AGENDA

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
***AUGUST 29, 2023* IN THE CITY COUNCIL CHAMBERS AT 6:00 PM**

NOTES: [*1*] ADDITIONAL CASE INFORMATION CAN BE FOUND AT HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES, AND [2] TO PROVIDE INPUT ON A ZONING OR SPEICIFIC USE PERMIT CASE PLEASE CLICK HERE OR CLICK ON THE LINK ABOVE AND USE THE *ZONING AND SPECIFIC USE PERMIT INPUT FORM* ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

(1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(2) **P2023-023 (HENRY LEE)**
Consider a request by Rachel Reynolds for the approval of a *Final Plat* for Lot 1, Block A, Right at Home Healthcare Addition being a 0.23-acre tract of land identified as Lot 30, Block 22 Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 703 N. Goliad Street, and take any action necessary.

(3) **P2023-024 (ANGELICA GUEVARA)**
Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Howard Barrett for the approval of a *Final Plat* for Lots 1 & 2, Block A, Barrett Heights Addition being a 1.60-acre tract of land identified as Lots 1 & 2 of the Green Valley Addition and Tract 32 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1203 & 1205 S. Goliad Street [*SH-205*].

(4) **P2023-025 (ANGELICA GUEVARA)**
Consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Brad Helmer of Heritage Christian Academy for the approval of a *Replat* for Lot 2, Block A, Heritage Christian Academy Addition being a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

(5) **P2023-026 (ANGELICA GUEVARA)**
Consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a *Replat* for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition being a 6.626-acre parcel of land identified as Lot 2, Block A, Heritage Christian Academy, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 27 (PD-27) for Multi-Family 15 (MF-15) District land uses, located west of the intersection of Damascus Road and S. Goliad Street [*SH-205*], and take any action necessary.

(6) **P2023-027 (ANGELICA GUEVARA)**
Consider a request by Ariana Kistner of Meals on Wheels Senior Services of Rockwall and Christopher Touoboun for the approval of a *Final Plat* for Lots 1 & 2, Block A, Airport South Addition being a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.

(7) **P2023-028 (ANGELICA GUEVARA)**
Consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of Avaplast US, Inc. for the approval of a *Replat* for Lot 3, Block 1, Indalloy Addition being a 42.991-acre tract of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 11480 Justin Road, and take any action necessary.

(V) ACTION ITEMS

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(8) **MIS2023-011 (ANGELICA GUEVARA)**
Discuss and consider a request by Audrey Andrews for the approval of a *Miscellaneous Case* for an *Exception* for a *Front Yard Fence* for a 0.1446-acre parcel of land identified as Lot 6, Block D, Lyden Park Estates, Phase 2 Addition, zoned Planned Development District 17 (PD-17) for single-family detached, addressed as 146 Blanchard Drive, and take any action necessary.

(9) **MIS2023-012 (ANGELICA GUEVARA)**
Discuss and consider a request by Gerzim Daniel for the approval of a *Miscellaneous Case* for an *Exception* for a *Front Yard Fence* for a 1.93-acre parcel of land identified as Tract 17 of E. M. Elliot Survey, Abstract No. 77 and Lot 2, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 2065 & 2067 Airport Road, and take any action necessary.

(VI) DISCUSSION ITEMS

These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the following cases is September 12, 2023.

(10) **Z2023-038 (RYAN MILLER)**
Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a *Zoning Change* amending Planned Development District 3 (PD-3) [*Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23*] for the purpose of consolidating the regulating ordinances for a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west of SH-205 [*S. Goliad Street*], and north of Lake Forest Drive, and take any action necessary.

(11) **Z2023-039 (RYAN MILLER)**
Hold a public hearing to discuss and consider approval of a *Text Amendment* to Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of creating a process to allow Homeowner's Associations (HOA's) the ability to lease certain portions of the takeline, and take any action necessary.

(12) **Z2023-040 (ANGELICA GUEVARA)**
Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

(13) **Z2023-041 (RYAN MILLER)**
Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

(14) **Z2023-042 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, with 2,000 SF or More,*

with Drive-Through or Drive-In on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [*SH-205*], and take any action necessary.

(15) **Z2023-043 (HENRY LEE)**
Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill In an Established Subdivision* on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

(16) **SP2023-025 (HENRY LEE)**
Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a *Site Plan* for a new building in conjunction with an existing *Private School* on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

(17) **SP2023-026 (HENRY LEE)**
Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an *Amended Site Plan* for a *Restaurant* on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

(18) **SP2023-027 (HENRY LEE)**
Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an *Amended Site Plan* for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

(19) **SP2023-028 (RYAN MILLER)**
Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a *Site Plan* for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

(20) **SP2023-029 (HENRY LEE)**
Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an *Amended Site Plan* for two (2) *Restaurant/Retail Buildings* on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

(21) **SP2023-030 (HENRY LEE)**
Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a *Site Plan* for the expansion of an existing *Motor Vehicle Dealership* (*i.e. Clay Cooley Hyundai*) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

(22) *Director's Report* of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- Z2023-033: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 803 Dalton Road **(1ST READING; APPROVED)**
- Z2023-034: Zoning Change from Single-Family Estates 4.0 (SFE-4.0) to a Single-Family Estate 1.5 (SFE-1.5) District for 626 Cullins Road **(1ST READING; APPROVED)**
- Z2023-035: Specific Use Permit (SUP) for a *Golf Driving Range* for Texas Wedge **(1ST READING; APPROVED)**
- Z2023-036: Specific Use Permit (SUP) for a *Carport* for 820 E. Heath Street **(1ST READING; APPROVED)**
- Z2023-037: Specific Use Permit (SUP) for an *Accessory Building* at 1796 Mystic Street **(1ST READING; APPROVED)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on *August 25, 2023* at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	August 29, 2023
APPLICANT:	Rachel Reynolds
CASE NUMBER:	P2023-023; *Final Plat for Lot 1, Block A, Right at Home Healthcare Addition*

SUMMARY

Consider a request by Rachel Reynolds for the approve of a *Final Plat* for Lot 1, Block A, Right at Home Healthcare Addition being a 0.23-acre tract of land identified as Lot 30, Block 22 Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 703 N. Goliad Street, and take any action necessary.

PLAT INFORMATION

☑ The applicant is requesting the approval of a *Final Plat* for a 0.23-acre parcel of land (*i.e. Lot 1, Block A, Right at Home Healthcare Addition*) for the purpose of establishing a cross access easement and a detention easement necessary to convert an existing single-family home into an *Office Building* on the subject property.

☑ The subject property was originally located within the B. F. Boydston Addition and was incorporated into the City of Rockwall in the early 1900's. At some point after the subject property was platted into the B. F. Boydston Addition, it was replat as Lot 30, Block 22, Amick Addition. According to the Rockwall Central Appraisal District (RCAD) situated on the subject property is a 1,612 SF single-family home that was constructed 1969 and a 280 SF accessory structure that was constructed in 1985. According to the City's Historic zoning maps, the subject property was zoned Single Family 3 (SF-3) District from at least January 3, 1972 to November 5, 2001 when Planned Development District 50 (PD-50) was established by the City Council [*Case No. PZ2001-080; Ordinance No. 01-53*]. Planned Development District 50 (PD-50) allows all land uses permitted within a Residential-Office (RO) District with special provisions. Since Planned Development District 50 (PD-50) was established it has been amended ten (10) times [*Ordinance No. 02-46, 04-24, 04-39, 05-03, 05-08, 05-18, 05-35, 07-29, 16-15, and 17-19*]. On September 13, 2022, the Planning and Zoning Commission approved a site plan [*Case No. SP2022-046*] to allow the conversion of the existing single-family home into an *Office Building*.

☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

☑ Conditional approval of this *Final Plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat* for *Lot 1, Block A, Right at Home Healthcare Addition* staff would propose the following conditions of approval:

(1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

(2) Any construction resulting from the approval of this ***Final Plat*** shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: P2023-023
PROJECT NAME: Final Plat for Right At Home
SITE ADDRESS/LOCATIONS: 703 N GOLIAD ST

CASE CAPTION: Consider a request by Rachel Reynolds for the approval of a Final Plat for Lot 1, Block A, Right at Home Healthcare Addition being a 0.23-acre tract of land identified as Lot 30, Block 22 Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 703 N. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lot 1, Block A, Right at Home Healthcare Addition being a 0.23-acre tract of land identified as Lot 30, Block 22 Amick Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 703 N. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (P2023-023) in the lower right-hand corner of all pages on future submittals.

M.4 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

_____ _____
MAYOR OF THE CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CHAIRMAN

_____ _____
CITY SECRETARY CITY ENGINEER

M.5 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

Final Plat
Lot 1, Block A

Right at Home Healthcare Addition
Being a Replat of
Lot 30, Block 22, Amick Addition
Being 1 Lot
0.23 Acres or 10,018.8 SF
Situated Within
B. F. Boydston Survey, Abstract No. 14
City of Rockwall, Rockwall County, Texas

M.6 Please indicate the square footage of the lot on the lot callout. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Please indicate the access easement as “Public Cross Access Easement.” (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please confirm with the Engineering Department on the ROW width for N. Goliad Street, and if additional ROW needs to be dedicated. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.9 Please remove the preliminary language from the surveyor signature block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.10 Please correct the city signature block to match the subdivision ordinance. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: August 29, 2023
City Council: September 5, 2023

I.13 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff’s comments from all City Departments and any applicable conditions of approval contained in staff’s case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: Call out 100-yr WSEL of detention pond. Call out minimum FFE, 2' above detention pond.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

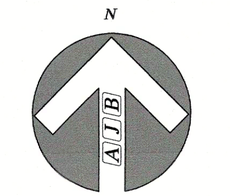
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

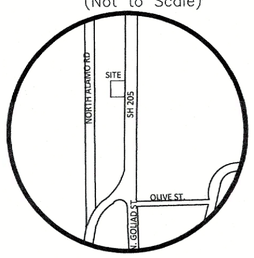
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments



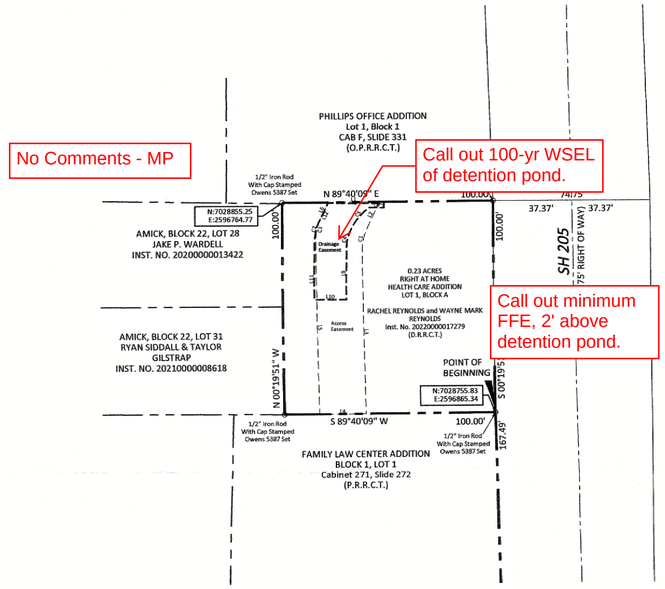
Vicinity Map
(Not to Scale)



No Comments - MP

Call out 100-yr WSEL of detention pond.

Call out minimum FFE, 2' above detention pond.



EASEMENTS LINE & CURVE TABLES

LINE	BEARING	DISTANCE
L1	N 89°40'09" E	24.29'
L2	S 24°45'32" W	14.46'
L3	S 00°55'36" E	77.43'
L4	S 89°04'24" W	22.00'
L5	N 00°55'36" W	82.26'
L6	N 24°45'32" E	8.98'
L7	N 00°00'00" W	2.01'
L8	S 89°24'39" E	7.04'
L9	N 00°11'58" E	24.70'
L10	N 90°00'00" E	15.17'
L11	S 00°11'58" W	19.46'
L12	S 25°41'08" W	10.05'

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25°41'08"	22.00'	9.86'	S 11°54'58" W	9.78'
C2	25°41'08"	22.82'	10.23'	N 11°54'58" E	10.14'
C3	24°05'46"	22.82'	9.60'	S 12°35'15" W	9.53'
C4	22°20'13"	17.02'	6.64'	N 11°22'05" E	6.59'
C5	23°41'59"	27.83'	11.51'	N 42°24'49" E	11.43'

GENERAL NOTES:

The purpose of this plat is to create 1 lot.

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. the approval of a plat by the City does not constitute any representation, assurance or guarantee than any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Basis of Bearings: Bearings are based on the Warranty Deed with Vendor's Lien recorded in Inst. No. 20220000017279, Official Public Records, Rockwall County, Texas.

Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

All drainage maintenance and repair shall be the property owners responsibility.

FLOOD STATEMENT: According to Community Panel No. 48397C0040L, dated September 9, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

RACHEL REYNOLDS and WAYNE MARK REYNOLDS, wife and husband BEING THE OWNER(S) OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, said tract being described as follows:

BEING a 0.23 acre tract of land situated in the Benjamin F. Boydston Survey No. 72, Abstract No. 14, City of Rockwall, Rockwall County, Texas and being all the same tract called 0.230 acres, per Warranty Deed with Vendor's Lien Recorded in Inst. No. 20220000017279, Official Public Records, Rockwall, County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod stamped "OWENS 5387" set for corner, and being located in the west line of State Highway No. 205 (74.75' ROW) and being located in the north line of Family Law Center Addition, Lot 1, Block 1 as recorded in Cabinet 271, Slide 272, Official Public Records, Rockwall County, Texas.

THENCE along the common line of said 0.23 acre tract and said Family Law Center Addition as follows; SOUTH 89°40'09" WEST a distance of 100.00 feet to a 1/2 inch iron rod stamped "OWENS 5387" set for corner and being the southeast corner of a tract of land to Ryan Siddall & Taylor Gilstrap per deed recorded in instrument No. 20210000008618, Deed Records, Rockwall County, Texas;

THENCE NORTH 00°19'51" WEST a distance of 100.00 feet to a 1/2 inch iron rod stamped "OWENS 5387" set for corner and being located in the south line of Phillips Office Addition, Lot 1, Block 1 per plat recorded in Cabinet F, Slide 331 Official Public Records, Rockwall County, Texas;

THENCE along the common line of said 0.23 acre tract and said Phillips Office Addition, NORTH 89°40'09" EAST a distance of 100.00 feet to a 1/2 inch iron rod stamped "OWENS 5387" set for corner;

THENCE along the west line of said State Highway No. 205 SOUTH 00°19'51" EAST a distance of 100.00 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 0.23 acres or 1,000 square feet of land more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Frank R. Owens, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document."

Frank R. Owen
Registered Professional Land Surveyor No. 5387
A.J. Bedford Group, Inc.
301 North Alamo Road
Rockwall, Texas 75087

RECOMMENDED FOR FINAL APPROVAL

_____ _____
Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2023.

_____ _____ _____
Mayor, City of Rockwall City Secretary City Engineer

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

We, **RACHEL REYNOLDS and WAYNE MARK REYNOLDS,** the undersigned owners of the land shown on this plat, and designated herein as the RIGHT AT HOME HEATHCARE ADDITION a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **FOX ADDITION** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein. Property Owner Signatures

Rachel Reynolds _____ Wayne Mark Reynbolds _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Rachel Reynolds and Wayne Mark Reynolds, know to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2023

_____
Notary Public in and for the State of Texas

Signature of Party with Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared Rachel Reynolds and Wayne Mark Reynolds, known to me to be the person(s) whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____ 2023.

Case No. : _____

FINAL PLAT
LOT 1, BLOCK A, RIGHT AT HOME HEALTHCARE ADDITION
BEING 1 LOT
CONTAINING A TOTAL OF 0.23 ACRES
BENJAMIN F. BOYDSTON SURVEY, ABSTRACT NO. 14, LOT 30,
BLOCK PT 22, OF AMICK
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS: RACHEL REYNOLDS and WAYNE MARK REYNOLDS
703 NORTH GOLIAD STREET
ROCKWALL, TEXAS 75087

Scale:	1" = 50'
Date:	JULY 27, 2023
Technician:	Bedford
Drawn By:	Bedford
Checked By:	F.R. Owens
P.C.:	Spradling
File:	703 N. GOLIAD
Job. No.	???-???
GF No.	N/A

301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225 , www.ajbedfordgroup.com ajb@ajbedfordgroup.com

Sheet: 1 Of: 1

AJ Bedford Group, Inc.
Registered Professional Land Surveyors
TBPLS REG#10118200

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DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☑ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	703 N. Goliad Rockwall, TX 75087				
SUBDIVISION	Amick Addition	LOT	30	BLOCK	22
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Residential	CURRENT USE	Residential		
PROPOSED ZONING	Commercial	PROPOSED USE	Professional Office		
ACREAGE	0.23	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	MIP Services LLC dba Right at Home	☐ APPLICANT	SAME
CONTACT PERSON	Rachel Reynolds	CONTACT PERSON	
ADDRESS	703 N. Goliad St	ADDRESS	
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	
PHONE	469-209-6261	PHONE	
E-MAIL	rachel@rockwallhomecare.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Rachel Reynolds [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 6, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 2 DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

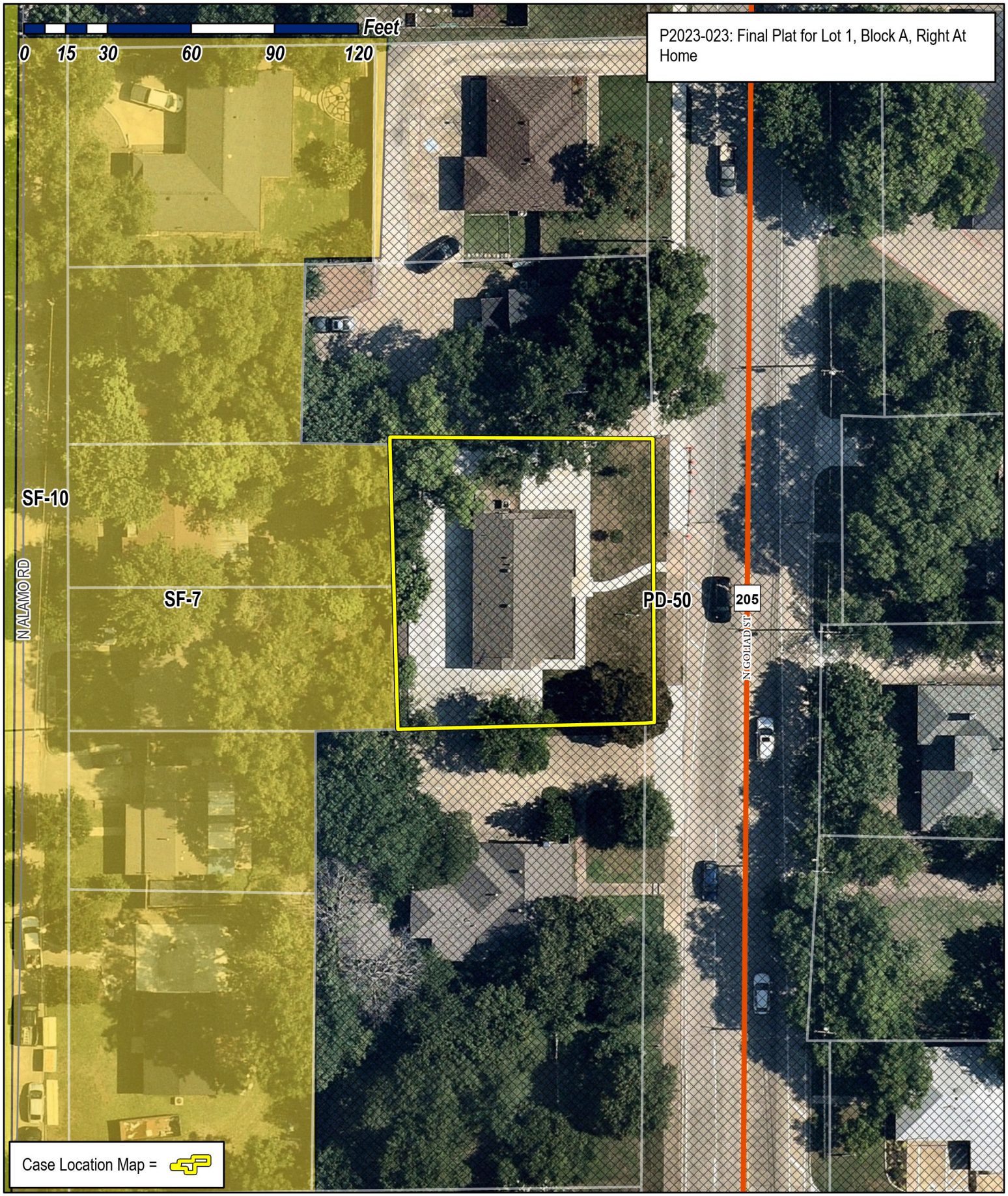
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 2 DAY OF August 2023

OWNER'S SIGNATURE Rachel Reynolds

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

NOTARY PUBLIC STATE OF TEXAS
AUBREY LYNN FLORES
Notary ID #134404660
My Commission Expires
June 13, 2027

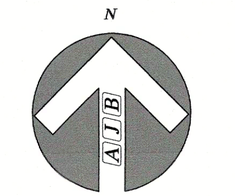
MY COMMISSION EXPIRES June 13 2027



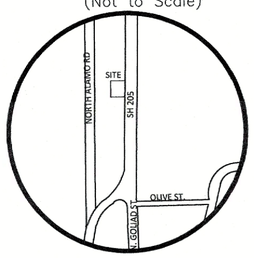
City of Rockwall

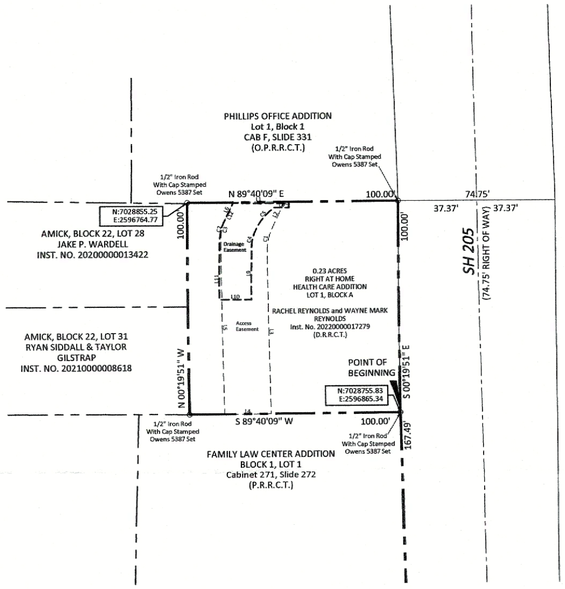
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Vicinity Map
(Not to Scale)





EASEMENTS LINE & CURVE TABLES

LINE	BEARING	DISTANCE
L1	N 89°40'09" E	24.29'
L2	S 24°45'32" W	14.46'
L3	S 00°55'36" E	77.43'
L4	S 89°04'24" W	22.00'
L5	N 00°55'36" W	82.26'
L6	N 24°45'32" E	8.98'
L7	N 00°00'00" W	2.01'
L8	S 89°24'39" E	7.04'
L9	N 00°11'58" E	24.70'
L10	N 90°00'00" E	15.17'
L11	S 00°11'58" W	19.46'
L12	S 25°41'08" W	10.05'

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	25°41'08"	22.00'	9.86'	S 11°54'58" W	9.78'
C2	25°41'08"	22.82'	10.23'	N 11°54'58" E	10.14'
C3	24°05'46"	22.82'	9.60'	S 12°35'15" W	9.53'
C4	22°20'13"	17.02'	6.64'	N 11°22'05" E	6.59'
C5	23°41'59"	27.83'	11.51'	N 42°24'49" E	11.43'

GENERAL NOTES:

The purpose of this plat is to create 1 lot.

It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. the approval of a plat by the City does not constitute any representation, assurance or guarantee than any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Basis of Bearings: Bearings are based on the Warranty Deed with Vendor's Lien recorded in Inst. No. 20220000017279, Official Public Records, Rockwall County, Texas.

Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

All drainage maintenance and repair shall be the property owners responsibility.

FLOOD STATEMENT: According to Community Panel No. 48397C0040L, dated September 9, 2008 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor.

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

RACHEL REYNOLDS and WAYNE MARK REYNOLDS, wife and husband BEING THE OWNER(S) OF A TRACT OF LAND IN THE COUNTY OF ROCKWALL, STATE OF TEXAS, said tract being described as follows:

BEING a 0.23 acre tract of land situated in the Benjamin F. Boydston Survey No. 72, Abstract No. 14, City of Rockwall, Rockwall County, Texas and being all the same tract called 0.230 acres, per Warranty Deed with Vendor's Lien Recorded in Inst. No. 20220000017279, Official Public Records, Rockwall, County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod stamped "OWENS 5387" set for corner, and being located in the west line of State Highway No. 205 (74.75' ROW) and being located in the north line of Family Law Center Addition, Lot 1, Block 1 as recorded in Cabinet 271, Slide 272, Official Public Records, Rockwall County, Texas.

THENCE along the common line of said 0.23 acre tract and said Family Law Center Addition as follows; SOUTH 89°40'09" WEST a distance of 100.00 feet to a 1/2 inch iron rod stamped "OWENS 5387" set for corner and being the southeast corner of a tract of land to Ryan Siddall & Taylor Gilstrap per deed recorded in instrument No. 20210000008618, Deed Records, Rockwall County, Texas;

THENCE NORTH 00°19'51" WEST a distance of 100.00 feet to a 1/2 inch iron rod stamped "OWENS 5387" set for corner and being located in the south line of Phillips Office Addition, Lot 1, Block 1 per plat recorded in Cabinet F, Slide 331 Official Public Records, Rockwall County, Texas;

THENCE along the common line of said 0.23 acre tract and said Phillips Office Addition, NORTH 89°40'09" EAST a distance of 100.00 feet to a 1/2 inch iron rod stamped "OWENS 5387" set for corner;

THENCE along the west line of said State Highway No. 205 SOUTH 00°19'51" EAST a distance of 100.00 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 0.23 acres or 1,000 square feet of land more or less.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Frank R. Owens, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

"Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document."

Frank R. Owen
Registered Professional Land Surveyor No. 5387
A.J. Bedford Group, Inc.
301 North Alamo Road
Rockwall, Texas 75087

RECOMMENDED FOR FINAL APPROVAL

Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2023.

Mayor, City of Rockwall City Secretary City Engineer

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

We, **RACHEL REYNOLDS and WAYNE MARK REYNOLDS,** the undersigned owners of the land shown on this plat, and designated herein as the RIGHT AT HOME HEATCARE ADDITION a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **FOX ADDITION** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein. Property Owner Signatures

Rachel Reynolds _____ Wayne Mark Reynbolds _____

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Rachel Reynolds and Wayne Mark Reynolds, know to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2023

_____
Notary Public in and for the State of Texas

Signature of Party with Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared Rachel Reynolds and Wayne Mark Reynolds, known to me to be the person(s) whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____ 2023.

