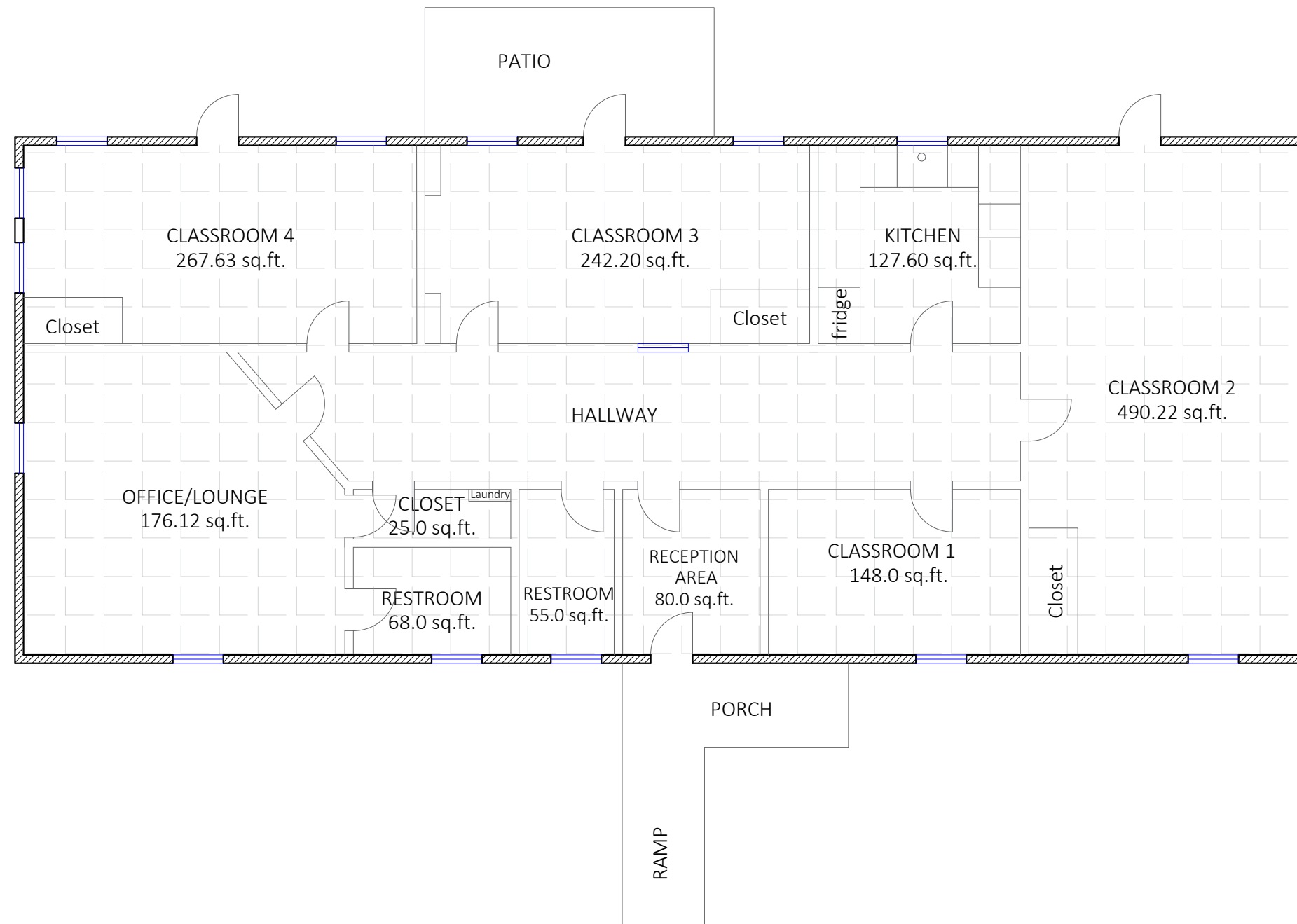
Parcel ID: 4720-0000-0021-00-0R

Lot area: 2.31 Acres

Plot Size: 11"x17"



scale 1/8"=1'0"





FENCE SUPPLY INC
 435 US Highway 80 East
 Sunnyvale, TX 75182

Estimate

Phone # 972 226-0004
 Fax # 972 226-0777

Date	Estimate #
6/7/2023	16384

FENCE SUPPLY INC.

Name / Address
Skywheel Academy Veronica Oneal

Ship To

P.O. No.	Rep
	CL

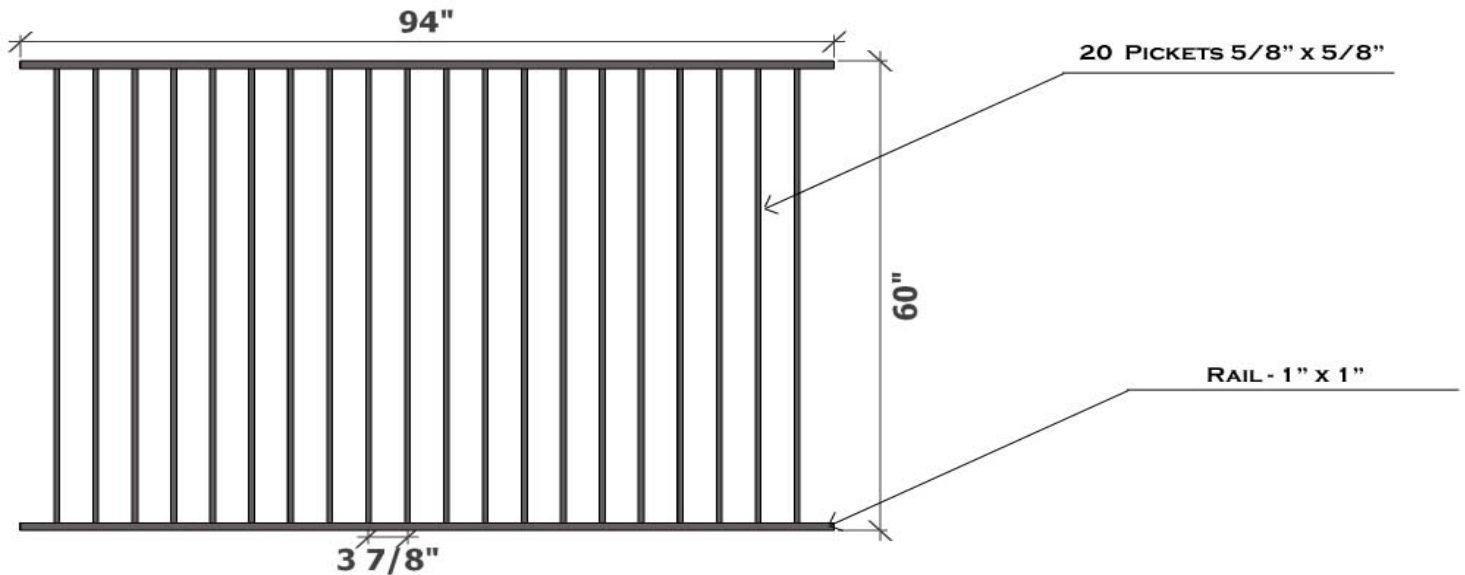
Qty	Item	Description	Rate	Total
		133' of <u>5' Yukon</u> with 2 gates and 1 DD gate		
18	K-YUK60C8	Kodiak Iron Yukon Panel 60' X 94' Commercial 3/4' Picket 1 1/2' Rail 3 7/8' Spacing - Flat Top Panel Pre-Galvanized Powder Coated Black	125.99	2,267.82T
19	K-22716BGV	Kodiak Iron 2 x 2 x 7 - 16 Ga. Post Pre-Galvanized Powder Coated Black	24.99	474.81T
19	K-CAPPS22B	Kodiak Iron 2' X 2' Pressed Steel Cap Pre-Galvanized Powder Coated Black	0.99	18.81T
76	K-SPMB1B	Kodiak Iron 1' Sq. Straight Panel Mounting Bracket with Tek Screw Pre-Galvanized Powder Coated Black	1.89	143.64T
21	Sackrete80	Sackrete 80 lb Bags - 42/Pallet	6.48	136.08T
2	K-YUK48R42	Kodiak Iron Yukon Gate 48' x 42' Residential 5/8' Picket 1' Rail 3 7/8' Spacing - Flat Top Gate Pre-Galvanized Powder Coated Black	92.44	184.88T
2	ML3AVPKA	D & D Technologies MagnaLatch ALERT Vertical Pull	122.95	245.90T
2	TCA1L2S3BT	D & D Technologies TCA1L2S3BT - TRU-CLOSE REGULAR RANGE Regular / 2 Legs	25.44097	50.88T
2	K-33814BGV	Kodiak Iron 3 x 3 x 8 - 14 Ga. Powder Coated Black Galvanized Post	52.99	105.98T
2	K-PHS300B	Kodiak Iron 3' Sq. Pin Hinge Clamp - Bolt On Pre-Galvanized Powder Coated Black	5.10	10.20T
2	K-GCS150B	Kodiak Iron 1 1/2' Sq. Gate Clamp Bolt on Pre-Galvanized Powder Coated Black	4.49	8.98T

Estimate is Good for 5 DAYS Only
Product quotes and sales by FSG (or any affiliate) are subject to the Terms and Conditions of Sale at:
<https://fencingsupplygroup.com/termsale/>

Total

YUKON RESIDENTIAL GALVANIZED IRON FENCE PANEL

HEIGHT : 60"
 WIDTH : 94"
 WEIGHT : 48.68 LBS
 FINISH : PRE-GALVANIZED+POWDER COATED BLACK
 ITEM# : KIYUK60R8
 DETAILS : 5/8" X 5/8" SQ PICKETS, 1" X 1" SQ RAIL, 3 7/8" SPACING BETWEEN PICKETS



Proudly Distributed By:

Drawn By: Sharp, W	Description: Yukon Residential Galvanized Iron Fence Panel		
Checked By: Wingo, C			
Date: September 23, 2011			
Customer: Kodiak Iron	DWG. No: 1 of 1	SERIES: Yukon	
	APPLICATION: Residential		



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: July 11, 2023
APPLICANT: Matthew Peterson; *DB Constructors, Inc.*
CASE NUMBER: SP2023-021; *Site Plan for Interstate Classic Cars*

SUMMARY

Discuss and consider a request by Matthew J. Peterson of DB Constructors, Inc. on behalf of Jeff Fleming for the approval of a Site Plan for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on a 1.99- acre portion of a larger 3.853-acre tract of land identified as Tract 2-09 of the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development 46 (PD-46) District for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located on the southside of Springer Road east of the intersection of Springer Road and Corporate Crossing, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on July 21, 1997 by *Ordinance No. 97-14*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On March 1, 1999, the City Council approved a zoning change [Case No. *PZ1998-087-01*; *Ordinance No. 99-05*] for the subject property changing the zoning from an Agricultural (AG) District to Planned Development District 46 (PD-46) for Commercial (C) District land uses. On August 2, 2021, the City Council amended Planned Development District 46 (PD-46) [Case No. *Z2020-024*; *Ordinance No. 21-32*]; however, the approved amendment did not affect the subject property. On March 6, 2023, the City Council approved a Specific Use Permit (SUP) [Case No. *Z2023-002*; *Ordinance No. 23-10*; *S-295*] to allow a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the subject property. The subject property has remained vacant since the time of annexation.

PURPOSE

On June 16, 2023, the applicant -- *Matthew Peterson of DB Constructors, Inc.*-- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the southside of Springer Road, east of the intersection of Springer Road and Corporate Crossing. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Springer Road, which is classified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land, one (1) parcel is vacant (*i.e. Lot 1, Block B, Rockwall Technology Park Phase 2 Addition*), and the other parcel (*i.e. Lot 3, Block B, Rockwall Technology Park Phase 2 Addition*) is developed with an industrial building. Both properties are zoned Light Industrial (LI) District. Following this is Discovery Boulevard, which is classified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a vacant 1.836-acre tract of land (*i.e. Tract 2-11, Abstract 186 of the J. A. Ramsey Survey*) that is zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

Beyond this is SH-276, which is classified as a TXDOT6D (i.e. a Texas Department of Transportation, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this are two (2) vacant tracks of land (i.e. Tracts 2-12 & 2-14, Abstract 186 of the J. A. Ramsey Survey) that are zoned Commercial (C) District. Beyond this is the Sterling Farms Subdivision, which consists 48 single-family residential lots on 77.74-acres. This subdivision was established on April 28, 1997 and is zoned Single-Family Estates 1.5 (SFE-1.5) District.

East: Directly east of the subject property is a five (5) acre tract of land (i.e. Tract 2-6, Abstract 186 of the J. A. Ramsey Survey) developed with a *Mini-Warehouse Facility*. Beyond this is a 2.50-acre tract of land (i.e. Tract 2-3, Abstract 186 of the J. A. Ramsey Survey) developed with an *Office Building*. Following this is a 1.095-acre parcel of land (i.e. Lot 4, Block A, Sharp Addition) developed with two (2) *Office Buildings*. Following this is a vacant 1.914-acre parcel of land (i.e. Lot 5, Block A, Sharp Addition). All of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses.

West: Directly west of the subject property is a two (2) acre parcel of land (i.e. Lot 1, Block A, Pannell Subdivision) that is zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Beyond this is Corporate Crossing, which is classified as a TXDOT4D (i.e. a Texas Department of Transportation, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 8.405-acre parcel of land (i.e. Lot 8, Block A, Rockwall Technology Park Addition) that is zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* is a permitted through the approval of a Specific Use Permit (SUP) in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=1.99-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 245.39-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=353.10-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=30-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=26.24%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (Office) 1 Parking Space/1,000 SF (Warehouse) 35 Required Parking Spaces	X=36; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=67.34%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=32.66%; In Conformance

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the subject property. According to Subsection 02.02(H)(6), *New and/or Used Indoor Motor Vehicle Dealership/Showroom*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* is defined as "(t)he indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage." In this case, the applicant's proposed use -- *which is to store a private car collection*-- falls under this classification. In addition, according to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* requires a Specific

Use Permit (SUP) in a Commercial (C) District. The applicant received approval of a Specific Use Permit [*Ordinance No. 23-10; S-295*] from City Council on March 6, 2023.

According to Subsection 02.01(H)(5), *Conditional Use Standards*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall adhere to the following conditional land use standards; [1] “(t)he sales/storage facility must be a completely enclosed building...”, [2] “(o)utside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures...”, and [3] “(a)ll activities shall remain inside the building (*i.e. no detailing, sales activities, etcetera shall be performed outside the building*).” Based on this, the provided site plan is in compliance with these conditional land use standards. In addition, the subject property is located within the FM-549 Overlay District (FM-549 OV) and the SH-276 Overlay District (SH-276 OV) and is subject to the *General Overlay District Standards* and the *General Commercial District Standards*. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *VariANCES and EXCEPTIONS Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following variance(s) and exception(s):

(1) *Architectural Standards.*

- (a) *Four-Sided Architecture.* According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features. In addition, a minimum of one (1) row of trees (*i.e. four [4] or more accent or canopy trees*) shall be planted along perimeter of the subject property to the rear of the building.” In this case, the proposed buildings are not architecturally finished on all four (4) sides. This will require a *variance* from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) *Stone.* According to Subsection 06.02(C)(1)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades.” In this case the applicant has not provided any natural or quarried stone. This will require a variance from the Planning and Zoning Commission.
- (c) *Tilt-Up Wall.* According to Section 05.01(A)(1)(a)(2), *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the use of concrete tilt-up walls may be permitted on a *case-by-case* basis by the Planning and Zoning Commission. The applicant is proposing the use of tilt-up wall construction for the building, and the amount of exposed tilt-up wall ranges from 48.00% (*on the north elevation*) to 100.00% (*on the south elevation*). This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] all canopy trees are being proposed as five (5) caliper inch trees as opposed to four (4) caliper inch trees (*i.e. one [1] inch greater than what is required*), [2] all accent trees are being proposed to be six (6) feet in height as opposed to four (4) feet in height (*i.e. two [2] feet greater than what is required*), [3] 30.00% landscaping is being proposed in lieu of the required 15.00%, [4] increased landscaping is being proposed to be added around the front of the building, [5] increased architectural elements are being added in various locations around the building, and [6] the addition of two (2) outdoor covered areas on the northside of the building are being proposed. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Technology District and is designated for Commercial/Retail land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." That being said, the subject property is between the Rockwall Technology Park to the north and several transitional light industrial properties to the south and east -- *that are designated for Commercial/Retail land uses* --, with no direct residential adjacency. Additionally, the *District Strategies* state that the properties near SH-276 are transitioning and should "...transition to neighborhood/convenience centers in the future." In this case, the proposed site plan for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* provides a transition between the industrial land uses in the Rockwall Technology Park north of Springer Road and the transitional land uses along SH-276.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On June 27, 2023 the Architecture Review Board (ARB) reviewed the building elevations provided by the applicant. The ARB requested the applicant provide a material sample board and provide additional landscaping at the rear of the property to screen the south façade from SH-276. The applicant has made the requested changes, which will be reviewed by the ARB prior to the July 11, 2023 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **CORPORATE CROSSING**

SUBDIVISION **REMAINDER OF MAK SPOT REAL ESTATE LLC** LOT _____ BLOCK _____

GENERAL LOCATION **LOT ON SPRINGER ROAD JUST EAST OF THE INTERSECTION AT CORPORATE CROSSING**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-46**

CURRENT USE **VACANT LOT**

PROPOSED ZONING _____

PROPOSED USE **OFFICE + INDOOR VEHICLE SHOWROOM**

ACREAGE **1.99 ACRES**

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

APPLICANT

DB CONSTRUCTORS, INC

CONTACT PERSON _____

CONTACT PERSON

MATTHEW J PETERSON, AIA

ADDRESS _____

ADDRESS

2400 GREAT SOUTHWEST PARKWAY

CITY, STATE & ZIP _____

CITY, STATE & ZIP

FORT WORTH, TX 76106

PHONE _____

PHONE

972.837.6244

E-MAIL _____

E-MAIL

MATTHEW@DBCONSTRUCTORS.COM

NOTARY VERIFICATION [REQUIRED]

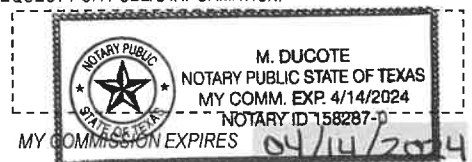
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Joel Burch [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF JUNE, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF June, 2023

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





CORPORATE GROSSING

LI

SPRINGER RD



PD-46

276

G

SFE-1.5

PD-45

Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Henry Lee, AICP
Senior Planner
Planning and Zoning Department
385 S Goliad Street
Rockwall, TX 75087
HLee@rockwall.com
972.7726434

15 June 2023

RE : Interstate Classic Cars, Springer Road | Site Plan Submittal

Henry,

First, thank you for all the guidance you have provided to us during the preparation of these documents and the SUP prior to this. We are excited that the project has got to this next step and are looking forward to another great project with and in the City of Rockwall.

A few items of note as you review the documents :

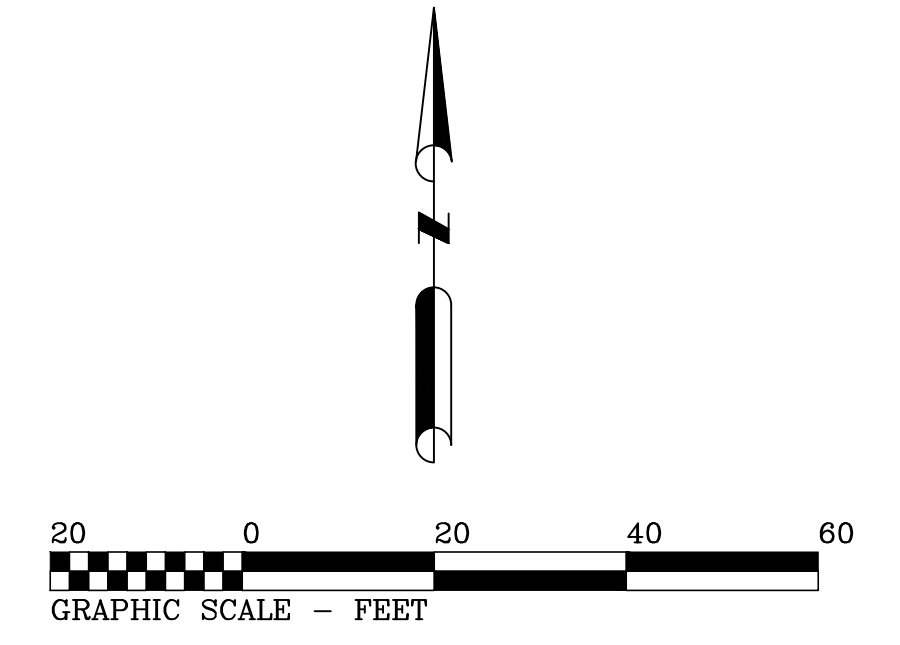
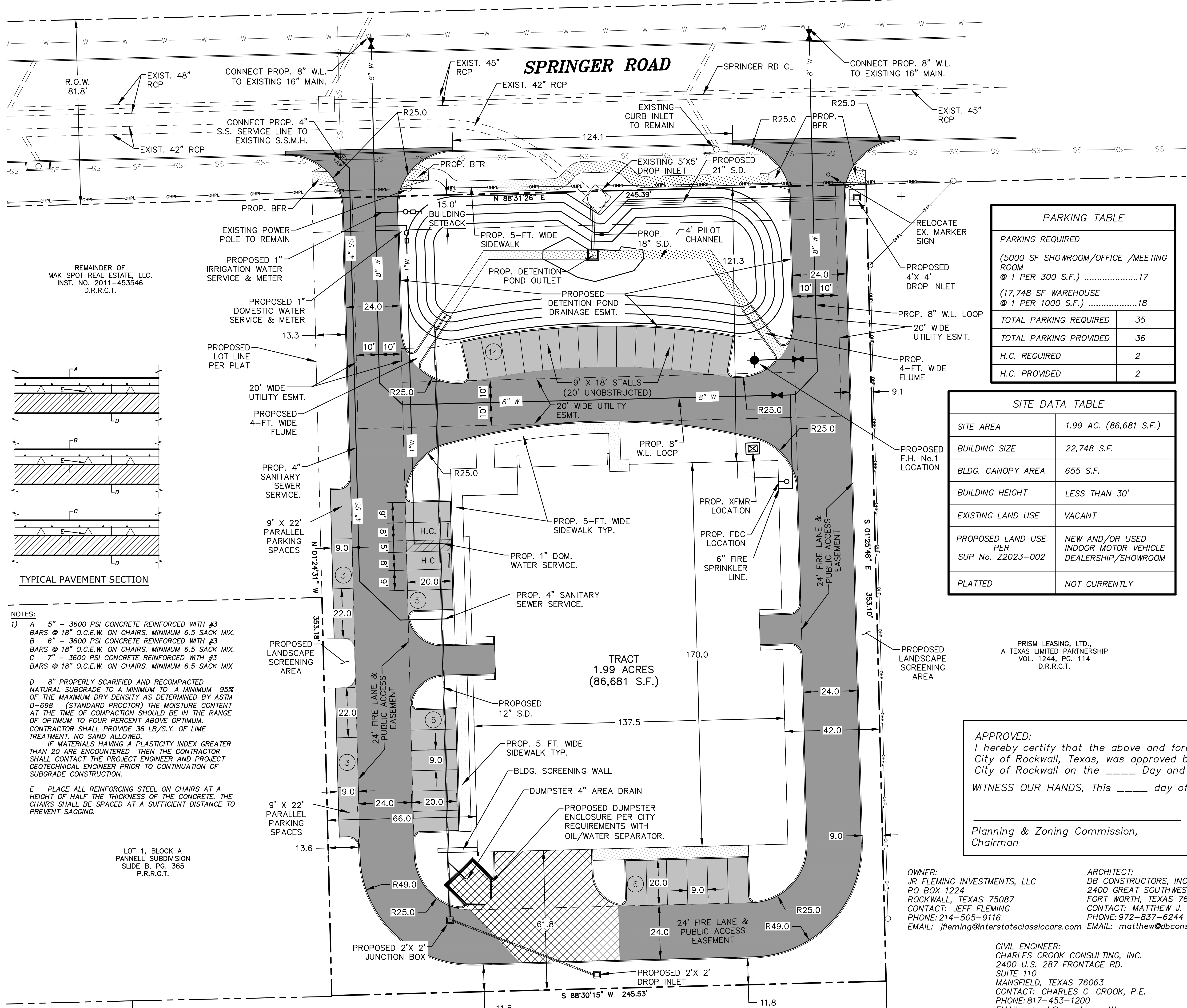
1. Photometric : We are anticipating the revised design but it was not completed in time. We will NOT have any spillover off of our site AND we will be removing the up lights from the front elevation. The up lights will be replaced with building mounted decorative downlights.
2. Building Elevations : As discussed, we will need some variances from the standard commercial development code. We have balanced the elevations aesthetically and attempted to meet the intent of the Code where we were unable to meet the letter of it. As such, we have provided additional and enhanced landscaping around the building itself that is in excess of the required landscaping. We have provided awning roofs (canopy roofs) at several locations. We have varied the height and articulated as much as was feasible for the use. The rear elevation is the one that is most out of compliance. We have added landscaping across from the overhead doors (which is required but we have added more than was necessary).
3. Parapets : The building has parapet walls all the way around. The interior of the panels will be painted to match (there will not be visible "raw" concrete. The RTU's are shown on all elevations and are correctly scaled – none of these units "breach" the parapet wall heights.