Case No. : _____

FINAL PLAT
LOT 1, BLOCK A, RIGHT AT HOME HEALTHCARE ADDITION
BEING 1 LOT
CONTAINING A TOTAL OF 0.23 ACRES
BENJAMIN F. BOYDSTON SURVEY, ABSTRACT NO. 14, LOT 30,
BLOCK PT 22, OF AMICK
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNERS: RACHEL REYNOLDS and WAYNE MARK REYNOLDS
703 NORTH GOLIAD STREET
ROCKWALL, TEXAS 75087

Scale:	1" = 50'
Date:	JULY 27, 2023
Technician:	Bedford
Drawn By:	Bedford
Checked By:	F.R. Owens
P.C.:	Spradling
File:	703 N. GOLIAD
Job. No.	???-???
GF No.	N/A

301 N. Alamo Rd. * Rockwall, Texas 75087
(972) 722-0225 , www.ajbedfordgroup.com ajb@ajbedfordgroup.com

Sheet: 1 Of: 1

AJ Bedford Group, Inc.
Registered Professional Land Surveyors
TBPLS REG#10118200

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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	August 29, 2023
APPLICANT:	Dub Douphrate; *Douphrate and Associates*
CASE NUMBER:	P2023-024; *Final Plat for Lots 1 & 2, Block A, Barrett Heights Addition*

SUMMARY

Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Howard Barrett for the approve of a *Final Plat* for Lots 1 & 2, Block A, Barrett Heights Addition being a 1.60-acre tract of land identified as Lots 1 & 2 of the Green Valley Addition and Tract 32 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1203 & 1205 S. Goliad Street [*SH-205*].

PLAT INFORMATION

- ☑ The applicant is requesting approval of a *Final Plat* for a 1.60-acre parcel of land (*i.e. Lots 1 & 2 of the Green Valley Addition and Tract 32 of the H. B. Jones Survey, Abstract No. 124*) for the purpose of establishing two (2) non-residential lots (*i.e. Lots 1 & 2, Block A, Barrett Heights Addition*). The proposed *Final Plat* lays out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) to convert the existing single-family homes to non-residential land uses (*i.e. limited commercial/office land uses*).

- ☑ The subject property was annexed on June 20, 1959 by *Ordinance No. 59-02* [*i.e. Case No. A1959-002*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's historic zoning maps, at some point between June 20, 1959 and January 3, 1972, the subject property was rezoned from Agricultural (AG) District to Single Family 2 (SF-2) District. Between January 3, 1972 and May 16, 1983, the subject property was rezoned from a Single Family 2 (SF-2) District to a Single Family 10 (SF-10) District. On March 5, 2007, the City Council approved a zoning change from Single Family 10 (SF-10) District to Planned Development District 69 (PD-69) for Residential Office (RO) District land uses. On April 11, 2023, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2023-010*] to allow the conversion of two (2) single-family homes into offices on the subject property.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Final Plat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *Final Plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Final Plat* for *Lots 1 & 2, Block A, Barrett Heights Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,

(2) Any construction resulting from the approval of this ***Final Plat*** shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: P2023-024
PROJECT NAME: Final Plat for Lots 1&2, Barrett Heights
SITE ADDRESS/LOCATIONS: 1205 N GOLIAD ST

CASE CAPTION: Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Howard Barrett for the approval of a Final Plat for Lots 1 & 2, Block A, Barrett Heights Addition being a 1.60-acre tract of land identified as Lots 1 & 2 of the Green Valley Addition and Tract 32 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1203 & 1205 S. Goliad Street [SH-205].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: P2023-024: Final Plat for Lots 1-3, Block A, Barrett Heights Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1 & 2, Block A, Barrett Heights Addition being a 1.60-acre tract of land identified as Lots 1 & 2 of the Green Valley Addition and Tract 32 of the H. B. Jones Survey, Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1203 & 1205 S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2023-024) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT
LOTS 1 & 2, BLOCK A,
BARRETT HEIGHTS ADDITION
BEING
2 LOTS
1.60-ACRES OR 70,078 SF
IDENTIFIED AS LOTS 1 & 2 OF THE GREEN VALLEY SUBDIVISION
AND PART OF THE JOHN HB JONES SURVEY, ABSTRACT NO. 124
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label the right-of-way width and centerline along N. Goliad Street (SH-205). (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Provide the new Owner's Certificate of Dedication below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

STATE OF TEXAS
COUNTY OF ROCKWALL
WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

_____
PROPERTY OWNER SIGNATURE

_____
SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE]

M.7 Please provide the new Surveyor's/Registered Engineer Certificate below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

_____ _____
SURVEYOR [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR

M.8 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

_____
MAYOR OF THE CITY OF ROCKWALL _____
PLANNING AND ZONING COMMISSION CHAIRMAN

_____
CITY SECRETARY

_____
CITY ENGINEER

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.11 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: August 29, 2023
City Council: September 5, 2023

I.12 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: Show and call out abandoned alley ROW. Add water easement along ROW. Call out 100-yr WSEAL, and FFE based on 2' above detention pond elevation. Please add these general notes to the plat (refer to pdf attachment).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

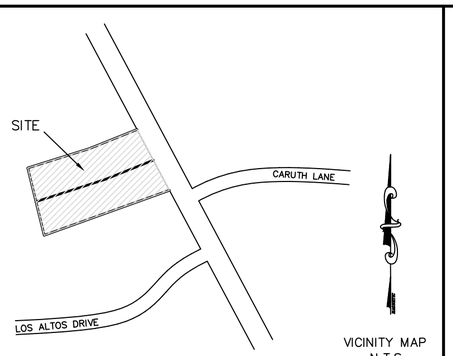
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments



VICINITY MAP
N.T.S.

NOTE:
1) Bearings shown are base on NAD 83 Texas North Central Zone.

FLOODZONE CERIFICATE:
As determined by the FLOOD INSURANCE RATE MAPS for Rockwall County, no portion of the property shown hereon lies with a Special Flood Hazard Area (100 Year Flood), Map dated 09/26/2008 Community Panel No. 84397C0030L.

GENERAL NOTES [Please add this to any other notes included on the plat.]

General Notes:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2) Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

Please add these general notes to the plat.

LEGEND:
IRFC = IRON ROD FOUND WITH CAP
CUT X = FOUND CUT X IN CONCRETE
P.R.R.C.T. = PLAT RECORDS OF ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
U.E. = UTILITY EASEMENT
R.O.W. = RIGHT-OF-WAY

LINE TABLE		
LINE	LENGTH	BEARING
L1	26.71	S09°18'21"W
L2	30.12	S06°29'09"E
L3	23.76	S22°23'08"E
L4	5.06	S86°37'37"E
L5	8.55	N84°49'36"E
L6	25.05	N04°44'18"W
L7	14.73	N04°15'50"W
L8	27.56	N07°53'41"W
L9	18.21	N08°48'03"W
L10	9.55	S84°02'19"W
L11	6.65	S21°47'47"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD
C1	40.51	80.00	N05°59'00"E	40.07
C2	38.18	80.00	N06°49'03"E	37.81
C3	49.63	104.00	S06°49'03"W	49.16
C4	29.21	56.00	S05°32'40"W	28.88

EVELYN WAY SMITH, TRUSTEE OF
EVELYN WAY SMITH IRREVOCABLE TRUST
Inst. No. 20220000010972
O.P.R.R.C.T.

LOT 3
GREEN VALLEY SUBDIVISION
CAB. A, SLIDE 78
P.R.R.C.T.

1/2" IRF
STATE PLANE COORD.
N 7,032,468.30
E 2,593,972.12

N81°23'19"E 150.76'
121.36'
122.31'
9.70'
9.65' CROSS ACCESS ESM'T (THIS PLAT)
S81°23'19"W
3/4" IRF
9.63'
14.39'
N85°53'09"E 185.37'
5/8" IRF

TOTAL AREA:
70,077.8 S.F.
1.608 ACRES

LOT 2
BLOCK A

LOT 2
GREEN VALLEY SUBDIVISION
CAB. A, SLIDE 78
P.R.R.C.T.

Call out 100-yr WSEAL, and FFE based on 2' above detention pond elevation.

24' Cross Access Esm't (This Plat)
ORIGINAL LOT LINE
S06°51'11"E
S.89°51'11"E
115.46'
N.11°15'50"W.
L10
L11
L9
L8
Drainage/Detention Esm't (This Plat)
L7
L2
L3
L6
L4
L5
C2
C3
C1
C4
24' Cross Access Esm't (This Plat)
N06°28'53"W
60.18'

HOMAR INVESTMENTS, LLC
Inst. No. 20220000006570
O.P.R.R.C.T.

Show and call out abandoned alley ROW.

S14°13'55"E
100.00'
N. GOLIAD

1/2" IRF
5.02'
5.02'
154.36'
Add water easement along ROW.

N81°29'02"E
N81°29'02"E 150.89'
10' Drainage Esm't (This Plat)
156.10'
S81°29'02"W
1/2" IRF

20' SANITARY SEWER ESM'T
Cabinet A, Slide 78
P.R.R.C.T.
60' B.L.
S.H. 205
198.62'
98.62'

LOT 1
BLOCK A

LOT 1
GREEN VALLEY SUBDIVISION
CAB. A, SLIDE 78
P.R.R.C.T.
ORIGINAL LOT LINE

1/2" IRF
POINT OF BEGINNING
STATE PLANE COORD.
N 7,032,275.77
E 2,594,020.93

169.46'
383.75'
24.02'
175.36'
S83°31'27"W
BEARING CONTROL LINE
5/8" IRF

24' CROSS ACCESS, FIRE LANE AND UTILITY ESM'T

LOT 1, BLOCK A
LIZANDRO OEMENO ADDITION
Cab. J, Slide 377
P.R.R.C.T.

LOS ALTOS DRIVE

N00°27'07"W
100.02'
1" IRF
N85°28'26"E 209.28'
99.94'
99.92'

LAKEVIEW SUMMIT, PHASE ONE
CABINET D, SLIDE 135
P.R.R.C.T.

HOMAR INVESTMENTS, LLC
Inst. No. 20220000025462
O.P.R.R.C.T.

12
13
BLOCK C
14
15
16

MAGNETIC

GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

FINAL PLAT
BARRETT HEIGHTS
2 LOTS
BEING A REPLAT OF LOTS 1 AND 2. GREEN VALLEY SUBDIVISION
and PART OF THE JOHN HB JONES SURVEY, ABSTRACT No. 124
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CITY CASE No. _____

Date: 5-03-2023

SHEET 1 OF 2

PREPARED BY:
JAMES M. ANDERSON
1195 LAKE GLEN CIRCLE
ROCKWALL, TEXAS 75087
214-548-2042
jma90266@gmail.com

Engineer:
Douphrate & Associates, Inc
2235 Ridge Road, Suite 200
Rockwall, Texas 75087
214-771-9004

OWNER:
HOWARD BARRETT
1203 GOLIAD
ROCKWALL , TX 75087
972-722-8292

OWNERS CERTIFICATE:

STATE OF TEXAS

COUNTY OF ROCKWALL

WHEREAS, HOWARD BARRETT, being the owner of Lots 1 and 2 of GREEN VALLEY SUBDIVISION as recorded in Cabinet A, Slide 78 of the Plat Records of Rockwall County, Texas and a part of the John HB JONES SURVEY, ABSTRACT No. 124, ROCKWALL COUNTY, TEXAS by deeds recorded in Instrument Numbers 20220000025462 and 20220000006570 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) to HOMAR INVESTMENTS, LLC and being more particularly described as follows:

BEGINNING at a ½" iron rod found on the west right-of-way line of North Goliad Street (S.H. 205), said point being the southeast corner of Lot 1 of said GREEN VALLEY SUBDIVISION and the northeast corner of Lot 1, Block A of the LIZANDRO OEMENO ADDITION, an addition to the City of Rockwall as recorded in Cabinet J, Slide 377 of the Plat Records of Rockwall County, Texas (P.R.R.C.T.);

THENCE South 83°31'27" West along the south line of Lot 1 of said GREEN VALLEY SUBDIVISION and the north line of said LIZANDRO OEMENO ADDITION, a distance of 383.75' to a ⅝" iron rod found at the northwest corner of said OEMENO ADDITION, said point also being of the east line of Lot 15, Block C of the LAKEVIEW SUMMIT PHASE ONE ADDITION, an addition recorded in Cabinet D, Slide 135 P.R.R.C.T.;

THENCE North 00°27'07" West along the east line of said LAKEVIEW SUMMIT ADDITION, passing at 100.02' a 1" iron rod found for the northwest corner of the said HOMAR INVESTMENTS, LLC tract Instrument No. 20220000025462 and the southwest corner of said HOMAR INVESTMENTS, LLC tract Instrument No. 20220000006570, a total distance of 199.94' to a ⅝" iron rod found on the east line of Lot 12, Block C of said LAKEVIEW SUMMIT ADDITION and the southwest corner of a tract of land conveyed to the TRUSTEES OF EVELYN WAY SMITH IRREVOCABLE TRUST as recorded in Instrument No. 20220000010972, Official Public Records of Rockwall County, Texas;

THENCE North 85°53'09" East along the north line of said HOMAR INVESTMENTS, LLC tract and the south line of said EVELYN WAY SMITH tract, a distance of 185.37' to a ½" iron rod found for a corner, said point being the northwest corner of Lot 2 of the said GREEN VALLEY SUBDIVISION;

THENCE North 81°23'19" East a distance of 150.76' to a ½" iron rod found for the northeast corner of said Lot 2 and said point being on the west right-of-way line of said North Goliad Street (S.H. 205);

THENCE South 14°13'35" East along said west right-of-way line and passing at 100.00' to northeast corner of Lot 1 of said GREEN VALLEY SUBDIVISION a total distance of 198.62' to the POINT OF BEGINNING and containing 70,077.80 square feet or 1.608 acres of land.

OWNER'S CERTIFICATE:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

Howard Barrett, the undersigned owner of the land shown on this plat, and designated herein as BARRETT HEIGHTS Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subject property have been notified and signed this plat.
I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of steers in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by the storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements o the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which the property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewer, and alleys, all according to the specifications of the City of Rockwall; or
Until an escrow deposit, sufficient to pay for the cost o such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such a written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer s progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements tor the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. Property owners are responsible for maintenance, repair, and replacement of all retaining walls and drainage and detention systems in easements.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of dedication of exactions made herein.

FOR: BARRETT HEIGHTS

_____

By:

FOR: _____(LIEN HOLDER)

BY: _____NAME: _____

TITLE: _____

APPROVAL CERTIFICATE

_____ _____
Planning & Zoning Commission, Chairman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____,2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred and eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____ 2023.

_____ _____ _____
Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I Rudy Rangel, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY _____ ,2023.

_____
RUDY RANGEL
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 5664
TBPLS No. 10077100

NOTARY CERTIFICATE

STATE OF _____

COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared_____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my han and seal of office, this _____ day of _____, 2023.

_____
Notary Signature

Engineer:
Douphrate & Associates, Inc
2235 Ridge Road, Suite 200
Rockwall, Texas 75087
214-771-9004

Surveyor:
Rudy Rangel
Rangel Land Surveying
1012 Timberline Drive
Heath, Texas 75032
214-325-8026
Rangellandsurvey@swb.com

OWNER:
HOWARD BARRETT
1203 GOLIAD
ROCKWALL , TX 75087
972-722-8292

FINAL PLAT
BARRETT HEIGHTS
2 LOTS
BEING A REPLAT OF LOTS 1 AND 2. GREEN VALLEY SUBDIVISION
and PART OF THE JOHN HB JONES SURVEY, ABSTRACT No. 124
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CITY CASE No. _____

Date: 5-03-2023

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☒ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1203 & 1205 N. Goliad				
SUBDIVISION	Green Valley Subd.	LOT	1 & 2	BLOCK	A
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	R/O	CURRENT USE	OFFICE		
PROPOSED ZONING	R/O	PROPOSED USE	OFFICE		
ACREAGE	1.608	LOTS [CURRENT]	2	LOTS [PROPOSED]	2

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Howard Barrett	☐ APPLICANT	Doughrate & Assoc. Inc.
CONTACT PERSON		CONTACT PERSON	Dub Doughrate
ADDRESS	1203 N. Goliad St.	ADDRESS	2235 Ridge Rd
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Rockwall, TX 75087
PHONE		PHONE	972 742 2210
E-MAIL		E-MAIL	wldoughrate@doughrate.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Howard Anthony Barrett [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

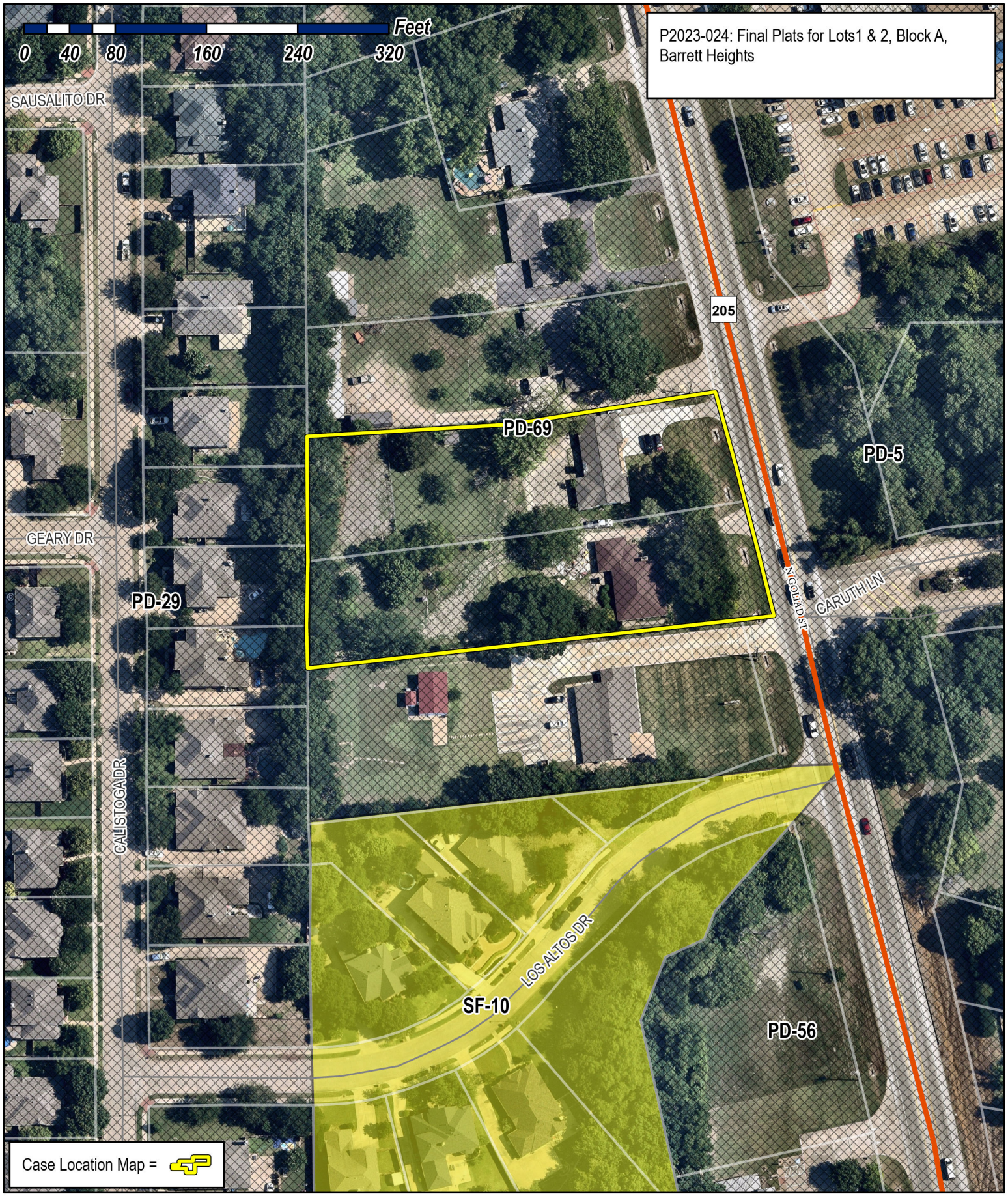
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 332.16, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th DAY OF August, 2023.

OWNER'S SIGNATURE Howard Barrett

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Eduardo S. Rodriguez

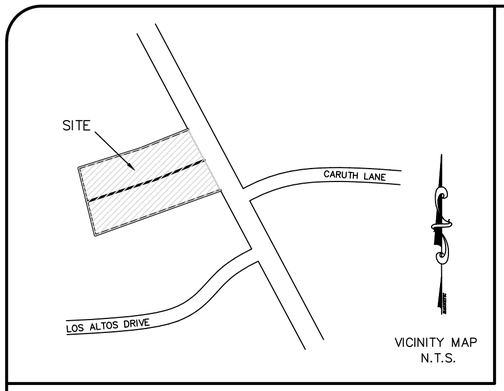
EDUARDO S RODRIGUEZ
My Notary ID # 132204639
MY COMMISSION EXPIRES Expires October 9, 2023



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VICINITY MAP
N.T.S.

NOTE:
1) Bearings shown are base on NAD 83 Texas North Central Zone.

FLOODZONE CERIFICATE:
As determined by the FLOOD INSURANCE RATE MAPS for Rockwall County, no portion of the property shown hereon lies with a Special Flood Hazard Area (100 Year Flood), Map dated 09/26/2008 Community Panel No. 84397C0030L.

LEGEND:
IRFC = IRON ROD FOUND WITH CAP
CUT X = FOUND CUT X IN CONCRETE
P.R.R.C.T. = PLAT RECORDS OF ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T. = OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS
U.E. = UTILITY EASEMENT
R.O.W. = RIGHT-OF-WAY

LINE TABLE		
LINE	LENGTH	BEARING
L1	26.71	S09°18'21"W
L2	30.12	S06°29'09"E
L3	23.76	S22°23'08"E
L4	5.06	S86°37'37"E
L5	8.55	N84°49'36"E
L6	25.05	N04°44'18"W
L7	14.73	N04°15'50"W
L8	27.56	N07°53'41"W
L9	18.21	N08°48'03"W
L10	9.55	S84°02'19"W
L11	6.65	S21°47'47"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD
C1	40.51	80.00	N05°59'00"E	40.07
C2	38.18	80.00	N06°49'03"E	37.81
C3	49.63	104.00	S06°49'03"W	49.16
C4	29.21	56.00	S05°32'40"W	28.88

EVELYN WAY SMITH, TRUSTEE OF
EVELYN WAY SMITH IRREVOCABLE TRUST
Inst. No. 20220000010972
O.P.R.R.C.T.

LOT 3
GREEN VALLEY SUBDIVISION
CAB. A, SLIDE 78
P.R.R.C.T.

1/2" IRF
STATE PLANE COORD.
N 7,032,468.30
E 2,593,972.12

N81°23'19"E 150.76'
3/4" IRF
9.65' CROSS ACCESS ESM'T (THIS PLAT)
S81°23'19"W
121.36'
122.31'
9.70'
9.65'
14.39'
9.63'

N85°53'09"E 185.37'
5/8" IRF

TOTAL AREA:
70,077.8 S.F.
1.608 ACRES

LOT 2
BLOCK A

LOT 2
GREEN VALLEY SUBDIVISION
CAB. A, SLIDE 78
P.R.R.C.T.

ORIGINAL LOT LINE
24' Cross Access Esm't (This Plat)
S08°51'11"E
S08°51'11"E
115.46'
N4°44'18"W
L10
L9
L11
L7
L8
Drainage/Detention Esm't (This Plat)

HOMAR INVESTMENTS, LLC
Inst. No. 20220000006570
O.P.R.R.C.T.

S14°13'35"E
100.00'
N. GOLIAD
5.02'
1/2" IRF
154.36'
N81°29'02"E
N81°29'02"E 150.89'
10' Drainage Esm't (This Plat)
156.10'
S81°29'02"W
1/2" IRF
L2
L7
L3
L6
L4
L5
C2
C3
C1
C4
24' Cross Access Esm't (This Plat)
N06°28'53"W
60.18'
ORIGINAL LOT LINE
LOT 1
BLOCK A
LOT 1
GREEN VALLEY SUBDIVISION
CAB. A, SLIDE 78
P.R.R.C.T.
60' B.L.
20' SANITARY SEWER ESM'T
Cabinet A, Slide 78
P.R.R.C.T.
S.H. 205
198.62'
98.62'

1" IRF
N85°28'26"E 209.28'

LAKEVIEW SUMMIT, PHASE ONE
CABINET D, SLIDE 135
P.R.R.C.T.

12
13
BLOCK C
14
15
16

N00°27'07"W
100.02'
N00°27'07"W 699.94'

HOMAR INVESTMENTS, LLC
Inst. No. 20220000025462
O.P.R.R.C.T.

1/2" IRF
POINT OF BEGINNING
STATE PLANE COORD.
N 7,032,275.77
E 2,594,020.93

169.46'
383.75'
24.02'
175.36'
S83°31'27"W
BEARING CONTROL LINE
5/8" IRF

24' CROSS ACCESS, FIRE LANE AND UTILITY ESM'T

LOT 1, BLOCK A
LIZANDRO OEMENO ADDITION
Cab. J, Slide 377
P.R.R.C.T.

LOS ALTOS DRIVE

GRAPHIC SCALE
30 0 15 30 60 120
(IN FEET)
1 inch = 30 ft.

FINAL PLAT
BARRETT HEIGHTS
2 LOTS
BEING A REPLAT OF LOTS 1 AND 2. GREEN VALLEY SUBDIVISION and PART OF THE JOHN HB JONES SURVEY, ABSTRACT No. 124
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY:
JAMES M. ANDERSON
1195 LAKE GLEN CIRCLE
ROCKWALL, TEXAS 75087
214-548-2042
jma90266@gmail.com

Engineer:
Douphrate & Associates, Inc
2235 Ridge Road, Suite 200
Rockwall, Texas 75087
214-771-9004

OWNER:
HOWARD BARRETT
1203 GOLIAD
ROCKWALL , TX 75087
972-722-8292

CITY CASE No. _____

Date: 5-03-2023

OWNERS CERTIFICATE:

STATE OF TEXAS

COUNTY OF ROCKWALL

WHEREAS, HOWARD BARRETT, being the owner of Lots 1 and 2 of GREEN VALLEY SUBDIVISION as recorded in Cabinet A, Slide 78 of the Plat Records of Rockwall County, Texas and a part of the John HB JONES SURVEY, ABSTRACT No. 124, ROCKWALL COUNTY, TEXAS by deeds recorded in Instrument Numbers 20220000025462 and 20220000006570 of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.) to HOMAR INVESTMENTS, LLC and being more particularly described as follows:

BEGINNING at a ½" iron rod found on the west right-of-way line of North Goliad Street (S.H. 205), said point being the southeast corner of Lot 1 of said GREEN VALLEY SUBDIVISION and the northeast corner of Lot 1, Block A of the LIZANDRO OEMENO ADDITION, an addition to the City of Rockwall as recorded in Cabinet J, Slide 377 of the Plat Records of Rockwall County, Texas (P.R.R.C.T.);

THENCE South 83°31'27" West along the south line of Lot 1 of said GREEN VALLEY SUBDIVISION and the north line of said LIZANDRO OEMENO ADDITION, a distance of 383.75' to a ⅝" iron rod found at the northwest corner of said OEMENO ADDITION, said point also being of the east line of Lot 15, Block C of the LAKEVIEW SUMMIT PHASE ONE ADDITION, an addition recorded in Cabinet D, Slide 135 P.R.R.C.T.;

THENCE North 00°27'07" West along the east line of said LAKEVIEW SUMMIT ADDITION, passing at 100.02' a 1" iron rod found for the northwest corner of the said HOMAR INVESTMENTS, LLC tract Instrument No. 20220000025462 and the southwest corner of said HOMAR INVESTMENTS, LLC tract Instrument No. 20220000006570, a total distance of 199.94' to a ⅝" iron rod found on the east line of Lot 12, Block C of said LAKEVIEW SUMMIT ADDITION and the southwest corner of a tract of land conveyed to the TRUSTEES OF EVELYN WAY SMITH IRREVOCABLE TRUST as recorded in Instrument No. 20220000010972, Official Public Records of Rockwall County, Texas;

THENCE North 85°53'09" East along the north line of said HOMAR INVESTMENTS, LLC tract and the south line of said EVELYN WAY SMITH tract, a distance of 185.37' to a ½" iron rod found for a corner, said point being the northwest corner of Lot 2 of the said GREEN VALLEY SUBDIVISION;

THENCE North 81°23'19" East a distance of 150.76' to a ½" iron rod found for the northeast corner of said Lot 2 and said point being on the west right-of-way line of said North Goliad Street (S.H. 205);

THENCE South 14°13'35" East along said west right-of-way line and passing at 100.00' to northeast corner of Lot 1 of said GREEN VALLEY SUBDIVISION a total distance of 198.62' to the POINT OF BEGINNING and containing 70,077.80 square feet or 1.608 acres of land.

OWNER'S CERTIFICATE:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

Howard Barrett, the undersigned owner of the land shown on this plat, and designated herein as BARRETT HEIGHTS Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in the subject property have been notified and signed this plat.
I understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of steers in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by the storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements o the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which the property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewer, and alleys, all according to the specifications of the City of Rockwall; or
Until an escrow deposit, sufficient to pay for the cost o such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such a written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer s progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or
Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements tor the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. Property owners are responsible for maintenance, repair, and replacement of all retaining walls and drainage and detention systems in easements.

I further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I, my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of dedication of exactions made herein.

FOR: BARRETT HEIGHTS

_____

By:

FOR: _____(LIEN HOLDER)

BY: _____NAME: _____

TITLE: _____

APPROVAL CERTIFICATE

_____ _____
Planning & Zoning Commission, Chairman Date

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____,2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred and eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____ 2023.

_____ _____ _____
Mayor, City of Rockwall City Secretary City Engineer

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I Rudy Rangel, do hereby certify that this plat was prepared from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY _____ ,2023.

_____
RUDY RANGEL
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 5664
TBPLS No. 10077100

NOTARY CERTIFICATE

STATE OF _____

COUNTY OF _____

Before me, the undersigned authority, a Notary Public in and for the said County and State on this day personally appeared_____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

Given under my han and seal of office, this _____ day of _____, 2023.

_____
Notary Signature

Engineer:
Douphrate & Associates, Inc
2235 Ridge Road, Suite 200
Rockwall, Texas 75087
214-771-9004

Surveyor:
Rudy Rangel
Rangel Land Surveying
1012 Timberline Drive
Heath, Texas 75032
214-325-8026
Rangellandsurvey@swb.com

OWNER:
HOWARD BARRETT
1203 GOLIAD
ROCKWALL , TX 75087
972-722-8292

FINAL PLAT
BARRETT HEIGHTS
2 LOTS
BEING A REPLAT OF LOTS 1 AND 2. GREEN VALLEY SUBDIVISION
and PART OF THE JOHN HB JONES SURVEY, ABSTRACT No. 124
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CITY CASE No. _____

Date: 5-03-2023

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	August 29, 2023
APPLICANT:	Dewayne Zinn; *Cross Engineering Consultants*
CASE NUMBER:	P2023-025; *Replat for Lot 2, Block A, Heritage Christian Academy Addition*

SUMMARY

Consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Brad Helmer of Heritage Christian Academy for the approval of a *Replat* for Lot 2, Block A, Heritage Christian Academy Addition being a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting approval of a *Replat* for a 6.64-acre parcel of land (*i.e. Lot 1, Block A, Heritage Christian Academy Addition*) for the purpose of reestablishing one (1) non-residential lot (*i.e. Lot 2, Block A, Heritage Christian Academy Addition*) to abandon the existing fire lane easement and dedicate new easements to account for the development of a gymnasium and classroom building on the subject property.

- ☑ The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02*. The City's historic zoning maps indicate that the subject property was zoned Multi-Family 1 (MF-1) District as of January 3, 1972, and Multi-Family 15 (MF-15) District as of May 16, 1983. The change in zoning designation from Multi-Family 1 (MF-1) District to Multi-Family 15 (MF-15) District was the result of the adoption of the Comprehensive Zoning Ordinance [*i.e. Ordinance No. 83-23*] on May 16, 1983. On June 7, 2004, the City Council adopted the Unified Development Code (UDC), which changed the zoning designation of the subject property from Multi-Family 15 (MF-15) District to Multi-Family 14 (MF-14) District [*i.e. Ordinance No. 04-38*]. On January 7, 2019, the City Council approved a Specific Use Permit (SUP) [*i.e. Case No. Z2018-046; Ordinance No. 19-02*] extending the use of the temporary educational buildings that are currently on the subject property. These buildings were originally approved by a Conditional Use Permit (CUP) in 1999, which was extended in 2003, and reissued as a Specific Use Permit (SUP) in 2009. This Specific Use Permit (SUP) was also extended in 2013. On January 12, 2021, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2020-032*] to allow the construction of an approximately 22,409 SF gymnasium and classroom facility in conjunction with the existing private school [*i.e. Heritage Christian Academy*]. On July 12, 2022, the Planning and Zoning Commission approved an amended site plan [*i.e. Case No. SP2022-032*] to change the building elevations on the previously approved gymnasium and classrooms.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Replat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *Replat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a ***Replat*** *for Lot 2, Block A, Heritage Christian Academy Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,

(2) Any construction resulting from the approval of this ***Replat*** shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: P2023-025
PROJECT NAME: Lot 1, Block A, Heritage Christian Academy
SITE ADDRESS/LOCATIONS: 1408 S GOLIAD ST

CASE CAPTION: Consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Replat for Lot 2, Block A, Heritage Christian Academy Addition being a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: P2023-025: Replat for Lot 2, Block A, Heritage Christian Academy Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 2, Block A, Heritage Christian Academy Addition being a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2023-026) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT
LOT 2, BLOCK A,
HERITAGE CHRISTIAN ACADEMY ADDITION
BEING A REPLAT OF
LOT 1, BLOCK A
HERITAGE CHRISTIAN ACADEMY ADDITION
BEING
1 LOT
6.641-ACRES OR 289,064 SF
SITUATED IN THE
BURWELL J.T. LEWIS SURVEY, ABSTRACT NO. 255
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label the centerline along Damascus Road. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Provide the new Owner's Certificate of Dedication below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

STATE OF TEXAS
COUNTY OF ROCKWALL
WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

_____
PROPERTY OWNER SIGNATURE

_____

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE]

M.7 Please ensure that the Legal Description is correct. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.8 Please provide the new Surveyor's/Registered Engineer Certificate below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

_____ _____
SURVEYOR [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR

M.9 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.10 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

_____
MAYOR OF THE CITY OF ROCKWALL _____
PLANNING AND ZONING COMMISSION CHAIRMAN

_____
CITY SECRETARY

_____
CITY ENGINEER

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 The projected meeting dates for this case are as follows:

I.13 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: Call out detention pond easement and 100-yr WSEL. Call out minimum FFE based on detention pond water elevation. Please add these general notes to the plat (refer to pdf attachment).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments

GENERAL NOTES [Please add this to any other notes included on the plat.]

General Notes:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2) Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

0' 100' 200' 300'

SCALE: 1" = 100'

Please add these general notes to the plat.

GENERAL NOTES:

1. The area (acres) shown hereon is based on the mathematical closure of the courses and distances reflected on this Survey. It does not include the tolerances that may be present due to positional accuracy of the boundary monuments in place.

2. Reference Bearing: The Bearings shown hereon are geodetic and are based upon GPS observations from City of Rockwall GPS Control Monuments No. COR-6 and COR-11. NAD-83, Texas North Central Zone.

FLOOD ZONE NOTE:

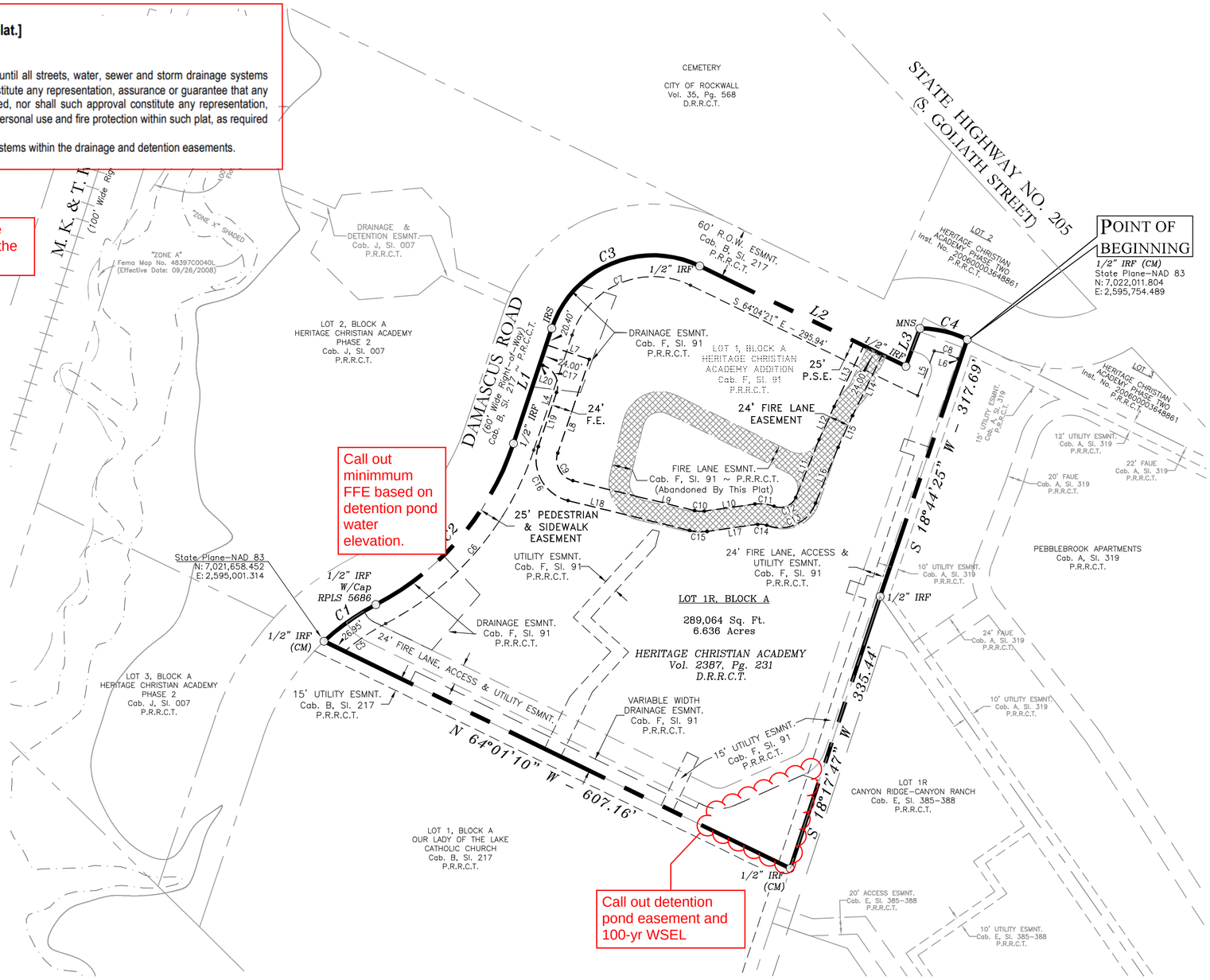
This Surveyor has reviewed Flood Insurance Rate Map No. 48397C0040L (effective date September 26, 2008) published by the Federal Emergency Management Administration for Rockwall County, Texas and based upon said scaled map and graphic plotting, such review revealed that the subject parcel lies within "ZONE X" (Un-Shaded) and is outside of the 100 Year Flood Plain and is determined to be outside the 0.2% annual chance floodplain.

PURPOSE STATEMENT:

The purpose of this Replat is to abandon the fire lane easement on Lot 1, Block A of Heritage Christian Academy Addition and dedicate new easements.

MONUMENT NOTE:

All lot corner monuments set by this Surveyor are 1/2 inch diameter rebar, 18 inches long, topped with a red plastic cap, stamped "RPLS 4701" or if in concrete pavement, a mag nail with a steel washer, stamped "RPLS 4701", unless otherwise noted.



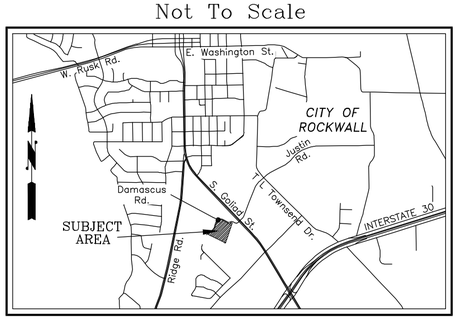
LINE TABLE:

LINE	BEARING	DISTANCE
L1	N 18°24'23" E	142.04'
L2	S 64°04'21" E	268.34'
L3	N 20°16'31" E	47.24'
L4	N 18°24'23" E	142.04'
L5	N 20°16'31" E	55.84'
L6	S 63°45'31" E	3.29'
L7	S 71°24'18" E	53.13'
L8	S 18°35'42" W	115.88'
L9	S 76°10'34" E	70.24'
L10	N 82°03'48" E	59.85'
L11	N 21°58'25" E	73.03'
L12	N 24°29'16" E	42.51'
L13	N 26°02'53" E	79.37'
L14	S 26°02'53" W	79.37'
L15	S 24°30'28" W	40.80'
L16	S 21°58'25" W	70.37'
L17	S 82°03'48" W	59.85'
L18	N 76°10'34" W	146.78'
L19	N 18°35'42" E	66.88'
L20	N 71°24'18" W	4.05'

CURVE TABLE:

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	15°48'15"	270.00'	74.48'	N 54°41'03" E	74.24'
C2	44°11'21"	330.00'	254.51'	N 40°29'31" E	248.25'
C3	97°31'15"	125.00'	212.76'	N 67°10'01" E	187.99'
C4	26°02'39"	126.70'	57.59'	S 76°46'50" E	57.10'
C5	13°33'54"	245.00'	58.00'	N 55°48'16" E	57.87'
C6	44°10'17"	355.13'	273.78'	N 40°29'32" E	267.05'
C7	97°31'16"	100.00'	170.21'	N 67°10'01" E	150.39'
C8	16°26'41"	101.70'	29.19'	S 71°58'51" E	29.09'
C9	94°46'16"	25.00'	41.35'	S 28°47'26" E	36.80'
C10	21°45'38"	30.00'	11.39'	S 87°03'23" E	11.33'
C11	29°05'37"	45.00'	22.85'	S 83°23'23" E	22.61'
C12	86°06'56"	20.00'	30.06'	N 68°05'57" E	27.31'
C13	91°15'06"	44.00'	70.08'	S 65°31'52" W	62.90'
C14	29°05'37"	21.00'	10.66'	N 83°23'23" W	10.55'
C15	21°45'38"	54.00'	20.51'	N 87°03'23" W	20.39'
C16	94°46'16"	49.00'	81.05'	N 26°24'18" W	72.12'
C17	90°00'00"	25.00'	39.27'	N 26°24'18" W	35.36'

VICINITY MAP
Not To Scale



ABBREVIATIONS

Cab. = Cabinet
Sl. = Slide
Vol. = Volume
Pg. = Page
Inst. No. = Instrument Number
D.R.R.C.T. = Deed Records, Rockwall County, Texas
P.R.R.C.T. = Plat Records, Rockwall County, Texas
FAUE = Firelane, Access & Utility Easement
F.E. = Fire Lane Easement
P.S.E. = Pedestrian & Sidewalk Easement
ESMNT. = Easement
CM = Controlling Monument
IRF = Iron Rod Found
IRS = 1/2" Iron Set with red plastic cap, stamped "RPLS 4701"
MNS = Mag Nail Set with steel washer, stamped "RPLS 4701"

OWNER

HERITAGE CHRISTIAN ACADEMY
Contact: Brad Helmer
1408 S. Goliad Street
Rockwall, Texas 75087
972-772-3003

SURVEYOR

RINGLEY & ASSOCIATES, INC.
Contact: Lawrence H. Ringley
701 S. Tennessee Street
McKinney, Texas 75069
972-542-1266
LHR@Ringley.com

REPLAT

HERITAGE CHRISTIAN ACADEMY ADDITION
LOT 1R, BLOCK A

Being a Replat of
Heritage Christian Academy Addition
Lot 1, Block A
being one (1) lot on 6.641-Acres
situated in the
Burwell J.T. Lewis Survey, Abstract No. 255
City of Rockwall, Rockwall County, Texas

Case No. _____

RINGLEY & ASSOCIATES, INC.
SURVEYING • MAPPING • PLANNING
Texas Firm Registration No. 10061300
701 S. Tennessee - McKinney, Texas 75069
(972) 542-1266

Drawn by	Date	Scale	Job	Title	Sheet
Mark Haab	08/18/2023	1" = 100'	2020037	2020037-RP.DWG	1 of 2

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS, HERITAGE CHRISTIAN ACADEMY is the owner of that certain tract of land, situated in the City of Rockwall, in the Burwell J.T. Lewis Survey, Abstract No. 255 of Rockwall County, Texas and being Lot 1, Block A of Heritage Christian Academy Addition, an addition to the City of Rockwall, according to the Final Plat thereof, recorded in Cabinet F, Slide 91, Plat Records, Rockwall County, Texas (P.R.R.C.T.) and same being described in a deed to Heritage Christian Academy, recorded in Volume 2387, Page 231, Deed Records, Rockwall County, Texas (D.R.R.C.T.) and being more particularly described by metes & bounds as follows:

BEGINNING at a 1/2 inch iron rod found on the southerly right-of-way line of Damascus Road (60' wide public right-of-way at this point), for the most northerly northeast corner of the above described Lot 1, Block A and same being the northwest corner of Pebblebrook Apartments, an addition to the City of Rockwall, according to the plat thereof, recorded in Cabinet A, Slide 319, P.R.R.C.T.;

THENCE: South 18 deg. 44 min. 25 sec. West, departing from said Damascus Road, along the common line of said Lot 1, Block A and said Pebblebrook Apartments, a distance of 317.69 feet to a 1/2 inch iron rod found for the southwest corner of said Pebblebrook Apartments and same being the northwest corner of Lot 1R of Canyon Ridge-Canyon Ranch Addition, an addition to the City of Rockwall, according to the plat thereof, recorded in Cabinet E, Slide 385-388, P.R.R.C.T.;

THENCE: South 18 deg. 17 min. 47 sec. West, along the common line of said Lot 1, Block A and said Lot 1R, a distance of 335.44 feet to a 1/2 inch iron rod found for the southeast corner of said Lot 1, Block A and same being the northeast corner of Lot 1, Block A of Our Lady Of The Lake Catholic Church, an addition to the City of Rockwall, according to the plat thereof, recorded in Cabinet B, Slide 217, P.R.R.C.T.;

THENCE: North 64 deg. 01 min. 10 sec. West, along the common line of said Heritage Christian Academy Addition and said Our Lady Of The Lake Catholic Church, a distance of 607.15 feet to a 1/2 inch iron rod found on the southeasterly right-of-way line of the above mentioned Damascus Road, for the northwest corner of said Our Lady Of The Lake Catholic Church addition and the southwest corner of said Lot 1, Block A of Heritage Christian Academy Addition and said point being in a non-tangent curve to the right, having a radius of 270.00 feet, a central angle of 15 deg. 48 min. 10 sec. and a chord that bears North 54 deg. 41 min. 06 sec. East - 74.23 feet;

THENCE: Along the southeasterly right-of-way line of said Damascus Road and with said curve to the right, an arc distance of 74.47 feet to a 1/2 inch iron rod, topped with a yellow plastic cap, stamped "RPLS 5686", found for the point of reverse curve to the left, having a radius of 330.00 feet, a central angle of 44 deg. 11 min. 21 sec. and a chord that bears North 40 deg. 29 min. 31 sec. East - 248.25 feet;

THENCE: Continuing along Damascus Road and with said curve to the left, an arc distance of 254.51 feet to a 1/2 inch iron rod found for corner at the end of said curve;

THENCE: North 18 deg. 24 min. 23 sec. East, continuing along the easterly right-of-way line of said Damascus Road, a distance of 142.04 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for corner at the beginning of a curve to the right, having a radius of 125.00 feet, a central angle of 97 deg. 31 min. 15 sec. and a chord that bears North 67 deg. 10 min. 01 sec. East - 187.99 feet;

THENCE: Continuing along the southeasterly right-of-way line of said Damascus Road and with said curve to the right, an arc distance of 212.76 feet to a 1/2 inch iron rod found for corner at the end of said curve:

THENCE: South 64 deg. 04 min. 21 sec. East, continuing along said Damascus Road, a distance of 268.34 feet to a 1/2 inch iron rod found for an inside ell corner of said Lot 1, Block A;

THENCE: North 20 deg. 16 min. 31 sec. East, continuing along said Damascus Road, a distance of 47.24 feet to a mag nail with a steel washer, stamped "RPLS 4701", set for the most northerly northwest corner of said Lot 1, Block A and said point being in a non-tangent curve to the right, having a radius of 126.70 feet, a central angle of 26 deg. 02 min. 39 sec. and a chord that bears South 76 deg. 46 min. 50 sec. East - 57.10 feet;

THENCE: Continuing along the common line of said Lot 1, Block A and said Damascus Road, an arc distance of 57.59 feet to the POINT OF BEGINNING and containing 289,064 square feet or 6.636 acres of land.

SURVEYOR'S CERTIFICATE

That I, Lawrence H. Ringley, do hereby certify that I have prepared this plat and the field notes shown hereon from an on ground survey of that land, and this plat is a true, correct and accurate representation of the physical evidence found at the time of the survey; that the corner monuments shown hereon were found and/or placed under my personal supervision. This plat was prepared in accordance with the platting rules and regulations of the City of Rockwall, Texas.

DATED this the _____ day of _____ , 2022.

Lawrence H. Ringley
State of Texas, No. 4701

STATE OF TEXAS §
COUNTY OF COLLIN §

Before me, the undersigned authority, on this day personally appeared LAWRENCE RINGLEY, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____ , 2022.

Notary Public in and for the State of Texas

My Commission Expires:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WE, the undersigned owners of the land shown on this plat, and designated herein as the **HERITAGE CHRISTIAN ACADEMY ADDITION, LOT 1R, BLOCK A**, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **HERITAGE CHRISTIAN ACADEMY ADDITION** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls suchthat properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. The owner shall be responsible for all maintenance, repair and replacement of all drainage and detention facilities.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

_____
BRAD HELMER, Head of School
Heritage Christian Academy

STATE OF TEXAS §
COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared **BRAD HELMER**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ Day of _____ , 2022.

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Planning and Zoning Commission, Chairman **Date**

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

Mayor, City of Rockwall **City Secretary** **City Engineer**

OWNER

HERITAGE CHRISTIAN ACADEMY
Contact: Brad Helmer
1408 S. Goliad Street
Rockwall, Texas 75087
972-772-3003

SURVEYOR

RINGLEY & ASSOCIATES, INC.
Contact: Lawrence H. Ringley
701 S. Tennessee Street
McKinney, Texas 75069
972-542-1266
LHR@Ringley.com

REPLAT

HERITAGE CHRISTIAN ACADEMY ADDITION
LOT 1R, BLOCK A

Being a Replat of
Heritage Christian Academy Addition
Lot 1, Block A
being one (1) lot on 6.641-Acres
situated in the
Burwell J.T. Lewis Survey, Abstract No. 255
City of Rockwall, Rockwall County, Texas

Case No. _____

RINGLEY & ASSOCIATES, INC.
SURVEYING • MAPPING • PLANNING
Texas Firm Registration No. 10061300
701 S. Tennessee - McKinney, Texas 75069
(972) 542-1266

Drawn by	Date	Scale	Job	Title	Sheet
Mark Slade	08/18/2023	N.T.S.	2020037	2020037-RP.DWG	2 of 2

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☑ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1408 S. Goliad St. Rockwall TX 75087				
SUBDIVISION	Heritage Christian Academy Addition	LOT	1	BLOCK	A
GENERAL LOCATION	Damascus Rd. and S. Goliad				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	MF-14		CURRENT USE	Private School	
PROPOSED ZONING	No Change		PROPOSED USE	No Change	
ACREAGE	6.641	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	Heritage Christian Academy	☑ APPLICANT	same
CONTACT PERSON	Brad Helmer	CONTACT PERSON	
ADDRESS	1408 S. Goliad St.	ADDRESS	
	R		
CITY, STATE & ZIP	Rockwall TX 75087	CITY, STATE & ZIP	
PHONE	972 772 3003	PHONE	
E-MAIL	bhelmer@hcarockwall.org	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bradley C. Helmer [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 582.82 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18th *DAY OF* August, 20 23. *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

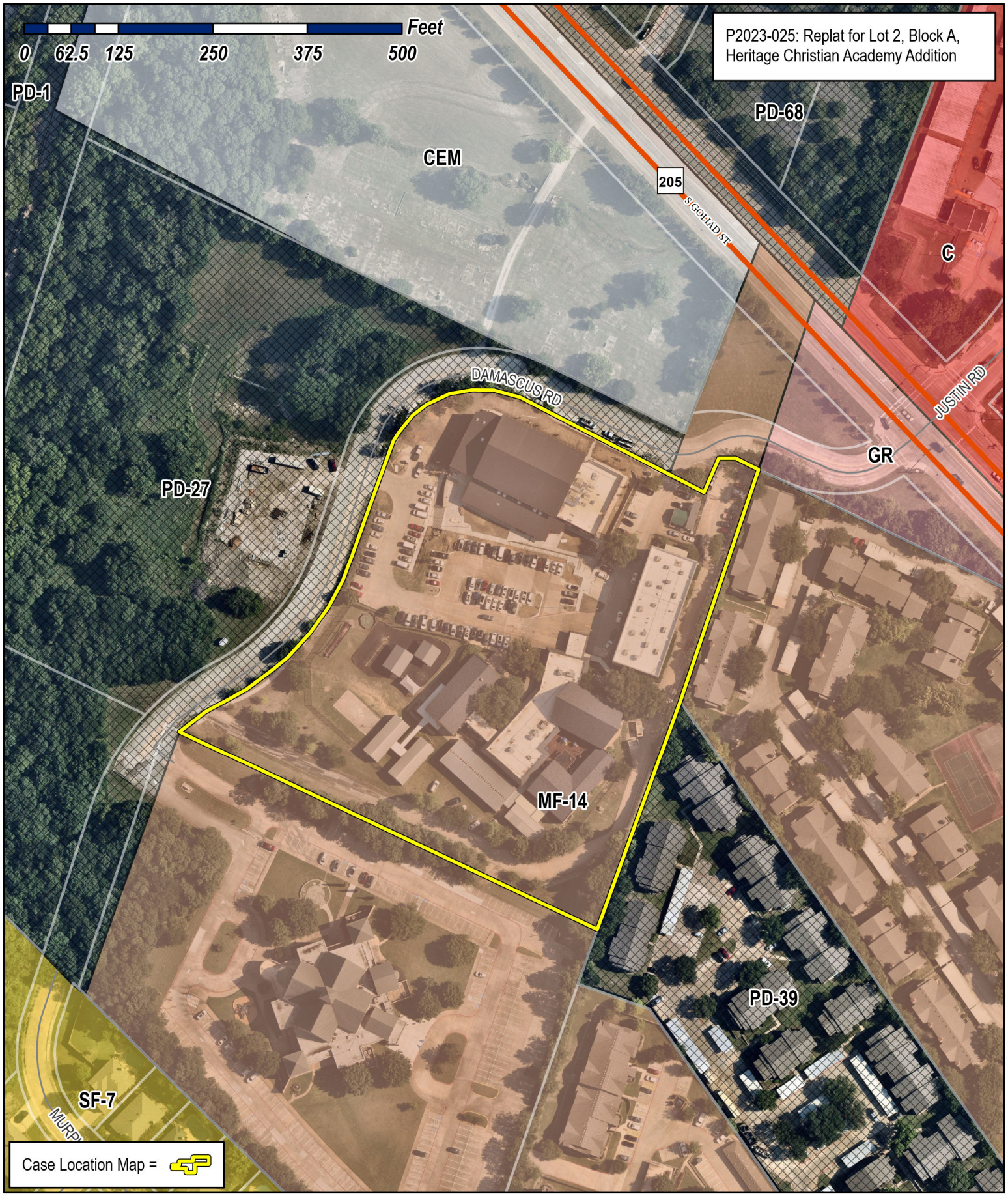
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th *DAY OF* August, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PAIGE S. PRADO-BAESA
Notary Public, State of Texas
Comm. Expires 06-17-2025
Notary ID 131171630

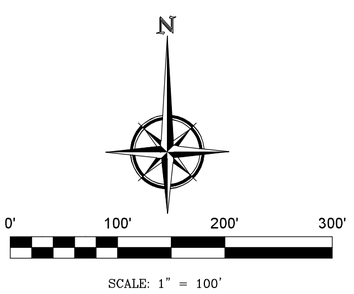
MY COMMISSION EXPIRES 06-17-2025



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SCALE: 1" = 100'

GENERAL NOTES:

1. The area (acres) shown hereon is based on the mathematical closure of the courses and distances reflected on this Survey. It does not include the tolerances that may be present due to positional accuracy of the boundary monuments in place.