I believe that will help in your review, but we are always available to talk through any questions that come up during your review and we will respond quickly. Thank you for the time and effort it takes to review all of these documents, we appreciate it.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Matthew J Peterson', followed by a horizontal line.

Matthew J Peterson, AIA
Vice-President of Design and Development



LEGEND

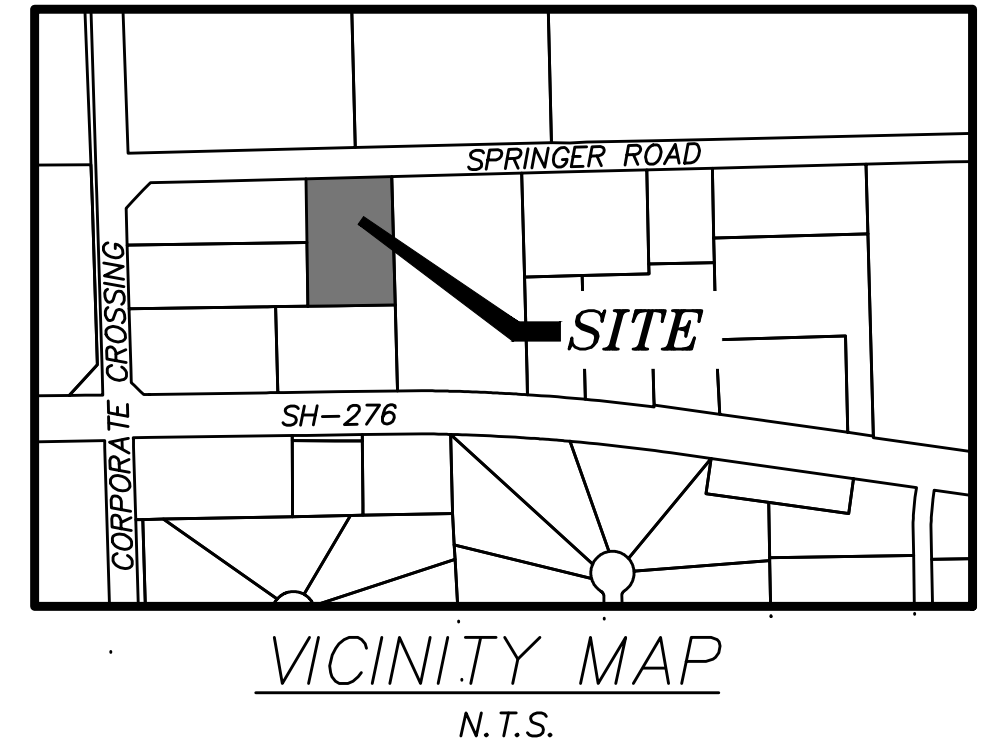
- PROPOSED 4" CONCRETE SIDEWALK PAVEMENT
- PROPOSED 5" CONCRETE PAVEMENT
- PROPOSED 6" CONCRETE PAVEMENT
- PROPOSED 7" CONCRETE PAVEMENT
- PROPOSED FIRE LANE STRIPE
- PROPOSED UTILITY EASEMENT
- PROPOSED PARKING COUNT
- BARRIER FREE RAMP
- ADA PARKING SPACE

PARKING TABLE

PARKING REQUIRED	
(5000 SF SHOWROOM/OFFICE /MEETING ROOM @ 1 PER 300 S.F.)	17
(17,748 SF WAREHOUSE @ 1 PER 1000 S.F.)	18
TOTAL PARKING REQUIRED	35
TOTAL PARKING PROVIDED	36
H.C. REQUIRED	2
H.C. PROVIDED	2

SITE DATA TABLE

SITE AREA	1.99 AC. (86,681 S.F.)
BUILDING SIZE	22,748 S.F.
BLDG. CANOPY AREA	655 S.F.
BUILDING HEIGHT	LESS THAN 30'
EXISTING LAND USE	VACANT
PROPOSED LAND USE PER SUP No. Z2023-002	NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
PLATTED	NOT CURRENTLY



CAUTION!!!
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

- NOTES:**
- ENGINEERING & LANDSCAPE DESIGN TO COORDINATE UTILITY LINES AND CANOPY TREE PLANTING BASED ON CITY OF ROCKWALL ORDINANCES
 - REFER TO ARCHITECT SHEET A-101 FOR DUMPSTER DETAILS.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ Day and 2023

WITNESS OUR HANDS, This ____ day of _____, 2023

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

OWNER:
 JR FLEMING INVESTMENTS, LLC
 PO BOX 1224
 ROCKWALL, TEXAS 75087
 CONTACT: JEFF FLEMING
 PHONE: 214-505-9116
 EMAIL: jfleming@interstateclassiccars.com

ARCHITECT:
 DB CONSTRUCTORS, INC.
 2400 GREAT SOUTHWEST PARKWAY
 FORT WORTH, TEXAS 76106
 CONTACT: MATTHEW J. PETERSON, AIA
 PHONE: 972-837-6244
 EMAIL: matthew@dbconstructors.com

CIVIL ENGINEER:
 CHARLES CROOK CONSULTING, INC.
 2400 U.S. 287 FRONTAGE RD.
 SUITE 110
 MANSFIELD, TEXAS 76063
 CONTACT: CHARLES C. CROOK, P.E.
 PHONE: 817-453-1200
 EMAIL: chuck@ccrookconsulting.com

Interstate Classic Cars
 Office + Auto Showroom
 SPRINGER ROAD
 ROCKWALL, TEXAS 75032
 PROPERTY DESCRIPTION:
 REMAINDER OF MAK SPOT REAL ESTATE, LLC
 INST. NO. 2011-453546 D.R.R.C.T.
 SP2023-021

NOTES:

- A 5" - 3600 PSI CONCRETE REINFORCED WITH #3 BARS @ 18" O.C.E.W. ON CHAIRS. MINIMUM 6.5 SACK MIX.

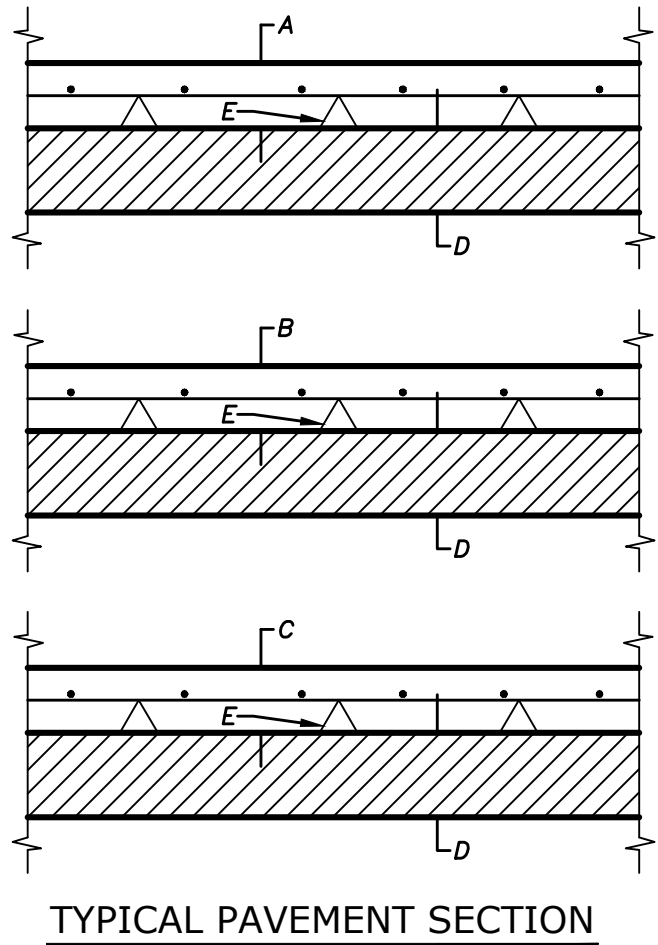
B 6" - 3600 PSI CONCRETE REINFORCED WITH #3 BARS @ 18" O.C.E.W. ON CHAIRS. MINIMUM 6.5 SACK MIX.

C 7" - 3600 PSI CONCRETE REINFORCED WITH #3 BARS @ 18" O.C.E.W. ON CHAIRS. MINIMUM 6.5 SACK MIX.

D 8" PROPERLY SCARIFIED AND RECOMPACTED NATURAL SUBGRADE TO A MINIMUM TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR) THE MOISTURE CONTENT AT THE TIME OF COMPACTION SHOULD BE IN THE RANGE OF OPTIMUM TO FOUR PERCENT ABOVE OPTIMUM. CONTRACTOR SHALL PROVIDE 36 LB/S.Y. OF LIME TREATMENT. NO SAND ALLOWED.

IF MATERIALS HAVING A PLASTICITY INDEX GREATER THAN 20 ARE ENCOUNTERED THEN THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AND PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONTINUATION OF SUBGRADE CONSTRUCTION.

E PLACE ALL REINFORCING STEEL ON CHAIRS AT A HEIGHT OF HALF THE THICKNESS OF THE CONCRETE. THE CHAIRS SHALL BE SPACED AT A SUFFICIENT DISTANCE TO PREVENT SAGGING.



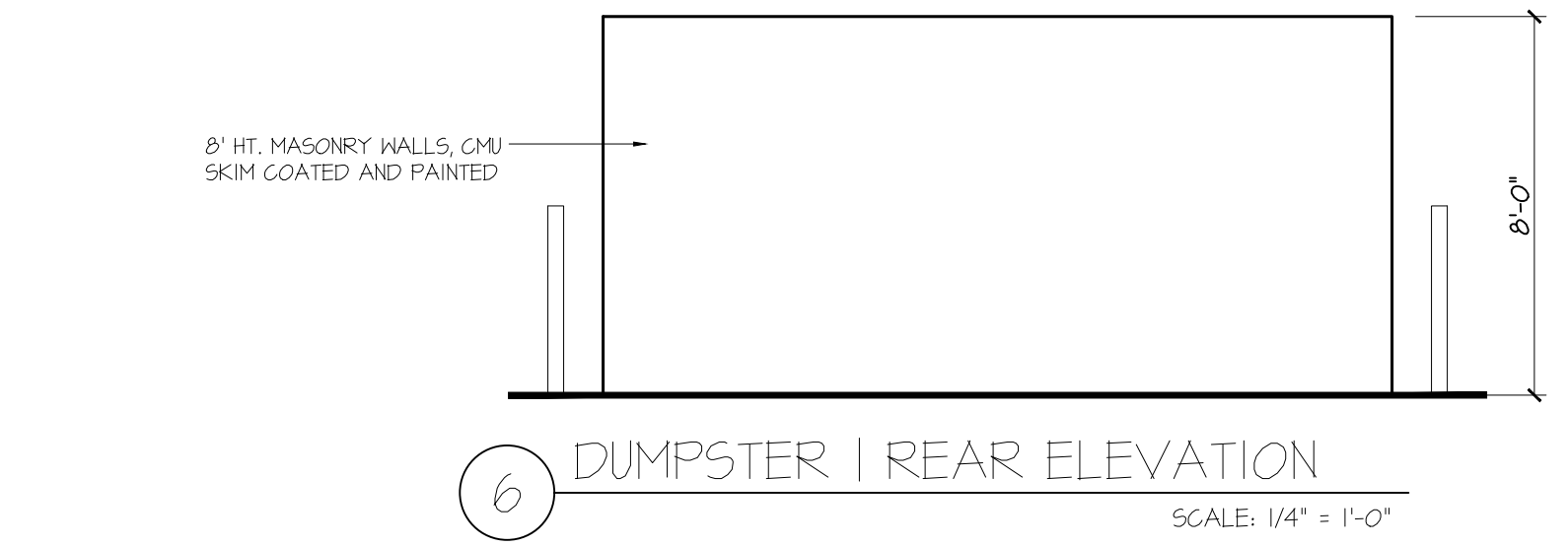
CHARLES CROOK CONSULTING, INC.
 FIRM REGISTRATION NO. F-10812
 2400 HIGHWAY 287, SUITE 110
 MANSFIELD, TEXAS 76063
 817-453-1200
 817-453-1200 FAX
 www.CCrookConsulting.com

INTERSTATE CLASSIC CARS
 ROCKWALL, TEXAS

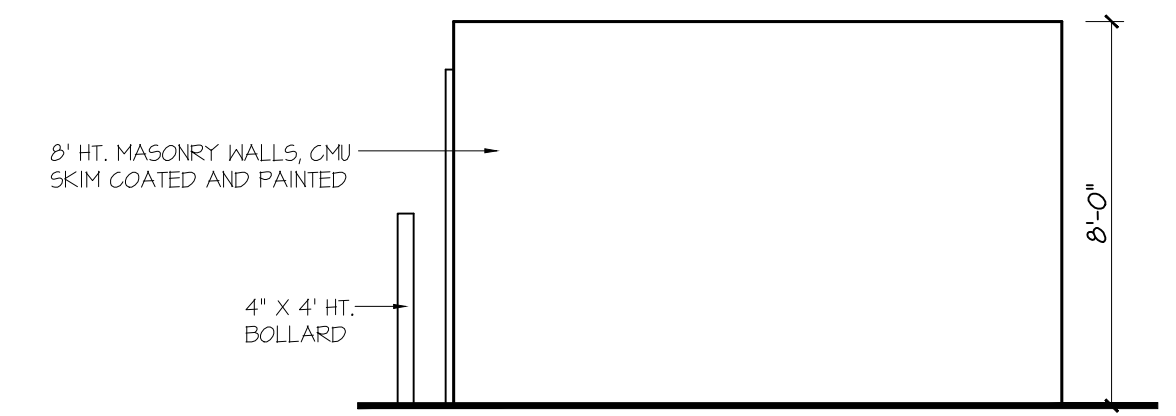
SITE PLAN

Jul 03, 2023
 CCC JOB# 22-125
 COPYRIGHT © CHARLES CROOK CONSULTING, INC.
SHEET No. 1

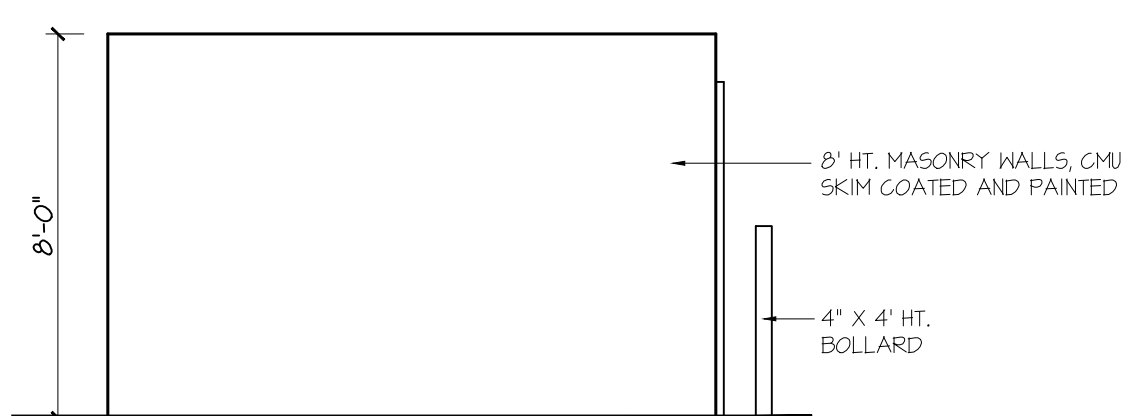
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 PLOTTED BY: MATTHEW PETERSON
 PLOT DATE: 7/3/2023 4:01 PM



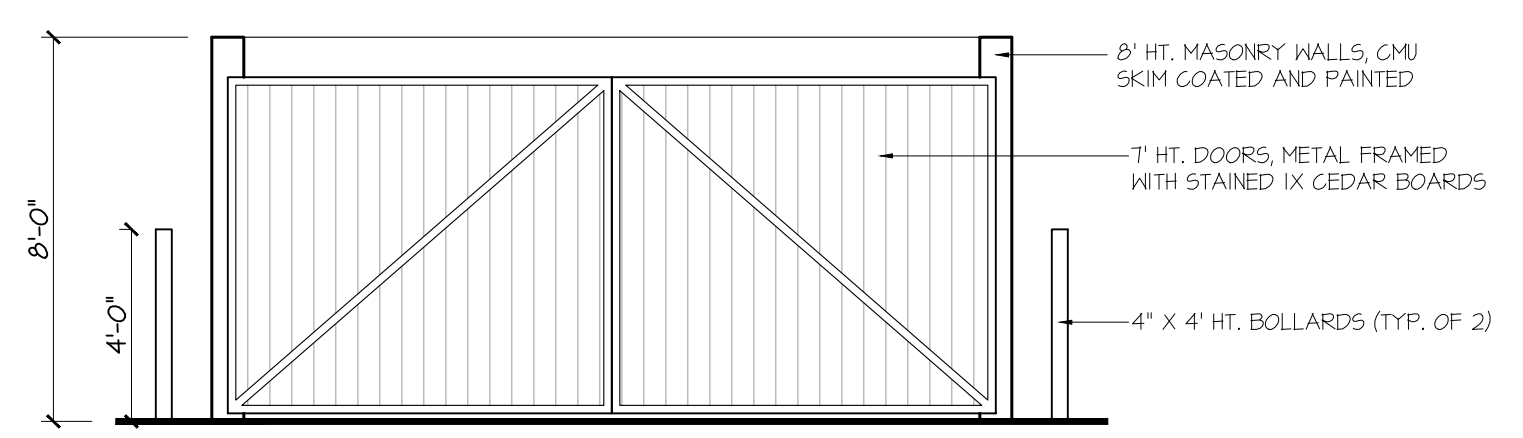
6 DUMPSTER | REAR ELEVATION
 SCALE: 1/4" = 1'-0"



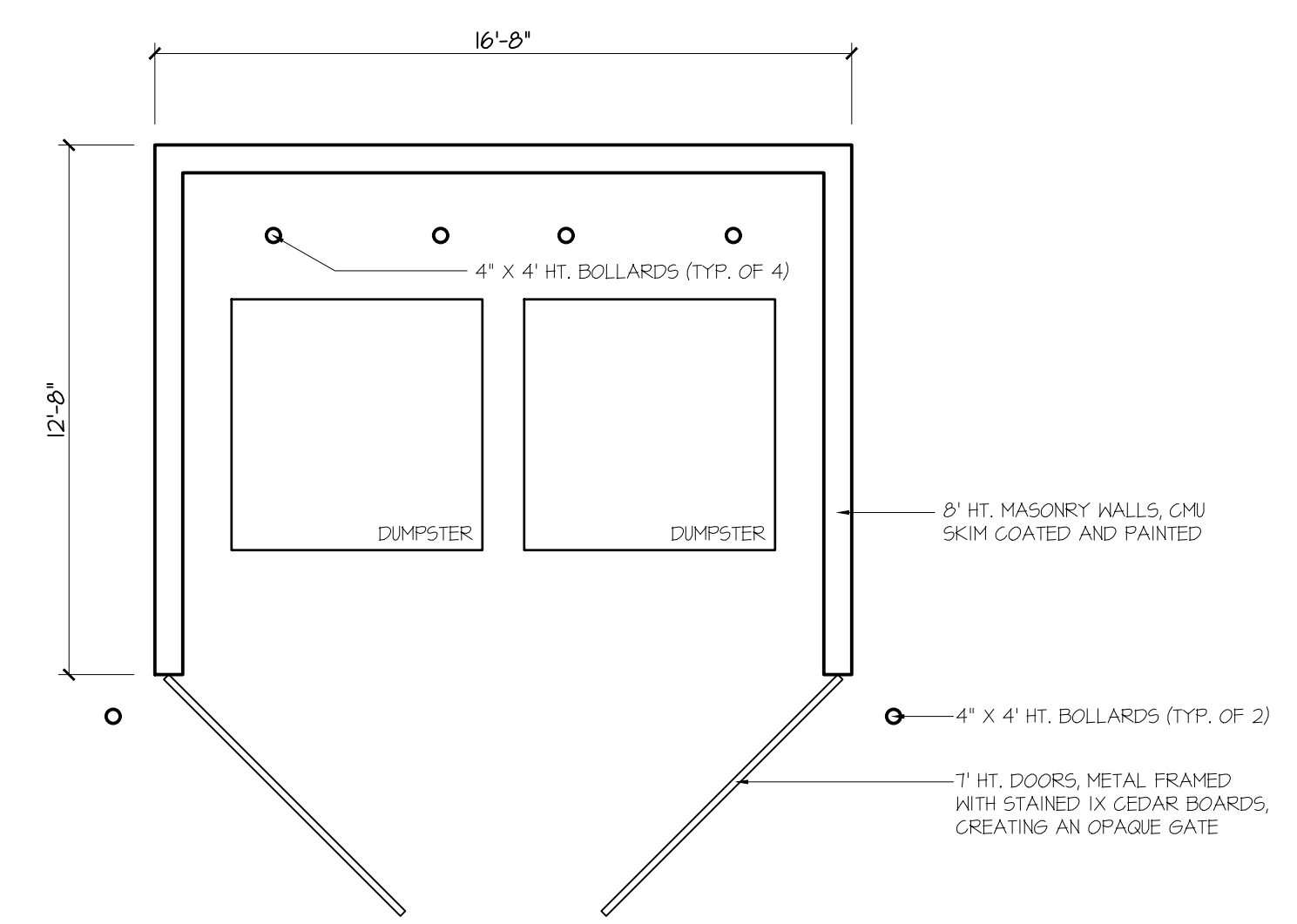
5 DUMPSTER | RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