2. Reference Bearing: The Bearings shown hereon are geodetic and are based upon GPS observations from City of Rockwall GPS Control Monuments No. COR-6 and COR-11. NAD-83, Texas North Central Zone.

FLOOD ZONE NOTE:

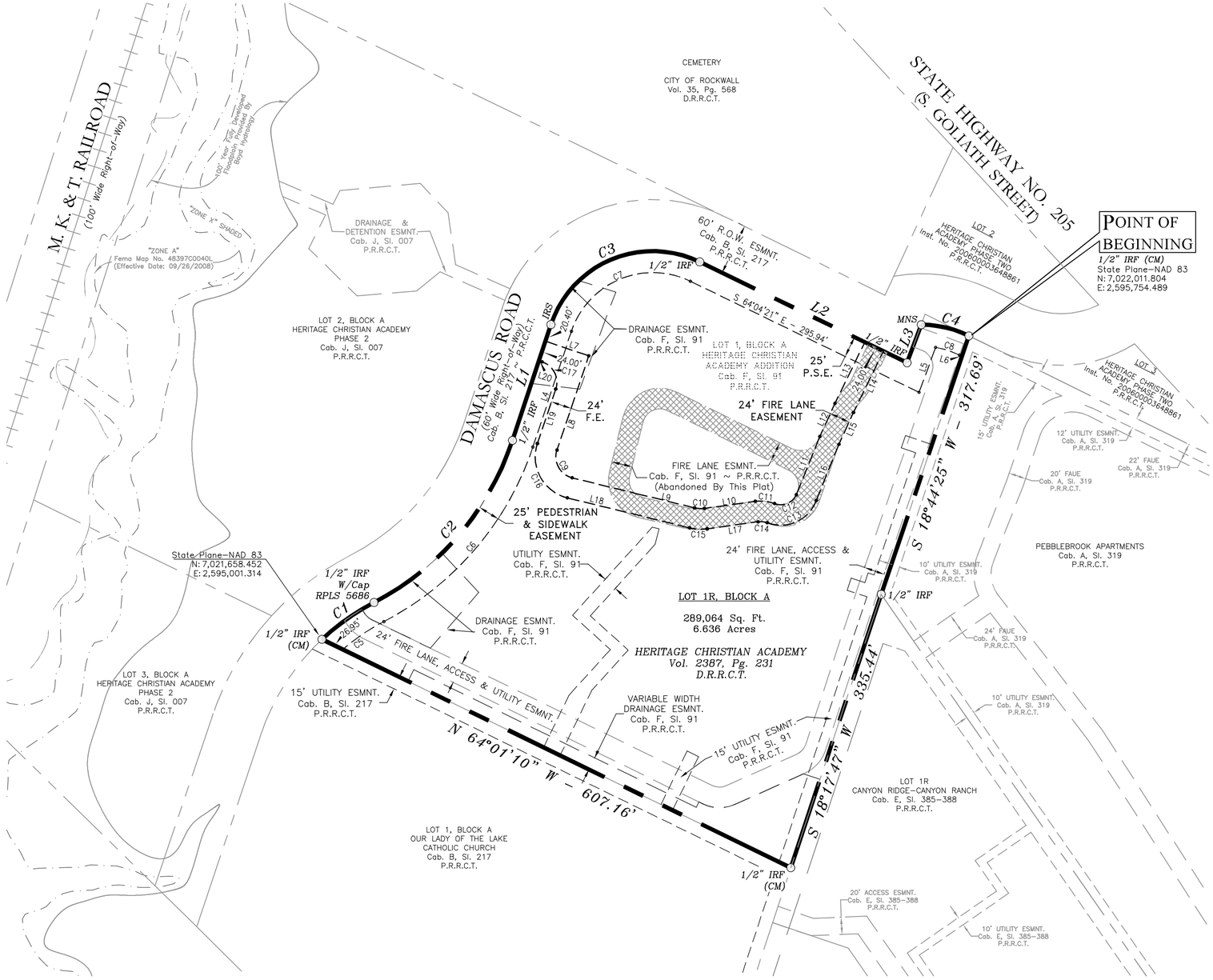
This Surveyor has reviewed Flood Insurance Rate Map No. 48397C0040L (effective date September 26, 2008) published by the Federal Emergency Management Administration for Rockwall County, Texas and based upon said scaled map and graphic plotting, such review revealed that the subject parcel lies within "ZONE X" (Un-Shaded) and is outside of the 100 Year Flood Plain and is determined to be outside the 0.2% annual chance floodplain.

PURPOSE STATEMENT:

The purpose of this Replat is to abandon the fire lane easement on Lot 1, Block A of Heritage Christian Academy Addition and dedicate new easements.

MONUMENT NOTE:

All lot corner monuments set by this Surveyor are 1/2 inch diameter rebar, 18 inches long, topped with a red plastic cap, stamped "RPLS 4701" or if in concrete pavement, a mag nail with a steel washer, stamped "RPLS 4701", unless otherwise noted.



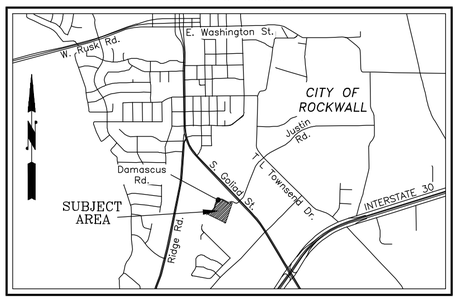
LINE TABLE:

LINE	BEARING	DISTANCE
L1	N 18°24'23" E	142.04'
L2	S 64°04'21" E	268.34'
L3	N 20°16'31" E	47.24'
L4	N 18°24'23" E	142.04'
L5	N 20°16'31" E	55.84'
L6	S 63°45'31" E	3.29'
L7	S 71°24'18" E	53.13'
L8	S 18°35'42" W	115.88'
L9	S 76°10'34" E	70.24'
L10	N 82°03'48" E	59.85'
L11	N 21°58'25" E	73.03'
L12	N 24°29'16" E	42.51'
L13	N 26°02'53" E	79.37'
L14	S 26°02'53" W	79.37'
L15	S 24°30'28" W	40.80'
L16	S 21°58'25" W	70.37'
L17	S 82°03'48" W	59.85'
L18	N 76°10'34" W	146.78'
L19	N 18°35'42" E	66.88'
L20	N 71°24'18" W	4.05'

CURVE TABLE:

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	15°48'15"	270.00'	74.48'	N 54°41'03" E	74.24'
C2	44°11'21"	330.00'	254.51'	N 40°29'31" E	248.25'
C3	97°31'15"	125.00'	212.76'	N 67°10'01" E	187.99'
C4	26°02'39"	126.70'	57.59'	S 76°46'50" E	57.10'
C5	13°33'54"	245.00'	58.00'	N 55°48'16" E	57.87'
C6	44°10'17"	355.13'	273.78'	N 40°29'32" E	267.05'
C7	97°31'16"	100.00'	170.21'	N 67°10'01" E	150.39'
C8	16°26'41"	101.70'	29.19'	S 71°58'51" E	29.09'
C9	94°46'16"	25.00'	41.35'	S 28°47'26" E	36.80'
C10	21°45'38"	30.00'	11.39'	S 87°03'23" E	11.33'
C11	29°05'37"	45.00'	22.85'	S 83°23'23" E	22.61'
C12	86°06'56"	20.00'	30.06'	N 68°05'57" E	27.31'
C13	91°15'06"	44.00'	70.08'	S 65°31'52" W	62.90'
C14	29°05'37"	21.00'	10.66'	N 83°23'23" W	10.55'
C15	21°45'38"	54.00'	20.51'	N 87°03'23" W	20.39'
C16	94°46'16"	49.00'	81.05'	N 28°47'26" W	72.12'
C17	90°00'00"	25.00'	39.27'	N 26°24'18" W	35.36'

VICINITY MAP
Not To Scale



ABBREVIATIONS

Cab. = Cabinet
Sl. = Slide
Vol. = Volume
Pg. = Page
Inst. No. = Instrument Number
D.R.R.C.T. = Deed Records, Rockwall County, Texas
P.R.R.C.T. = Plat Records, Rockwall County, Texas
FAUE = Firelane, Access & Utility Easement
F.E. = Fire Lane Easement
P.S.E. = Pedestrian & Sidewalk Easement
ESMNT. = Easement
CM = Controlling Monument
IRF = Iron Rod Found
IRS = 1/2" Iron Set with red plastic cap, stamped "RPLS 4701"
MNS = Mag Nail Set with steel washer, stamped "RPLS 4701"

OWNER

HERITAGE CHRISTIAN ACADEMY
Contact: Brad Helmer
1408 S. Goliad Street
Rockwall, Texas 75087
972-772-3003

SURVEYOR

RINGLEY & ASSOCIATES, INC.
Contact: Lawrence H. Ringley
701 S. Tennessee Street
McKinney, Texas 75069
972-542-1266
LHR@Ringley.com

REPLAT

HERITAGE CHRISTIAN ACADEMY ADDITION
LOT 1R, BLOCK A

Being a Replat of
Heritage Christian Academy Addition
Lot 1, Block A
being one (1) lot on 6.641-Acres
situated in the
Burwell J.T. Lewis Survey, Abstract No. 255
City of Rockwall, Rockwall County, Texas

Case No. _____

RINGLEY & ASSOCIATES, INC.
SURVEYING • MAPPING • PLANNING
Texas Firm Registration No. 10061300
701 S. Tennessee - McKinney, Texas 75069
(972) 542-1266

Drawn by	Date	Scale	Job	Title	Sheet
Mark Haab	08/18/2023	1" = 100'	2020037	2020037-RP.DWG	1 of 2

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS, HERITAGE CHRISTIAN ACADEMY is the owner of that certain tract of land, situated in the City of Rockwall, in the Burwell J.T. Lewis Survey, Abstract No. 255 of Rockwall County, Texas and being Lot 1, Block A of Heritage Christian Academy Addition, an addition to the City of Rockwall, according to the Final Plat thereof, recorded in Cabinet F, Slide 91, Plat Records, Rockwall County, Texas (P.R.R.C.T.) and same being described in a deed to Heritage Christian Academy, recorded in Volume 2387, Page 231, Deed Records, Rockwall County, Texas (D.R.R.C.T.) and being more particularly described by metes & bounds as follows:

BEGINNING at a 1/2 inch iron rod found on the southerly right-of-way line of Damascus Road (60' wide public right-of-way at this point), for the most northerly northeast corner of the above described Lot 1, Block A and same being the northwest corner of Pebblebrook Apartments, an addition to the City of Rockwall, according to the plat thereof, recorded in Cabinet A, Slide 319, P.R.R.C.T.;

THENCE: South 18 deg. 44 min. 25 sec. West, departing from said Damascus Road, along the common line of said Lot 1, Block A and said Pebblebrook Apartments, a distance of 317.69 feet to a 1/2 inch iron rod found for the southwest corner of said Pebblebrook Apartments and same being the northwest corner of Lot 1R of Canyon Ridge-Canyon Ranch Addition, an addition to the City of Rockwall, according to the plat thereof, recorded in Cabinet E, Slide 385-388, P.R.R.C.T.;

THENCE: South 18 deg. 17 min. 47 sec. West, along the common line of said Lot 1, Block A and said Lot 1R, a distance of 335.44 feet to a 1/2 inch iron rod found for the southeast corner of said Lot 1, Block A and same being the northeast corner of Lot 1, Block A of Our Lady Of The Lake Catholic Church, an addition to the City of Rockwall, according to the plat thereof, recorded in Cabinet B, Slide 217, P.R.R.C.T.;

THENCE: North 64 deg. 01 min. 10 sec. West, along the common line of said Heritage Christian Academy Addition and said Our Lady Of The Lake Catholic Church, a distance of 607.15 feet to a 1/2 inch iron rod found on the southeasterly right-of-way line of the above mentioned Damascus Road, for the northwest corner of said Our Lady Of The Lake Catholic Church addition and the southwest corner of said Lot 1, Block A of Heritage Christian Academy Addition and said point being in a non-tangent curve to the right, having a radius of 270.00 feet, a central angle of 15 deg. 48 min. 10 sec. and a chord that bears North 54 deg. 41 min. 06 sec. East - 74.23 feet;

THENCE: Along the southeasterly right-of-way line of said Damascus Road and with said curve to the right, an arc distance of 74.47 feet to a 1/2 inch iron rod, topped with a yellow plastic cap, stamped "RPLS 5686", found for the point of reverse curve to the left, having a radius of 330.00 feet, a central angle of 44 deg. 11 min. 21 sec. and a chord that bears North 40 deg. 29 min. 31 sec. East - 248.25 feet;

THENCE: Continuing along Damascus Road and with said curve to the left, an arc distance of 254.51 feet to a 1/2 inch iron rod found for corner at the end of said curve;

THENCE: North 18 deg. 24 min. 23 sec. East, continuing along the easterly right-of-way line of said Damascus Road, a distance of 142.04 feet to a 1/2 inch iron rod, topped with a red plastic cap, stamped "RPLS 4701", set for corner at the beginning of a curve to the right, having a radius of 125.00 feet, a central angle of 97 deg. 31 min. 15 sec. and a chord that bears North 67 deg. 10 min. 01 sec. East - 187.99 feet;

THENCE: Continuing along the southeasterly right-of-way line of said Damascus Road and with said curve to the right, an arc distance of 212.76 feet to a 1/2 inch iron rod found for corner at the end of said curve:

THENCE: South 64 deg. 04 min. 21 sec. East, continuing along said Damascus Road, a distance of 268.34 feet to a 1/2 inch iron rod found for an inside ell corner of said Lot 1, Block A;

THENCE: North 20 deg. 16 min. 31 sec. East, continuing along said Damascus Road, a distance of 47.24 feet to a mag nail with a steel washer, stamped "RPLS 4701", set for the most northerly northwest corner of said Lot 1, Block A and said point being in a non-tangent curve to the right, having a radius of 126.70 feet, a central angle of 26 deg. 02 min. 39 sec. and a chord that bears South 76 deg. 46 min. 50 sec. East - 57.10 feet;

THENCE: Continuing along the common line of said Lot 1, Block A and said Damascus Road, an arc distance of 57.59 feet to the POINT OF BEGINNING and containing 289,064 square feet or 6.636 acres of land.

SURVEYOR'S CERTIFICATE

That I, Lawrence H. Ringley, do hereby certify that I have prepared this plat and the field notes shown hereon from an on ground survey of that land, and this plat is a true, correct and accurate representation of the physical evidence found at the time of the survey; that the corner monuments shown hereon were found and/or placed under my personal supervision. This plat was prepared in accordance with the platting rules and regulations of the City of Rockwall, Texas.

DATED this the _____ day of _____ , 2022.

Lawrence H. Ringley
State of Texas, No. 4701

STATE OF TEXAS §
COUNTY OF COLLIN §

Before me, the undersigned authority, on this day personally appeared LAWRENCE RINGLEY, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____ , 2022.

Notary Public in and for the State of Texas

My Commission Expires:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WE, the undersigned owners of the land shown on this plat, and designated herein as the **HERITAGE CHRISTIAN ACADEMY ADDITION, LOT 1R, BLOCK A**, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the **HERITAGE CHRISTIAN ACADEMY ADDITION** subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls suchthat properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

7. The owner shall be responsible for all maintenance, repair and replacement of all drainage and detention facilities.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

_____
BRAD HELMER, Head of School
Heritage Christian Academy

STATE OF TEXAS §
COUNTY OF ROCKWALL §

Before me, the undersigned authority, on this day personally appeared **BRAD HELMER**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ Day of _____ , 2022.

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Planning and Zoning Commission, Chairman **Date**

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2022.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2022.

Mayor, City of Rockwall **City Secretary** **City Engineer**

OWNER

HERITAGE CHRISTIAN ACADEMY
Contact: Brad Helmer
1408 S. Goliad Street
Rockwall, Texas 75087
972-772-3003

SURVEYOR

RINGLEY & ASSOCIATES, INC.
Contact: Lawrence H. Ringley
701 S. Tennessee Street
McKinney, Texas 75069
972-542-1266
LHR@Ringley.com

REPLAT

HERITAGE CHRISTIAN ACADEMY ADDITION
LOT 1R, BLOCK A

Being a Replat of
Heritage Christian Academy Addition
Lot 1, Block A
being one (1) lot on 6.641-Acres
situated in the
Burwell J.T. Lewis Survey, Abstract No. 255
City of Rockwall, Rockwall County, Texas

Case No. _____

RINGLEY & ASSOCIATES, INC.
SURVEYING • MAPPING • PLANNING
Texas Firm Registration No. 10061300
701 S. Tennessee - McKinney, Texas 75069
(972) 542-1266

Drawn by	Date	Scale	Job	Title	Sheet
Mark Slade	08/18/2023	N.T.S.	2020037	2020037-RP.DWG	2 of 2

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	August 29, 2023
APPLICANT:	Robert Howman; *Glenn Engineering*
CASE NUMBER:	P2023-026; *Replat for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition*

SUMMARY

Consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a *Replat* for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition being a 6.626-acre parcel of land identified as Lot 2, Block A, Heritage Christian Academy, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 27 (PD-27) for Multi-Family 15 (MF-15) District land uses, located west of the intersection of Damascus Road and S. Goliad Street [*SH-205*], and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a *Replat* on a 6.626-acre parcel of land (*i.e. Lot 2, Block A, Heritage Christian Academy Addition*) for the purpose of establishing one (1) non-residential lots (*i.e. Lot 3, Block A, Heritage Christian Academy Addition*). The purpose of the *Replat* is to dedicate fire lane, access, and utility easements on the subject property.

- ☑ The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02*. The City's historic zoning maps indicate that the subject property was zoned Multi-Family 1 (MF-1) District as of January 3, 1972, and Multi-Family 15 (MF-15) District as of May 16, 1983. On June 1, 1987, the subject property was rezoned from a Multi-Family 15 (MF-15) District to Planned Development District 27 (PD-27) [*Ordinance No. 87-31*] for Multi-Family 14 (MF-14) District land uses. On July 19, 2004, the City Council adopted *Ordinance No. 04-43*] to establish development timelines for the subject property; however, the subject property has remained vacant since annexation.. On August 1, 2016, the City Council approved a replat [*i.e. Case No. P2016-031*] to create two (2) parcels of land [*i.e. Lots 2 & 3, Block A, Heritage Christian Academy*] and convey one (1) parcel of land to Our Lady of the Lake Catholic Church.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Replat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *Replat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Replat for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,

(2) Any construction resulting from the approval of this ***Replat*** shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: P2023-026
PROJECT NAME: Final Plat for Lot 2, Block A , Heritage Christian Academy Phase 2
SITE ADDRESS/LOCATIONS: 1408 S GOLIAD ST

CASE CAPTION: Consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Replat for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition being a 6.626-acre parcel of land identified as Lot 2, Block A, Heritage Christian Academy, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 27 (PD-27) for Multi-Family 15 (MF-15) District land uses, located west of the intersection of Damascus Road and S. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: P2023-026: Replat for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Replat for Lot 3, Block A, Heritage Christian Academy, Phase 2 Addition being a 6.626-acre parcel of land identified as Lot 2, Block A, Heritage Christian Academy, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 27 (PD-27) for Multi-Family 15 (MF-15) District land uses, located west of the intersection of Damascus Road and S. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2023-026) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT
LOT 3, BLOCK A,
HERITAGE CHRISTIAN ACADEMY, PHASE 2 ADDITION
BEING A REPLAT OF
LOT 2, BLOCK A
HERITAGE CHRISTIAN ACADEMY, PHASE 2 ADDITION
BEING
1 LOT
6.626-ACRES OR 288,622 SF
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label the building lines adjacent to Damascus Road. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Please label the centerline along Damascus Road. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Provide the new Owner's Certificate of Dedication below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

STATE OF TEXAS
COUNTY OF ROCKWALL
WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

_____
PROPERTY OWNER SIGNATURE

_____

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE]

M.8 Please provide the new Surveyor's/Registered Engineer Certificate below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

_____ _____
SURVEYOR [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR

M.9 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.10 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

_____
MAYOR OF THE CITY OF ROCKWALL _____
PLANNING AND ZONING COMMISSION CHAIRMAN

_____
CITY SECRETARY

_____
CITY ENGINEER

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: August 29, 2023
City Council: September 5, 2023

I.13 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Call out 100-yr WSEL of floodplain a minimum of every 300'. Floodplain and erosion hazard set back are placed within a drainage easement, with an additional 20' outside of floodplain/erosion hazard setback.
2. Call out 100-yr WSEL of detention pond.
3. Remove contours.
4. Replat will probably be needed due to no engineering approval. Should have platted after engineering has been approved.
5. Floodplain shall be notated as a drainage easement. Call out source of floodplain information. Label water surface elevation shown every 300'.
6. Update general note number 5 per pdf attachment.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

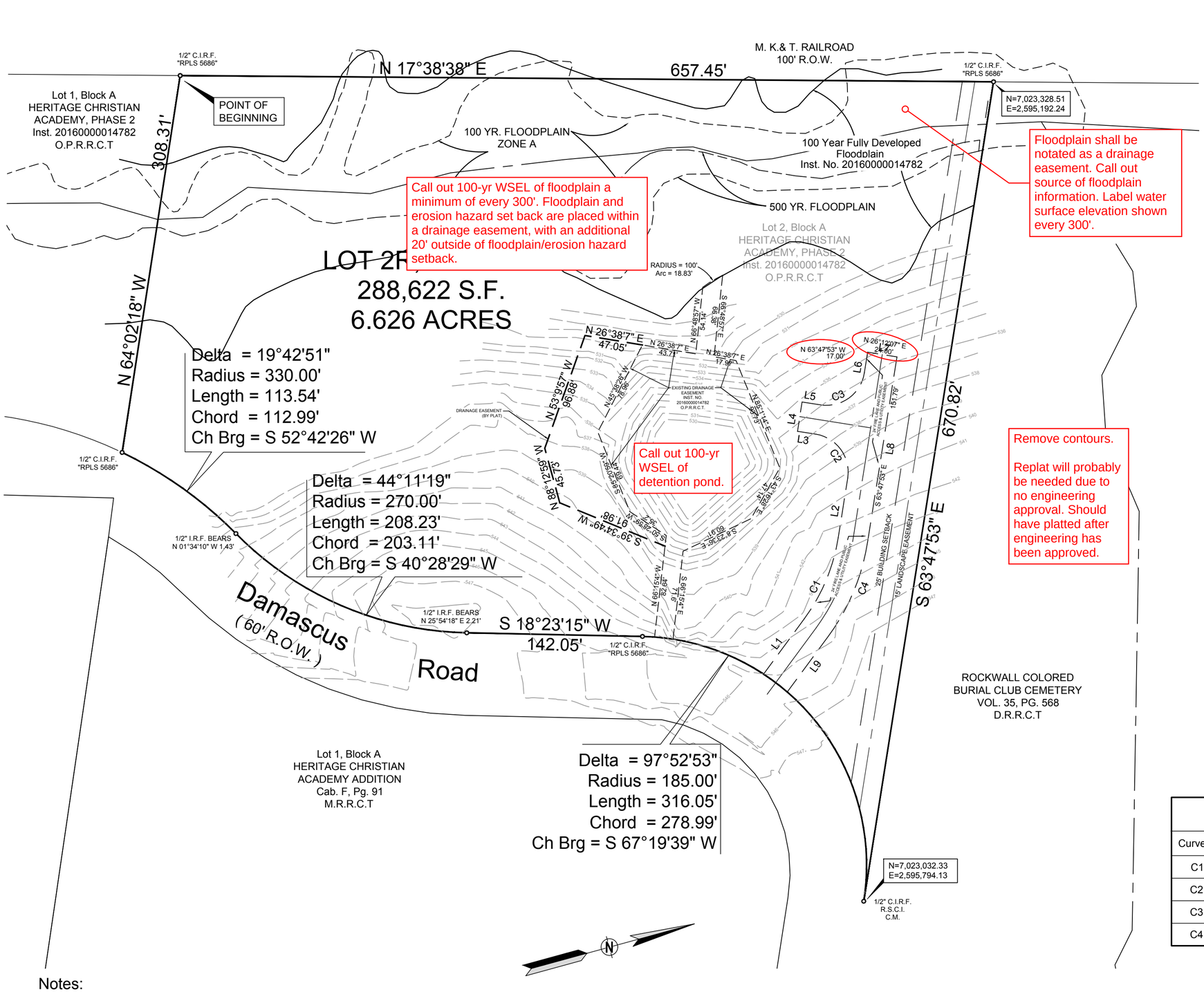
No Comments

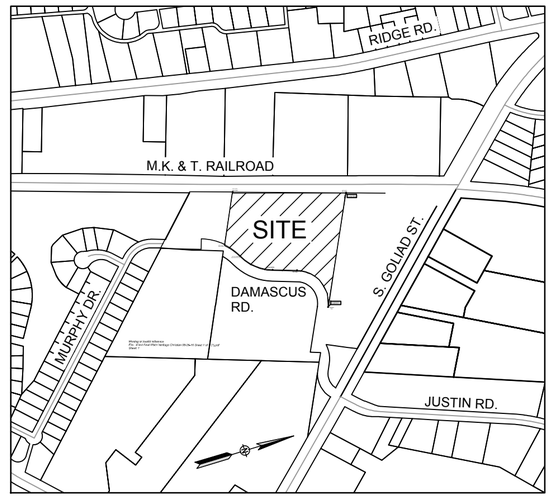
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments





LOCATION MAP
SCALE: NTS

Parcel Line Table		
Line #	Length	Direction
L1	55.36	N36° 23' 52"W
L2	48.79	S63° 47' 53"E
L3	15.00	S26° 12' 07"W
L4	24.00	S63° 47' 53"E
L5	15.00	S26° 12' 07"W
L6	17.00	S63° 47' 53"E
L7	24.00	N26° 12' 07"E
L8	151.79	S63° 47' 53"E
L9	55.64	N36° 23' 52"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	71.97	150.50	27°24'01"	N50° 05' 52"W	71.29
C2	48.69	31.00	90°00'00"	S71° 12' 07"W	43.84
C3	48.69	31.00	90°00'00"	N18° 47' 53"W	43.84
C4	83.45	174.50	27°24'01"	N50° 05' 52"W	82.66

Notes:

1. According to the Flood Insurance Rate Map of Rockwall County, Texas, Map No. 48397C0040L, Map Revied 09/26/2008, the herein described property is located in Zone "X", descripbed by said map to be "areas determined to be outside of the 0.2% annual chance floodplain" and in Shaded Zone A, described by said map to be, Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual flood: no base flood elevations determined.
2. The surveyor has relied on th herein described subject plat with regard to any easemenets, restrictions, or rights-0f-way affecting the above described Property. No additional research regarding said eaements, restrictions or rights-of-way has been performed by the suryor.
3. Bearings and Coordinates are based on the southwesterly line of Lot 1, Block A, HERITAFW CHRISTIAN ACADEMY ADDITION, an addition to the City of Rockwall, as recorded in Cabined F, Pages 91 and 92, of the Map Records, Rockwall County, Texas, said bearing being South 64 deg.02 min.18 sec. East.
4. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assuance or guarantee that any building within such plat shal be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy an availability for wter for personal use and fire protection within such plan, as required under Ordinance 83.54.
5. ~~The property Owner shall maintain, repari, and replace all detention systems.~~
   The property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

OWNER:
HERITAGE CHRISTIAN ACADEMY
1408 S. GOLIAD STREET
ROCKWALL, TEXAS 75087

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DRIVE, SUITE 220
IRVING, TEXAS 75038
TBPE FIRM NO. F-303
(972) 717-5151
(469) 472-9192 FAX
CONTACT: MIKE GLENN, P.E.

SURVEYOR:
CENTRO RESOURCES
1475 HERITAGE PARKWAY
SUITE 217
MANSFIELD, TEXAS 76063
10193888
(817) 354-1445
CONTACT: LARRY TURMAN

FINAL PLAT

HERITAGE CHRISTIAN ACADEMY PHASE 2 LOT 2R , BLOCK A

BEING A REPLAT OF
HERITAGE CHRISTIAN ACADEMY, PHASE 2
LOT 2, BLOCK A

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

6.626 ACRES

08-14-23 Case No. PXX

OWNER'S CERTIFICATE AND DEDICATION

LEGAL DESCRIPTION

WHEREAS, HERITAGE CHRISTIAN ACACEMY is the owner of a tract of land situated in the City of Rockwall, Rockwall County, Texas, being in the B.J.T. Lewis Survey, Abstract No. 224 and being all of Lot 2, of HERITAGE CHRISTIAN ACADEMY PHASE 2, an addition to the City of Rockwall, Rockwall County, Texas, as recorded in Instrument No. 20160000014782, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), said tract being more particularly described as follows:

BEGINNING at a ½" iron rod with a yellow plastic cap stamped "RPLS 5686" found for the most westerly corner of said Lot 2, same being the most northerly corner of Lot 3, Block A, of said HERITAGE CHRISTIAN ACADEMY PHASE 2, said corner also being in the southeasterly monumented line of the M.K. & T. Railroad (100' right-of-way);

THENCE North 17°38'38" East, along said southeasterly monumented line of the M. K. & T. Railroad, same being the northwesterly line of said Lot 1, a distance of 657.45' to a ½" iron road with a yellow plastic cap stamped "RPLS 5686" found for the most northerly corner of said Lot 2, same being the most westerly corner of the Rockwall Colored Burial Club Cemetery, as recorded in Volume 35, Page 568, of the Deed Records, Rockwall County, Texas (D.R.R.C.T.);

THENCE South 63°47'53" East, along the northeasterly line of said Lot 2, a distance of 670.82' to a ½" iron rod with a plastic cap stamped "R.S.C.I." found for the most easterly corner of said Lot 2, same being the northerly monumented line of Damascus Road, said corner also being in a curve to the left, having a radius of 185.00', a central angle of 97°52'53", and a chord which bears, South 67°19'39" West, a chord distance of 278.99';

Thence along said curve to the left, a northwesterly direction, an arc length of 316.05' to a ½" iron rod with a yellow plastic cap stamped "RPLS 5786" found at the end of said curve;

THENCE South 18°23'15" West, along the northwesterly monumented line of Damascus Road, a distance of 142.05' to a point for corner from which a ½" iron rod found bears North 25°54'18" East, a distance of 2.21', said point for corner being at the beginning of a curve to the right, having a radius of 270.00', a central angle of 44°11'19", and a chord which bears South 40°28'29" West, a chord distance of 203.11';

Thence along said curve to the right, in a southwesterly direction, an arc length of 208.23' to a point for corner from which a ½" iron rod found bears North 01°34'10" West, a distance of 1.43', said point for corner being at the beginning of a curve to the left, having a radius of 330.00', a central angle of 19°42'51", and a chord which bears South 52°42'26" West, a chord distance of 112.99';

Thence along said curve to the left, in a southwesterly direction, an arc length of 113.54' to a ½" iron rod with a yellow plastic cap stamped "RPLS 5686 which is the most southeasterly corner of said Lot said point being in the westerly line of Damascus Road;

THENCE North 64°02'18" West , along the southerly line of said Lot 2 a distance of 308.31 feet to the POINT OF BEGINNING and containing 6.626 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §

COUNTY OF ROCKWALL §

We the undersigned owner of the land shown on this plat, and designated herein as the REPLAT, LOT 2R, BLOCK A, HERITAGE CHRISTIAN ACADEMY, PHASE 2, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

HERITAGE CHRISTIAN ACADEMY

_____

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ _____known to me to be the persons whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

_____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Given upon my hand and seal of office this _____day of _____ , 2023.

GENERAL NOTES

General Notes:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, William P. Price, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY-This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

_____

Larry Turman, Registered Professional Land Surveyor No. 1740

RECOMMENDED FOR FINAL APPROVAL

_____ _____

Planning & Zoning Commission, Chairman Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2023.

_____ _____ _____

Mayor, City of Rockwall City Secretary, City of Rockwall City Engineer

OWNER:
HERITAGE CHRISTIAN ACADEMY
1408 S. GOLIAD STREET
ROCKWALL, TEXAS 75087

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DRIVE, SUITE 220
IRVING, TEXAS 75038
TBPE FIRM NO. F-303
(972) 717-5151
(469) 472-9192 FAX
CONTACT: MIKE GLENN, P.E.

SURVEYOR:
CENTRO RESOURCES
1475 HERITAGE PARKWAY
SUITE 217
MANSFIELD, TEXAS 76063
10193888
(817) 354-1445
CONTACT: LARRY TURMAN

FINAL PLAT

HERITAGE CHRISTIAN ACADEMY PHASE 2 LOT 2R , BLOCK A

BEING A REPLAT OF
HERITAGE CHRISTIAN ACADEMY, PHASE 2
LOT 2, BLOCK A

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

6.626 ACRES

08-14-23 Case No. PXX

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☒ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
2: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1408 S. Goliad St, Rockwall, TX 75087				
SUBDIVISION	Subdivision Code: S3859	LOT	2	BLOCK	A
GENERAL LOCATION	Damascus RD, Rockwall, TX				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-27		CURRENT USE	private school	
PROPOSED ZONING	PD-27		PROPOSED USE	private school	
ACREAGE	6.626	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Heritage Christian Academy	☑ APPLICANT	Glenn Engineering
CONTACT PERSON	Brad Helmer, Ed.D.	CONTACT PERSON	Robert Howman
ADDRESS	1408 S. Goliad St.	ADDRESS	4500 Fuller Dr. #220
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Irving, Tx 75038
PHONE	972.772.3003	PHONE	972.989.2174
E-MAIL	bhelmer@hcarockwall.org	E-MAIL	rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRAD HELMER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

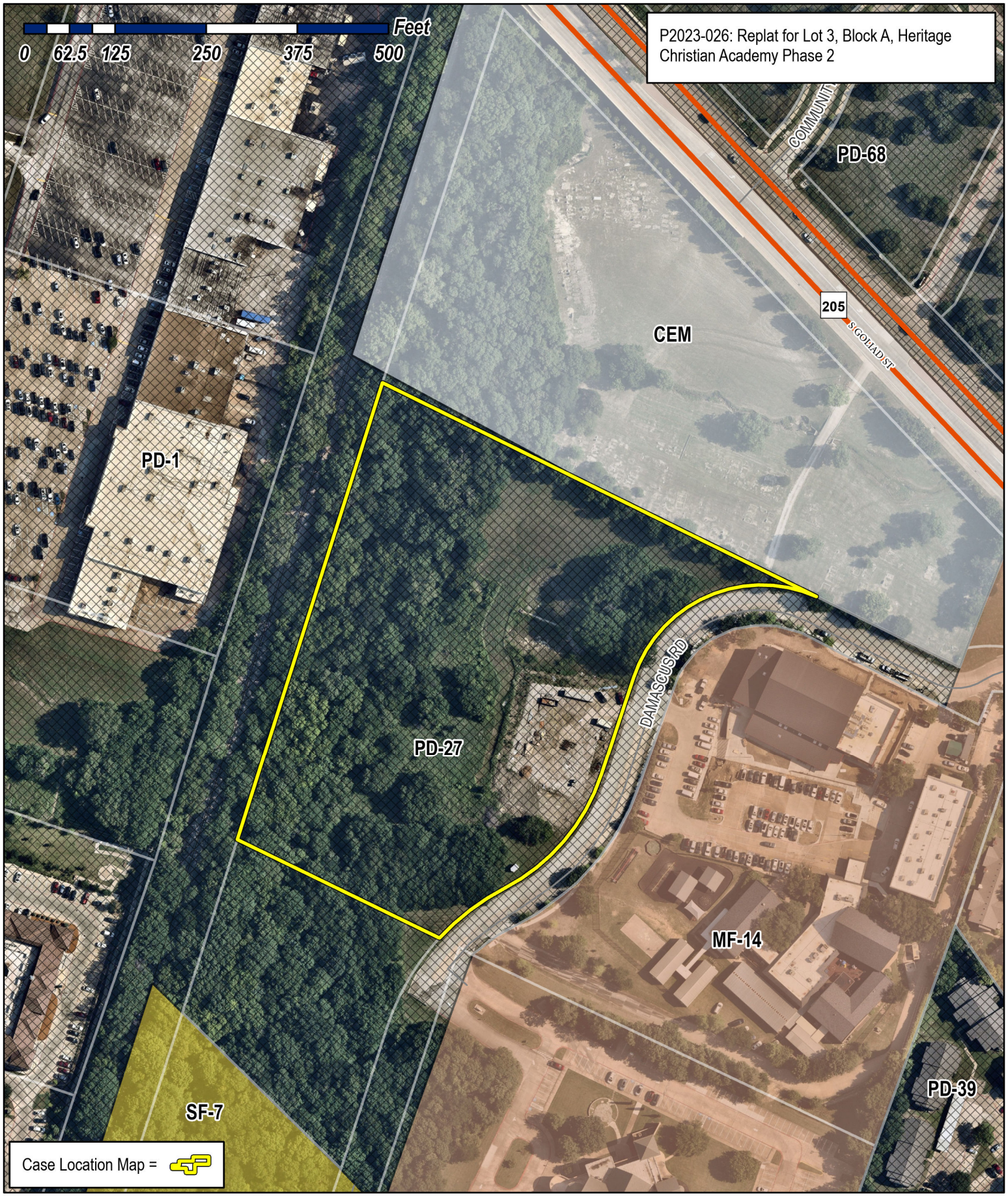
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20___. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th *DAY OF* August *2023.*

OWNER'S SIGNATURE [signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [signature] *MY COMMISSION EXPIRES* 06-17-2025

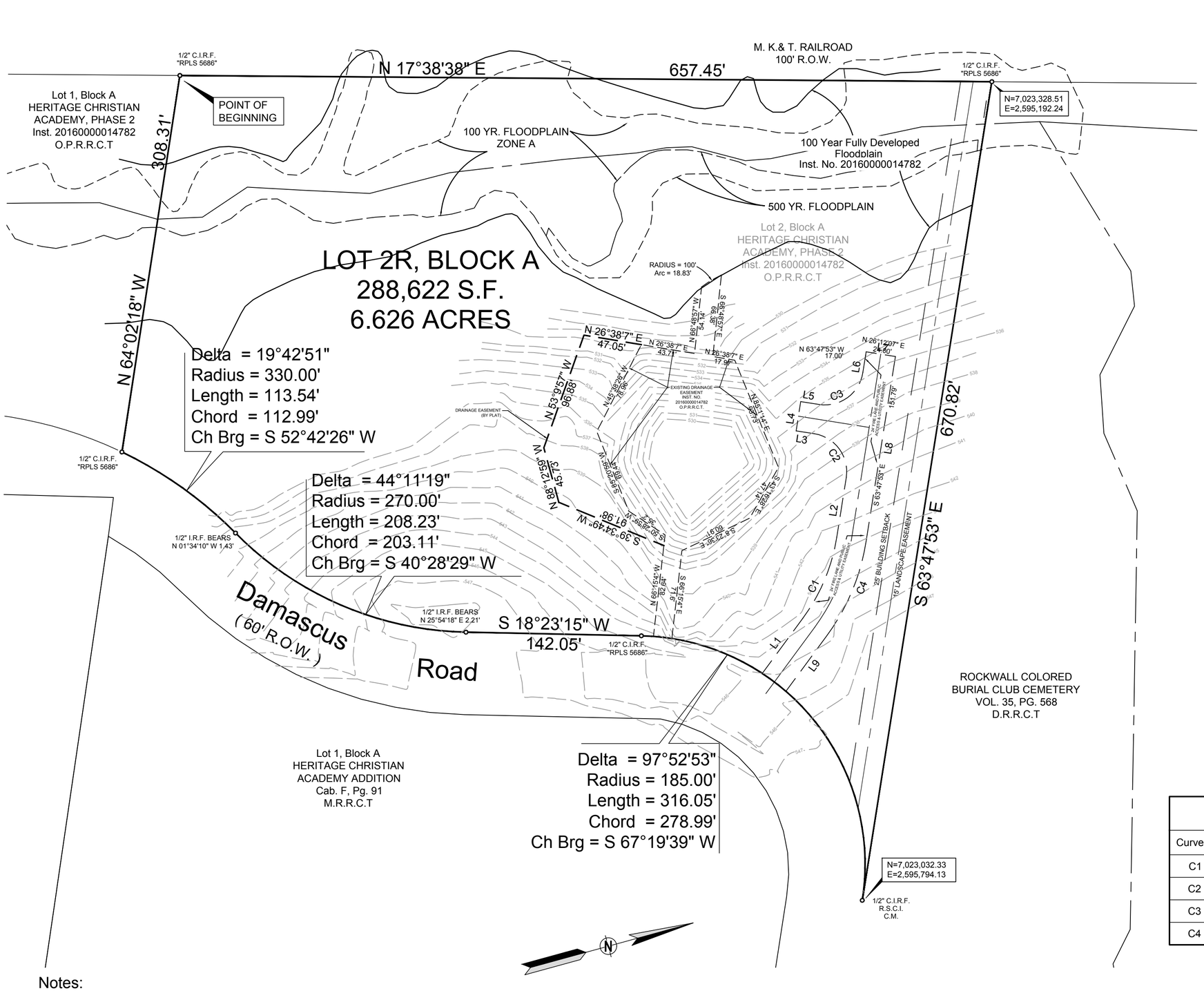
STATE OF TEXAS
Notary Public, State of Texas
Comm. Expires 06-17-2025
Notary ID 131171630



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOCATION MAP
SCALE: NTS

Parcel Line Table		
Line #	Length	Direction
L1	55.36	N36° 23' 52"W
L2	48.79	S63° 47' 53"E
L3	15.00	S26° 12' 07"W
L4	24.00	S63° 47' 53"E
L5	15.00	S26° 12' 07"W
L6	17.00	S63° 47' 53"E
L7	24.00	N26° 12' 07"E
L8	151.79	S63° 47' 53"E
L9	55.64	N36° 23' 52"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	71.97	150.50	27°24'01"	N50° 05' 52"W	71.29
C2	48.69	31.00	90°00'00"	S71° 12' 07"W	43.84
C3	48.69	31.00	90°00'00"	N18° 47' 53"W	43.84
C4	83.45	174.50	27°24'01"	N50° 05' 52"W	82.66

0 30 60 120
Scale: 1"=60'

Notes:

1. According to the Flood Insurance Rate Map of Rockwall County, Texas, Map No. 48397C0040L, Map Revied 09/26/2008, the herein described property is located in Zone "X", descripbed by said map to be "areas determined to be outside of the 0.2% annual chance floodplain" and in Shaded Zone A, described by said map to be, Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual flood: no base flood elevations determined.
2. The surveyor has relied on th herein described subject plat with regard to any easemenets, restrictions, or rights-0f-way affecting the above described Property. No additional research regarding said eaements, restrictions or rights-of-way has been performed by the suryor.
3. Bearings and Coordinates are based on the southwesterly line of Lot 1, Block A, HERITAFW CHRISTIAN ACADEMY ADDITION, an addition to the City of Rockwall, as recorded in Cabined F, Pages 91 and 92, of the Map Records, Rockwall County, Texas, said bearing being South 64 deg.02 min.18 sec. East.
4. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assuance or guarantee that any building within such plat shal be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy an availability for wter for personal use and fire protection within such plan, as required under Ordinance 83.54.
5. The property Owner shall maintain, repari, and replace all detention systems.

OWNER:
HERITAGE CHRISTIAN ACADEMY
1408 S. GOLIAD STREET
ROCKWALL, TEXAS 75087

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DRIVE, SUITE 220
IRVING, TEXAS 75038
TBPE FIRM NO. F-303
(972) 717-5151
(469) 472-9192 FAX
CONTACT: MIKE GLENN, P.E.

SURVEYOR:
CENTRO RESOURCES
1475 HERITAGE PARKWAY
SUITE 217
MANSFIELD, TEXAS 76063
10193888
(817) 354-1445
CONTACT: LARRY TURMAN

FINAL PLAT

HERITAGE CHRISTIAN ACADEMY PHASE 2 LOT 2R , BLOCK A

BEING A REPLAT OF
HERITAGE CHRISTIAN ACADEMY, PHASE 2
LOT 2, BLOCK A

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

6.626 ACRES

08-14-23 Case No. PXX

OWNER'S CERTIFICATE AND DEDICATION

LEGAL DESCRIPTION

WHEREAS, HERITAGE CHRISTIAN ACACEMY is the owner of a tract of land situated in the City of Rockwall, Rockwall County, Texas, being in the B.J.T. Lewis Survey, Abstract No. 224 and being all of Lot 2, of HERITAGE CHRISTIAN ACADEMY PHASE 2, an addition to the City of Rockwall, Rockwall County, Texas, as recorded in Instrument No. 20160000014782, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), said tract being more particularly described as follows:

BEGINNING at a ½" iron rod with a yellow plastic cap stamped "RPLS 5686" found for the most westerly corner of said Lot 2, same being the most northerly corner of Lot 3, Block A, of said HERITAGE CHRISTIAN ACADEMY PHASE 2, said corner also being in the southeasterly monumented line of the M.K. & T. Railroad (100' right-of-way);

THENCE North 17°38'38" East, along said southeasterly monumented line of the M. K. & T. Railroad, same being the northwesterly line of said Lot 1, a distance of 657.45' to a ½" iron road with a yellow plastic cap stamped "RPLS 5686" found for the most northerly corner of said Lot 2, same being the most westerly corner of the Rockwall Colored Burial Club Cemetery, as recorded in Volume 35, Page 568, of the Deed Records, Rockwall County, Texas (D.R.R.C.T.);

THENCE South 63°47'53" East, along the northeasterly line of said Lot 2, a distance of 670.82' to a ½" iron rod with a plastic cap stamped "R.S.C.I." found for the most easterly corner of said Lot 2, same being the northerly monumented line of Damascus Road, said corner also being in a curve to the left, having a radius of 185.00', a central angle of 97°52'53", and a chord which bears, South 67°19'39" West, a chord distance of 278.99';

Thence along said curve to the left, a northwesterly direction, an arc length of 316.05' to a ½" iron rod with a yellow plastic cap stamped "RPLS 5786" found at the end of said curve;

THENCE South 18°23'15" West, along the northwesterly monumented line of Damascus Road, a distance of 142.05' to a point for corner from which a ½" iron rod found bears North 25°54'18" East, a distance of 2.21', said point for corner being at the beginning of a curve to the right, having a radius of 270.00', a central angle of 44°11'19", and a chord which bears South 40°28'29" West, a chord distance of 203.11';

Thence along said curve to the right, in a southwesterly direction, an arc length of 208.23' to a point for corner from which a ½" iron rod found bears North 01°34'10" West, a distance of 1.43', said point for corner being at the beginning of a curve to the left, having a radius of 330.00', a central angle of 19°42'51", and a chord which bears South 52°42'26" West, a chord distance of 112.99';

Thence along said curve to the left, in a southwesterly direction, an arc length of 113.54' to a ½" iron rod with a yellow plastic cap stamped "RPLS 5686 which is the most southeasterly corner of said Lot said point being in the westerly line of Damascus Road;

THENCE North 64°02'18" West , along the southerly line of said Lot 2 a distance of 308.31 feet to the POINT OF BEGINNING and containing 6.626 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS §

COUNTY OF ROCKWALL §

We the undersigned owner of the land shown on this plat, and designated herein as the REPLAT, LOT 2R, BLOCK A, HERITAGE CHRISTIAN ACADEMY, PHASE 2, a subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;

No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

HERITAGE CHRISTIAN ACADEMY

_____

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ _____known to me to be the persons whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

_____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Given upon my hand and seal of office this _____day of _____ , 2023.

GENERAL NOTES

General Notes:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, William P. Price, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

PRELIMINARY-This document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document

_____

Larry Turman, Registered Professional Land Surveyor No. 1740

RECOMMENDED FOR FINAL APPROVAL

_____ _____

Planning & Zoning Commission, Chairman Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2023.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2023.

_____ _____ _____

Mayor, City of Rockwall City Secretary, City of Rockwall City Engineer

OWNER:
HERITAGE CHRISTIAN ACADEMY
1408 S. GOLIAD STREET
ROCKWALL, TEXAS 75087

ENGINEER:
GLENN ENGINEERING CORP.
4500 FULLER DRIVE, SUITE 220
IRVING, TEXAS 75038
TBPE FIRM NO. F-303
(972) 717-5151
(469) 472-9192 FAX
CONTACT: MIKE GLENN, P.E.

SURVEYOR:
CENTRO RESOURCES
1475 HERITAGE PARKWAY
SUITE 217
MANSFIELD, TEXAS 76063
10193888
(817) 354-1445
CONTACT: LARRY TURMAN

FINAL PLAT

HERITAGE CHRISTIAN ACADEMY PHASE 2 LOT 2R , BLOCK A

BEING A REPLAT OF
HERITAGE CHRISTIAN ACADEMY, PHASE 2
LOT 2, BLOCK A

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

6.626 ACRES

08-14-23 Case No. PXX

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	August 29, 2023
APPLICANT:	Christopher Touoboun and Ariana Kistner; *Meals and Wheels Senior Services of Rockwall*
CASE NUMBER:	P2023-027; *Final Plat for Lots 1 & 2, Block A, Airport South Addition*

SUMMARY

Consider a request by Ariana Kistner of Meals on Wheels Senior Services of Rockwall and Christopher Touoboun for the approval of a *Final Plat* for Lots 1 & 2, Block A, Airport South Addition being a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting approval of a *Final Plat* on a 6.21-acre parcel of land (*i.e. a portion of Tract 4 and all of Tract 2 of the D. Harr Survey, Abstract No. 102*) for the purpose of establishing two (2) non-residential lots (*i.e. Lots 1 & 2, Block A, Airport South Addition*).

- ☑ The subject property was annexed on March 16, 1998 by *Ordinance No. 98-10* [*i.e. Case No. A1998-001*]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On August 7, 2023, the City Council approved *Ordinance No. 23-41* [*i.e. Case No. Z2023-030*] to allow a zoning change from Agricultural (AG) District to Light Industrial (LI) District on the subject property.

- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Final Plat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

- ☑ Conditional approval of this *Final Plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Final Plat* for *Lots 1 & 2, Block A, Airport South Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,

(2) Any construction resulting from the approval of this *Final Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: P2023-027
PROJECT NAME: Replat for Lot 1&2, Block A, Airport South Addition
SITE ADDRESS/LOCATIONS: 1780 AIRPORT RD

CASE CAPTION: Consider a request by Ariana Kistner of Meals on Wheels Senior Services of Rockwall and Christopher Touoboun for the approval of a Final Plat for Lots 1 & 2, Block A, Airport South Addition being a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: P2023-027: Final Plat for Lots 1 & 2, Block A, Airport South Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Final Plat for Lots 1 & 2, Block A, Airport South Addition being a 6.21-acre tract of land identified as a portion of Tract 4 and all of Tract 2 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1780 Airport Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2023-027) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT
LOTS 1 & 2, BLOCK A,
AIRPORT SOUTH ADDITION
BEING
2 LOTS
6.21-ACRES OR 301,247 SF
SITUATED IN THE
DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.6 Please label the right-of-way width and centerline along Airport Road. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.7 Provide the new Owner's Certificate of Dedication below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

STATE OF TEXAS
COUNTY OF ROCKWALL
WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

_____
PROPERTY OWNER SIGNATURE

_____
SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE]

M.8 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the new Surveyor's/Registered Engineer Certificate below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

_____ _____
SURVEYOR [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR

M.10 Please provide a bonded and mylar copy of the approved final plat with new signature block below. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat – being an addition to the City of Rockwall, Texas-- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

MAYOR OF THE CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CHAIRMAN
CITY SECRETARY CITY ENGINEER

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.12 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: August 29, 2023
City Council: September 5, 2023

I.13 Please note that once the Final Plat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Prop. 10' Utility Easement Along Street Frontage.