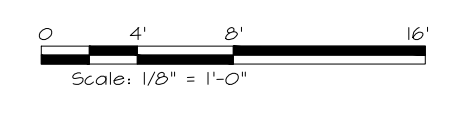
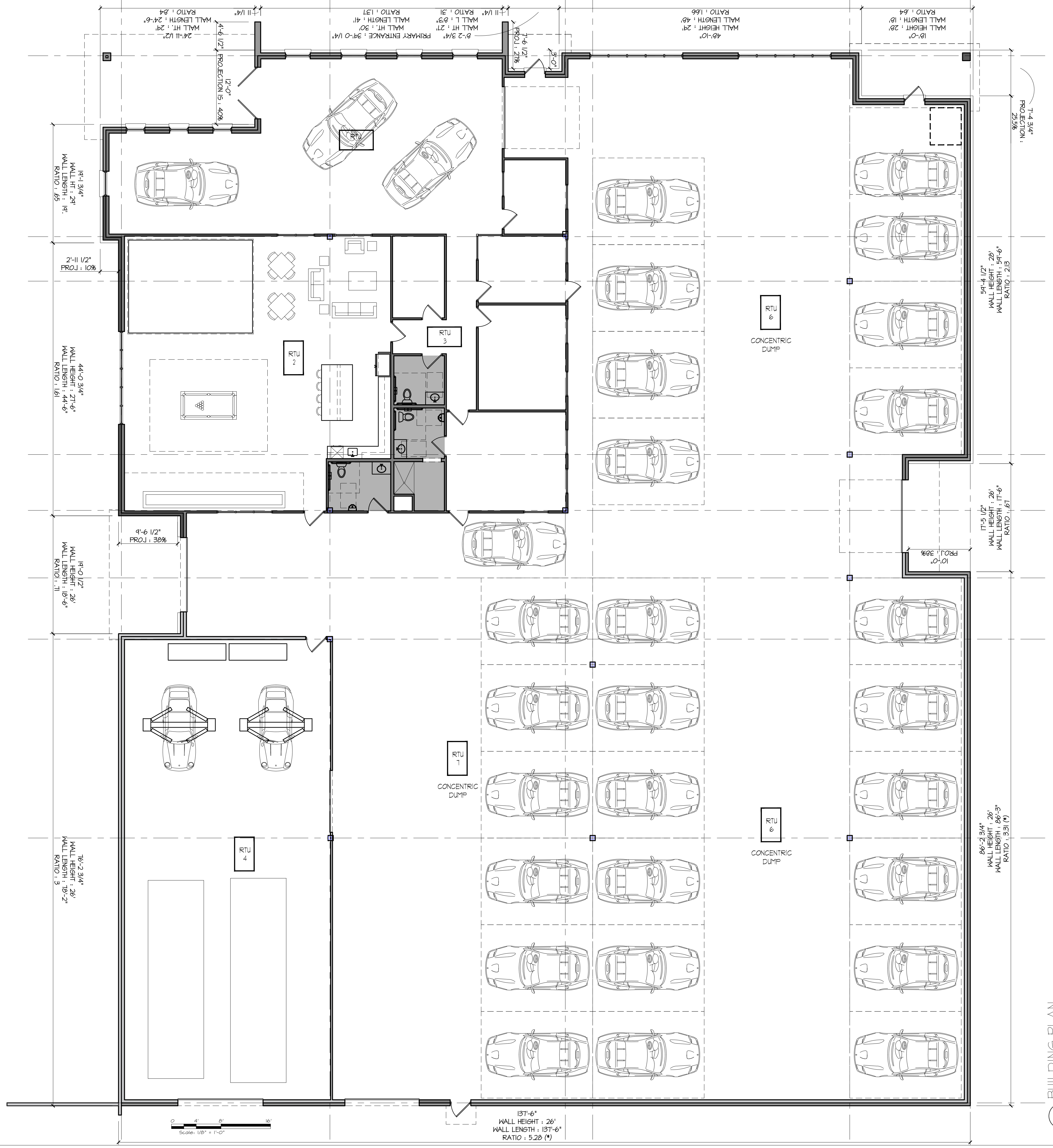
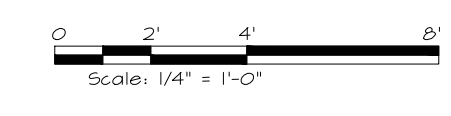
4 DUMPSTER | LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



3 DUMPSTER | FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 DUMPSTER PLAN VIEW
 SCALE: 1/4" = 1'-0"



SCALE: 1/8" = 1'-0"

1 BUILDING PLAN

Interstate Classic Cars
 Office + Auto Showroom
 SPRINGER ROAD
 ROCKWALL, TEXAS 75032

db constructors, inc.
 2400 Great Southwest Pkwy
 Fort Worth, TX 76106
 817-426-7300
 TBAE Architecture Firm BR-4042

PLAN ISSUE		
DATE	DESCRIPTION	BY
23 MAY 23	SITE PLAN SUBMITTAL	MP
05 JULY 23	SITE PLAN SUBMITTAL	MP

OWNER :
 JR FLEMING INVESTMENTS
 2635 OBSERVATION TRAIL
 ROCKWALL, TX 75032

APPLICANT :
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCONSTRUCTORS.COM

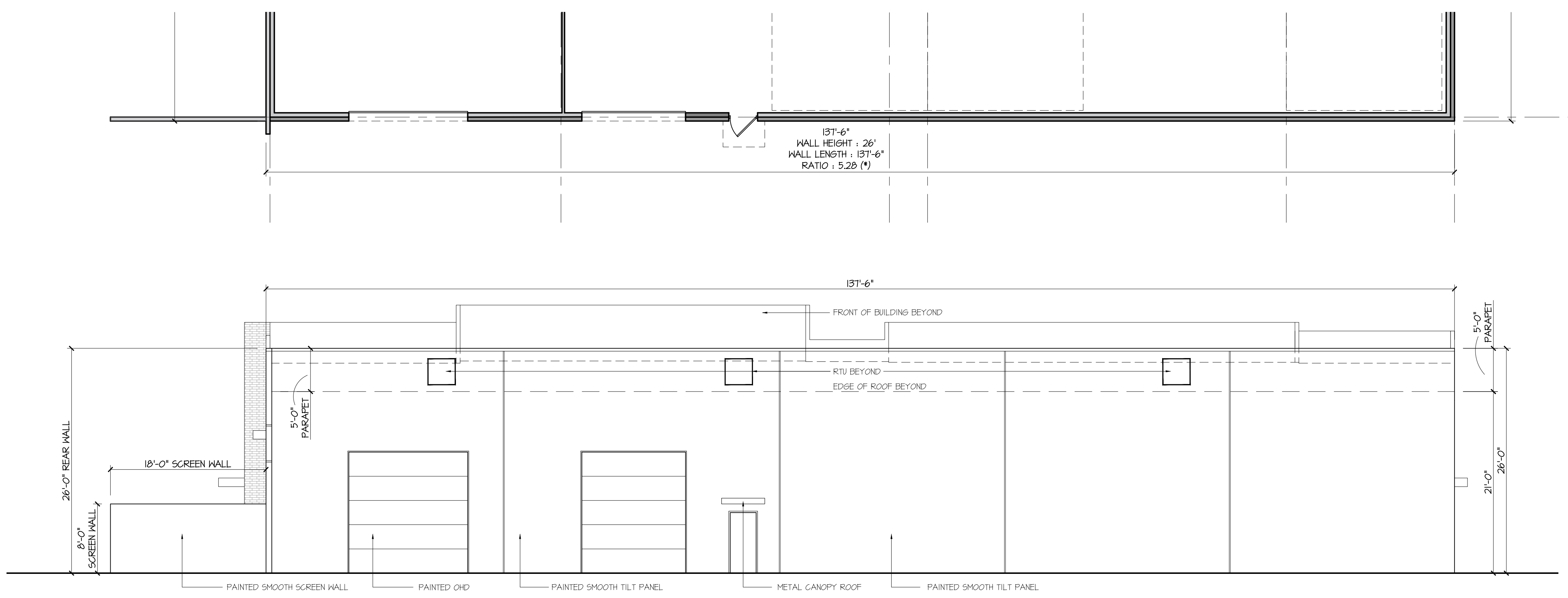
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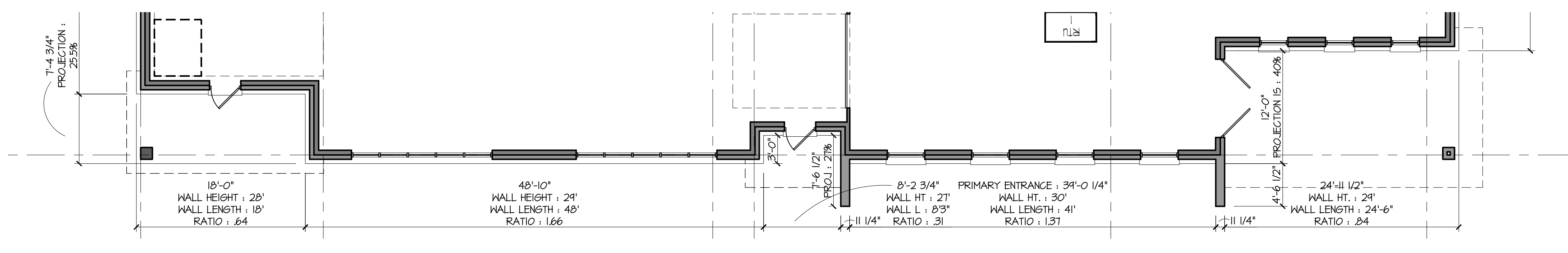
PROJ. NO. SP2023-021	SHEET NO.
DATE	MP
DRWN	MP
MP	MP

A-101

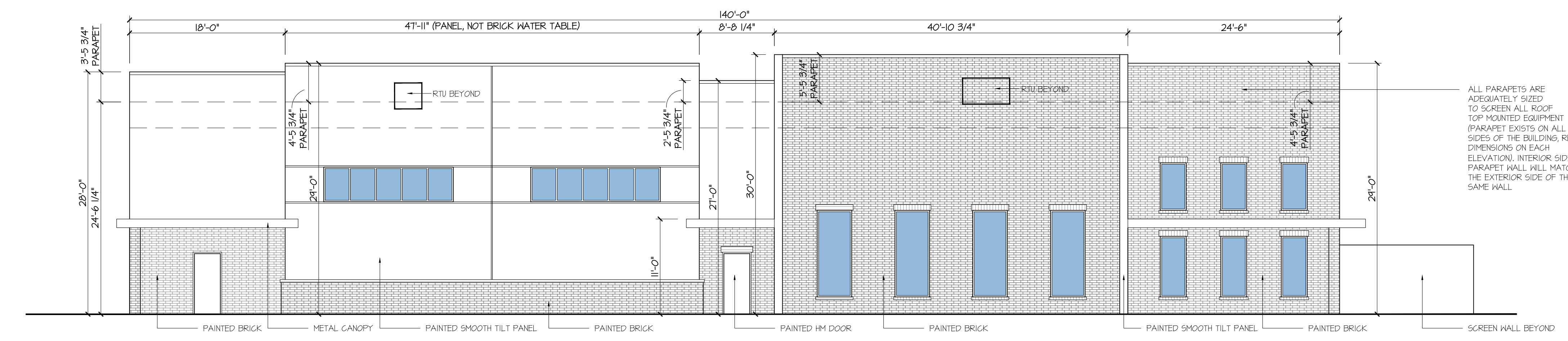
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 PLOT DATE: 7/3/2023 4:01 PM



2 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

INTERSTATE CLASSIC CARS

5-Jul-23

NORTH ELEVATION :

TOTAL WALL AREA :	4066 SF
WINDOW + DOOR :	414 SF
NET WALL AREA :	3653 SF
BRICK / MASONRY :	1893 SF
PERCENTAGE OF BRICK :	52%

EAST ELEVATION :

TOTAL WALL AREA :	4713 SF
WINDOW + DOOR :	165 SF
NET WALL AREA :	4548 SF
BRICK / MASONRY :	629 SF
PERCENTAGE OF BRICK :	14%

SOUTH ELEVATION :

TOTAL WALL AREA :	3575 SF
WINDOW + DOOR :	382 SF
NET WALL AREA :	3193 SF
BRICK / MASONRY :	0 SF
PERCENTAGE OF BRICK :	0%

WEST ELEVATION :

TOTAL WALL AREA :	4779 SF
WINDOW + DOOR :	340 SF
NET WALL AREA :	4439 SF
BRICK / MASONRY :	773.5 SF
PERCENTAGE OF BRICK :	17%

APPROVED :
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2023

WITNESS OUR HAND, this ____ day of ____, 2023

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

Interstate Classic Cars
 Office + Auto Showroom
 SPRINGER ROAD
 ROCKWALL, TEXAS 75032



PLAN ISSUE

DATE	DESCRIPTION	BY
23 MAY 23	SITE PLAN SUBMITTAL	MP
05 JULY 23	SITE PLAN SUBMITTAL	MP

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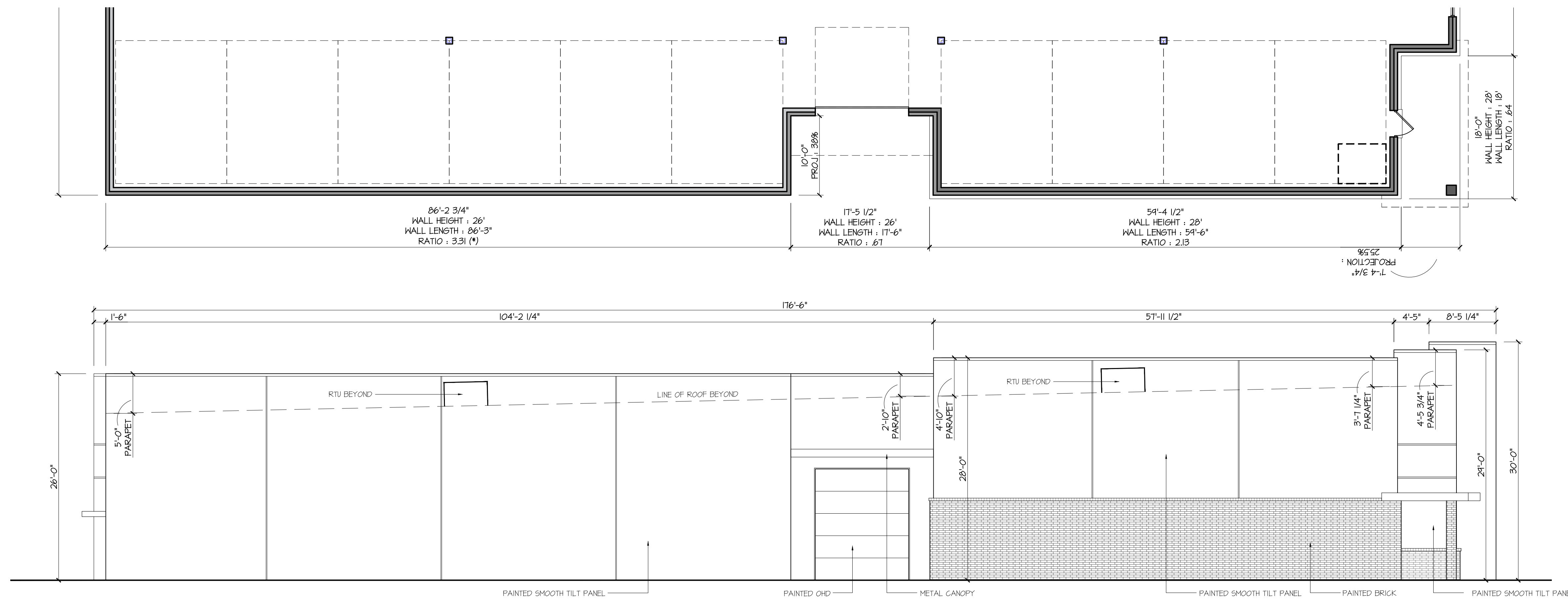
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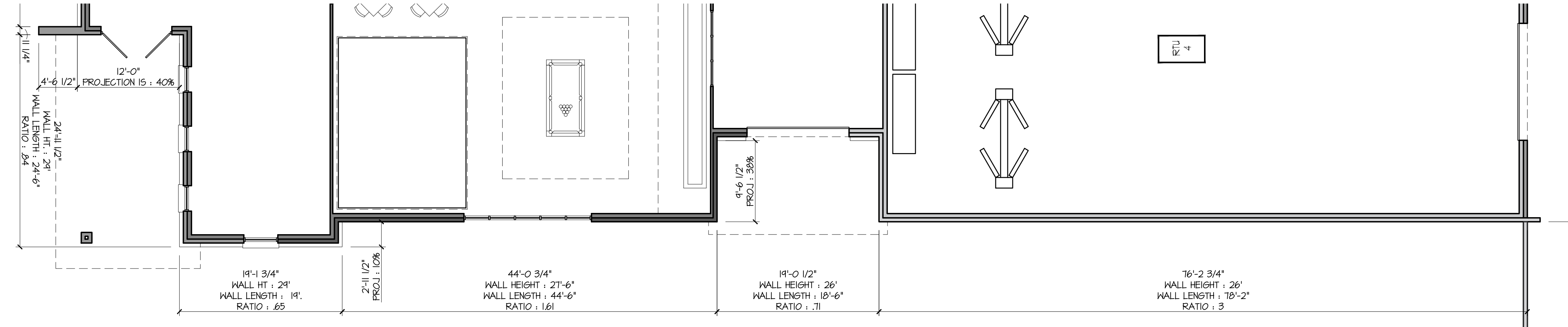
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DATE	MP
DRWN	MP
DSGN	MP
CHKD	MP
MP	MP

A-106

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4 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

INTERSTATE CLASSIC CARS

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5-Jul-23

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DRWN	MP
DSGN	MP
CHKD	MP
MP	A-107

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WITNESS OUR HAND, this ____ day of ____, 2023

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning







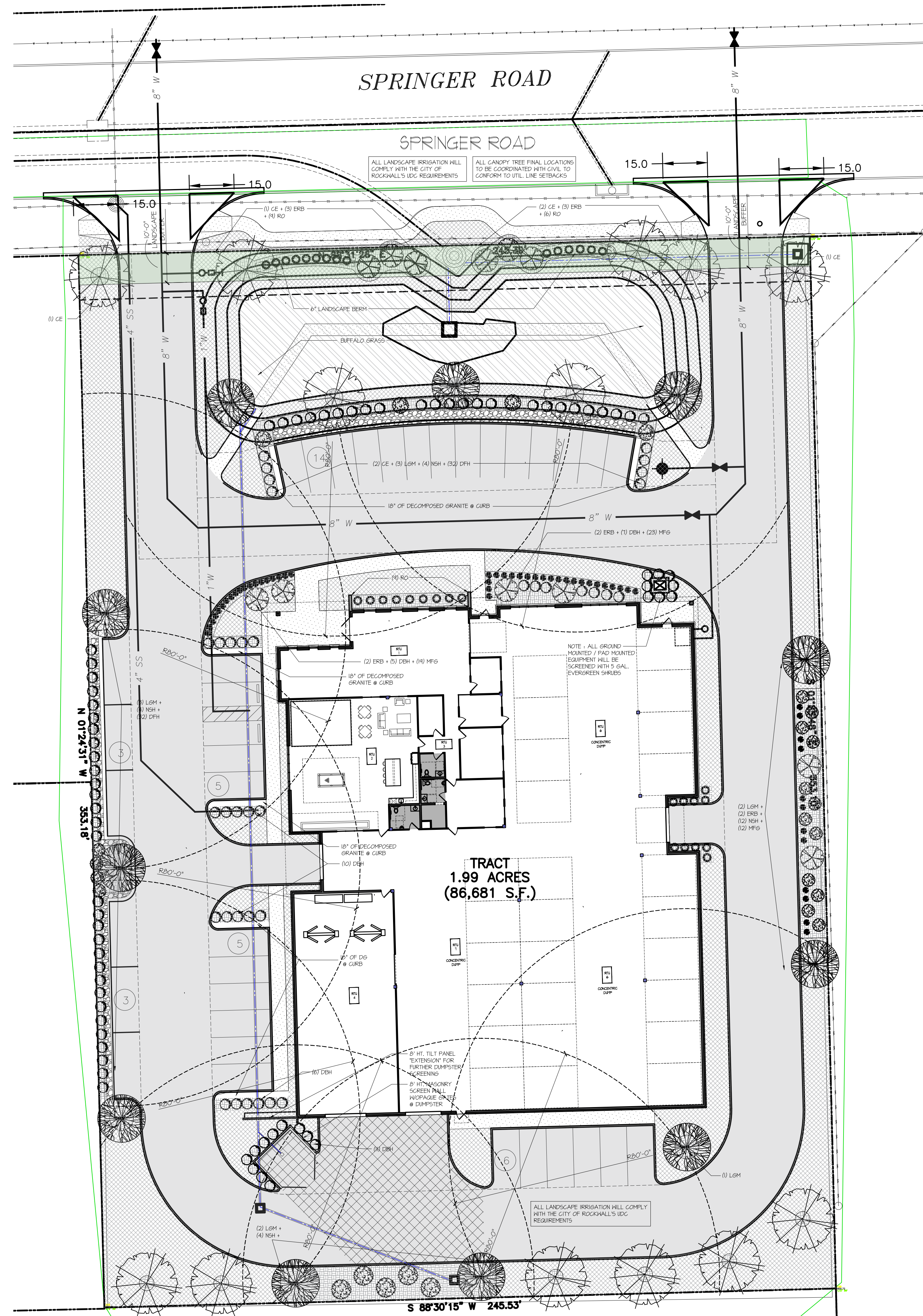
SOUTH ELEVATION



NORTH ELEVATION

SP2023-021

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 PLOTTED BY: MATTHEW PETERSON
 PLOT DATE: 7/3/2023 3:28 PM



SPRINGER ROAD

ALL LANDSCAPE IRRIGATION WILL COMPLY WITH THE CITY OF ROCKWALL'S IDC REQUIREMENTS

ALL CANOPY TREE FINAL LOCATIONS TO BE COORDINATED WITH CIVIL TO CONFORM TO UTIL. LINE SETBACKS

TRACT
1.99 ACRES
(86,681 S.F.)