2. Continue 20' drainage easement across the property.
3. Please note that replatting will be required to dedicate easements once the development's engineering plans are approved.
4. Please add these general notes to the plat (refer to pdf attachment).
5. Make sure that the General Notes encompass the required general note stated in the Subdivision Ordinance Section 38-7 (refer to pdf attachment).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

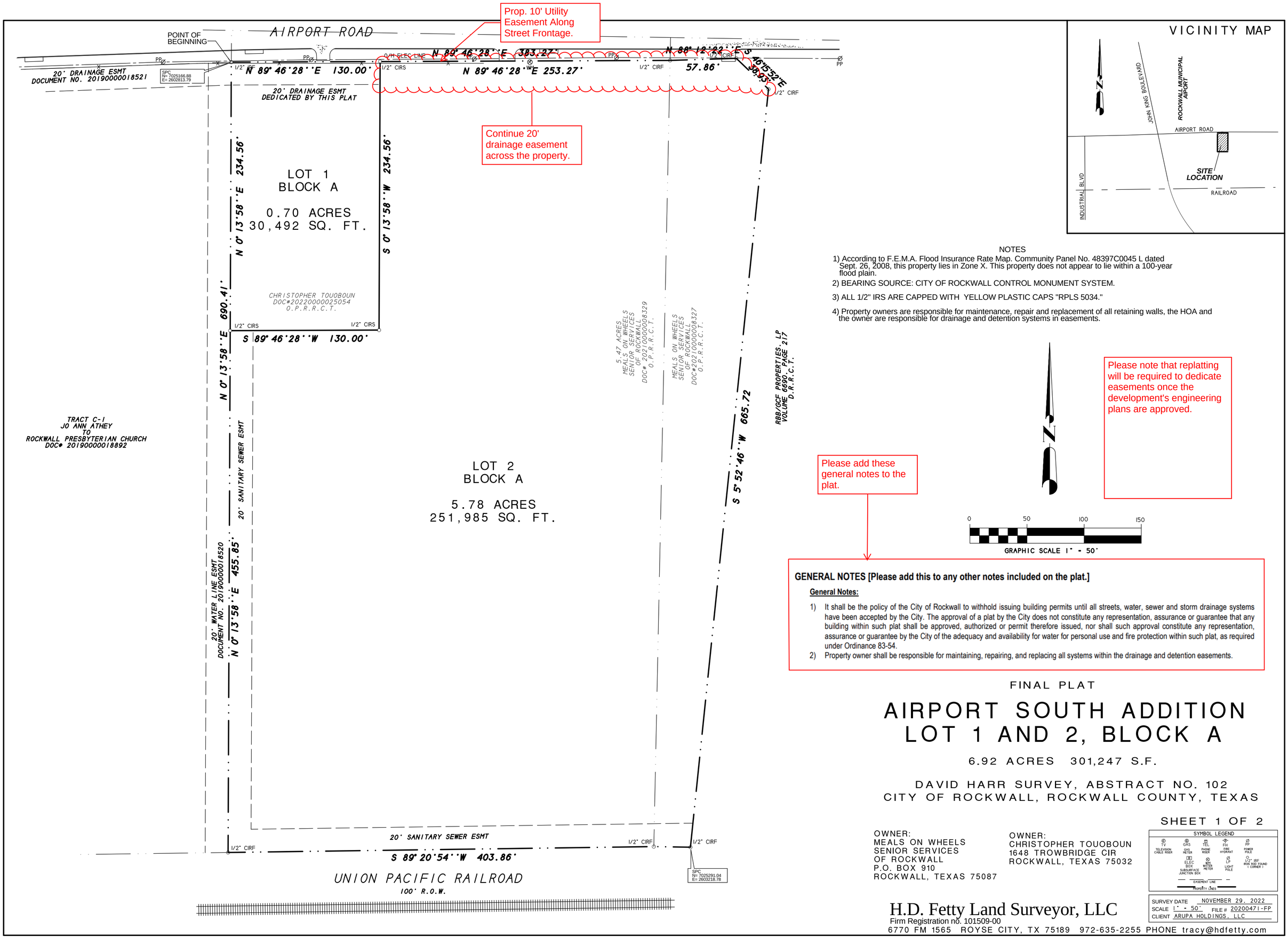
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments



NOTES

1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0045 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.
3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."
4) Property owners are responsible for maintenance, repair and replacement of all retaining walls, the HOA and the owner are responsible for drainage and detention systems in easements.

Please note that replatting will be required to dedicate easements once the development's engineering plans are approved.

Please add these general notes to the plat.

0 50 100 150

GRAPHIC SCALE 1" = 50'

GENERAL NOTES [Please add this to any other notes included on the plat.]

General Notes:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
2) Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements.

FINAL PLAT

AIRPORT SOUTH ADDITION
LOT 1 AND 2, BLOCK A

6.92 ACRES 301,247 S.F.

DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

OWNER:
MEALS ON WHEELS
SENIOR SERVICES
OF ROCKWALL
P.O. BOX 910
ROCKWALL, TEXAS 75087

OWNER:
CHRISTOPHER TOUOBOUN
1648 TROWBRIDGE CIR
ROCKWALL, TEXAS 75032

SYMBOL LEGEND

TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	1/2" IRF IRON ROD FOUND 1 CORNER 1	

EASEMENT LINE
PROPERTY LINES

SURVEY DATE NOVEMBER 29, 2022
SCALE 1" = 50' FILE # 20200471-FP
CLIENT ARUPA HOLDINGS, LLC

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE P2023-

OWNER'S CERTIFICATE
(Public Dedication)

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS CHRISTOPHER TOUOBOUN and MEALS ON WHEELS SENIOR SERVICES OF ROCKWALL, COUNTY, BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being a part of Tract D-1 described in a deed to Jackie Ray Athey, as recorded in Volume 4875, Page 140 of the Official Public Records of Rockwall County, Texas, and being the same tract of land as described in a Warranty deed from Arupa Holdings, LLC to Christopher Touobouin, as recorded in Document no. 20220000025054 of the Official Public Records of Rockwall County, Texas and the same tract as described in a Warranty deed to Meals on Wheels Senior Services of Rockwall County, as recorded in Document no. 20210000014426 and Document no. 20210000008327 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the intersection of the west boundary line of said Tract D-1, with the south line of Airport Road, said point also being in the east boundary of a tract of land as described in a Warranty deed to Rockwall Presbyterian Church, dated October 23, 2019 and being recorded in Document number 20190000018892 of the Official Public Records of Rockwall County, Texas;

THENCE N. 89 deg 46 min. 28 sec. E. along the south line of Airport Road, a distance of 383.27 feet to a 1/2" iron rod found for corner;

THENCE N. 88 deg. 12 min. 22 sec. E. a distance of 57.86 feet to a 1/2" iron rod found for corner;

THENCE S. 05 deg. 52 min. 46 sec. W. a distance of 665.72 feet to a 1/2" iron rod found for corner in the north right-of-way of the Union Pacific Railroad;

THENCE S. 89 deg. 20 min. 54 sec. W. along said railroad right-of-way, a distance of 403.86 feet to a 1/2" iron rod found for corner;

THENCE N. 00 deg. 13 min. 58 sec. E. along the west boundary line of said tract, a distance of 690.41 feet to the POINT OF BEGINNING and containing 301,247 square feet or 6.92 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owners of the land shown on this plat, and designated herein as AIRPORT SOUTH ADDITION, LOT 1 AND 2, BLOCK A, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in AIRPORT SOUTH ADDITION, LOT 1 AND 2, BLOCK A have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of th eir respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We , our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

_____
Christopher Touoboun

_____
for Meals on Wheels Senior Services of Rockwall County

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Christopher Touoboun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of _____, _____.

_____ _____
Notary Public in and for the State of Texas My Commission Expires:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of _____, _____.

_____ _____
Notary Public in and for the State of Texas My Commission Expires:

Make sure that the General Notes encompass the required general note stated in the Subdivision Ordinance Section 38-7: Subdivision and Platting Procedures...

(b)General Notes. The following General Notes shall be provided on all subdivision plats:

(1)Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.

(2)Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.

(3)Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.

(4)Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representa tion, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

STATE OF TEXAS
REGISTERED
HAROLD D. FETTY III
5034
PROFESSIONAL
LAND SURVEYOR

_____
Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

_____ _____
Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of AIRPORT SOUTH ADDITION, LOT 1 AND 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of_____ ,_____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____ ,_____.

_____ _____
Mayor, City of Rockwall City Secretary City of Rockwall

_____ _____
City Engineer Date

FINAL PLAT

AIRPORT SOUTH ADDITION
LOT 1 AND 2, BLOCK A

6.92 ACRES 301,247 S.F.

DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
MEALS ON WHEELS
SENIOR SERVICES
OF ROCKWALL COUNTY
P.O. BOX 910
ROCKWALL, TEXAS 75087

OWNER:
CHRISTOPHER TOUOBOUN
1648 TROWBRIDGE CIR
ROCKWALL, TEXAS 75032

SYMBOL LEGEND

TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	1/2" IRF IRON ROD FOUND (CORNER)	

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PROPERTY LINES

SURVEY DATE NOVEMBER 29, 2022
SCALE 1" = 50' FILE # 20200471-FP
CLIENT ARUPA HOLDINGS, LLC

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE P2023-

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☑ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A $1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1780 Airport				
SUBDIVISION	ABS A0102, D Hart, Tract 2	LOT	2	BLOCK	A
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	AG	CURRENT USE	AG		
PROPOSED ZONING		PROPOSED USE	Office		
ACREAGE	5,477	LOTS [CURRENT]	2	LOTS [PROPOSED]	1

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	Meals on Wheels Sr Services of Rockwall	☐ APPLICANT	Same
CONTACT PERSON	Ariana Kistner	CONTACT PERSON	
ADDRESS	PO Box 910	ADDRESS	
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	
PHONE	972-771-9514	PHONE	
E-MAIL	akistner@rockwall.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ariana Kistner [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ _____, *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 17th *DAY OF* August, 2023. *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF August 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DENISE A GANG
Notary Public
STATE OF TEXAS
ID# 12907165-3
My Comm. Exp. JUL. 30, 2024

MY COMMISSION EXPIRES July 30, 2024

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
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NOTES:
1: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
2: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1770 and 1780 Airport Road				
SUBDIVISION	Airport South Addition	LOT	1 and 2	BLOCK	A
GENERAL LOCATION	Rockwall airport				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	AG	CURRENT USE	
PROPOSED ZONING	LI	PROPOSED USE	office building
ACREAGE	0.7	LOTS [CURRENT]	LOTS [PROPOSED]

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER	Christopher Tsoteto Touobou	☐ APPLICANT	
CONTACT PERSON		CONTACT PERSON	
ADDRESS	1648 Trowbridge circle	ADDRESS	
CITY, STATE & ZIP	Rockwall, Tx, 75032	CITY, STATE & ZIP	
PHONE	316-377-4770	PHONE	
E-MAIL	tsoteto@gmail.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 438.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

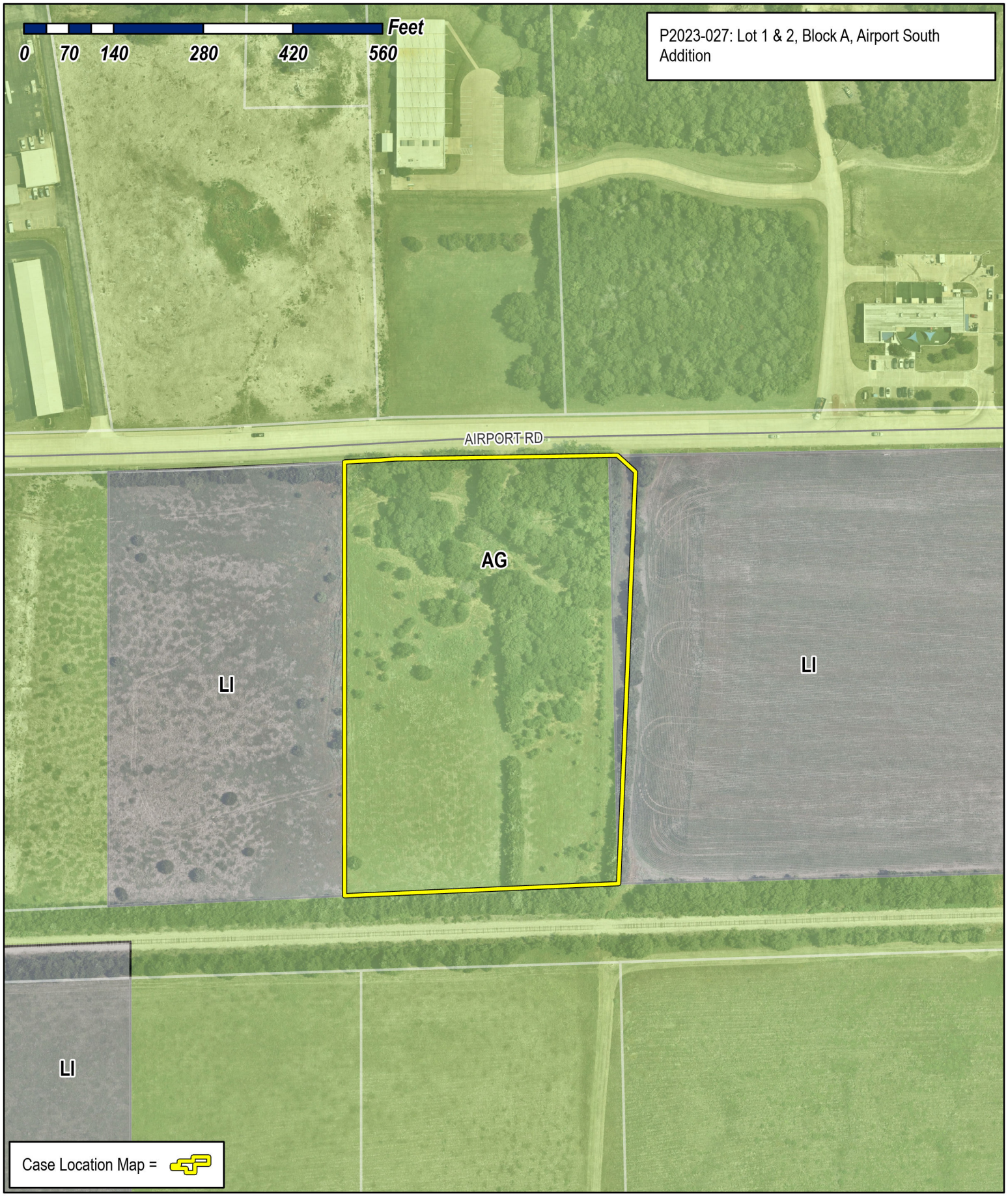
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Tanya Buehler

TANYA BUEHLER
Notary Public
STATE OF TEXAS
ID# 13099192-5
My Comm. Exp. MAR. 10, 2025

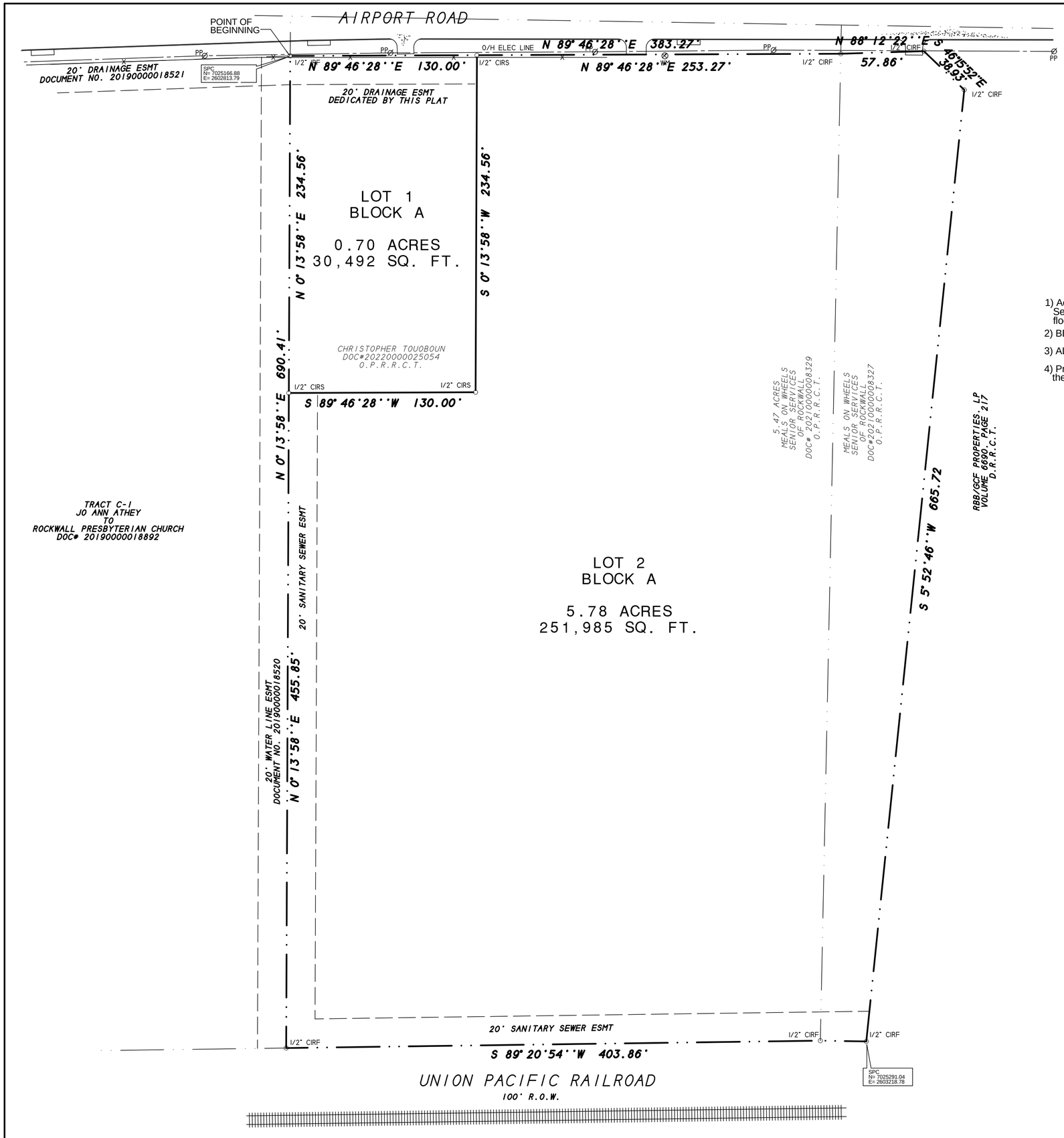
MY COMMISSION EXPIRES

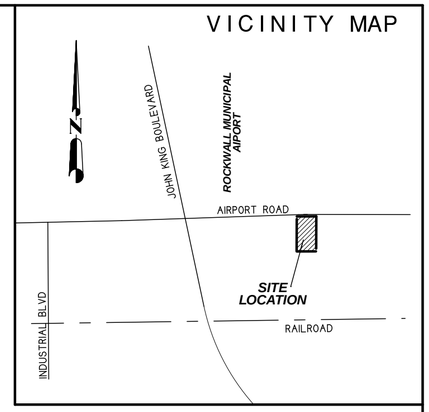


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





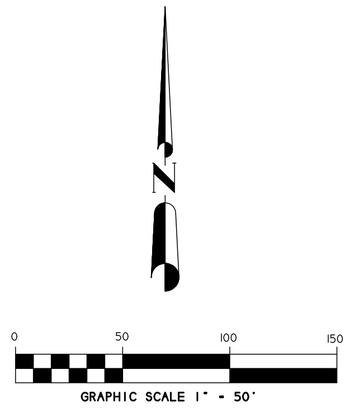
NOTES

1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0045 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

2) BEARING SOURCE: CITY OF ROCKWALL CONTROL MONUMENT SYSTEM.

3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

4) Property owners are responsible for maintenance, repair and replacement of all retaining walls, the HOA and the owner are responsible for drainage and detention systems in easements.



FINAL PLAT

AIRPORT SOUTH ADDITION
LOT 1 AND 2, BLOCK A

6.92 ACRES 301,247 S.F.

DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 1 OF 2

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SENIOR SERVICES
OF ROCKWALL
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PROPERTY LINES

SURVEY DATE NOVEMBER 29, 2022
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6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE P2023-

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(Public Dedication)

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COUNTY OF ROCKWALL

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We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of th eir respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We , our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

_____
Christopher Touoboun

_____
for Meals on Wheels Senior Services of Rockwall County

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Christopher Touoboun known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of _____, _____.

_____ _____
Notary Public in and for the State of Texas My Commission Expires:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of _____, _____.

_____ _____
Notary Public in and for the State of Texas My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representa tion, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

STATE OF TEXAS
REGISTERED
HAROLD D. FETTY III
5034
PROFESSIONAL
LAND SURVEYOR

_____
Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034

RECOMMENDED FOR FINAL APPROVAL

_____ _____
Planning and Zoning Commission Date

APPROVED

I hereby certify that the above and foregoing plat of AIRPORT SOUTH ADDITION, LOT 1 AND 2, BLOCK A, an addition to the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ___ day of_____ ,_____.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

Said addition shall be subject to all the requirements of the Subdivision Regulations of the City of Rockwall.

WITNESS OUR HANDS, this _____ day of _____ ,_____.

_____ _____
Mayor, City of Rockwall City Secretary City of Rockwall

_____ _____
City Engineer Date

FINAL PLAT

AIRPORT SOUTH ADDITION
LOT 1 AND 2, BLOCK A

6.92 ACRES 301,247 S.F.

DAVID HARR SURVEY, ABSTRACT NO. 102
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

SHEET 2 OF 2

OWNER:
MEALS ON WHEELS
SENIOR SERVICES
OF ROCKWALL COUNTY
P.O. BOX 910
ROCKWALL, TEXAS 75087

OWNER:
CHRISTOPHER TOUOBOUN
1648 TROWBRIDGE CIR
ROCKWALL, TEXAS 75032

SYMBOL LEGEND

TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	1/2" IRF IRON ROD FOUND = CORNER =	

EASEMENT LINE
PROPERTY LINES

SURVEY DATE NOVEMBER 29, 2022
SCALE 1" = 50' FILE # 20200471-FP
CLIENT ARUPA HOLDINGS, LLC

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

CITY CASE P2023-

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	August 29, 2023
APPLICANT:	Arlyn Samuelson; *Westwood Professional Services*
CASE NUMBER:	P2023-028; *Replat for Lot 3, Block 1, Indalloy Addition*

SUMMARY

Consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of Avaplast US, Inc. for the approval of a *Replat* for Lot 3, Block 1, Indalloy Addition being a 42.991-acre tract of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 11480 Justin Road, and take any action necessary.

PLAT INFORMATION

☑ The applicant is requesting approval of a *Replat* on a 42.991-acre parcel of land (*i.e. Lot 2, Block 1, Indalloy Addition*) in order to establish one (1) non-residential lot (*i.e. Lot 3, Block 1, Indalloy Addition*). The purpose of the *Replat* is to abandon existing easements and dedicate new easements to facilitate the development of the expansion of an existing warehouse/manufacturing facility on the subject property.

☑ The west portion on the subject property was annexed into the City of Rockwall on February 6, 1961 [*i.e. Case No. A1960-001*] by *Ordinance No. 60-01*. At the time of annexation, the west portion of the subject property was zoned Agricultural (AG) District. According to the January 3, 1972 historic zoning map, at some point between the time of annexation and January 3, 1972 the west portion of the subject property was rezoned from Agricultural (AG) District to Light Industrial (LI) District. The remainder of the subject property was annexed into the City of Rockwall by *Ordinance No. 83-06* [*i.e. Case No. A1983-001*] on February 7, 1983. At the time of annexation, the remainder of the subject property was zoned Agricultural (AG) District. According to the May 16, 1983 historic zoning map, at some point between the time of annexation and May 16, 1983 the remainder of the subject property was rezoned from Agricultural (AG) District to Light Industrial (LI) District. On March 12, 2019, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2019-004*] to allow the construction of a warehouse/manufacturing facility. On August 5, 2019, the City Council approved a replat [*i.e. Case No. P2019-028*] that established the subject property as Lot 2, Block 1, Indalloy Addition. On March 14, 2023, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2023-009*] to allow the expansion of the existing warehouse/manufacturing facility on the subject property.

☑ The surveyor has completed the majority of the technical revisions requested by staff, and this *Replat* -- *conforming to the requirements for plats as stipulated by the Subdivision Ordinance in the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

☑ Conditional approval of this *Replat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of the *Subdivision Ordinance* in the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a *Replat for Lot 3, Block 1, Indalloy Addition*, staff would propose the following conditions of approval:

(1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) shall be addressed prior to submittal of civil engineering plans; and,

(2) Any construction resulting from the approval of this ***Replat*** shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: P2023-028
PROJECT NAME: Replat for Lot 2, Block 1, Indalloy Addition
SITE ADDRESS/LOCATIONS: 1480 JUSTIN RD

CASE CAPTION: Consider a request by Arlyn Samuelson of Westwood Professional Services on behalf of Carolina Molina of Avaplast US, Inc. for the approval of a Replat for Lot 3, Block 1, Indalloy Addition being a 42.991-acre tract of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 11480 Justin Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: P2023-028: Replat for Lot 3, Block 1, Indalloy Addition
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval the approval of a Replat for Lot 3, Block 1, Indalloy Addition being a 42.991-acre tract of land identified as Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 11480 Justin Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (P2023-028) in the lower right-hand corner of all pages on future submittals.

M.4 Please correct the Title Block (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

FINAL PLAT
LOT 3, BLOCK 1,
INDALLOY ADDITION
BEING A REPLAT OF
LOT 2, BLOCK 1
INDALLOY ADDITION
BEING
1 LOT
42.991-ACRES OR 1,872,676 SF
SITUATED IN THE
N. BUTLER SURVEY, ABSTRACT NO. 20
R. BALLARD SURVEY, ABSTRACT NO. 29
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

M.5 Please label the right-of-way width and centerline along Industrial Blvd. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

M.6 Provide the new Owner's Certificate of Dedication below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

STATE OF TEXAS
COUNTY OF ROCKWALL
WHEREAS [OWNER'S NAME], BEING THE OWNER OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows: [LEGAL DESCRIPTION]
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the [SUBDIVISION NAME] subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the [SUBDIVISION NAME] subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

_____
PROPERTY OWNER SIGNATURE

_____

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST [IF APPLICABLE]

M.7 Please provide the new Surveyor's/Registered Engineer Certificate below (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
THAT I, [SURVEYOR'S NAME], do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

_____ _____
SURVEYOR [OR] REGISTERED ENGINEER REGISTERED PUBLIC SURVEYOR

M.8 Provide the following General Notes (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances):

(1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
(2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
(3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
(4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.