S 88°30'15" W 245.53'

1 OVERALL SITE LANDSCAPE PLAN

Interstate Classic Cars

5-Jul-23

SITE TABULATIONS :

TOTAL SITE AREA :	86,681 SF	1.99 AC
TOTAL IMPERVIOUS :	58,533 SF	1.34 AC

ROADS + PARKING :	33,371 SF	0.766 AC
BUILDING :	22,748 SF	0.522 AC
BUILDING SIDEWALKS :	1,501 SF	0.034 AC
EXISTING SIDEWALKS :	- SF	0.000 AC
ROW SIDEWALKS :	913 SF	0.021 AC

REQUIRED LANDSCAPE :	15% OF TOTAL AREA
	13002 SF 0.30 AC

PROPOSED LANDSCAPE :	
TURF / GRASS AREA :	16,047 SF 0.368 AC
MULCHED BEDS :	5,707 SF 0.131 AC
GRASSED PORTION OF DETENTION :	4,853 SF 0.111 AC

LANDSCAPE PROVIDED :	26,607 SF 0.611 AC
	31%

REQUIRED PARKING :

OFFICE / SHOWROOM :	5,000 SF	1/300	17 SPACES
WAREHOUSE :	17,748 SF	1/1000	18 SPACES
TOTAL PARKING REQUIRED :	22,748		34 SPACES

PARKING PROVIDED :

OFFICE :		18 SPACES
WAREHOUSE :		18 SPACES
TOTAL PARKING PROVIDED :		36 SPACES

NOTE : INCLUDED WITHIN THE PROVIDED PARKING SPACES ARE 6 ACCESSIBLE PARKING SPACES

REQUIRED LANDSCAPE :

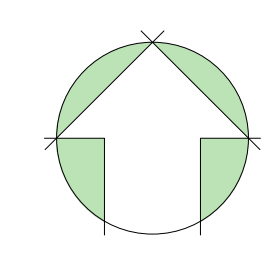
REQUIRED :	PROVIDED :
1. LANDSCAPE EASEMENT REQ. MIN. 10'	10' LANDSCAPE EASEMENT PROVIDED
2. (1) CANOPY TREE / 50 L.F. OF ROW AT 245' OF ROW, 5 CANOPY TREES REQ.	(5) CANOPY TREES PROVIDED
3. (1) ACCENT TREE / 50 L.F. OF ROW AT 245' OF ROW, 5 ACCENT TREES REQ.	(6) ACCENT TREES PROVIDED
4. HEADLIGHT SCREENING @ PARKING	ALTERNATIVE 1 PROVIDED (6' BERM W/24" HT EVERGREEN SHRUBS)
5. 15% REQUIRED LANDSCAPE	32% LANDSCAPE PROVIDED

PARKING AREA LANDSCAPING :

(1) CANOPY TREE / 10 PARKING SPACES	(10) CANOPY TREES PROVIDED
36 SPACES / 10 = 3.6 CANOPY TREES REQ.	
NO REQ. PARKING TO BE MORE THAN 80' FROM THE TRUNK OF A CANOPY TREE	ALL SPACES ARE WITHIN 80' OF TRUNK OF CANOPY TREE

DETENTION BASIN :

(1) CANOPY TREE PER 750 SF.	REQUEST THAT THE CURRENT LANDSCAPE DESIGN BE APPROVED WITHOUT FULLY MEETING THIS REQUIREMENT. THE OVERALL DESIGN INCORPORATES THE DETENTION BASIN AS A PART OF THE AESTHETIC AND IS SURROUNDED BY CANOPY TREES, ACCENT TREES AND BERMS THAT ARE IN EXCESS OF THE LANDSCAPE REQUIREMENT FOR THE SITE. THE BASIN IS REQUESTED TO BE APPROVED WITH BUFFALO GRASS BEING PLANTED AT THE BOTTOM
3075 SQ FT / 750 SQ FT = 4.1 TREES	
(1) ACCENT TREE PER 1500 S.F.	
3075 SQ FT / 1500 SQ. FT. = 2.05	



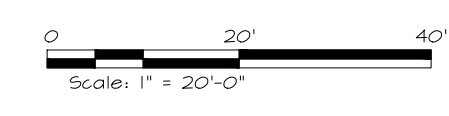
SYMBOL	QTY	COMMON NAME	ABBR	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	13	CEDAR ELM	CE	Ulmus Crassifolia	5" GALIPER MINIMUM, 8' HT., 4" SPREAD; (CONTAINER GROWN)	MIN. 40' O.C.
	11	LITTLE GEM MAGNOLIA	LGM	Magnolia Grandiflora 'Little Gem'	5" GALIPER MINIMUM, 8' HT., 3" SPREAD; (CONTAINER GROWN)	MIN. 24' O.C.
	12	EASTERN REDBUD	ERB	Cercis canadensis var. canadensis	3" GALIPER MINIMUM, 6' HT., 3" SPREAD; (CONTAINER GROWN)	MIN. 24' O.C.
	25	NELLIE STEVENS HOLLY	NSH	Ilex 'Nellie R. Stevens'	7 GAL., 48" TALL, FULL-EVEN BRANCHING, MATCHING	REF. PLAN
	34	ROSEMARY	RO	Rosemaria officinalis	5 GAL., 30" MIN. HT., EVEN BRANCHING AND MATCHING	REF. PLAN
	101	DWARF BURFORD HOLLY	DBH	Ilex Cornuta 'Dwarf Burford Holly'	5 GAL., 30" MIN. HT., EVEN BRANCHING AND MATCHING	± 4'
	54	MEDIGAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	± 3'-5'
		BUFFALO GRASS			4,853 SF	
		MULCHED BEDS			5,707 SF	
		TURF			16,047 SF	

APPROVED :
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WITNESS OUR HAND, this ____ day of ____, 2023

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning



Interstate Classic Cars
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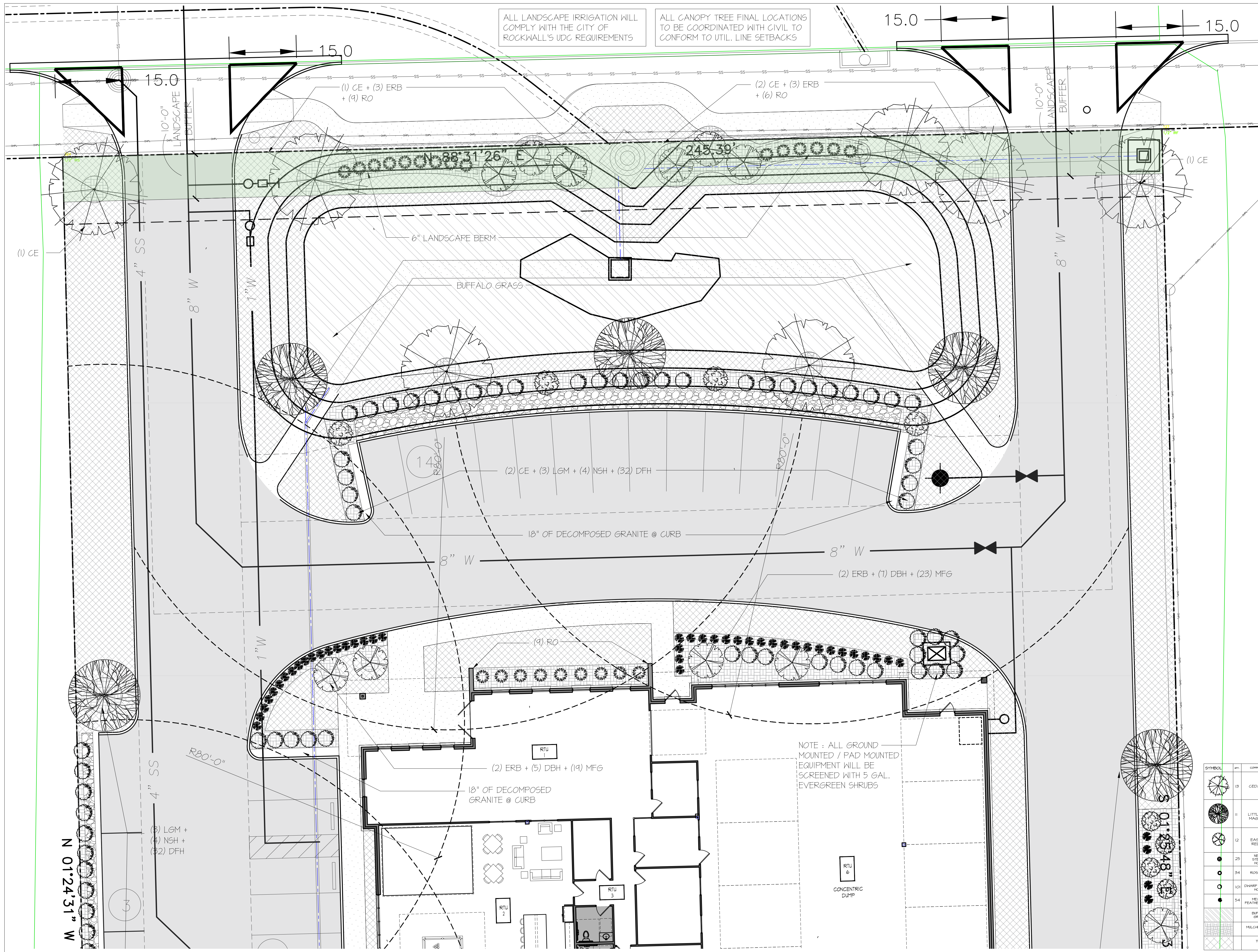
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LD=1

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 PLOTTED BY: MATTHEW PETERSON
 PLOT DATE: 7/3/2023 3:28 PM



ALL LANDSCAPE IRRIGATION WILL COMPLY WITH THE CITY OF ROCKWALL'S UDC REQUIREMENTS

ALL CANOPY TREE FINAL LOCATIONS TO BE COORDINATED WITH CIVIL TO CONFORM TO UTIL. LINE SETBACKS

15.0

15.0

15.0

15.0

10'-0" LANDSCAPE BUFFER

10'-0" LANDSCAPE BUFFER

88'31'26" E 245'39"

6" LANDSCAPE BERM

BUFFALO GRASS

(2) CE + (3) LGM + (4) NSH + (32) DFH

18" OF DECOMPOSED GRANITE @ CURB

(2) ERB + (1) DBH + (23) MFG

(2) ERB + (5) DBH + (14) MFG

18" OF DECOMPOSED GRANITE @ CURB

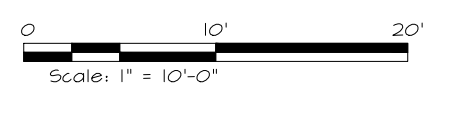
NOTE: ALL GROUND MOUNTED / PAD MOUNTED EQUIPMENT WILL BE SCREENED WITH 5 GAL. EVERGREEN SHRUBS

CONCENTRIC DUMP

(3) LGM + (4) NSH + (32) DFH

R80'-0"

N 01'24'31" W



1 ENLARGED LANDSCAPE PLAN | NORTH

SCALE: 1:10

SYMBOL	QTY	COMMON NAME	ABBV	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	15	CEDAR ELM	CE	Ulmus Crassifolia	5" CALIPER MINIMUM, 6' HT., 4' SPREAD, (CONTAINER GROWN)	MIN. 40' O.C.
	11	LITTLE GEM MAGNOLIA	LGM	Magnolia Grandiflora 'Little Gem'	5" CALIPER MINIMUM, 6' HT., 3' SPREAD, (CONTAINER GROWN)	MIN. 24' O.C.
	12	EASTERN REDBUD	ERB	Cercis Canadensis 'var. Canadensis'	3" CALIPER MINIMUM, 6' HT., 3' SPREAD, (CONTAINER GROWN)	MIN. 24' O.C.
	25	NELLIE STEVENS HOLLY	NSH	Ilex 'Nellie R. Stevens'	7 GAL., 40" TALL, FILL-EVEN BRANCHING, MATCHING	REF. PLAN
	34	ROSEMARY	RO	Rosmarinus Officinalis	5 GAL., 20" MIN. HT. EVEN BRANCHING AND MATCHING	REF. PLAN
	101	DWARF BURFORD HOLLY	DBH	Ilex Cornuta 'Burford Holly'	3 GAL., 30" MIN. HT. EVEN BRANCHING AND MATCHING	1' 4"
	54	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	1' 3"-5"
		BUFFALO GRASS			4,855 SF	
		MULCHED BEDS			5,701 SF	
		TURF			16,247 SF	

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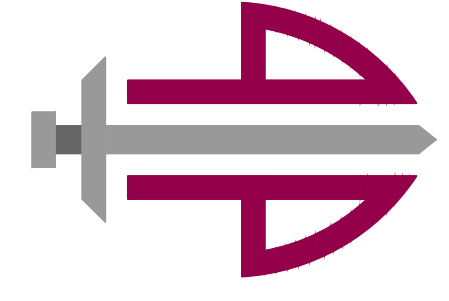
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	54	MEXICAN FEATHER GRASS	MFG	Sorghastrum nutans	3 GAL.	1 3'-5'
		BUFFALO GRASS			4,255 SF	
		MULCHED BEDS			5,701 SF	
		TURF			16,041 SF	

1/2" ENLARGED LANDSCAPE PLAN | SOUTH REF CPD
 SCALE: 1:10

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by Planning & Zoning Commission of the City of Rockwall on the ___ day of ___, 2023

WITNESS OUR HAND, this ___ day of ___, 2023

Planning & Zoning Commission, Chairman _____ Director of Planning and Zoning _____

Interstate Classic Cars
 Office + Auto Showroom
 SPRINGER ROAD
 ROCKWALL, TEXAS 75032

db constructors, inc.
 2400 Great Southwest Pkwy
 Fort Worth, TX 76106
 817.426.7300
 TBAE Architecture Firm BR-4042

PLAN ISSUE		
DATE	DESCRIPTION	BY
23 MAY 23	SITE PLAN SUBMITTAL	MP
05 JULY 23	SITE PLAN SUBMITTAL	MP

OWNER:
 JR FLEMING INVESTMENTS
 2635 OBSERVATION TRAIL
 ROCKWALL, TX 75032

APPLICANT:
 DB CONSTRUCTORS, INC
 MATTHEW J PETERSON
 972.837.6244
 MATTHEW@DBCONSTRUCTORS.COM

CASE NUMBER: _____

PROPERTY DESCRIPTION:
 REMAINDER OF MAK SPOT
 REAL ESTATE, LLC
 INST. NO. 2011-453546
 D.R.R.C.T.

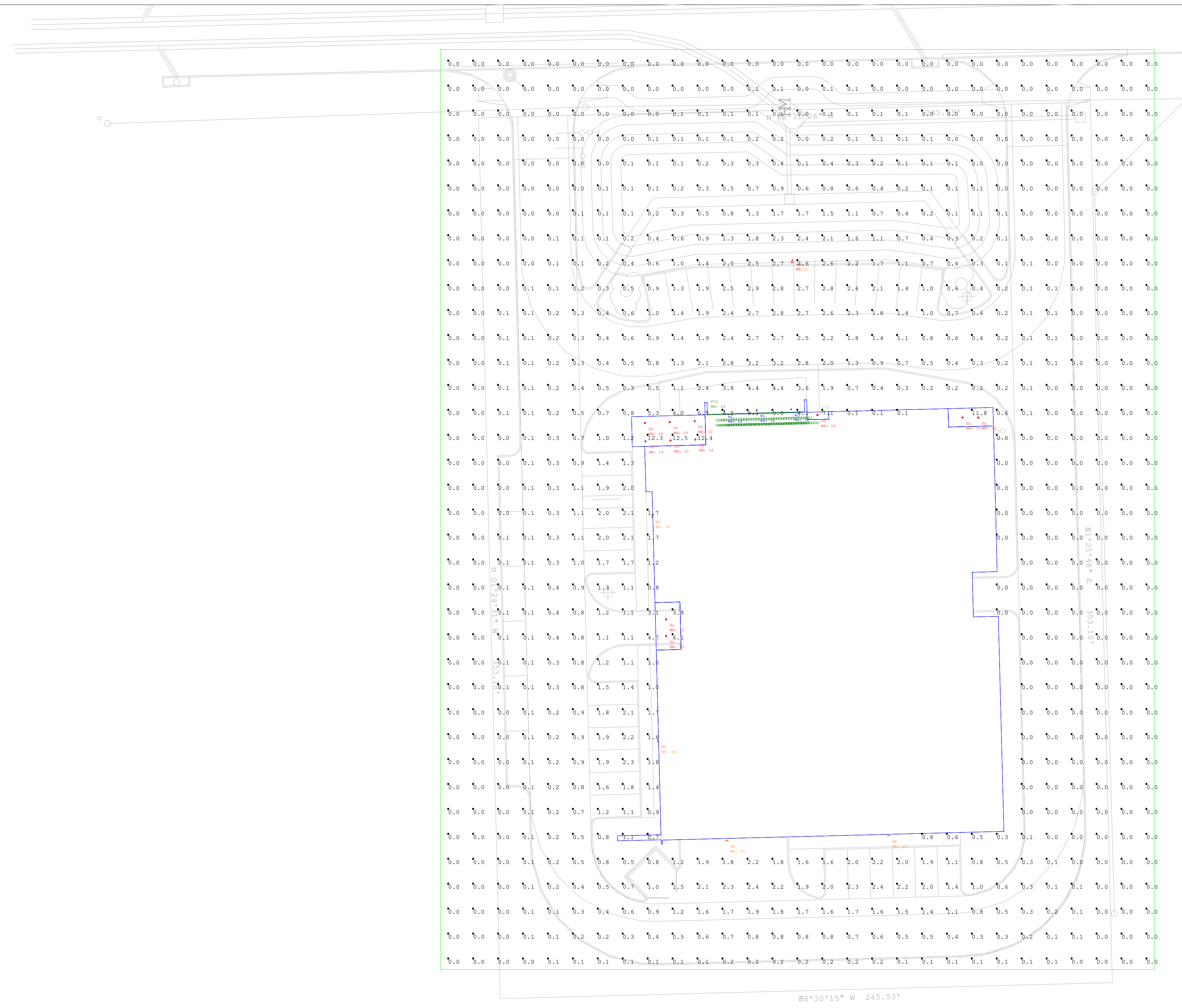
PROJ. NO. SP2023-021	SHEET NO.
DATE	MP
DRWN	DSGN
MP	MP

LD=3

- GENERAL NOTES:
 1. NOT FOR CONSTRUCTION PURPOSES.
 2. ALL CALCULATIONS CONTAIN AN ERROR FACTOR OF +/- 10%.
 3. CALCULATION POINT SPACING IS 10' x 10'
 4. ALL CALCULATIONS ARE IN FOOTCANDLE MEASUREMENTS
 5. UNLESS OTHERWISE NOTED - ALL REFLECTANCE VALUES ARE CALCULATED USING THE DEFAULT VALUES OF: SURFACE = .2, WALLS = .5, CEILING = .8



Bell & McCoy
 Lighting and Controls
 4630 Nall Road
 Farmers Branch, TX 75244

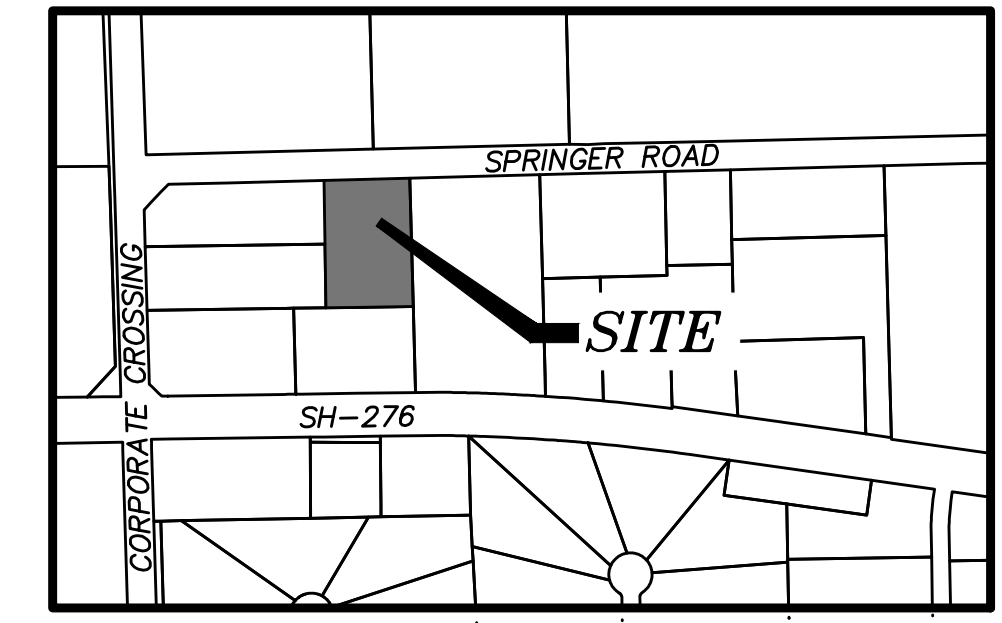


88°30'15" W 245.53'

Symbol	Qty	Label	Arrangement	Description	Tag	LF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height
1	1	HL	Single	20-111-80-DMT		0.900	1199	2.3	23.3	28
2	1	FCZ	Single	1/2-SPEC-28-35		0.900	320	2.6	26.0	25, 30
3	1	GL	Single	1/8W-FD-110-840-02W-0W-DM-DF-CS-MET-CC		0.900	870	8.7	85.7	10, 15
4	1	SA	Single	MRP-148-151-255-2-48-10CR2		0.900	1567	11.5	111	20
5	1	WP	Single	1/8W-FD-110-840-02W-0W-DM-DF-CS-MET-CC		0.900	870	8.7	85.7	20

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE_Planar	Illuminance	Fc	0.58	12.5	0.0	N.A.	N.A.

SITE DATA TABLE	
SITE AREA	1.99 AC. (86,681 S.F.)
BUILDING SIZE	22,748 S.F.
BLDG. CANOPY AREA	655 S.F.
BUILDING HEIGHT	LESS THAN 30'
EXISTING LAND USE	VACANT
PROPOSED LAND USE PER SUP No. Z2023-002	NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM
PLATTED	NOT CURRENTLY



VICINITY MAP
 N.T.S.

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ Day and 2023
 WITNESS OUR HANDS, This ____ day of _____, 2023

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

Revisions:
 X XX/XX/XXXX

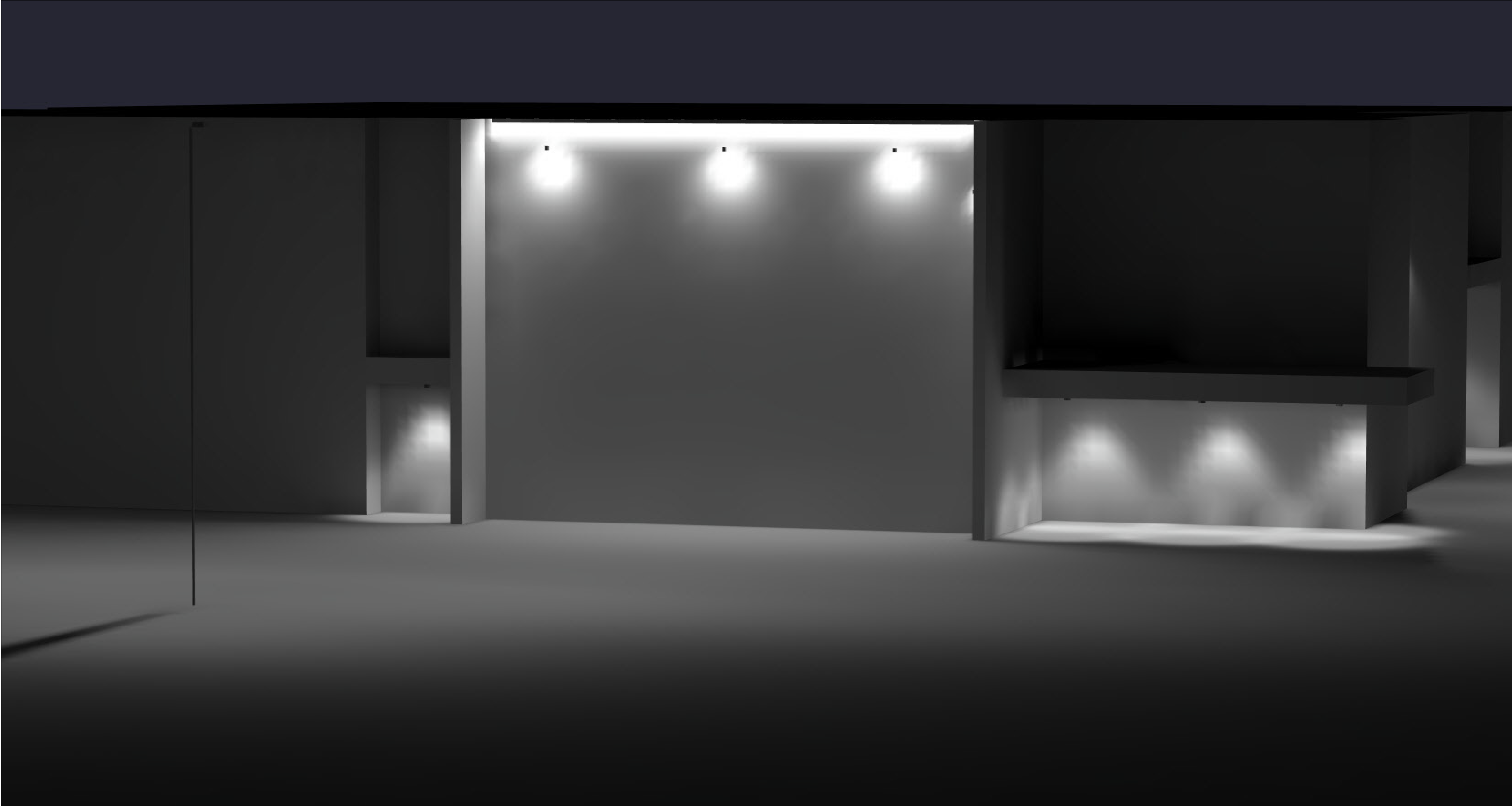
Drawn By:
 J. FENTON
 Date:
 7/3/2023
 Scale:
 N.T.S.
 Sheet Title:
 Site Photometrics
 Sheet No.

INTERSTATE CLASSIC CARS

- GENERAL NOTES:
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Bell & McCoy
Lighting and Controls
4630 Nall Road
Farmers Branch, TX 75244



INTERSTATE CLASSIC CARS

Revisions:
X XX/XX/XXXX

Drawn By:
J. FENTON

Date:
6/20/2023

Scale:
N.T.S

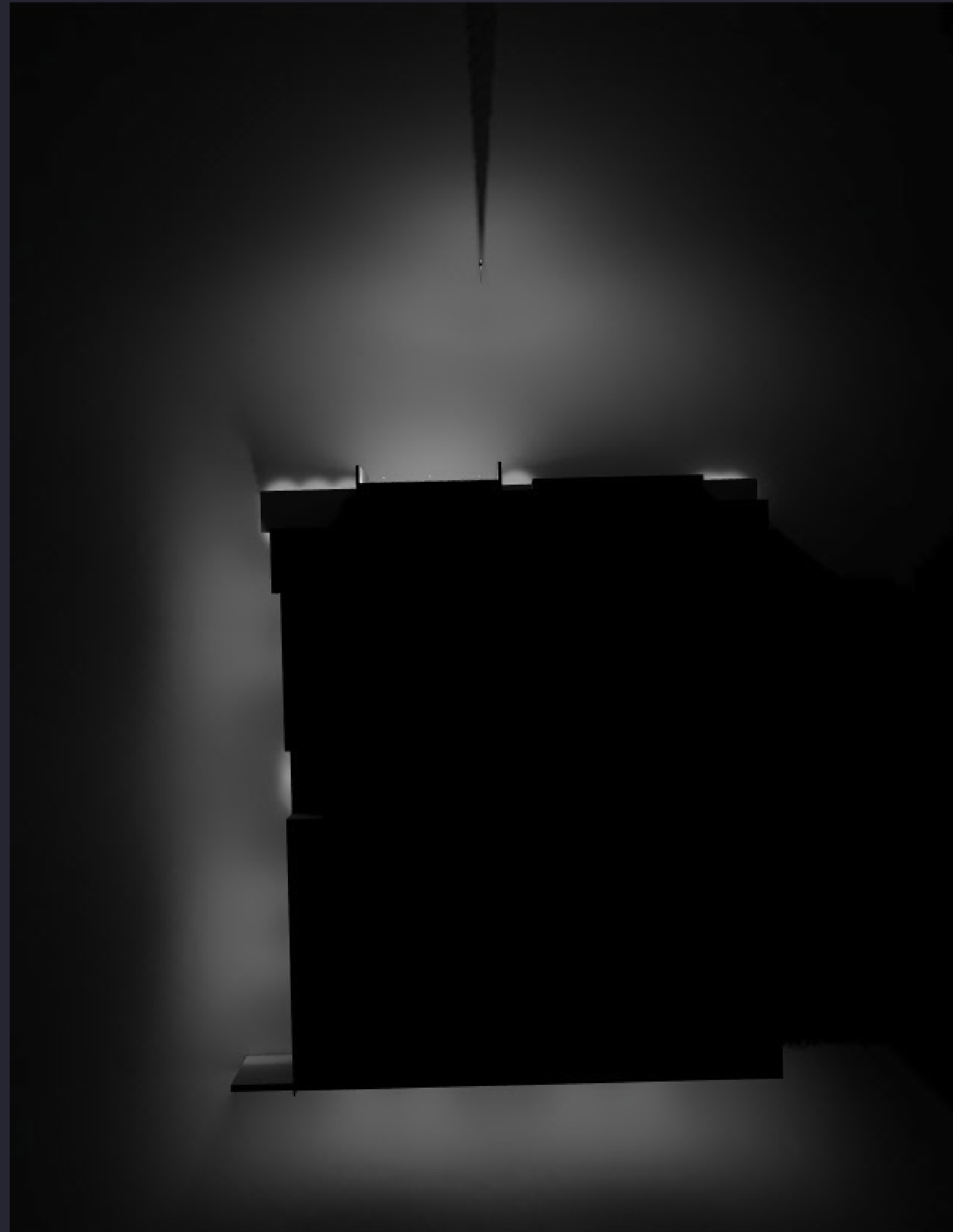
Sheet Title:
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Bell & McCoy
Lighting and Controls
4630 Nall Road
Farmers Branch, TX 75244



INTERSTATE CLASSIC CARS

Revisions:
X XX/XX/XXXX

Drawn By:
J. FENTON

Date:
6/20/2023

Scale:
N.T.S

Sheet Title:
Site Photometrics

Sheet No.



Catalog #: _____ Project: _____

Prepared By: _____ Date: _____ Type: _____

Angled Reflector (AD150)

LSI Abolite® LED Angled Reflector



OVERVIEW	
Lumen Range	1,250 - 1,700
CCT	27/30/35/40/50K
Wattage Range	9.3 - 12.8

QUICK LINKS

[Ordering Guide](#)[Performance](#)[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Heavy gauge aluminum with a thermally cured high quality polyester powder coat finish.
- Integrated power supply built into the fixture allowing the RLM to be connected directly to line voltage.
- Manufactured in the USA

Optical System

- Available in 5000K, 4000K, 3500K, 3000K, and 2700K color temperatures
- Glass Globe required for outdoor applications
- Minimum CRI of 80

Electrical

- Standard Universal Voltage (120-277 Vac) Input 50/60Hz
- 0-10V dimming, 5% standard
- Operating Temperature -30° to +50°C (-22°F to +122°F)

Installation

- Fixed hub tapped for 3/4" NPT conduit.
- Pre-wired with 96" leads standard.
- Suitable for gooseneck mounting applications.
- Not designed for upright applications.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- UL Listed
- Suitable for wet locations





LSI Abolite® LED Angled Reflector

ORDERING GUIDE

[Back to Quick Links](#)TYPICAL ORDER EXAMPLE: **AD 150 17L UNV 35 CGG6 GRD LDS96WL**

Prefix	Lumen Package	Voltage	Color Temp	Lens ²	Finish	Mounting Options
AD 150	12L - 1250 lms 15L - 1500 lms 17L - 1700 lms INC* - Incandescent	UNV - Universal Voltage (120/227V) 120 - INC	50 - 5,000K 40 - 4,000K 35 - 3,500K 30 - 3,000K 27 - 2,700K (blank) - INC	Blank - Flat lens (indoor only) CGG6 - Clear Glass Globe 6-3/4" FGG6 - Frosted Glass Globe 6-3/4" PGG6 - Prismatic Glass Globe 6-3/4"	GWT - Gloss White GBK - Gloss Black GRD - Gloss Red BBL - Bright Blue DKG - Dark Green SLV - Silver MBK - Matte Black RST - Rust HCP - Hammered Copper	LDS96WL - Prewired leads. For use with stem or bracket mounting in wet or indoor locations.

- Lamp supplied by other. E26 MED Base socket.
- Flat lens for indoor LED applications only. Globe required for outdoor applications.

Accessory Ordering Information

CANOPY ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" (19mm) Tap Decorative Box Cover Aligner - Gloss White	BA 3 GWT

Standard finish is Gloss White Powder; other RLM colors available.

WIRE GUARD ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
10" (254mm) Convex Wire Guard - Metallic Silver	COG 10 MSV

Standard finish is Metallic Silver Powder; other RLM colors available

GLOBE GUARD ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
6-3/4" Cast Aluminum Globe Guard	GGDC6
6-3/4" Wire Globe Guard	GGW6

Standard finish is Natural Aluminum; other RLM colors available

STEM ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" x 3" (19mm x 76mm) Aluminum Stem - Gloss White	STM 3 3 GWT
3/4" x 6" (19mm x 152mm) Aluminum Stem - Gloss White	STM 6 3 GWT
3/4" x 12" (19mm x .4m) Aluminum Stem - Gloss White	STM 12 3 GWT
3/4" x 18" (19mm x .5m) Aluminum Stem - Gloss White	STM 18 3 GWT
3/4" x 24" (19mm x .6m) Aluminum Stem - Gloss White	STM 24 3 GWT
3/4" x 36" (19mm x .9m) Aluminum Stem - Gloss White	STM 36 3 GWT
3/4" x 48" (19mm x 1.2m) Aluminum Stem - Gloss White	STM 48 3 GWT
3/4" x 60" (19mm x 1.5m) Aluminum Stem - Gloss White	STM 60 3 GWT
3/4" x 72" (19mm x 1.8m) Aluminum Stem - Gloss White	STM 72 3 GWT

Standard finish is Gloss White Powder; other RLM colors available.

GOOSE NECK BRACKETS ORDERING INFORMATION (Accessories are field installed)	
Description	Order Number
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN A 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN B 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN C 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN D 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN E 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN F 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN G 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN H 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN J 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN K 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN P 3 GWT
3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White	GN U 3 GWT

Standard finish is Gloss White Powder; other RLM colors available.

PERFORMANCE

[Back to Quick Links](#)

DELIVERED LUMENS																	
Lumen Package	CRI	2700K			3000K			3500K			4000K			5000K			Wattage
		Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
12L	80	1162	126	B1-U2-G1	1294	141	B1-U1-G1	1152	125	B1-U1-G1	1150	125	B1-U1-G1	1150	125	B1-U1-G1	9.3
15L		1403	128	B1-U2-G1	1563	143	B1-U2-G1	1391	127	B1-U1-G1	1389	127	B1-U1-G1	1389	127	B1-U1-G1	10.9
17L		1587	124	B1-U2-G1	1768	138	B1-U2-G1	1574	123	B1-U2-G1	1571	123	B1-U2-G1	1571	123	B1-U2-G1	12.8

*Photometric performance values shown are representative with flat lens option. Alternate glass globe option outputs will vary. Consult factory.

ELECTRICAL DATA*					
Lumen Package	Wattage	120V	208V	240V	277V
12L	9.3	0.08	0.04	0.04	0.03
15L	10.9	0.09	0.05	0.05	0.04
17L	12.8	0.11	0.06	0.05	0.05

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.



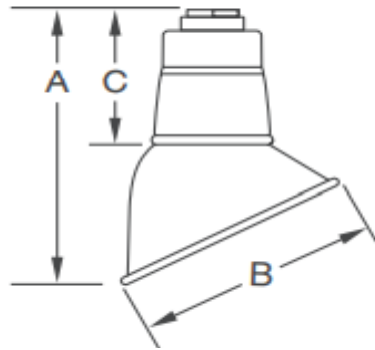


LSI Abolite® LED Angled Reflector

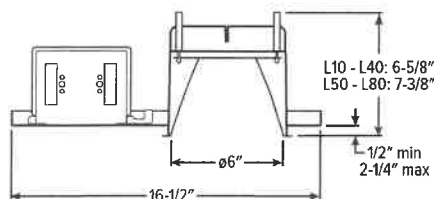
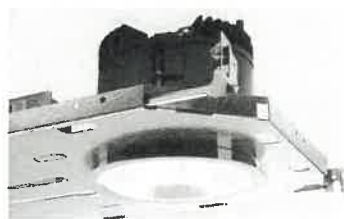
[Back to Quick Links](#)

PRODUCT DIMENSIONS

Prefix	Height (A)	Diameter (B)	Neck (C)
AD150	12" (305mm)	10" (254mm)	5-1/4" (133mm)



6DR LED 6" Downlight – Round



CATALOG #: 6DR-TL-L10/840-DIM-UNV-OW-OF-CS-WET-CC

TYPE: DL

PROJECT: Interstate Classic Cars

NEW CONSTRUCTION AND REMODEL

ORDERING EXAMPLE: 6DR - TL - L20/835 - OPTIONS - CONTROL/DIM - UNV - OW - OF - CS - TRIM OPTIONS - N - F1

HOUSING

SERIES	LUMENS ^[1]	CRI	CCT	OPTIONS	CONTROL	DRIVER ^[2]	VOLTAGE
6DR - TL TrimLock	L10 1,000lm ^[3] L15 1,500lm L20 2,000lm L30 3,000lm L40 4,000lm L50 5,000lm L60 6,000lm L70 7,000lm L80 8,000lm	8 80 9 90 ^[4]	27 2700K 30 3000K 35 3500K 40 4000K 50 5000K	SCA__ Sloped ceiling adapter ^[5] ATH Airtight construction F Fuse EM/7W 7-watt emergency battery ^[6] EM/10W 10-watt emergency battery ^[7] EM/10W/RTS 10-watt emergency battery with regressed test switch ^[8] CP Chicago plenum (CCEA) ^[9] SDT Stepdown transformer ^[10]	- None AVI-LVFA Avi-on wireless fixture control ^[11]	DIM Dimming driver, 0-10V DIM1 1% Dimming driver, 0-10V DA Driver with 12V auxiliary power, without external dimming wires ^[12]	UNV 120-277V 347 347V ^[13]

TRIM ^[14]

TRIM TYPE	DISTRIBUTION ^[15]	FLANGE TYPE	REFLECTOR FINISH	TRIM OPTIONS
O Open reflector L Flush lens R Regressed lens A Angled lens ^[16] S Non-conductive flush lens for shower applications ^[17]	W Wide 65° Open 55° Flush 55° Regressed M Medium ^[18] 35° Open 35° Flush 35° Regressed N Narrow ^[19] 10° Open 25° Flush 25° Regressed WW Wall wash ^[20]	OF 1/2" standard flange SF 1/4" mud-in flange ^[21]	Open trim types CS Clear semi-specular anodize SG Satin-glow anodize GD Gold anodize CG Champagne gold anodize PW Pewter anodize SPC Clear specular anodize RG Rose gold anodize WH White texture powder coat BL Black texture powder coat Lens trim types CS Clear semi-specular powder coat WH White texture powder coat BL Black texture powder coat MB Black texture splay with white flange ^[22]	MWT Textured white trim flange ^[23] IP IP65 rated trim ^[24] AD Diffuse acrylic lens ^[25] PD Diffuse 1/8" polycarbonate lens ^[26] TD Diffuse polycarbonate lens media at top of open reflector ^[27] WET/CC Wet location, covered ceiling listed ^[28] AM Anti-microbial ^[29]

MOUNTING

MOUNTING TYPE ^[30]	MOUNTING HARDWARE ^[31]
N Open pan for new construction I IC-rated enclosure for new construction ^[32] R Remodel kit ^[33]	F1 Integral 2-position fixed pan bracket, universal bar hanger included ^[34] BA1 Adjustable butterfly pan bracket, bar hanger not included ^[35] CA1 Adjustable caterpillar pan bracket, universal bar hanger included ^[36]

NOTES

- Lumen output based on O trim type, W distribution and CS finish, 3500K/80CRI. Actual lumens may vary +/-5%. See page 2 for FIXTURE PERFORMANCE DATA.
- See page 7 for ADDITIONAL DRIVER OPTIONS.
- Not available with EM/10W emergency batteries.
- Extended lead times may apply. Consult factory for availability.
- 11-1/2" aperture, specify degrees of slope in 5° increments, 05°-30°. Not available with I Mounting Type, ATH or WET/CC options. Painted white. Other colors available, consult factory. See page 3 for SLOPED CEILING ADAPTOR DETAILS.
- N and R Mounting Types only. Not available with ATH or IP options.
- N and R Mounting Types only. Not available with ATH or IP options.
- Not available with WET/CC, ATH or IP options. N and R Mounting Types only. See page 5 for EM/10W/RTS DETAILS.
- I Mounting Type required.
- May be required for 347V, see product builder at hew.com/product-builder.
- DA Driver only. See page 7 for AVI-ON BLUETOOTH WIRELESS CONTROL DETAILS.
- Avi-on Controls only.
- Not available with EM batteries, DMX Driver, or Avi-on Controls.
- Trim ships separately.
- Beam angle based on CS or WH reflector finish. See page 2 for FIXTURE PERFORMANCE DATA.
- Available with WW Distribution only.
- W Distribution, OF Flange Type and WH Reflector Finish only. Standard with AD diffuse acrylic lens. IP and WET/CC options standard.
- Not available with lumen stops L50 and higher when specified with flush or regressed trim types.
- Not available with lumen stops L50 and higher when specified with flush or regressed trim types.
- O and A Trim Types only.
- For use with mud-in plaster construction only, supplied with mud flange installation kit. See page 4 for FLANGE TYPE DETAILS. Not available with ATH or IP options.
- R Trim Type only. Not available with MWT.
- Not available with WH Reflector Finish, L or S Trim Types.
- L and R trim types only.
- Not available with O trim type. W and WW distributions only.
- Not available with O trim type. W and WW distributions only.
- O Trim Type only. WET/CC standard unless ordered with EM/RTS. L50 lumen package max.
- L50 lumen package max with O Trim Type. Not available with PD trim option.
- WH and BL Reflector Finishes only. Not available with S Trim Type.
- Mounting hardware required (N and I only), ordered separately, see MOUNTING HARDWARE ordering info. See page 4 for MOUNTING TYPE DETAILS.
- Additional mounting hardware options available. See page 6 for MOUNTING HARDWARE DETAILS.
- L30 lumen package max.
- Also used in new construction sheetrock ceilings. Pan-less installation.
- N and I Mounting Types only. I Mounting requires external brackets.
- N Mounting Type only.
- N Mounting Type only.