M.9 Please provide the following Signature Block. (Section 38-7, Subdivision and Platting Procedures, of the Municipal Code of Ordinances)

APPROVED: I hereby certify that the above and forgoing subdivision plat -- being an addition to the City of Rockwall, Texas -- was approved by the City Council of the City of Rockwall, Texas on the [DAY] day of [MONTH], [YEAR].

_____
MAYOR OF THE CITY OF ROCKWALL _____
PLANNING AND ZONING COMMISSION CHAIRMAN

_____
CITY SECRETARY

_____
CITY ENGINEER

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make all revisions and corrections and return to staff as soon as possible for a subsequent review prior to approval.

I.11 The projected meeting dates for this case are as follows:

Planning and Zoning Work Session: August 29, 2023
City Council: September 5, 2023

I.12 Please note that once the Replat has been approved by the Planning and Zoning Commission and City Council, the case will be considered to be conditionally approved pending all of staff's comments from all City Departments and any applicable conditions of approval contained in staff's case memo are addressed prior to the subdivision plat being filed.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Call out FFE based on 2' above detention pond or floodplain, whichever is greater.
2. Need to add 20' Drainage easement where the proposed swale and site drainage is collecting.
3. Show and call out private sewer easement for the private force main.
4. Is there a reason some of the sanitary sewer easements are being dedicated by separate instrument and some are being dedicated by this plat? (public versus private?).
5. Show building setbacks on the plat per the city checklist.
6. Minimum 20' for Water Easement.
7. You will need a drainage easement for the detention pond. Call out 100-yr WSEL of detention pond.
8. Floodplain must be in a drainage easement, with an additional 15' on both sides, outside of floodplain and erosion hazard setback. Call out erosion hazard set back. Call out 100-yr WSEL a minimum of every 300'.
9. Please add these general notes to the plat (refer to pdf attachment).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

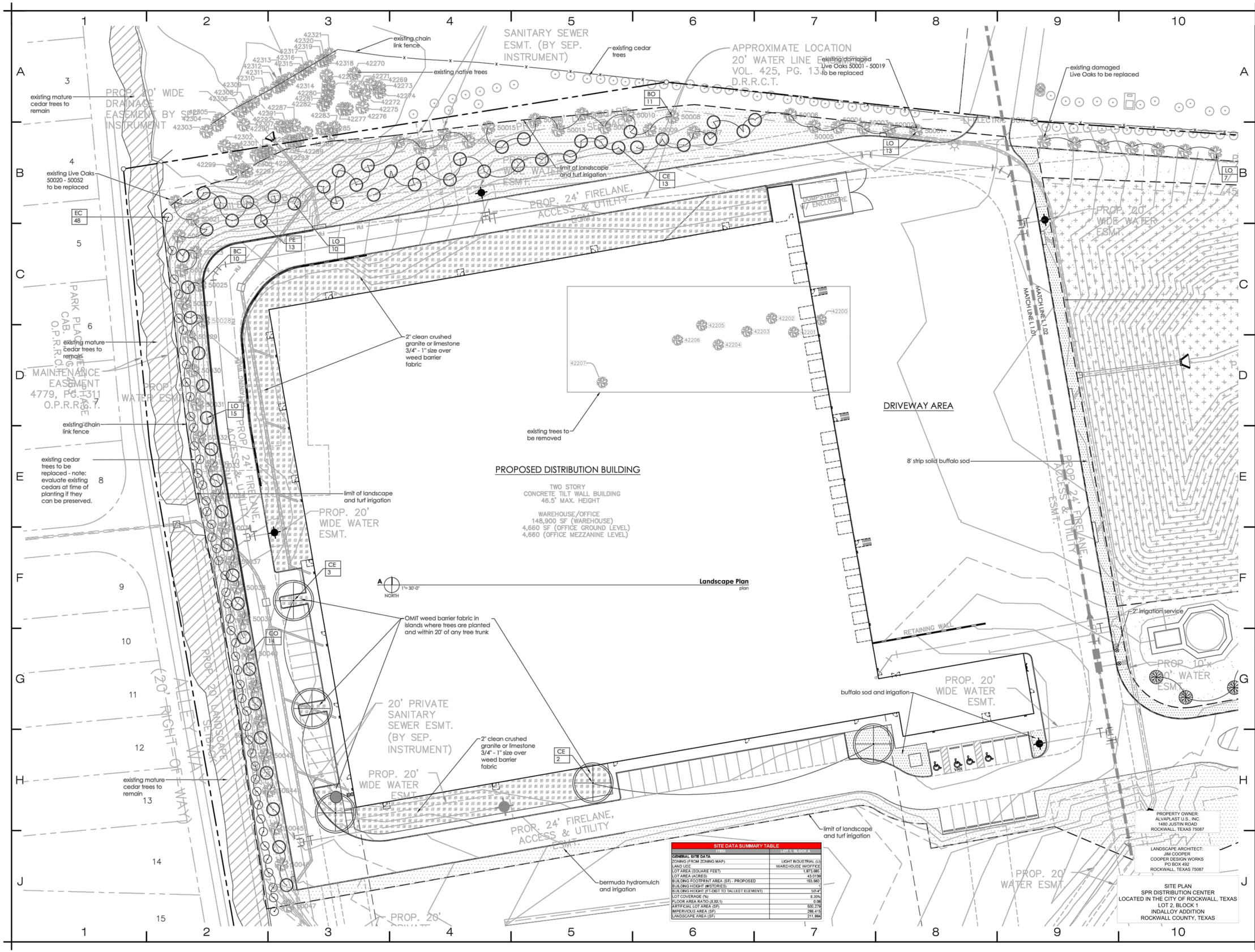
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments



SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,685
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,560
BUILDING HEIGHT (#STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX:1)	0.08
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	288,415
LANDSCAPE AREA (SF)	211,864

MJDII Architects, Inc.
Architecture • Planning • Consulting
16775 Addison Road, Suite 310 Addison, Texas 75001
Tel: (972) 866-8600 Fax: (972) 866-8601

HILL & WILKINSON GENERAL CONTRACTORS
DESIGN BUILDER
2703 TELECOM PARKWAY, SUITE 120
RICHARDSON, TEXAS 75082
214-299-4300

JQ shaping the built environment
STRUCTURAL ENGINEERING
100 GLASS STREET
DALLAS, TEXAS 75207
214-752-9098

Westwood
PARKWAY CENTRE 1
2901 DALLAS PARKWAY, SUITE 400
PLANO, TEXAS 75093
214-473-4640

COOPER DESIGN WORKS
LANDSCAPE ARCHITECTURE . PLANNING . URBAN DESIGN
PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519
cooperdesignworks.com

PILLAR ELECTRIC GROUP
2703 TELECOM PARKWAY, SUITE 100
RICHARDSON, TEXAS 75082
469-277-4860

#	DESCRIPTION	DATE
	City Comments And Qty. Updates	17 Aug 2023

Seal:
James A Cooper RLA 1287
17 August 2023

REGISTERED LANDSCAPE ARCHITECT JAMES A. COOPER 1287 STATE OF TEXAS

SPR
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.01

Landscape Plan

existing damaged Live Oaks 50001 - 50019 to be replaced

existing damaged Live Oaks to be replaced

existing cedar trees

limit of landscape and irrigation

EC 9 (to replace dead cedar trees in this area verify quanties at planting time)

LO 13

LO 7

BO 6

CO 6

PROP. 20' LANDSCAPE SETBACK

45' BUILDING SETBACK

PROP. 120' WIDE WATER ESMT.

20' WATER LINE EASEMENT VOL. 425, PG. 133 D.R.R.C.T.

DUMPSTER W/ ENCLOSURE

native grasses - drill seed with heavy hydromulch cap for erosion control

PROPOSED DETENTION AREA

PROP. DRAINAGE ESMT. (BY SEP. INSTRUMENT)

APPROXIMATE LOCATION FEMA FLOODLINE ACCORDING TO FEMA MAP NO. 48397C0040L DATED 09/26/2008

DRIVEWAY AREA

MATCH LINE L.02

MATCH LINE L.01

8' strip solid buffalo sod

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

CALLED 7.56 A ROCKWALL COMM PLAYHOUSE VOL. 4239, PG O.P.R.R.C.T.

2" irrigation service

native grasses - drill seed with hydromulch cap

EC 14

RETAINING WALL

PROP. 10' x 20' WATER ESMT.

buffalo sod and irrigation

PROP. 20' WIDE WATER ESMT.

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

APPROXIMATE LOCATIO 20' SOUTHWESTERN BE EASEMENT VOL. 110, PG. 66 D.R.R.C.T.

APPROXIMATE LOCA FEMA FLOODLINI ACCORDING TO FEMA M 4839 09

DRAINAGE EASEMEN INST. NO. 20200000015

A NORTH 1" = 30'-0"

Landscape Plan plan

solid bermuda sod to edge of slope

limit of landscape and turf irrigation

ONE STORY METAL BUILDING FINISHED FLOOR ELEVATION = 563.5'

PROP. 20' WATER ESMT.

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,686
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,660
BUILDING HEIGHT (#/STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX:1)	0.08
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	286,415
LANDSCAPE AREA (SF)	211,864

PROPERTY OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
JIM COOPER
COOPER DESIGN WORKS
PO BOX 492
ROCKWALL, TEXAS 75087

SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS

MJDII Architects, Inc.
Architecture • Planning • Consulting
16775 Addison Road, Suite 310 Tel: (972) 866-8600
Addison, Texas 75001 Fax: (972) 866-8601

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cooperdesignworks.com

PILLAR ELECTRIC GROUP
2703 TELECOM PARKWAY, SUITE 100
RICHARDSON, TEXAS 75082
469-277-4860

#	DESCRIPTION	DATE
	City Comments And Qty. Updates	17 Aug 2023

Seal:
James A Cooper RLA 1287
17 August 2023

REGISTERED LANDSCAPE ARCHITECT JAMES A. COOPER 1287 STATE OF TEXAS

SPR
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

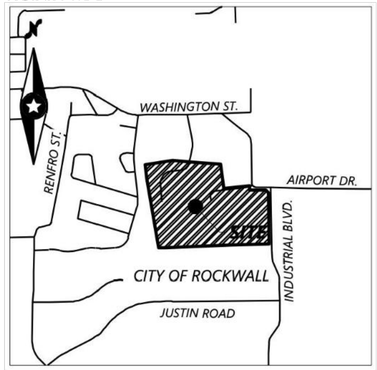
Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.02

Landscape Plan

VICINITY MAP



Landscape Calculations:

Parking Lot Landscaping:

Parking Area (Double Row):	4958 SF
Interior Landscape Area Required 5%:	249 SF
Interior Landscape Area Provided:	250 SF
Parking lot trees provided at terminus of rows and islands.	

Detention Pond Landscaping:

Detention Pond Area:	160,537 SF
Native Grass Seed/Sod Provided:	160,537 SF
Ornamental Grasses Required:	214 (5) Gallon Plants
160,537 SF / 1 Plant per 750 SF = 214	
Ornamental Grasses Provided:	
(14) 3" Cedar trees are substituted for ornamental grasses.	

Abutting Residential Buffer:

Landscape buffer abutting residential development is existing.

Landscape Notes:

An automatic irrigation system will be provided comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City of Rockwall Code of Ordinances, and all applicable state laws, as may be amended.

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,685
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,560
BUILDING HEIGHT (#STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX:1)	0.08
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	288,415
LANDSCAPE AREA (SF)	211,864

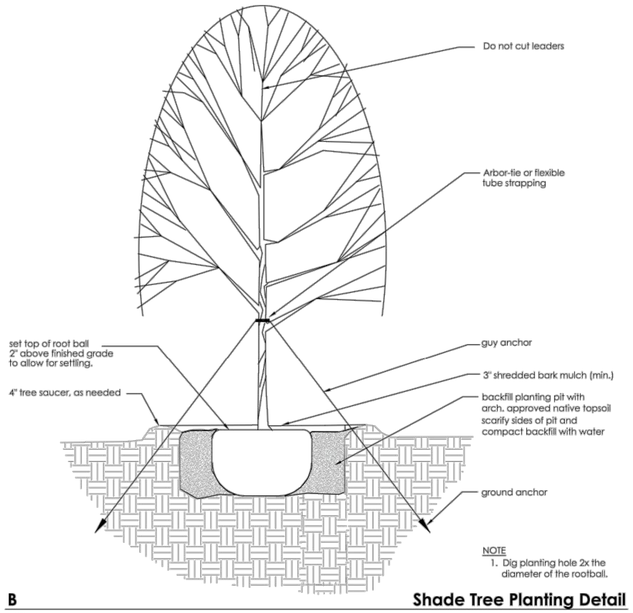
PLANT SCHEDULE

Large Shade And Evergreen Trees

	SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION AT PLANTING
Indicates new buffer tree to be added. / Indicates existing buffer tree to be replaced.	PE	13	Native Pecan	Carya illinoinis	Buffer trees. 4" Caliper 12'-14' Ht./ 4'-5' spread, container grown straight trunk.
	BO	23	Bur Oak	Quercus macrocarpa	
	LO	45	Live Oak	Quercus virginiana	
	BC	10	Bald Cypress	Taxodium distichum	
	CO	20	Chinquapin Oak	Quercus muehlenbergii	
Indicates new tree to be added. / Indicates existing buffer tree to be replaced.	EC	71	Eastern Red Cedar	Juniperis virginiana	3" Caliper 7'-8' Ht./ 3'-4' spread, container grown full to ground.
	CE	5	Cedar Elm	Ulmus crassifolia	4" Caliper 12'-14' Ht./ 5'-6' spread, container grown straight trunk.

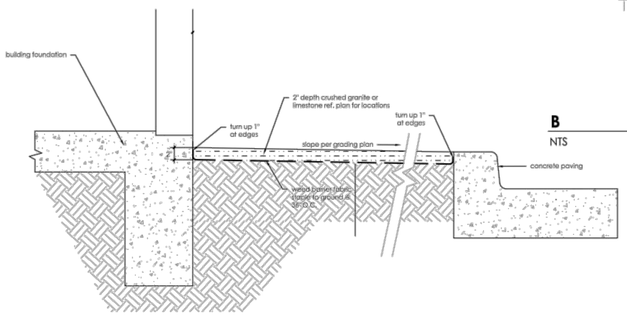
Shrubs and Groundcovers

	SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION AT PLANTING
		159,580 SF	Texas/Oklahoma Roadside Mix Evening Primrose Little Bluestem Purple Three-awn Sideoats Grama Buffalo Grass	Native America Seed Co. Oenothera speciosa Schizachyrium scoparium Aristida purpurea Bouteloua curtipendula Bouteloua dactyloides	See specifications for seed quantities. Drill seed and hydromulch cover per supplier recommendation. Submit product data or sample.
		85,367 SF			Heavy hydromulch cap for erosion control. Alternate No. 1 - erosion control blanket in lieu of hydromulch cap.
		8,347 SF	Solid Buffalo Sod	Bouteloua dactyloides	Add 1" organic compost tilled 3" depth into topsoil. Fine grade prior to installation
		36,624 SF	Bermuda Hydromulch	Cynadon dactylon	Fine grade prior to installation
		20,806 SF	Crushed Gravel		2" depth over weed barrier fabric. Clean crushed granite or limestone 3/4"-1" size.



NOTE
1. Dig planting hole 2x the diameter of the rootball.

B NTS **Shade Tree Planting Detail**



B NTS **Crushed Gravel Groundcover Detail**

PROPERTY OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
JIM COOPER
COOPER DESIGN WORKS
PO BOX 492
ROCKWALL, TEXAS 75087

SITE PLAN
SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS

MJDII Architects, Inc.
Architecture • Planning • Consulting
16775 Addison Road, Suite 310 Tel: (972) 866-8600
Addison, Texas 75001 Fax: (972) 866-8601

HILL & WILKINSON GENERAL CONTRACTORS
DESIGN BUILDER
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RICHARDSON, TEXAS 75082
214-209-4300

JQ shaping the built environment
STRUCTURAL ENGINEERING
100 GLASS STREET
DALLAS, TEXAS 75207
214-752-9098

Westwood
PARKWAY CENTRE 1
2901 DALLAS PARKWAY, SUITE 400
PLANO, TEXAS 75093
214-473-4640

COOPER DESIGN WORKS
LANDSCAPE ARCHITECTURE · PLANNING · URBAN DESIGN
PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519
cooperdesignworks.com

PILLAR ELECTRIC GROUP
2703 TELECOM PARKWAY, SUITE 100
RICHARDSON, TEXAS 75082
469-277-4860

#	DESCRIPTION	DATE
	City Comments And Qty. Updates	17 Aug 2023

Seal:
James A Cooper RLA 1287
17 August 2023

REGISTERED LANDSCAPE ARCHITECT · JAMES A. COOPER · 1287 · STATE OF TEXAS

SPR

1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

SPR DISTRIBUTION CENTER

Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.03

Landscape Plan

existing mature cedar trees to remain

existing cedar trees

existing buffer trees

existing chain link fence

existing trees to be removed

existing tree to be preserved or replaced

tree number ref. tree preservation plan sheet L1.04

existing tree to be removed

existing mature cedar trees to remain

existing cedar trees

existing mature cedar trees to remain

existing chain link fence

existing cedar trees

PROP. 20' SANITARY SEWER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

PROP. 8" WATER

PROP. 10'x 10' WATER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 20' SANITARY

PROP. 20' LANDSCAPE SETBACK

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

PROP. 6" F.H. LEAD

PROP. 2" DOM. SERVICE

8" FIRE SERVICE

PROP. 8" WATER

PROP. 8" F.H. LEAD

PROP. 20' WATER ESMT.

PROP. 20' WATER ESMT.

PROP. 20' WATER ESMT.

Treescape Calculations:

Total Mitigation Required:	276 inches
Tree Credits:	
Tree No. 42276 30" Elm	30 inches
Parking Lot/Site Trees	248 inches
Total Mitigation Provided:	**278 inches**

Tree Preservation Table

Tree Number	Common Name	DBH Inches	Status	Feature Tree	Mitigation Required	Mitigation Inches
42220	Live Oak	26	Remove	Yes	Yes	52
42201	Crape Myrtle	12	Remove	No	Yes	12
42202	Crape Myrtle	16	Remove	No	Yes	16
42203	Live Oak	30	Remove	Yes	Yes	60
42204	Crape Myrtle	12	Remove	No	Yes	12
42205	Crape Myrtle	12	Remove	No	Yes	12
42206	Live Oak	26	Remove	Yes	Yes	52
42207	Live Oak	30	Remove	Yes	Yes	60
42269	Willow	18	Preserve	No	No	
42270	Cedar	6	Preserve	No	No	
42271	Elm	20	Preserve	No	No	
42272	Elm	20	Preserve	No	No	
42273	Unknown	10	Preserve	No	No	
42274	Hackberry	12	Preserve	No	No	
42275	Elm	11	Preserve	No	No	
42276	Elm	30	Preserve	No	No	
42277	Elm	13	Preserve	No	No	
42278	Elm	15	Preserve	No	No	
42279	Elm	20	Preserve	No	No	
42280	Elm	20	Preserve	No	No	
42281	Elm	6	Preserve	No	No	
42282	Cedar	4	Preserve	No	No	
42283	Cedar	14	Preserve	No	No	
42284	Cedar	6	Preserve	No	No	
42285	Cedar	12	Preserve	No	No	
42286	Elm	10	Preserve	No	No	
42287	Elm	9	Preserve	No	No	
42288	Elm	18	Preserve	No	No	
42289	Hackberry	8	Preserve	No	No	
42290	Cedar	12	Preserve	No	No	
42291	Elm	11	Preserve	No	No	
42292	Elm	4	Preserve	No	No	
42293	Elm	9	Preserve	No	No	
42294	Elm	9	Preserve	No	No	
42295	Hackberry	15	Preserve	No	No	
42296	Elm	6	Preserve	No	No	
42297	Cedar	6	Preserve	No	No	
42298	Cedar	6	Preserve	No	No	
42299	Elm	10	Preserve	No	No	
42300	Elm	8	Preserve	No	No	
42301	Elm	8	Preserve	No	No	
42302	Elm	4	Preserve	No	No	
42303	Elm	9	Preserve	No	No	
42304	Elm	4	Preserve	No	No	
42305	Elm	9	Preserve	No	No	
42306	Elm	16	Preserve	No	No	
42307	Elm	4	Preserve	No	No	
42308	Elm	15	Preserve	No	No	
42309	Elm	12	Preserve	No	No	
42310	Elm	4	Preserve	No	No	
42311	Elm	6	Preserve	No	No	
42312	Elm	6	Preserve	No	No	
42313	Elm	4	Preserve	No	No	
42314	Elm	9	Preserve	No	No	
42315	Elm	9	Preserve	No	No	
42316	Elm	16	Preserve	No	No	
42317	Elm	16	Preserve	No	No	
42318	Cedar	6	Preserve	No	No	
42319	Cedar	4	Preserve	No	No	
42320	Cedar	6	Preserve	No	No	
42321	Cedar	10	Preserve	No	No	
42437	Bois d'arc	24	Preserve	No	No	

Tree Number	Common Name	DBH Inches	Status	Feature Tree	Mitigation Required	Mitigation Inches
50001	Live Oak	4-5"	Replace	No	No	
50002	Live Oak	4-5"	Replace	No	No	
50003	Live Oak	4-5"	Replace	No	No	
50004	Live Oak	4-5"	Replace	No	No	
50005	Live Oak	4-5"	Replace	No	No	
50006	Live Oak	4-5"	Replace	No	No	
50007	Live Oak	4-5"	Replace	No	No	
50008	Live Oak	4-5"	Replace	No	No	
50009	Live Oak	4-5"	Replace	No	No	
50010	Live Oak	4-5"	Replace	No	No	
50012	Live Oak	4-5"	Replace	No	No	
50013	Live Oak	4-5"	Replace	No	No	
50014	Live Oak	4-5"	Replace	No	No	
50015	Live Oak	4-5"	Replace	No	No	
50016	Live Oak	4-5"	Replace	No	No	
50017	Live Oak	4-5"	Replace	No	No	
50018	Live Oak	4-5"	Replace	No	No	
50019	Live Oak	4-5"	Replace	No	No	
50020	Live Oak	4-5"	Replace	No	No	
50022	Live Oak	4-5"	Replace	No	No	
50023	Live Oak	4-5"	Replace	No	No	
50024	Live Oak	4-5"	Replace	No	No	
50025	Live Oak	4-5"	Replace	No	No	
50026	Live Oak	4-5"	Replace	No	No	
50027	Live Oak	4-5"	Replace	No	No	
50028	Live Oak	4-5"	Replace	No	No	
50029	Live Oak	4-5"	Replace	No	No	
50030	Live Oak	4-5"	Replace	No	No	
50031	Live Oak	4-5"	Replace	No	No	
50032	Live Oak	4-5"	Replace	No	No	
50033	Live Oak	4-5"	Replace	No	No	
50034	Live Oak	4-5"	Replace	No	No	
50035	Live Oak	4-5"	Replace	No	No	
50036	Live Oak	4-5"	Replace	No	No	
50037	Live Oak	4-5"	Replace	No	No	
50038	Live Oak	4-5"	Replace	No	No	
50039	Live Oak	4-5"	Replace	No	No	
50040	Live Oak	4-5"	Replace	No	No	
50042	Live Oak	4-5"	Replace	No	No	
50043	Live Oak	4-5"	Replace	No	No	
50044	Live Oak	4-5"	Replace	No	No	
50045	Live Oak	4-5"	Replace	No	No	
50046	Live Oak	4-5"	Replace	No	No	
50047	Live Oak	4-5"	Replace	No	No	

Total Mitigation Inches = 276

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,685
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,560
BUILDING HEIGHT (#STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX:1)	0.08
ARTIFICIAL LOT AREA (SF)	550,279
IMPERVIOUS AREA (SF)	288,415
LANDSCAPE AREA (SF)	211,864

PROPERTY OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
JIM COOPER
COOPER DESIGN WORKS
PO BOX 492
ROCKWALL, TEXAS 75087

SITE PLAN
SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS

MJDII Architects, Inc.
Architecture • Planning • Consulting
16775 Addison Road, Suite 310 Tel: (972) 866-9600
Addison, Texas 75001 Fax: (972) 866-8601

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DESIGN BUILDER
2703 TELECOM PARKWAY, SUITE 120
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214-299-4300

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100 GLASS STREET
DALLAS, TEXAS 75207
214-752-9098

Westwood
PARKWAY CENTRE 1
2901 DALLAS PARKWAY, SUITE 400
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LANDSCAPE ARCHITECTURE . PLANNING . URBAN DESIGN
PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519
cooperdesignworks.com

PILLAR ELECTRIC GROUP
2703 TELECOM PARKWAY, SUITE 100
RICHARDSON, TEXAS 75082
469-277-4860

#	DESCRIPTION	DATE

Seal:
James A Cooper RLA 1287
24 April 2023

REGISTERED LANDSCAPE ARCHITECT JAMES A. COOPER 1287 STATE OF TEXAS

SPR

1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

SPR DISTRIBUTION CENTER

Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.05

Treescape Details

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INDALLOY ADDITION

LOT 1, BLOCK A, PARK STATION
INST NO. 20220000021178, P.R.R.C.T.

20' DRAINAGE ESMT.
(BY SEP. INSTRUMENT)

3" IPF

S83°54'27"E 274.71'
231.68'

N80°56'02"E 407.89'

APPROXIMATE LOCATION AND WIDTH OF ACCESS EASEMENT VOL. 1968, PG. 66, D.R.R.C.T. AS DEPICTED ON INST. NO. 20220000021178, P.R.R.C.T.

LOT 1, BL... INST NO. 20... ...R.C.T.

S86°0...