6DR LED 6" Downlight – Round

FEATURES

TrimLock®

- Innovative TrimLock reflector retention system ensures trim remains flush with ceiling plane
- Wide range of lumen options for general illumination
- Beam angles ranging from 10° narrow to 65° wide for tailored performance
- Industry-leading efficacies as high as 116 lm/W
- New construction mounting pan, IC-rated, or pan-less remodel kit available
- Available on QuickShip
- Available with Avi-on wireless fixture controls



Available with BIOS® consult factory

SPECIFICATIONS

- HOUSING – Die-cast aluminum trim housing with forged aluminum heat sink. Galvanized steel splice compartment with driver mounting plate/enclosure. Swing-out mounting arms field adjust for ceiling thickness from 1/2" – 2-1/4".
- TRIMLOCK – Innovative TrimLock reflector retention system ensures the trim remains flush with the ceiling plane.
- OPEN REFLECTOR – Low-iridescent anodized aluminum. Clear semi-specular finish standard.
- LENSED TRIM – Die-cast aluminum frame with micro-prismatic, acrylic lens.
- ELECTRICAL – High-performance Class 2 C.O.B. LED array. Modular quick-connect plug for easy field-connection of LED light assembly to driver. Reported L70>55,000 hours. Reported L90>55,000 hours. Estimated L70 = 200,000 hours.
- MOUNTING – Recessed. 20 ga. galvanized steel mounting pan for new construction or IC-rated enclosure. Remodel kit option includes receiver bracket hardware. Minimum 24" O.C. marked spacing required for L60 - L80 lumen packages.
- LISTINGS –
 - cCSAus conforms to UL STD 1598; Certified to CAN/CSA STD C22.2 No. 250.0 for dry and damp locations. LED light assembly conforms to UL 2108 for remote installation.
 - Suitable for wet location under covered ceiling when specified with WET/CC or TD options.
 - ENERGY STAR® certified in select configurations, see www.energystar.gov
 - IC-rated for direct contact with insulation when specified with I Mounting Type.
 - City of Chicago Environmental Air approved when specified with CP option.
 - Complies with ASTM-E283 when specified with ATH option.
 - RoHS compliant.
 - Title 24 (JAB) compliant in select configurations, see www.cacertappliances.energy.ca.gov.
 - WARRANTY – 5-year limited warranty, see hew.com/warranty.

FIXTURE PERFORMANCE DATA

OPEN REFLECTOR TRIM TYPE

	DIST.	DELIVERED LUMENS	WATTAGE	EFFICACY (lm/W)
L10	W	1014	8.7	116.9
	M	982	8.7	113.2
	N	1003	8.7	115.7
L15	W	1497	13.8	108.6
	M	1495	13.8	108.4
	N	1528	13.8	110.8
L20	W	1988	19.0	104.6
	M	1983	19.1	103.8
	N	2026	19.1	106.1
L30	W	3062	26.9	114.0
	M	3003	26.9	111.8
	N	3000	26.9	111.7
L40	W	4094	36.5	112.2
	M	4016	36.4	110.3
	N	4011	36.4	110.2
L50	W	5014	43.9	114.1
	M	4935	43.9	112.3
	N	5047	43.9	114.9
L60	W	6043	54.0	111.9
	M	5948	54.0	110.1
	N	6083	54.0	112.6
L70	W	7008	67.8	103.3
	M	6898	67.8	101.7
	N	7055	67.8	104.0
L80	W	8018	79.8	100.5
	M	7891	79.8	98.9
	N	8071	79.8	101.2

FLUSH LENS TRIM TYPE

	DIST.	DELIVERED LUMENS	WATTAGE	EFFICACY (lm/W)
L10	W	774	8.7	89.2
	M	910	8.7	104.9
	N	909	8.7	104.8
L15	W	1178	13.8	85.4
	M	1385	13.8	100.4
	N	1384	13.8	100.4
L20	W	1562	19.5	80.1
	M	1837	19.1	96.1
	N	1836	19.5	94.2
L30	W	2335	26.9	86.9
	M	2782	26.9	103.6
	N	2718	26.9	101.2
L40	W	3122	36.5	85.5
	M	3720	36.4	102.2
	N	3635	36.4	99.9
L50	W	3824	43.9	87.0
	M	-	-	-
	N	-	-	-
L60	W	4609	54.0	85.4
	M	-	-	-
	N	-	-	-
L70	W	5345	67.8	78.8
	M	-	-	-
	N	-	-	-
L80	W	6115	79.8	76.7
	M	-	-	-
	N	-	-	-

REGRESSED LENS TRIM TYPE

	DIST.	DELIVERED LUMENS	WATTAGE	EFFICACY (lm/W)
L10	W	716	8.7	82.5
	M	883	8.7	101.7
	N	897	8.7	103.4
L15	W	1090	13.8	79.0
	M	1344	13.8	97.4
	N	1366	13.8	99.1
L20	W	1445	19.5	74.1
	M	1782	19.1	93.3
	N	1812	19.5	92.9
L30	W	2160	26.9	80.4
	M	2699	26.9	100.5
	N	2683	26.9	99.9
L40	W	2889	36.5	79.1
	M	3609	36.4	99.1
	N	3587	36.4	98.6
L50	W	3537	43.9	80.5
	M	-	-	-
	N	-	-	-
L60	W	4264	54.0	79.0
	M	-	-	-
	N	-	-	-
L70	W	4945	67.8	72.9
	M	-	-	-
	N	-	-	-
L80	W	5657	79.8	70.9
	M	-	-	-
	N	-	-	-

MULTIPLIER TABLES

	COLOR TEMPERATURE	
	CCT	CONVERSION FACTOR
80 CRI	2700K	0.92
	3000K	0.98
	3500K	1.00
	4000K	1.01
	5000K	1.02
90 CRI	2700K	0.76
	3000K	0.79
	3500K	0.82
	4000K	0.84
	5000K	0.88

	REFLECTOR FINISH	
	CATALOG NUMBER	CONVERSION FACTOR
O TRIM	CS	1.00
	SG ¹	0.92
	GD	0.93
	CG	0.96
	PW	0.86
	SPC	1.02
	RG	0.88
	WH ¹	0.89
BL ¹	0.47	
R TRIM	WH	1.00
	CS	0.98
	BL	0.79

TRIM	
CATALOG NUMBER	CONVERSION FACTOR
S	0.85
AD	0.85
PD	0.85
TD	0.75
WET/CC ²	0.85

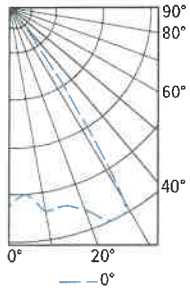
- 1 Distribution will also be affected, consult factory.
- 2 Use multiplier when specified with O Trim Type.
 - Photometrics tested in accordance with IESNA LM-79. Results shown are based on 25°C ambient temperature.
 - Wattage shown is based on 120V input.
 - Results based on 3500K, 80 CRI, actual lumens may vary +/-5%
 - Use multiplier tables to calculate additional options.



6DR LED 6" Downlight – Round

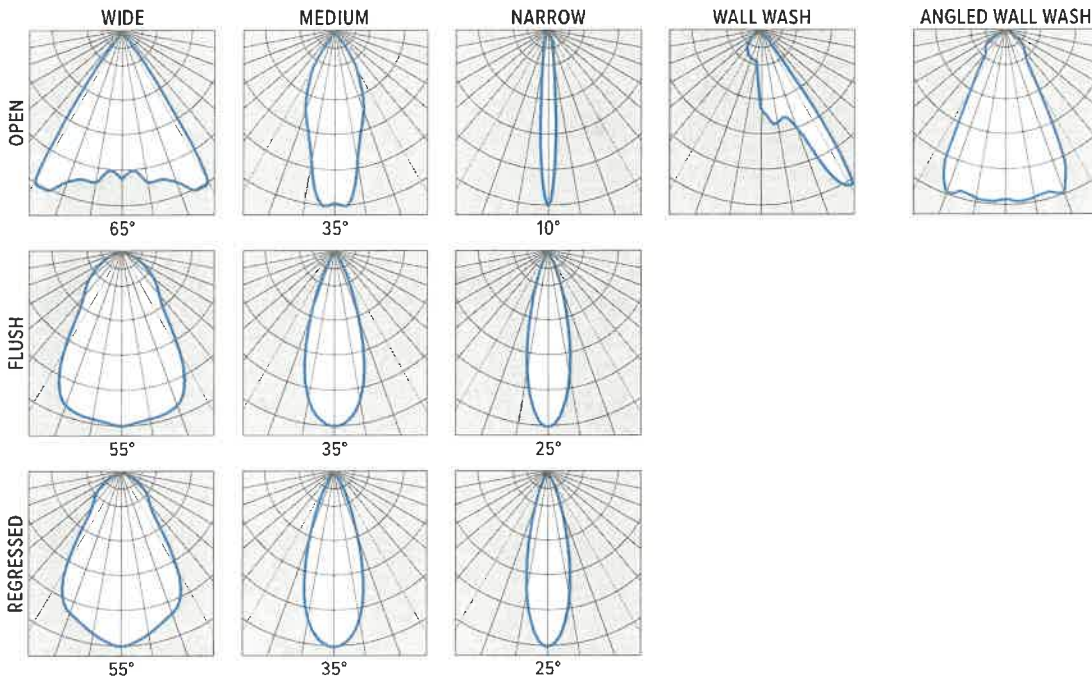
PHOTOMETRY

6DR-TL-L20/835-DIM-UNV-OW-OF-CS Report #: 20687; 12/12/18 | Total Luminaire Output: 1988 lumens; 19.0 Watts | Efficacy: 104.6 lm/W | 82.9 CRI; 3457K CCT



CANDLEPOWER DISTRIBUTION	VERTICAL ANGLE	HORIZONTAL ANGLE	ZONAL LUMENS
		0°	
	0	1672	
	5	1579	151
	15	1735	492
	25	1982	917
	35	604	380
	45	46	36
	55	13	12
	65	2	2
	75	0	0
	85	0	0
	90	0	0

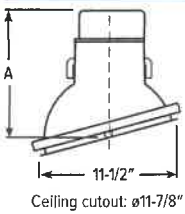
LUMEN SUMMARY	ZONE	LUMENS	% FIXTURE
	0 - 40	1939	98
	0 - 60	1987	100
	0 - 90	1988	100
	0 - 180	1988	100



TRIMLOCK DETAILS



SLOPED CEILING ADAPTOR DETAILS



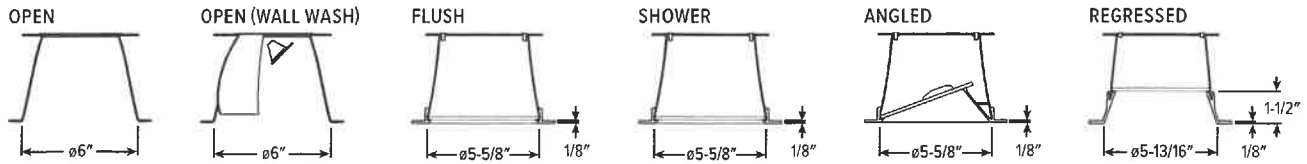
LUMENS	A (HEIGHT)					PLENUM HEIGHT	
	5°	10°	15°	20°	25°		30°
L10 - L40	10-11/16"	10-7/8"	10-15/16"	10-7/8"	10-13/16"	10-5/8"	11-1/4"
L50 - L80	11-7/16"	11-9/16"	11-5/8"	11-5/8"	11-1/2"	11-1/4"	12"

15° Shown

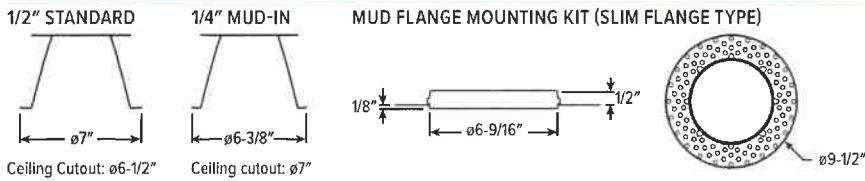


6DR LED 6" Downlight – Round

TRIM TYPE DETAILS



FLANGE TYPE DETAILS

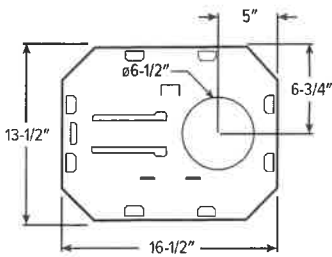


REFLECTOR FINISH DETAILS

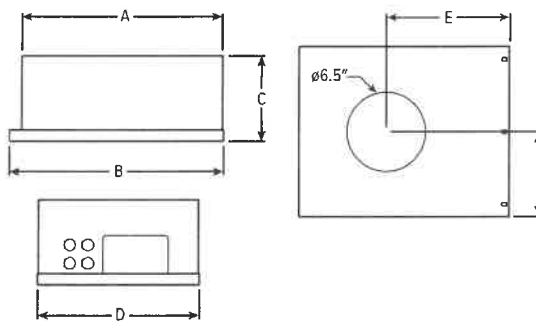


MOUNTING TYPE DETAILS

NEW CONSTRUCTION

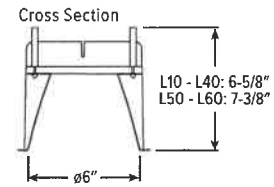


IC-RATED

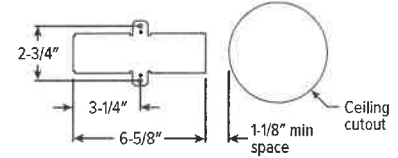


LUMENS	LENGTH					
	A	B	C	D	E	F
L10 - L20	15-3/16"	16"	6-3/8"	12-1/8"	9-1/2"	6-1/16"
L30	16-5/8"	17-1/2"	7-7/8"	14"	10-1/4"	7"

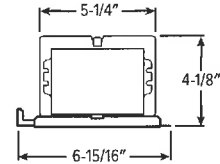
REMODEL



Receiver Bracket



Driver and Junction Box



6DR LED

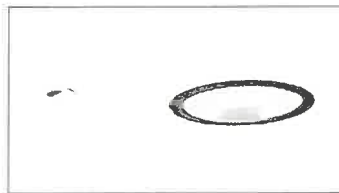
6" Downlight – Round

APERTURE ADAPTOR ORDERING INFO

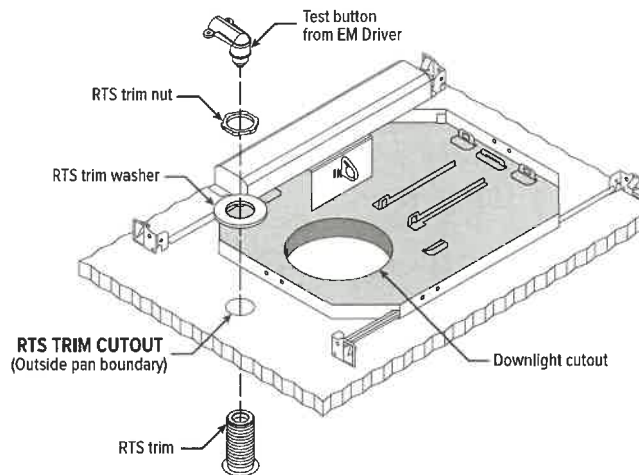
ORDERING EXAMPLE: 4DR - GR - 0575 - WH			
SERIES	CATALOG NUMBER	CEILING CUTOUT	FINISH
4AR	6AR	Specify ceiling cutout in 1/8" increments. Example: 5.75" = 0575 See Kit Components for application limits.	CS Clear semi-specular powder coat
4DR	6DR		WH White texture powder coat
4DS	6DS		BL Black texture powder coat
4PR	6PR		
4PS	6PS		
	8DR		

Additional finishes available, consult factory. For use with remodel downlights. For limitations and instructions, see hew.com/aperture-adaptor.pdf

EM/10W/RTS DETAILS



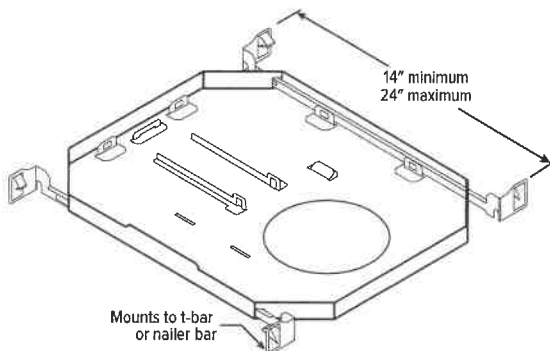
Shown Installed



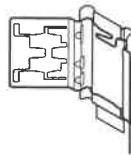
6DR LED 6" Downlight – Round

MOUNTING HARDWARE DETAILS

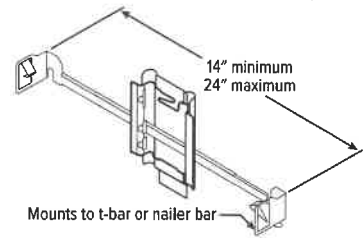
F1 Integral 2-position fixed pan bracket, universal bar hanger included



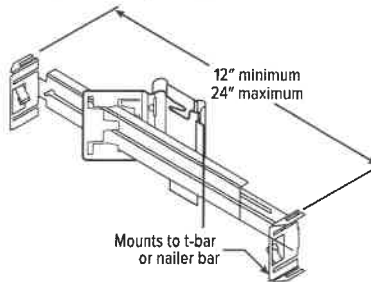
BA1 Adjustable butterfly pan bracket, bar hanger not included (N Mounting Type only)



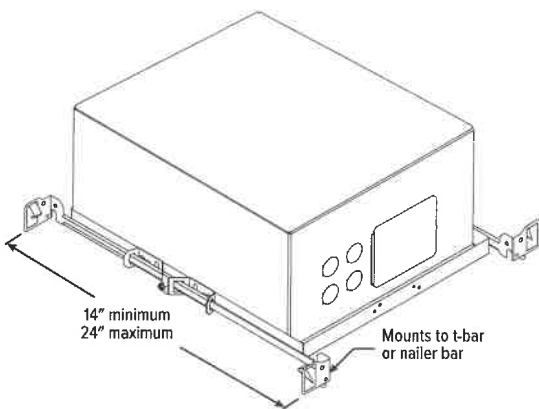
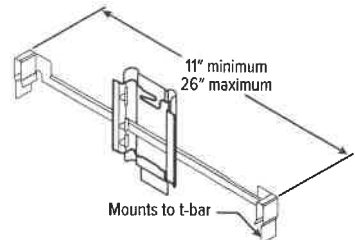
CA1 Adjustable caterpillar pan bracket, universal bar hanger included (N Mounting Type only)



BA2 Adjustable butterfly pan bracket, heavy-duty universal bar hanger included (N Mounting Type only)



CA2 Adjustable caterpillar pan bracket, t-bar hanger included (N Mounting Type only)



F1 with I Mounting Type

SEE NEXT PAGE FOR CONTROL DETAILS.



6DR LED 6" Downlight – Round

AVI-ON BLUETOOTH WIRELESS CONTROL DETAILS

AVI-ON NETWORK FEATURES

Simple

- Gateway-free distributed control
- Factory pre-commissioning
- Contractor friendly installation
- Occupancy/vacancy/daylight sensing

Scalable

- Virtually unlimited network size
- Spans small areas to large warehouses
- Flexible control strategies

Secure

- Optional cloud connectivity
- UL IoT platinum security rating
- DLC 5.0 compliant

DIGITAL INSTALLATION TOOLS

Avi-On mobile apps provide intuitive, quick installation and commissioning. Pro tools are available to qualified installers.



Commissioning Mobile App

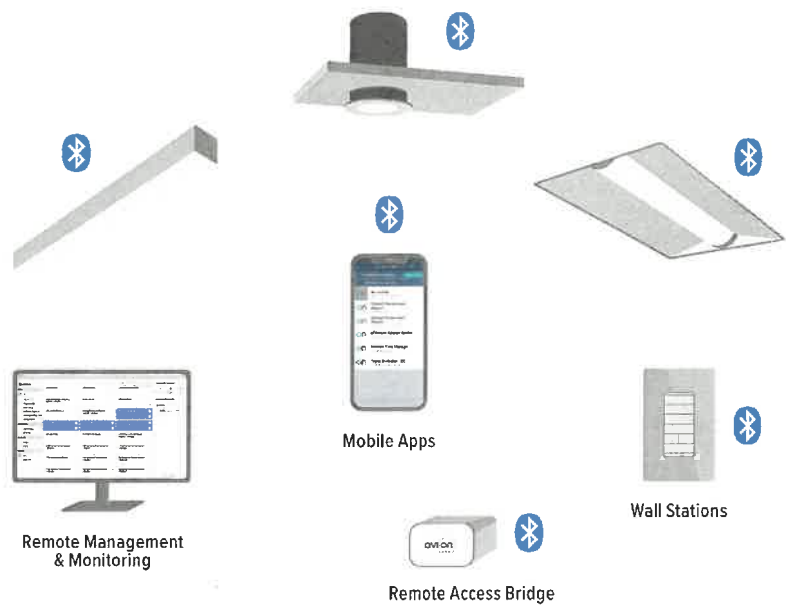


Zone Scanner Web App



Commissioning Pro App

SYSTEM COMPONENTS



The Bluetooth® word mark and logos are registered trademarks owned by Bluetooth SIG, Inc. and any use of such marks by Avi-On is under license. Other trademarks and trade names are those of their respective owners.

ACCESSORIES

WALL STATIONS	
AVI-2401AC	Scene controller - numbered 1-4, 120-277VAC
AVI-2402BAT	Scene controller - numbered 1-4, battery powered
AVI-2401AC-2	Dimmer with presets - percentages, 120-277VAC
AVI-2402BAT-2	Dimmer with presets - percentages, battery powered
AVI-SWITCH	AC paddle wall switch
AVI-DIMMER	Circuit dimmer switch
CONNECTIVITY	
AVI-2001RAB-01-P	Remote access bridge for projects 100 or greater
AVI-2001RAB-01-C	Remote access bridge for projects less than 100
AVI-KIT-NTM	Network time manager with Battery Backup
CEILING MOUNT SENSORS	
AVI-KIT-SEN-DUCM	PIR motion and ultrasonic sensor kit
AVI-KIT-SEN-ICM	PIR motion and photocell sensor kit

For load controllers and additional accessory info, see hew.com/avi-on

ADDITIONAL DRIVER OPTIONS

Lumen restrictions apply: L40 max for DMX driver, L40 max for Lutron drivers, L50 max for ELDO drivers, L15 minimum for DIM LINE driver, L60 max for DIM LINE driver. R Mounting Type not available with DMX controls. R Mounting Type requires 12" minimum plenum depth when specified with VRF/DBI controls. 347V may require stepdown transformer, see product builder at hew.com/product-builder. I Mounting Type not available with Lutron controls.

CATALOG NUMBER	DESCRIPTION
DIM	Dimming driver prewired for 0-10V low voltage applications
DIM1	1% dimming driver prewired for 0-10V low voltage applications
DIM LINE	Line voltage dimming driver (TRIAC and ELV compatible at 120V only)
DA	Dimming driver with 12V auxiliary
DMX	0.1% dimming driver for DMX controls
LDE1	Lutron Hi-lume 1% EcoSystem dimming LED driver
VRF/DBI/LDE1	Lutron Vive integral fixture control, RF only (DFCSJ-OEM-RF) and digital link interface, for use with Lutron Hi-lume 1% EcoSystem dimming LED driver
FCJS/DIM	Lutron Vive PowPak wireless fixture control with dimming driver
FCJS/DIM1	Lutron Vive PowPak wireless fixture control with 1% dimming driver





origin
BY ATLAS
LIGHTING

MODEL #: ORSB500L4K

UPC #: 765364027109

Small Bullet Flood



Specifications

Electrical Specifications

- Input Wattage: 5W
- Efficacy: 111 LpW
- AC Input: 120/208/240 V
- Driver: Constant current, Class 2, 120-240VAC 50/60Hz

Lighting Specifications

- Total Lumens: 553
- Color Temperature: 4000K
- Color Rendering Index: 70

Housing Specifications

- Die-cast aluminum housing
- UV stabilized power coated finish
- Color: Bronze
- Lifespan: 50,000 hours

Lens Specifications

- Integral glare shield and tempered glass lens

Listings

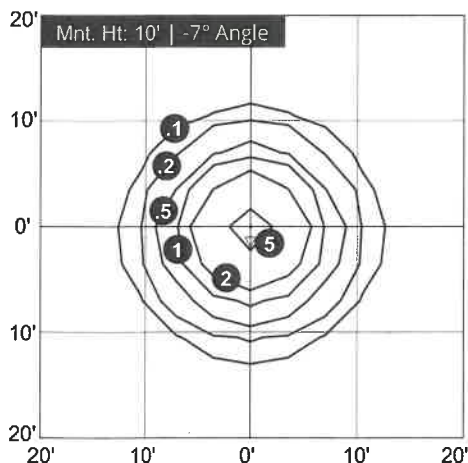
- UL/cUL standards for wet locations

Warranty

- 5-Year limited warranty

Model	Watts	Lumens	Volts	Color Temp.
ORSB500L4K	5 LED	553	120-240	4000K

Photometrics



Light Loss Factor	1.00
Total Lumens	552.91
Mounting Height	10'
Tilt	-7°
Max. Calculated Value	6.45 Fc



PROJECT INFORMATION

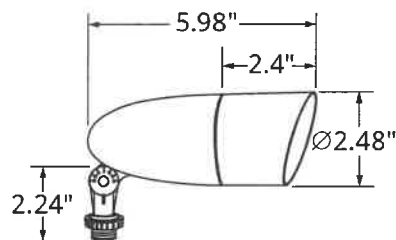
MODEL #: ORSB500L4K

UPC #: 765364027109

Small Bullet Flood

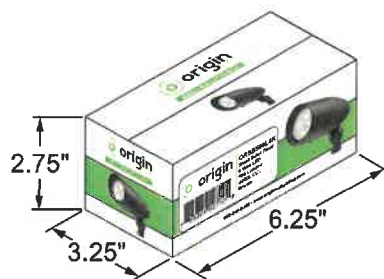
Dimensions

Product Dimensions



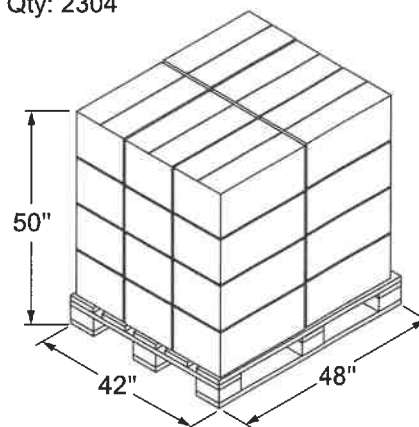
Carton Dimensions

Weight: 2.65 lbs.



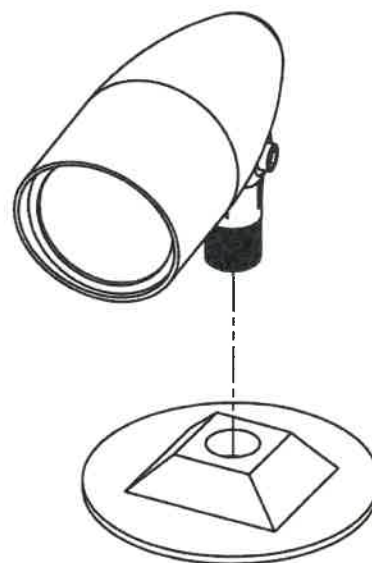
Pallet Dimensions

Qty: 2304



Installation

- Before starting ensure that the power is disconnected.
- Unpack fixture and ensure that there are no damaged parts.
- This fixture is supplied with a knuckle bracket for surface mounting.
- The knuckle is a 1/2" NPS thread with a locking nut.
- Seal thread with Teflon tape or silicone sealant prior to installation.
- Secure fixture to conduit thread.
- When the fixture is secured loosen the knuckle bolt to aim fixture to a desired angle.
- Tighten knuckle screw when desired angle is achieved.





Catalog #: MRS-LED-15L-SIL-2-40-70CRI

Project: Interstate Classic Cars

Prepared By: _____

Date: _____

Mirada Small Area (MRS)

Outdoor LED Area Light



IP66 IK08



OVERVIEW

Lumen Package	6,000 - 24,000
Wattage Range	39-196
Efficacy Range (LPW)	112-158
Fixture Weight lbs (kg)	20 (9.1)

QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip[®] polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 27 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 5W, and FT.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- L70 Calculated Life: >60K Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F).
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10KV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.

Controls

- Optional integral passive infrared Bluetooth[™] motion and photocell sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink[™] wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7.

Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional B3 drill pattern.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet locations.
- IP66 rated Luminaire per IEC 60598-1.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- IK08 rated luminaire per IEC 66262 mechanical impact code
- DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.



Mirada Small Area Light (MRS)

Type: _____

 **Have questions?** Call us at (800) 436-7800

ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: MRS LED 18L SIL FT UNV DIM 40 70CRI ALBCS1 BLK IH

Prefix	Light Source	Lumen Package	Lens	Distribution	Orientation ²	Voltage	Driver
MRS - Mirada Small Area Light	LED	6L - 6,000 lms 9L - 9,000 lms 12L - 12,000 lms 15L - 15,000 lms 18L - 18,000 lms 21L - 21,000 lms 24L - 24,000 lms Custom Lumen Packages ³	SIL - Silicone	2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw	(blank) - standard L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

Color Temp	Color Rendering	Controls (Choose One)	Finish	Options
50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT	70CRI - 70 CRI	(Blank) - None Wireless Controls System ALSC - AirLink Synapse Control System ALSC2 - AirLink Synapse Control System with 12-20' MH Motion Sensor ALSC4 - AirLink Synapse Control System with 20-40' MH Motion Sensor ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' MH) ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' MH) Stand-Alone Controls EXT - 0-10v Dimming leads extended to housing exterior CR7P - 7 Pin Control Receptacle ANSI C136.41 ³ IMSBT1 - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH) ⁴ IMSBT2 - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH) ⁴	BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	(Blank) - None IH - Integral Half Louver (Moderate Spill Light Cutoff) ² IL - Integral Louver (Sharp Spill Light Cutoff) ²



Need more information?
Click here for our glossary

Have additional questions?
Call us at (800) 436-7800



Accessory Ordering Information⁵

CONTROLS ACCESSORIES	
Description	Order Number
Twist Lock Photocell (120V) for use with CR7P	122514
Twist Lock Photocell (208-277) for use with CR7P	122515
Twist Lock Photocell (347V) for use with CR7P	122516
Twist Lock Photocell (480V) for use with CR7P	1225180
AirLink 5 Pin Twist Lock Controller	661409
AirLink 7 Pin Twist Lock Controller	661410
Shorting Cap for use with CR7P	149328

FUSING OPTIONS ⁷	
Description	Order Number
Single Fusing (120V)	See Fusing Accessory Guide
Single Fusing (277V)	
Double Fusing (208V, 240V)	
Double Fusing (480V)	
Double Fusing (347V)	

SHIELDING OPTIONS	
Description	Order Number
Mirada Small	See Shielding Guide
Mirada Medium	
Mirada Large	
Zone Medium	
Zone Large	
Slice Medium	

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
2. Not available on "Type 5W" distribution.
3. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
4. IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
5. Accessories are shipped separately and field installed.
6. "CLR" denotes finish. See Finish options.
7. Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.

Mirada Small Area Light (MRS)

Type: _____

Have questions? Call us at (800) 436-7800

ACCESSORIES

[Back to Quick Links](#)

MOUNTING ACCESSORIES		SHIELDING, POLES & MISC. ACCESSORIES			
Side Arm	Universal Mounting Bracket Mounts to $\geq 3"$ square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5" Part Number: BKA UMB CLR		Integral Louver Field Install Integral Louver provides maximum backlight control by shielding each individual row of LEDs Part Number: 686485		
	Quick Mount Plate True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" Part Number: BKS PQM B385 XX CLR			Integral Half Louver Field Install Integral Half Louver provides great backlight control without impacting front side distribution. Part Number: 743416	
	15° Tilt Quick Mount Plate True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6" Part Number: BKS PQ15 B385 XX CLR				External Shield External shield blocks view of light source from any side of luminaire, additional shielding configurations available Part Number: 783607BLK (3") / 776538BLK (6")
Tenon / Slipfitter	Adjustable Slipfitter Mounts onto a 2" (51mm) ID, 2.375" (60mm) O.D. tenon and provides 180° of tilt (max 45° above horizontal) Part Number: BKA ASF CLR		Square Poles 14 - 39' steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction Part Number: 45Q/55Q/65Q		
	Square Tenon Top Mounts onto a 2" (51mm) ID, 2.375" (60mm) O.D. tenon and allows for mounting up to 4 luminaires Part Number: BKA XNM *			Round Poles 10 - 30' steel and aluminum poles in 4" and 5" sizes for retrofit and new construction Part Number: 4RP/5RP	
	Square Internal Slipfitter Mounts inside 4" or 5" square pole and allows for mounting up to 4 luminaires Part Number: BKA X_ISF * CLR			Tapered Poles 20' - 39' steel and aluminum poles for retrofit and new construction Part Number: RTP	
Wall Mount/ Wood Pole	Wall Mount Bracket Mounts onto vertical wall surface (hardware/anchors not included) Part Number: BKS XBO WM CLR		Bird Spikes 10' Linear Bird Spike Kit, 4' recommended per luminaire, includes silicone adhesive and application tool Part Number: 736795		
	Wood Pole Bracket Mounts onto wooden poles (6" minimum OD, hardware/anchors not included) Part Number: BKS XBO WP CLR				

Replace CLR with paint finish description

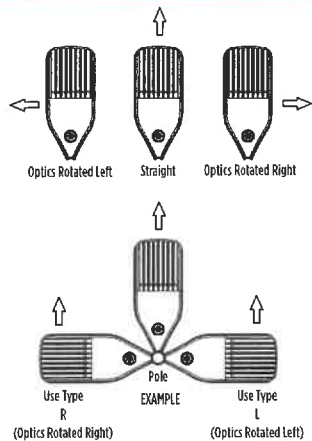
Replace XX with SQ for square pole or RD for round pole (as 3" OD)

Replace * with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad)

Replace _ with 4 (4" square pole) or 5 (5" square pole)

OPTICS ROTATION

Top View



ACCESSORIES/OPTIONS

Integral Louver (IL) and House-Side Shield (IH)

Integral Louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with IMSBT Option



7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with CR7P



Mirada Small Area Light (MRS)

Type: _____

 Have questions? Call us at (800) 436-7800

PERFORMANCE

[Back to Quick Links](#)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
6L	2	70	5918	149	B2-U0-G1	6136	155	B2-U0-G1	6122	155	B2-U0-G1	39
	3		6016	152	B1-U0-G2	6238	158	B1-U0-G2	6224	157	B1-U0-G2	
	5W		5690	144	B3-U0-G1	5899	149	B3-U0-G1	5886	149	B3-U0-G1	
	FT		5822	147	B1-U0-G1	6037	152	B1-U0-G1	6023	152	B1-U0-G1	
9L	2	70	9091	145	B2-U0-G2	9484	152	B2-U0-G2	9462	151	B2-U0-G2	63
	3		9241	148	B2-U0-G2	9641	154	B2-U0-G2	9619	154	B2-U0-G2	
	5W		8740	140	B3-U0-G2	9,118	146	B3-U0-G2	9097	144	B3-U0-G2	
	FT		8943	143	B2-U0-G2	9330	149	B2-U0-G2	9308	149	B2-U0-G2	
12L	2	70	12132	141	B3-U0-G2	12685	148	B3-U0-G2	12514	146	B3-U0-G2	86
	3		12333	143	B2-U0-G2	12894	150	B2-U0-G2	12721	148	B2-U0-G2	
	5W		11664	136	B4-U0-G2	12195	142	B4-U0-G2	12031	140	B4-U0-G2	
	FT		11935	139	B2-U0-G2	12479	145	B2-U0-G2	12311	143	B2-U0-G2	
15L	2	70	14220	128	B3-U0-G2	15167	137	B3-U0-G2	14488	131	B3-U0-G2	111
	3		14938	135	B2-U0-G2	15933	144	B2-U0-G2	15219	137	B2-U0-G2	
	5W		14304	129	B4-U0-G2	15257	137	B4-U0-G2	14574	131	B4-U0-G2	
	FT		14342	129	B2-U0-G2	15297	138	B2-U0-G2	14612	132	B2-U0-G2	
18L	2	70	16438	122	B3-U0-G3	17532	130	B3-U0-G3	16747	124	B3-U0-G3	135
	3		17267	128	B3-U0-G3	18417	137	B3-U0-G3	17592	131	B3-U0-G3	
	5W		16535	123	B4-U0-G2	17636	133	B5-U0-G3	16846	125	B4-U0-G2	
	FT		16578	123	B3-U0-G3	17682	131	B3-U0-G3	16890	125	B3-U0-G3	
21L	2	70	19488	118	B3-U0-G3	20786	126	B3-U0-G3	19885	120	B3-U0-G3	165
	3		20472	124	B3-U0-G3	21835	132	B3-U0-G3	20857	126	B3-U0-G3	
	5W		19604	119	B5-U0-G3	20,909	126	B5-U0-G3	19973	121	B5-U0-G3	
	FT		19655	119	B3-U0-G3	20964	127	B3-U0-G3	20025	121	B3-U0-G3	
24L	2	70	21976	112	B3-U0-G3	23439	120	B3-U0-G3	22390	114	B3-U0-G3	196
	3		23085	118	B3-U0-G3	24622	126	B3-U0-G3	23519	120	B3-U0-G3	
	5W		22105	113	B5-U0-G3	23578	120	B5-U0-G3	22522	115	B5-U0-G3	
	FT		22164	113	B3-U0-G3	23640	121	B3-U0-G3	22581	115	B3-U0-G3	

*LEDs are frequently updated therefore values are nominal.

ELECTRICAL DATA (AMPS)*						
Lumens	120V	208V	240V	277V	347V	480V
6L	0.34	0.20	0.17	0.15	0.12	0.09
9L	0.52	0.30	0.26	0.23	0.18	0.13
12L	0.72	0.41	0.36	0.31	0.25	0.18
15L	0.93	0.53	0.46	0.40	0.32	0.23
18L	1.12	0.65	0.56	0.49	0.39	0.28
21L	1.38	0.80	0.69	0.60	0.48	0.34
24L	1.63	0.94	0.82	0.71	0.56	0.41

*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

RECOMMENDED LUMEN MAINTENANCE ¹					
Ambient Temp	Lumen Multiplier				
	0 hrs. ²	25K hrs. ²	50K hrs. ²	75K hrs. ³	100K hrs. ³
0 C - 25 C	100%	95%	89%	84%	79%
40 C	100%	94%	87%	80%	74%

- Lumen maintenance values at 25°C are calculated per TM-21 based on LM-80 data and in-situ luminaire testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip).
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times NA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip).

Mirada Small Area Light (MRS)

Type: _____

 Have questions? Call us at (800) 436-7800

PHOTOMETRICS

[Back to Quick Links](#)

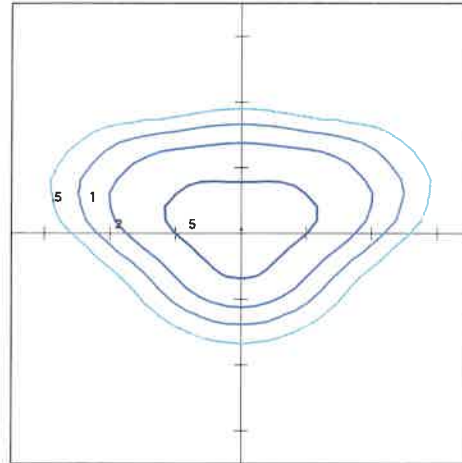
Luminaire photometry has been conducted by an accredited laboratory in accordance with IESNA LM-79. As specified by IESNA LM-79 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

MRS-LED-18L-SIL-2-40-70CRI

Luminaire Data	
Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	17,532
Watts	135
Efficacy	130
IES Type	Type II - Short
BUG Rating	B3-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30)°	2831	16%
Medium (30-60)°	10310	59%
High (60-80)°	4208	24%
Very High (80-90)°	184	1%
Uplight (90-180)°	0	0%
Total Flux	17532	100%

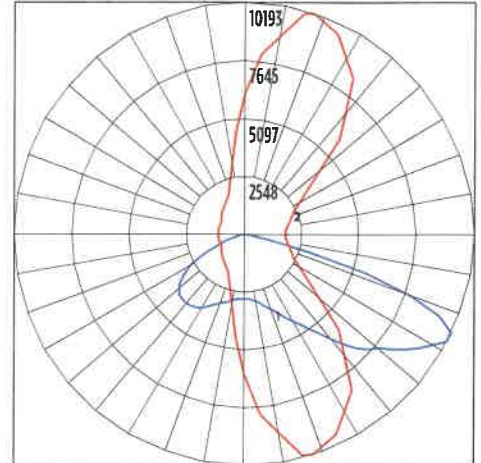
ISO FOOTCANDLE



20' Mounting Height/20' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE

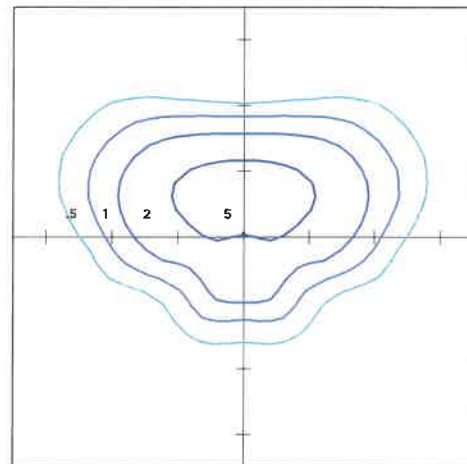


MRS-LED-18L-SIL-3-40-70CRI

Luminaire Data	
Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	18,417
Watts	135
Efficacy	137
IES Type	Type III - Short
BUG Rating	B3-U0-G3

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30)°	2329	13%
Medium (30-60)°	10634	61%
High (60-80)°	5246	30%
Very High (80-90)°	208	1%
Uplight (90-180)°	0	0%
Total Flux	18417	100%

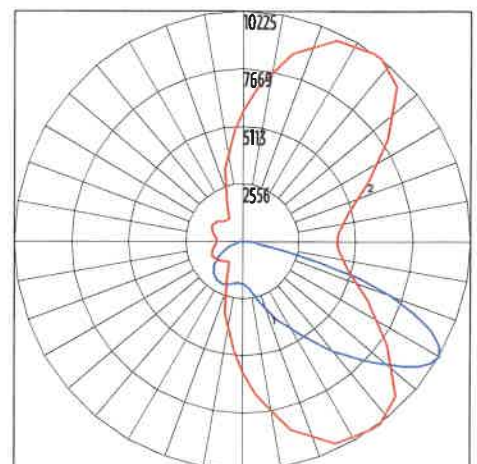
ISO FOOTCANDLE



20' Mounting Height/20' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

POLAR CURVE



Mirada Small Area Light (MRS)

Type: _____

 Have questions? Call us at (800) 436-7800

PHOTOMETRICS (CONT)

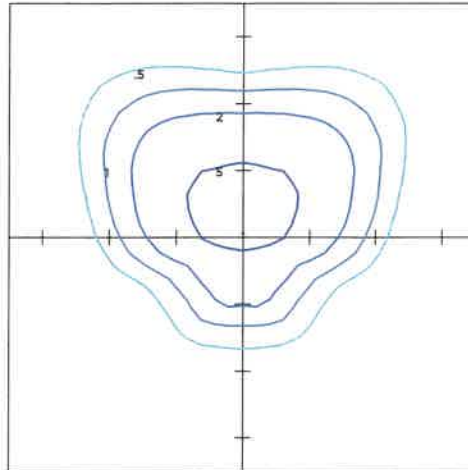
[Back to Quick Links](#)

MRS-LED-18L-SIL-FT-40-70CRI

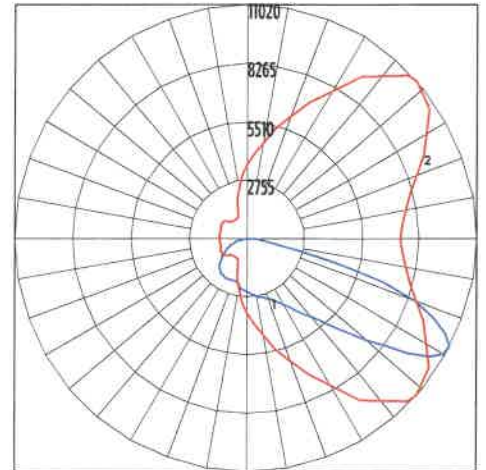
Luminaire Data	
Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	17,682
Watts	135
Efficacy	131
IES Type	Type III - Short
BUG Rating	B3-U0-G2

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30)°	2255	13%
Medium (30-60)°	9463	54%
High (60-80)°	5696	32%
Very High (80-90)°	268	2%
Uplight (90-180)°	0	0%
Total Flux	17682	100%

ISO FOOTCANDLE



POLAR CURVE



20' Mounting Height/20' Grid Spacing

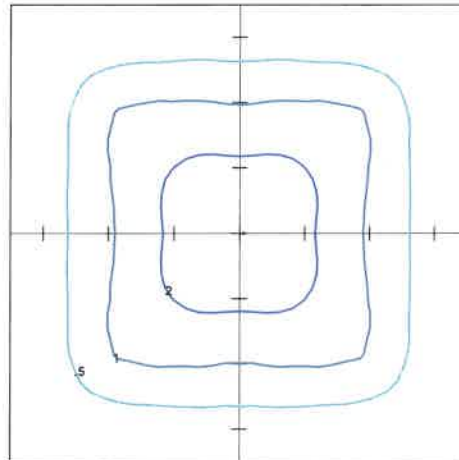
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

MRM-LED-30L-SIL-5W-40-70CRI

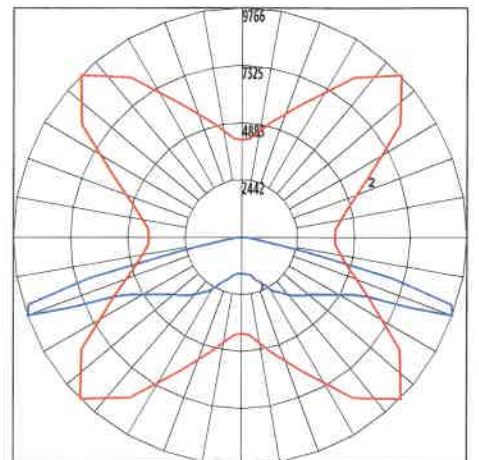
Luminaire Data	
Type SW Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	17,636
Watts	135
Efficacy	131
IES Type	Type VS - Short
BUG Rating	B4-U0-G2

Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30)°	1646	9%
Medium (30-60)°	7453	43%
High (60-80)°	8405	48%
Very High (80-90)°	132	1%
Uplight (90-180)°	0	0%
Total Flux	17636	100%

ISO FOOTCANDLE



POLAR CURVE



20' Mounting Height/20' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC



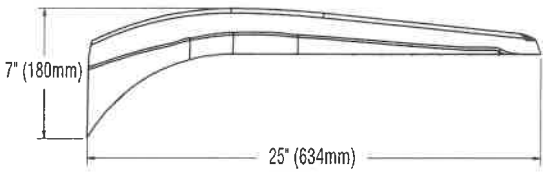
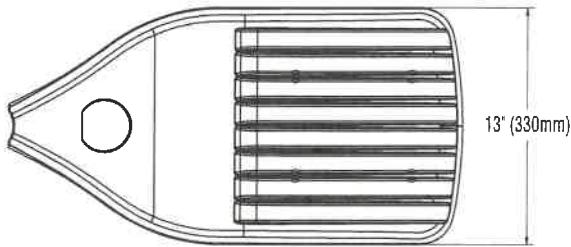
Mirada Small Area Light (MRS)







Type: _____

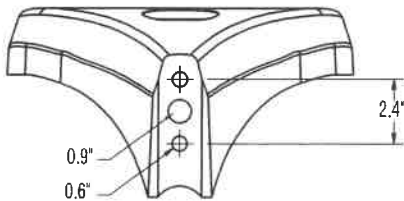
 Have questions? Call us at (800) 436-7800

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PRODUCT DIMENSIONS



LUMINAIRE EPA CHART - MRS									
Tilt Degree				Tilt Degree					
	Single	0°	30°	45°		0°	30°	45°	
	Single	0.5	1.3	1.8		T90°	1.4	2.3	2.6
	D180°	0.9	1.3	1.8		TN120°	1.4	1.9	2.3
	D90°	0.9	1.8	2.2		Q90°	1.4	2.3	2.6



B3 Drill Pattern

CONTROLS

AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

[Click here to learn more about AirLink.](#)

Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more about IMSBT.](#)

AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more about AirLink Blue.](#)



Mirada Medium Wall Sconce (XWM)

Outdoor Wall Sconce



IK08



OVERVIEW

Lumen Range	3,000 - 21,000
Wattage Range	23 - 175
Efficacy Range (LPW)	125 - 158
Weight lbs(kg)	30 (13.6)

QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
- Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
- Optional pole-mounting bracket (XPMa) permits mounting to standard poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP65 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, and Forward Throw (FT) distributions.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.

Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-

circuit and over temperature protection.

Custom lumen and wattage packages available.

- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- 3L to 12L operating temperature: -40°C to +50°C (-40°F to +122°F)
- 15L operating temperature: -40°C to +45°C (-40°F to +113°F).
- 18L operating temperature: -40°C to +40°C (-40°F to +104°F).
- 21L operating temperature: -40°C to +35°C (-40°F to + 95°F).
- Power factor: >.90
- Input power stays constant over life.
- Optional 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
- Optional integral emergency battery pack provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. The fixture delivers 1500 lumens during emergency mode.

Controls

- Integral passive infrared Bluetooth™ motion and photocell sensor options. Fixtures operate independently and can be commissioned via an iOS or Android configuration app. Updates and modifications to the control strategy are

easily implemented via an intuitive app.

- LSI's AirLink™ Blue lighting control system is a simple feature rich wireless Bluetooth mesh network. The integrated fixture sensor module provides wireless control of grouped fixtures based on motion sensors, daylight or a fully customizable schedule.

Installation

- Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
- 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for installing/servicing.
- Optional terminal block accepts up to 12 ga wire.

Warranty

- LSI LED Fixtures carry a 5-year warranty.
- 1 Year warranty on Battery Back-up option.

Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K or lower color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP65 rated luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPMa bracket) or wall mounted.
- IK08 rated luminaire per IEC 66262 mechanical impact code
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.





Mirada Wall Sconce (XWM)

ORDERING GUIDE

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TYPICAL ORDER EXAMPLE: **XWM 2 LED 03L 30 UE BRZ ALSC**

Family	Distribution	LED Technology	Lumen Package	Color Temperature	Voltage
XWM - Mirada Medium Wall Sconce	2 - Type 2 3 - Type 3 FT - Type 4 Forward Throw	LED	3L - 3,000 lms 4L - 4,000 lms 6L - 6,000 lms 8L - 8,000 lms 12L - 12,000 lms 15L - 15,000 lms 18L - 18,000 lms 21L - 21,000 lms Custom Lumen Packages ⁶	30 - 3000K 40 - 4000K 50 - 5000K AMB - Phosphor Converted Amber ¹	UE - Universal Voltage (120-277V) HV - High Voltage (347-480V)

Finish	Controls (Choose One)	Options
BLK - Black BRZ - Dark Bronze GMG - Gun Metal Gray GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHT - White	<u>Wireless Controls</u> ALSC - AirLink Synapse Control System ALSCS01 - AirLink Synapse Control System with 8-12' Motion Sensor ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor ALBSC1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height) ALBSC2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height) <u>Standalone Controls</u> DIM - 0-10v Dimming leads extended to housing exterior IMSBT1 - Integral Bluetooth [®] Motion and Photocell Sensor max 8-24' mounting height ⁴ IMSBT2 - Integral Bluetooth Motion and Photocell Sensor max 25-40' mounting height ⁴ <u>Button Type Photocells</u> PC120 - 120V PC1208-277 - 208 - 277V PC347 - 347V	BB - Battery Back-up (0°C) ² CWBB - Cold Weather Battery Backup (-20°C) ² XPMA - Pole Mounting Bracket SPI - 10kV Surge Protection TB - Terminal Block

ACCESSORY ORDERING INFORMATION⁷

Description	Order Number	Description	Order Number
XWM Surface Wiring Box	356915CLR	FK347 - Single Fusing	FK347 ⁵
10' Linear Bird Spike Kit (2' Recommended per Luminaire)	75163Z	DFK - Double Fusing	DFK208 ⁵
FK120 - Single Fusing	FK120 ⁵	DFK - Double Fusing (240V)	DFK240 ⁵
FK277 - Single Fusing	FK277 ⁵	DFK - Double Fusing (480V)	DFK480 ⁵

1. Only available in 6L Lumen Package. Consult factory for lead time and availability.
2. Not available in HV.
3. Consult Factory for Site Layout.
4. IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.
5. Fusing must be located in a hand hole for pole or in the junction box.
6. Custom lumen and wattage packages available consult factory. Values are within industry standard tolerances but not DLC listed.
7. Accessories are shipped separately and field installed.



Mirada Wall Sconce (XWM)

PERFORMANCE

[Back to Quick Links](#)

DELIVERED LUMENS*												
Lumen Package	Distribution	CRI	3000K			4000K			5000K			Wattage
			Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
03L	2	70	3178	138	B1-U0-G1	3368	146	B1-U0-G1	3313	143	B1-U0-G1	23
	3	70	3224	140	B1-U0-G1	3416	148	B1-U0-G1	3361	145	B1-U0-G1	
	FT	70	3160	137	B1-U0-G1	3349	145	B1-U0-G1	3294	143	B1-U0-G1	
04L	2	70	4230	139	B1-U0-G1	4483	147	B1-U0-G1	4410	145	B1-U0-G1	30
	3	70	4291	141	B1-U0-G1	4547	150	B1-U0-G1	4473	147	B1-U0-G1	
	FT	70	4206	138	B1-U0-G1	4458	147	B1-U0-G1	4385	144	B1-U0-G1	
06L	2	70	6326	134	B2-U0-G1	6704	142	B2-U0-G2	6595	140	B2-U0-G2	47
	3	70	6417	136	B1-U0-G2	6800	144	B1-U0-G2	6689	142	B1-U0-G2	
	FT	70	6290	134	B2-U0-G2	6666	142	B2-U0-G2	6557	139	B2-U0-G2	
08L	2	70	8166	128	B2-U0-G2	8654	135	B2-U0-G2	8513	133	B2-U0-G2	64
	3	70	8283	129	B2-U0-G2	8778	137	B2-U0-G2	8635	134	B2-U0-G2	
	FT	70	8120	126	B2-U0-G2	8605	134	B2-U0-G2	8465	132	B2-U0-G2	
12L	2	70	11902	146	B3-U0-G2	12358	151	B3-U0-G2	12927	158	B3-U0-G2	82
	3	70	11834	145	B2-U0-G2	12287	150	B2-U0-G2	12853	157	B2-U0-G2	
	FT	70	11737	143	B2-U0-G2	12186	149	B2-U0-G2	12747	156	B2-U0-G2	
15L	2	70	14662	140	B3-U0-G3	15223	145	B3-U0-G3	15924	152	B3-U0-G3	105
	3	70	14603	139	B2-U0-G2	15162	145	B2-U0-G3	15860	151	B2-U0-G3	
	FT	70	14502	139	B2-U0-G3	15057	144	B2-U0-G3	15750	150	B2-U0-G3	
18L	2	70	17403	134	B3-U0-G3	18069	139	B3-U0-G3	18901	145	B3-U0-G3	130
	3	70	17438	134	B3-U0-G3	18106	139	B3-U0-G3	18940	146	B3-U0-G3	
	FT	70	17259	133	B3-U0-G3	17920	138	B3-U0-G3	18745	144	B3-U0-G3	
21L	2	70	20380	127	B3-U0-G3	21160	132	B3-U0-G3	22134	138	B4-U0-G3	161
	3	70	20375	125	B3-U0-G3	21155	131	B3-U0-G3	22129	131	B3-U0-G3	
	FT	70	20215	126	B3-U0-G3	20989	130	B3-U0-G3	21955	136	B3-U0-G3	

*LEDs are frequently updated therefore values are nominal.

ELECTRICAL DATA*						
Lumen Package	120V	208V	240V	277V	347V	480V
03L	0.19	0.11	0.10	0.08	0.07	0.05
04L	0.25	0.15	0.13	0.11	0.09	0.06
06L	0.39	0.23	0.20	0.17	0.14	0.10
08L	0.54	0.31	0.27	0.23	0.19	0.13
12L	0.68	0.39	0.34	0.30	0.24	0.17
15L	0.87	0.50	0.44	0.38	0.30	0.22
18L	1.08	0.63	0.54	0.47	0.37	0.27
21L	1.34	0.77	0.67	0.58	0.46	0.34

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

DELIVERED LUMENS*					
Lumen Package	Distribution	Amber			Wattage
		Delivered Lumens	Efficacy	BUG Rating	
6L	2	3325	76	B1-U0-G1	43.5
	3	3385	78	B1-U0-G1	
	FT	3343	77	B1-U0-G1	

RECOMMENDED LUMEN MAINTENANCE (3L-8L) ¹					
Ambient Temperature C	Initial ²	25K hrs. ²	50K hrs. ³	75K hrs. ³	100K hrs. ³
0 C - 50 C	100%	98%	95%	93%	90%

RECOMMENDED LUMEN MAINTENANCE (12L-21L) ¹					
Ambient Temperature C	Initial ²	25K hrs. ²	50K hrs. ³	75K hrs. ³	100K hrs. ³
0 - 35 C	99%	97%	95%	93%	91%

- 1 - Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- 2 - In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- 3 - Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing times the IESNA LM-80-08 total test duration for the device under testing



Mirada Wall Sconce (XWM)

PHOTOMETRICS

[Back to Quick Links](#)

All published luminaire photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Mirada Wall Sconce (XWM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.

XWM-2-LED-6L-40

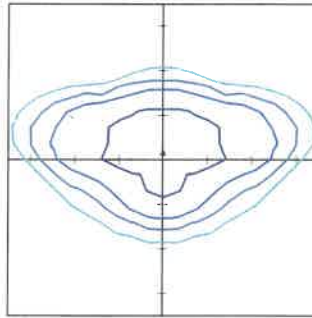
LUMINAIRE DATA

Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	6,025
Watts	44.7
Efficacy	135
IES Type	Type III - Medium
BUG Rating	B2-U0-G2

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30)°	807.1	13.4%
Medium (30-60)°	3301.0	54.8%
High (60-90)°	1847.4	30.7%
Very High (90-90)°	69.2	1.1%
Uplight (90-180)°	0.0	0.0%
Total Flux	6024.7	100%

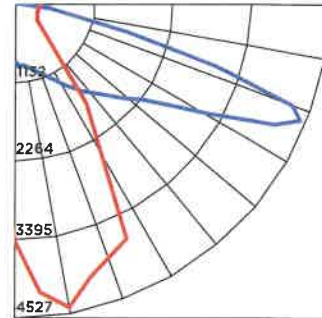
ISO FOOTCANDLE PLOT



15' Mounting Height / 10' Grid Spacing



POLAR CURVE



XWM-3-LED-6L-40

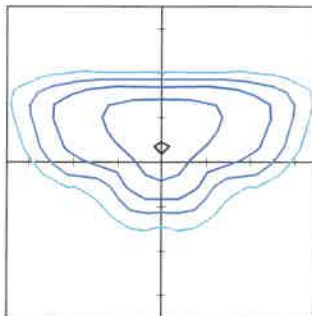
LUMINAIRE DATA

Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	6,133
Watts	44.7
Efficacy	137
IES Type	Type III - Medium
BUG Rating	B1-U0-G2

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30)°	567.4	9.3%
Medium (30-60)°	3106.3	50.6%
High (60-90)°	2368.8	38.6%
Very High (90-90)°	90.7	1.5%
Uplight (90-180)°	0.0	0.0%
Total Flux	6133.2	100%

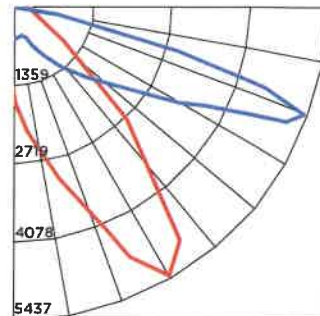
ISO FOOTCANDLE PLOT



10' Mounting Height / 10' Grid Spacing



POLAR CURVE



XWM-FT-LED-6L-40

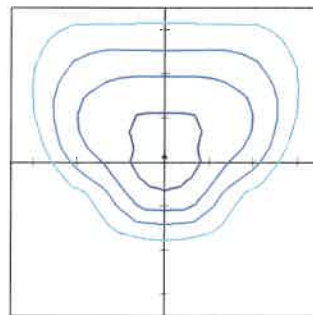
LUMINAIRE DATA

Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	6,058
Watts	44.7
Efficacy	136
IES Type	Type IV - Short
BUG Rating	B1-U0-G2

Zonal Lumen Summary

Zone	Lumens	%Luminaire
Low (0-30)°	779.0	12.9%
Medium (30-60)°	2584.4	42.7%
High (60-90)°	2573.2	41.7%
Very High (90-90)°	170.8	2.8%
Uplight (90-180)°	0.0	0.0%
Total Flux	6057.4	100.0%

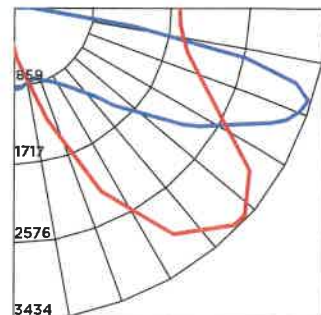
ISO FOOTCANDLE PLOT



10' Mounting Height / 10' Grid Spacing



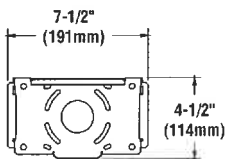
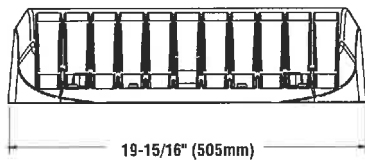
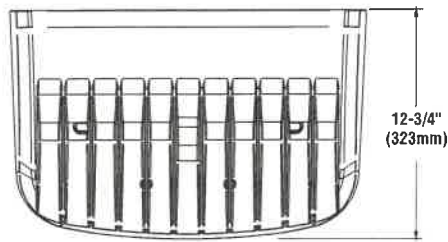
POLAR CURVE



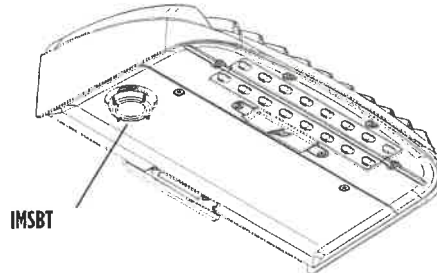


Mirada Wall Sconce (XWM)

PRODUCT DIMENSIONS

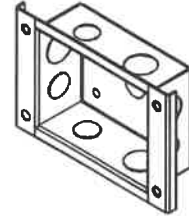
[Back to Quick Links](#)

Luminaire Shown with IMSBT



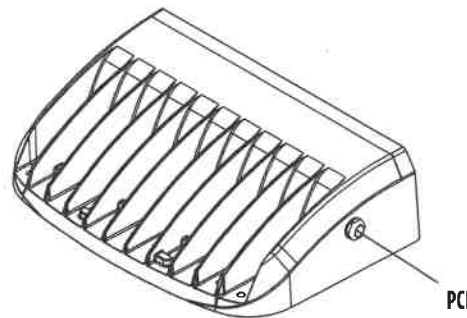
IMSBT

Surface Wiring Box



Wet location rated surface wiring box features 1/2" and 3/4" knockouts for surface conduit

Luminaire Shown with PCI



PCI

CONTROLS

AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

[Click here to learn more about AirLink.](#)

Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

[Click here to learn more about IMSBT.](#)

AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

[Click here to learn more about AirLink Blue.](#)



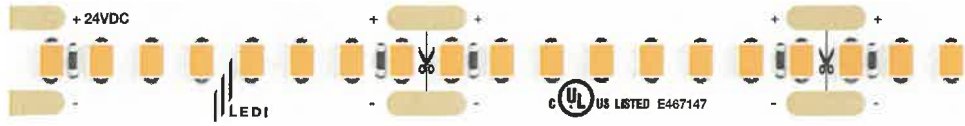


Inspire V5 Spec 2.8

LED Tape Light

Performance Data

TYPE FC2



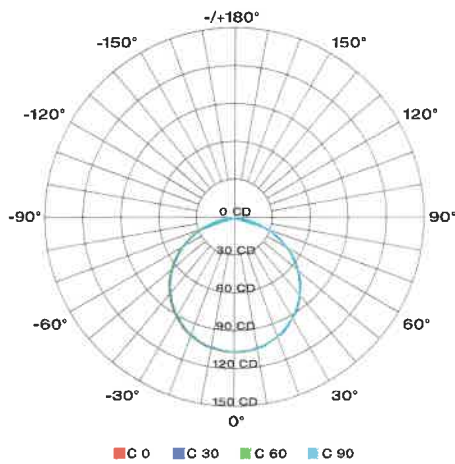
4000K Performance Summary

TM-30-15	
Rf	Rg
88	98

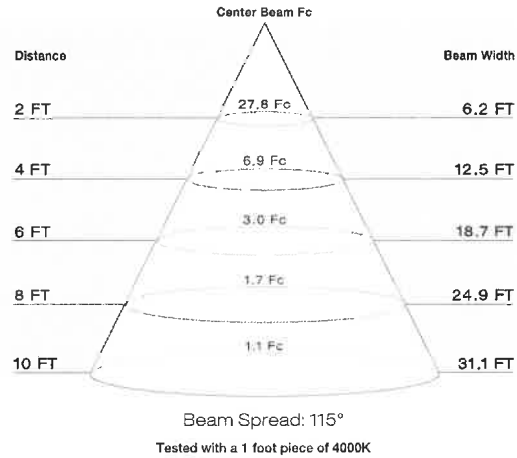
Color Temperature	Lumens/FT	Efficacy (LM/W)	CRI	R9
4000K	303	108	94+	90

4000K Photometrics

Polar Candela Distribution

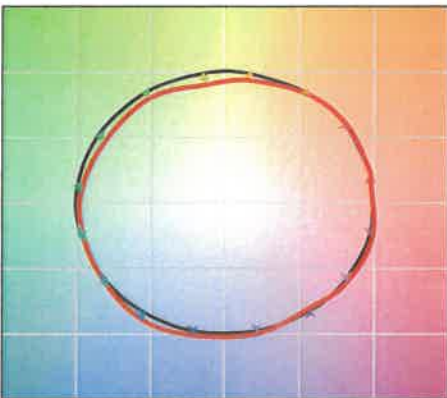


Illumination at a Distance



4000K TM-30-15

Color Vector Graphic



Hue Bin	Fidelity Index	Chroma Change
1	91	0%
2	94	1%
3	94	0%
4	88	-5%
5	86	-9%
6	92	-5%
7	87	-6%
8	86	-3%
9	82	-1%
10	80	1%
11	83	6%
12	93	3%
13	92	2%
14	93	-1%
15	87	2%
16	87	2%