1/2" IRF

1/2" IRF

1/2" IRF

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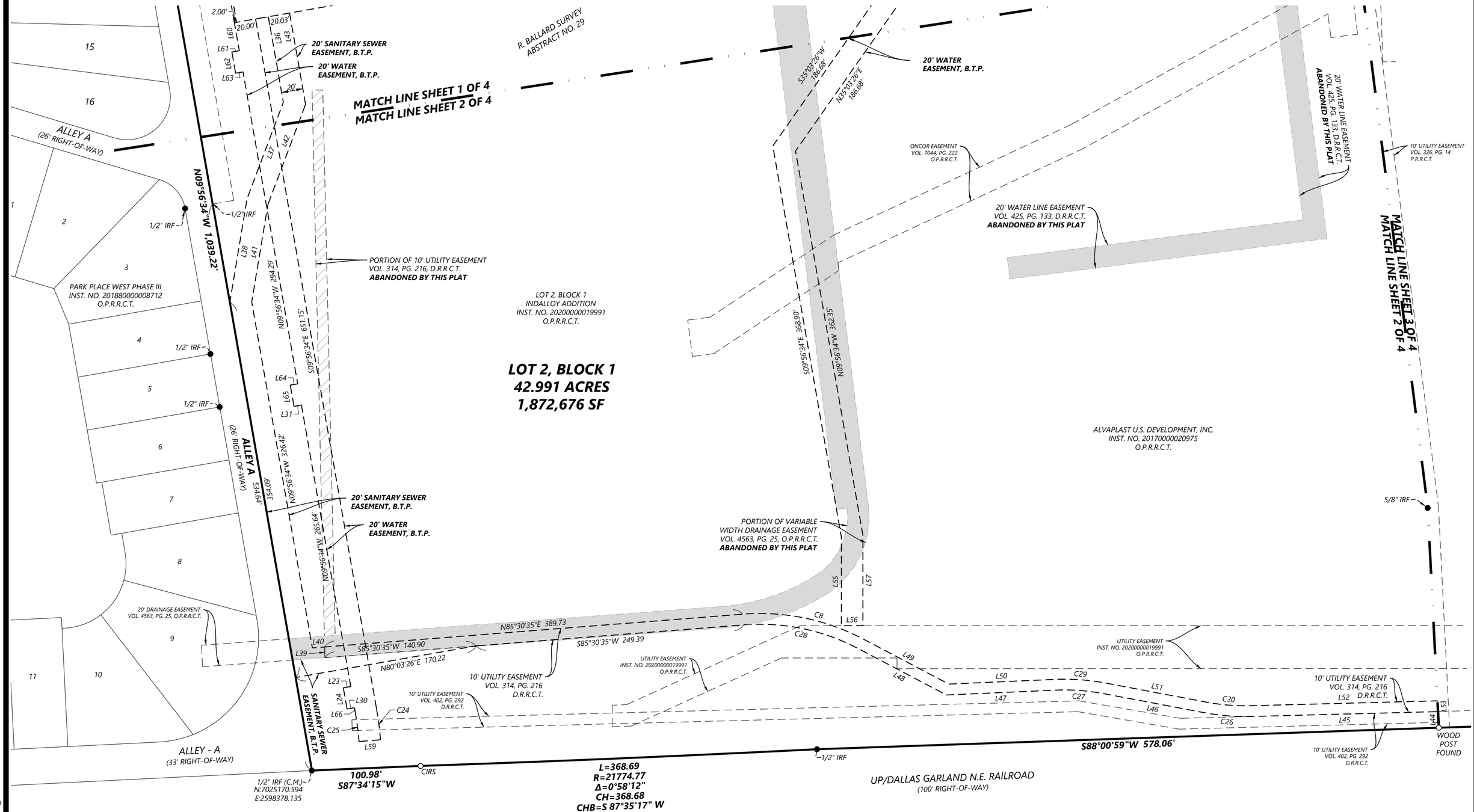
INDALLOY ADDITION



LEGEND

B.T.P.	BY THIS PLAT
CIRS	1/2"IRON ROD WITH PLASTIC CAP SET STAMPED "WESTWOOD PS"
IRF	IRON ROD FOUND
CAB. / VOL. / PG.	CABINET VOLUME PAGE
INST. NO.	INSTRUMENT NUMBER
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
(C.M.)	CONTROLLING MONUMENT
P.O.B.	PLACE OF BEGINNING
R.O.W.	RIGHT-OF-WAY
	EASEMENT ABANDONMENT
	EASEMENT ABANDONMENT

1"=60'

0' 60' 120' 180'

NOTES:

1. *BASIS OF BEARING: TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011, NAVD 1988.*
2. *ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48397C0040L DATED 09/26/2008 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, A PORTION OF THIS PROPERTY IS IN ZONE A AND ZONE X AS AMENDED BY LOMR UNDER CASE NO. 21-06-1013P, WITH AN EFFECTIVE DATE OF 02/07/2022.*
3. *SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY AND BUILDING PERMITS.*
4. *IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.*

OWNER:
ALVAPLAST U.S. INC.
ALVAPLAST U.S. DEVELOPMENT, LLC
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER / SURVEYOR

Westwood

Phone (214) 473-4640
Toll Free (888) 937-5150
2901 Dallas Parkway, Suite 400
Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TBPE FIRM REGISTRATION NO. F-11756
TBPLS FIRM REGISTRATION NO. F-10074301

FINAL PLAT OF INDALLOY ADDITION LOT 2, BLOCK 1

BEING A REPLAT OF LOT 2, BLOCK 1
INDALLOY ADDITION
42.991 ACRES OF LAND
N. BUTLER SURVEY, ABSTRACT NO. 20
R. BALLARD SURVEY, ABSTRACT NO. 29
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CASE NO. XXXX-XX

N:\0036677.00\1 PROJECT DATA\DWG\SURVEY\0036677.00_RP.DWG

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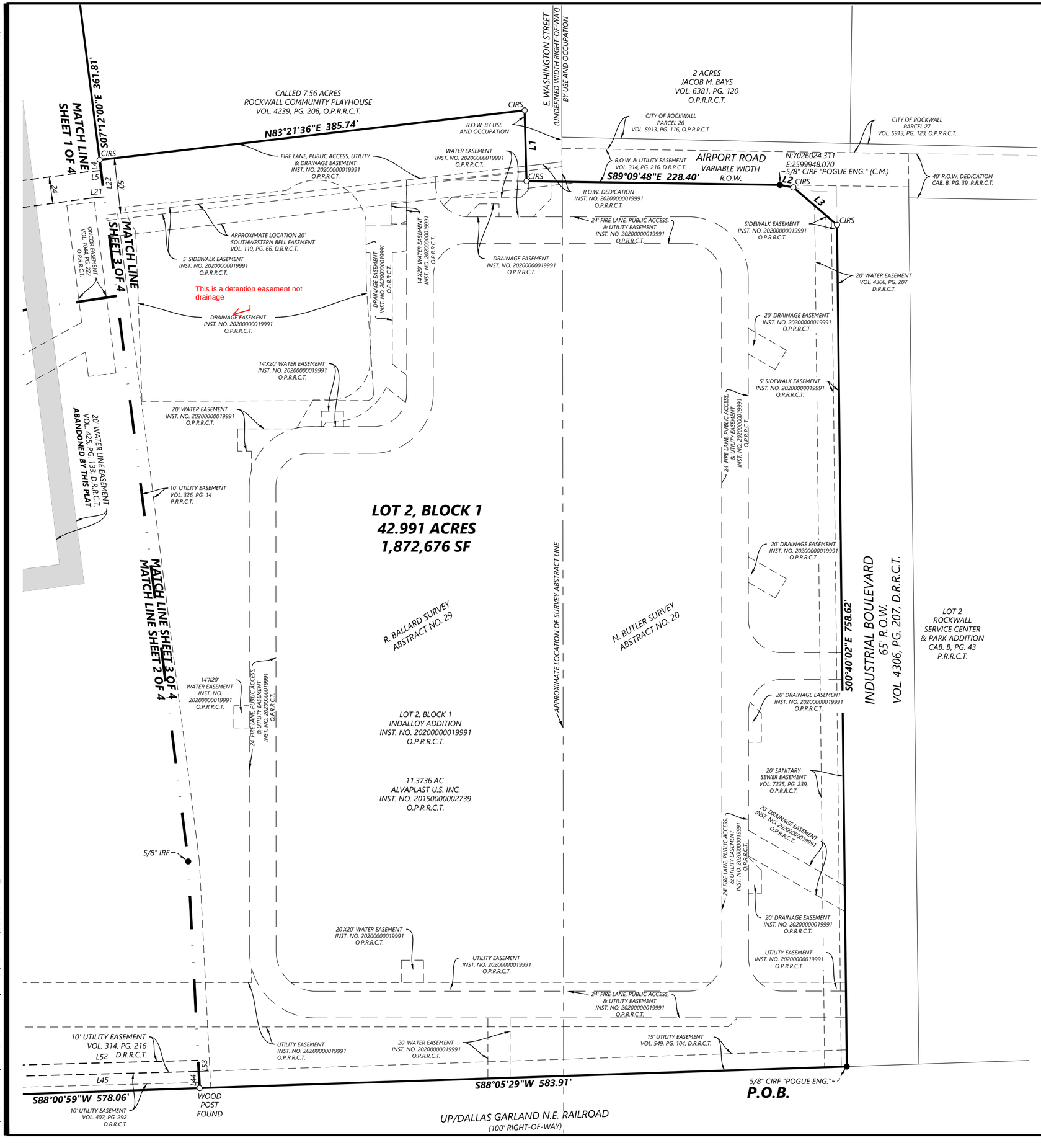
INDALLOY ADDITION



Line Table		
Line #	Length	Direction
L1	63.84	S01°33'33"E
L2	12.43	S79°29'46"E
L3	51.84	S49°24'24"E
L4	9.64	S07°12'00"E
L5	11.47	S84°47'18"W
L6	9.69	N80°03'26"E
L7	20.00	N09°56'34"W
L8	10.00	S80°03'26"W
L9	10.01	N80°03'26"E
L10	20.00	N09°56'34"W
L11	10.01	N80°03'26"E
L12	21.62	N09°56'34"W
L13	9.37	N10°04'14"E
L14	41.73	N83°55'16"W
L15	11.23	S09°44'15"E
L16	20.00	S80°15'45"W
L17	11.23	S09°44'15"E
L18	13.22	S37°25'53"W
L19	112.11	S05°23'58"E
L21	11.24	N84°47'18"E
L22	24.01	N07°12'00"W
L23	7.00	N80°25'20"E
L24	20.00	N09°56'34"W
L25	53.45	N83°55'16"W
L26	56.01	S05°23'58"E
L27	10.00	N80°03'26"E
L28	20.00	S09°56'34"E
L29	10.00	S80°03'26"W
L30	7.00	S80°03'26"W
L31	7.00	S80°03'26"W
L32	20.00	N09°56'34"W
L33	95.98	S80°03'26"W
L34	15.00	N09°56'34"W
L35	40.90	N80°03'26"E
L36	80.70	S09°56'34"E
L37	95.89	S20°36'16"W
L38	97.38	S09°25'46"W
L39	10.02	S01°17'55"E
L40	11.47	S85°30'35"W
L41	91.87	N09°25'46"E
L42	99.40	N20°36'16"E
L43	86.16	N09°56'34"W
L44	14.98	N02°53'25"W
L45	173.70	S88°30'36"W
L46	95.32	N79°16'25"W
L47	101.09	S87°27'35"W
L48	93.05	N62°15'25"W
L49	90.34	S62°15'25"E
L50	98.38	N87°27'35"E
L51	95.32	S79°16'25"E
L52	173.46	N88°30'10"E
L53	10.03	S02°53'25"E
L54	44.72	N09°56'34"W
L55	82.52	S00°01'40"E
L56	20.00	N89°58'20"E
L57	84.26	N00°01'40"W
L58	53.00	N09°56'34"W
L59	20.00	S85°21'44"W
L60	26.44	N09°56'34"W
L61	7.00	N80°03'26"E
L62	20.00	N09°56'34"W
L63	7.00	S80°03'26"W
L64	7.00	N80°03'26"E
L65	20.00	N09°56'34"W
L66	4.78	N09°56'34"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	21.83	45.00	027°47'43"	N 83°50'43" W	21.62
C2	15.71	30.00	029°59'41"	N 84°56'42" W	15.53
C3	78.54	50.00	089°59'59"	N 54°56'33" W	70.71
C4	19.94	30.00	038°05'02"	N 28°59'05" W	19.58
C5	20.28	20.00	058°05'50"	N 18°58'41" W	19.42
C6	40.82	30.00	077°57'08"	S 57°06'10" W	37.74
C7	20.43	74.00	015°48'58"	S 88°10'14" W	20.36
C8	115.33	205.00	032°14'00"	S 78°22'25" E	113.81
C9	24.58	310.00	004°32'36"	S 7°40'16" E	24.58
C10	22.46	30.00	042°53'43"	S 78°29'43" E	21.94
C11	40.43	54.00	042°53'43"	S 78°29'43" E	39.49
C12	22.06	45.00	028°05'18"	S 85°53'55" E	21.84
C13	14.71	30.00	028°05'05"	S 85°53'49" E	14.56
C14	13.73	30.00	026°13'31"	N 66°56'40" E	13.61
C15	22.32	45.00	028°25'29"	N 68°02'40" E	22.10
C16	64.56	50.00	073°58'39"	N 46°55'55" W	60.17
C17	13.80	50.00	015°48'58"	S 88°10'14" W	13.76
C18	74.75	50.00	085°39'43"	S 37°25'53" W	67.98
C19	15.86	200.00	004°32'36"	S 7°40'16" E	15.86
C20	67.45	50.00	077°17'27"	S 61°17'50" E	62.45
C21	40.43	54.00	042°53'43"	S 78°29'43" E	39.49
C22	22.46	30.00	042°53'43"	S 78°29'43" E	21.94
C23	47.12	30.00	090°00'00"	N 35°03'26" E	42.43
C24	28.70	310.00	005°18'19"	S 7°17'25" E	28.69
C25	26.85	290.00	005°18'19"	N 7°17'25" W	26.84
C26	43.74	205.00	012°13'25"	N 85°23'08" W	43.65
C27	45.15	195.00	013°16'00"	N 85°54'25" W	45.05
C28	109.70	195.00	032°14'00"	N 78°22'25" W	108.26
C29	47.47	205.00	013°16'00"	S 85°54'25" E	47.36
C30	41.60	195.00	012°13'25"	S 85°23'08" E	41.52
C31	44.85	30.00	085°39'43"	S 37°25'53" W	40.79
C32	17.76	224.00	004°32'36"	S 7°40'16" E	17.76

1"=60'

0' 60' 120' 180'

OWNER:
ALVAPLAST U.S. INC.
ALVAPLAST U.S. DEVELOPMENT, LLC
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER / SURVEYOR

Westwood

Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TBPE FIRM REGISTRATION NO. F-11756
TBPLS FIRM REGISTRATION NO. F-10074301

FINAL PLAT OF INDALLOY ADDITION LOT 2, BLOCK 1

BEING A REPLAT OF LOT 2, BLOCK 1
INDALLOY ADDITION
42.991 ACRES OF LAND
N. BUTLER SURVEY, ABSTRACT NO. 20
R. BALLARD SURVEY, ABSTRACT NO. 29A
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CASE NO. XXXX-XX

N:\0036677.00\1 PROJECT DATA\DWG\SURVEY\0036677.00_RP.DWG

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OWNERS CERTIFICATE AND DEDICATION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS Alvaplast U.S. Development, LLC and Alvaplast U.S. Inc. are the sole owners of a 42.991 acre tract of land situated in the R. Ballard Survey, Abstract No. 29A and the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, and being all of Lot 2, Block 1, Indalloy Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 20200000019991, of the Plat Records, Rockwall County, Texas and being all of a tract of land described in Tracts 1 and 2 conveyed to Alvaplast U.S. Development, LLC by deed of record in Instrument No. 20170000020975 of the Official Public Records of Rockwall County, Texas, and being all of a 11.3736 acre tract of land conveyed to Alvaplast U.S. Inc., by deed of record in Instrument Number 20150000002739, of said Official Public Records; said 42.991 acre tract being more particularly described as follows:

BEGINNING at a 5/8" iron rod with a yellow plastic cap stamped "POGUE ENG." found at the intersection of the west right-of-way line of Industrial Boulevard, a 65-foot right-of-way and the north right-of-way line of UP/Dallas Garland N.E. Railroad, a 100-foot railroad right-of-way; said point being at the southeast corner of said Lot 2, Block 1;

THENCE along the said north line of the UP/Dallas Garland N.E. Railroad and the south line of said Lot 2, Block 1, the following courses and distances:

South 88 degrees 05 minutes 29 seconds West, a distance of 583.91 feet to a wood post found at an angle point;

South 88 degrees 00 minutes 59 seconds West, a distance of 578.06 feet to a 1/2" iron rod found at the beginning of a non-tangent curve to the right;

Along said non-tangent curve to the right having a central angle of 00 degrees 58 minutes 12 seconds, a radius of 21,774.77 feet, and an arc length of 368.69 feet (chord bears South 87 degrees 35 minutes 17 seconds West, 368.68 feet) to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at the end of said curve;

South 87 degrees 34 minutes 15 seconds West, a distance of 100.98 feet to a 1/2" iron rod found at the southwest corner of said Lot 2, Block 1, and being the southeast corner of Alley A, a variable width alley right-of-way;

THENCE departing the said north line of the UP/Dallas Garland N.E. Railroad and the south line of Lot 2, Block 1, along the easterly line of said Alley A and the westerly line of said Lot 2, Block 1, the following courses and distances;

North 09 degrees 56 minutes 34 seconds West, at a distance of 534.64 feet passing a 1/2" iron rod found for reference, continuing in all a total distance of 1,039.22 feet to a 1/2" iron rod found at an angle point;

North 05 degrees 23 minutes 58 seconds West, a distance of 206.89 feet to a 1/2" iron rod found at the southwest corner of Lot 1, Block A, Park Station, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 20220000021178, of said Plat Records, and being at the northwest corner of said Lot 2, Block 1;

THENCE departing the said easterly line of said Alley A and the westerly line of said Lot 2, Block 1, along the common line between said Lot 1, Block A and said Lot 2, Block 1, the following courses and distances:

North 80 degrees 56 minutes 02 seconds East, a distance of 407.89 feet to a 3" (pinched) fence corner post at an angle point;

South 83 degrees 54 minutes 27 seconds East, a distance of 274.71 feet to a 1/2" iron rod found at an angle point;

South 86 degrees 07 minutes 57 seconds East, a distance of 435.47 feet to a 1/2" iron rod found for corner in the west line of a called 7.56 acre tract of land conveyed to Rockwall Community Playhouse, by deed of record in Volume 4239, Page 206, of said Official Public Records; said point being at the southeast corner of said Lot 1, Block A, and being at a northeast corner of said Lot 2, Block 1;

THENCE South 07 degrees 12 minutes 00 seconds East, departing the said common line between said Lot 1, Block A and Lot 2, Block 1, along the common line between said Lot 2, Block 1 and said Rockwall Community Playhouse tract, a distance of 361.81 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at a re-entrant corner of said Lot 2, Block 1 and the southwest corner of said Rockwall Community Playhouse tract;

THENCE North 83 degrees 21 minutes 36 seconds East, continuing along the said common line between Lot 2, Block 1 and the Rockwall Community Playhouse tract, a distance of 385.74 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at a northeast corner of said Lot 2, Block 1;

THENCE South 01 degrees 33 minutes 33 seconds East, departing the said common line between Lot 2, Block 1 and Rockwall Community Playhouse tract, along an east line of said Lot 2, Block 1, a distance of 63.84 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at a re-entrant corner of said Lot 2, Block 1; said point being in the south line of Airport Road, a variable width right-of-way;

THENCE South 89 degrees 09 minutes 48 seconds East, departing the said east line of Lot 2, Block 1, along the said south line of Airport Road and a north line of said Lot 2, Block 1, a distance of 228.40 feet to a 5/8" iron rod with a yellow plastic camp stamped "POGUE ENG." found at an angle point;

THENCE South 79 degrees 29 minutes 46 seconds East, continuing along the said south line of Airport Road and said north line of Lot 2, Block 1, a distance of 12.43 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set for corner at the west end of a right-of-way corner clip at the intersection of the said south line of Airport Road and the said west line of Industrial Boulevard; said point being at a northeast corner of said Lot 2, Block 1;

THENCE South 49 degrees 24 minutes 24 seconds East, departing the said south line of Airport Road and the said north line Lot 2, Block 1, along said right-of-way corner clip, a distance of 51.84 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set for corner in the said west line of Industrial Boulevard, at the south end of said corner clip; said point being at a northeast corner of said Lot 2, Block 1;

THENCE South 00 degrees 40 minutes 02 seconds East, departing the said right-of-way corner clip, along the said west line of Industrial Boulevard and an east line of said Lot 2, Block 1, a distance of 758.62 feet to the **POINT-OF-BEGINNING**, containing **1,872,676 square feet or 42.991 acres of land.**

Please add these general notes to the plat.

GENERAL NOTES [Please add this to any other notes included on the plat.]

General Notes:

1) It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as Lot 2, Block 1, Indalloy Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein. I (we) further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. *No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.*
2. *Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at anytime, procuring the permission of anyone.*
3. *The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.*
4. *The developer and subdivision engineer shall bear total responsibility for storm drain improvements.*
5. *The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.*
6. *No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.*
7. *Property owner shall be responsible for all maintenance, repair, and reconstruction of all systems in drainage and detention easements.*

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Alvaplast U.S. Inc.
Alvaplast U.S. Development, LLC

_____
NAME:
TITLE:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ___ day of _____, 2023.

_____
Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Jason B. Armstrong, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Ordinance of the City of Rockwall, Texas.

Dated this the _____ day of _____, 2023.

_____
Jason B. Armstrong
Registered Professional Land Surveyor
No. 5557

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Jason B. Armstrong, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2023.

_____
Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

_____
PLANNING & ZONING

Approved

I hereby certify that the above and foregoing plat of an Addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 20___.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Witness our hands, this _____, day of _____, 2023.

_____
Mayor, City of Rockwall

_____ _____
City Secretary

_____
City Engineer

OWNER:
ALVAPLAST U.S. INC.
ALVAPLAST U.S. DEVELOPMENT, LLC
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER / SURVEYOR

Westwood

Phone (214) 473-4640 **2901 Dallas Parkway, Suite 400**
Toll Free (888) 937-5150 **Plano, TX 75093**
westwoodps.com

Westwood Professional Services, Inc.
TBPE FIRM REGISTRATION NO. F-11756
TBPLS FIRM REGISTRATION NO. F-10074301

FINAL PLAT
OF
INDALLOY ADDITION
LOT 2, BLOCK 1
BEING A REPLAT OF LOT 2, BLOCK 1
INDALLOY ADDITION
42.991 ACRES OF LAND
N. BUTLER SURVEY, ABSTRACT NO. 20
R. BALLARD SURVEY, ABSTRACT NO. 29A
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CASE NO. XXXX-XX

42.991 Acres July 14, 2023 Job No. 0036677.00 Indalloy Addition

INDALLOY ADDITION

N:\0036677.00\1 PROJECT DATA\DWG\SURVEY\0036677.00_RP.DWG

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- x REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1480 Justin Road				
SUBDIVISION	Indalloy Addition	LOT	2	BLOCK	1
GENERAL LOCATION	Approx. 700 feet south of E. Washington St. and 450 feet west of Airport Rd.				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial (LI)	CURRENT USE	Unoccupied Industrial Building
PROPOSED ZONING	No Change	PROPOSED USE	Industrial Distribution Center
ACREAGE	42.991	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Alvaplast U.S., Inc.	☐ APPLICANT	Westwood Professional Services
CONTACT PERSON	Carolina Molina	CONTACT PERSON	Arlyn Samuelson
ADDRESS	1480 Justin Road	ADDRESS	2901 Dallas Parkway, Suite 400
CITY, STATE & ZIP	Rockwall, Texas 75087	CITY, STATE & ZIP	Plano, Texas 75093
PHONE	469-402-1232	PHONE	972-265-4860
E-MAIL	cmolina@sprpackaging.com	E-MAIL	asamuelson@westwoodps.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Carolina Molina [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 1,159.82 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18 *DAY OF* August, 2023 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

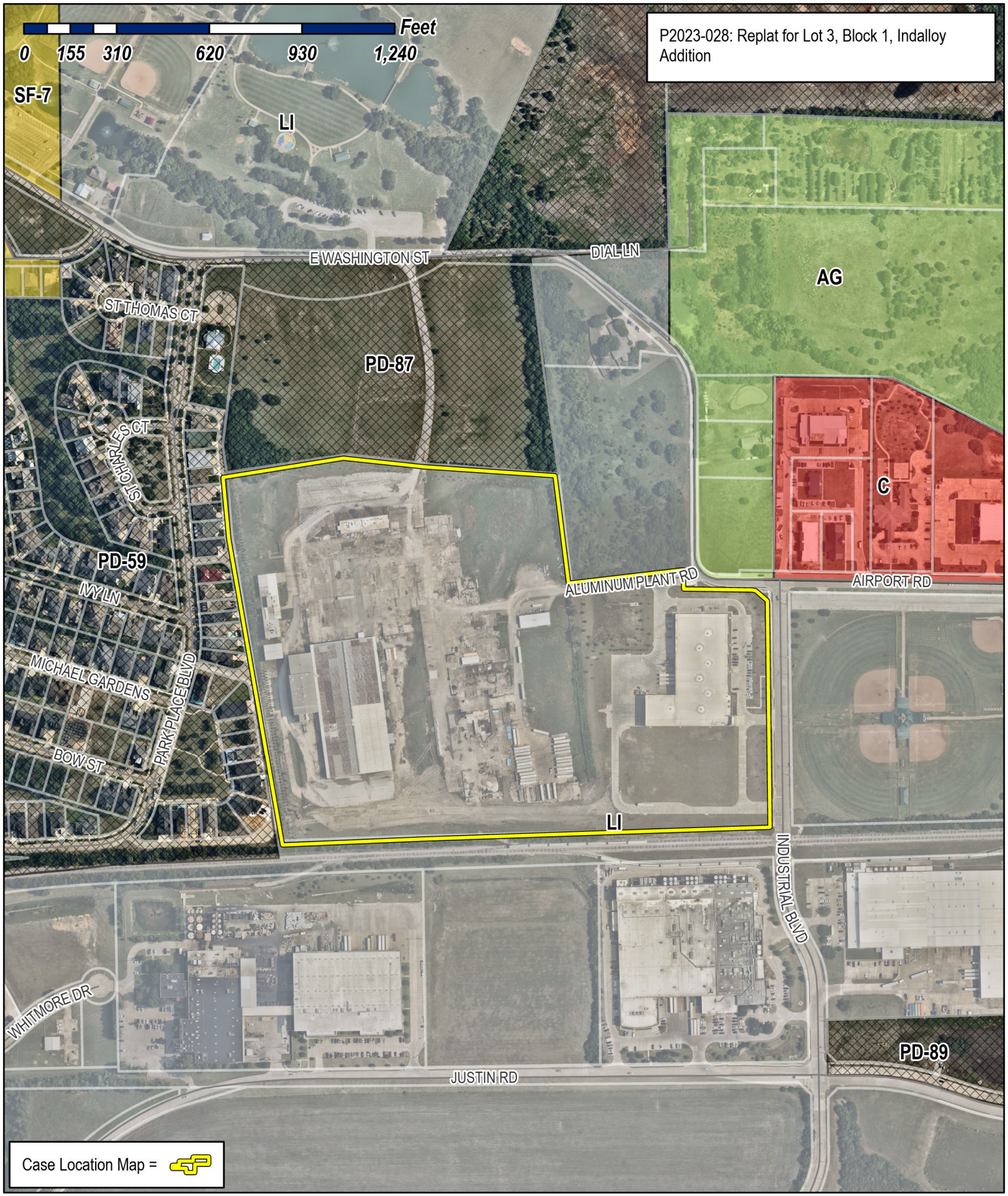
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8th *DAY OF* August, 2023

OWNER'S SIGNATURE Carolina Molina

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Vonda L Clements

MY COMMISSION EXPIRES January 5, 2025

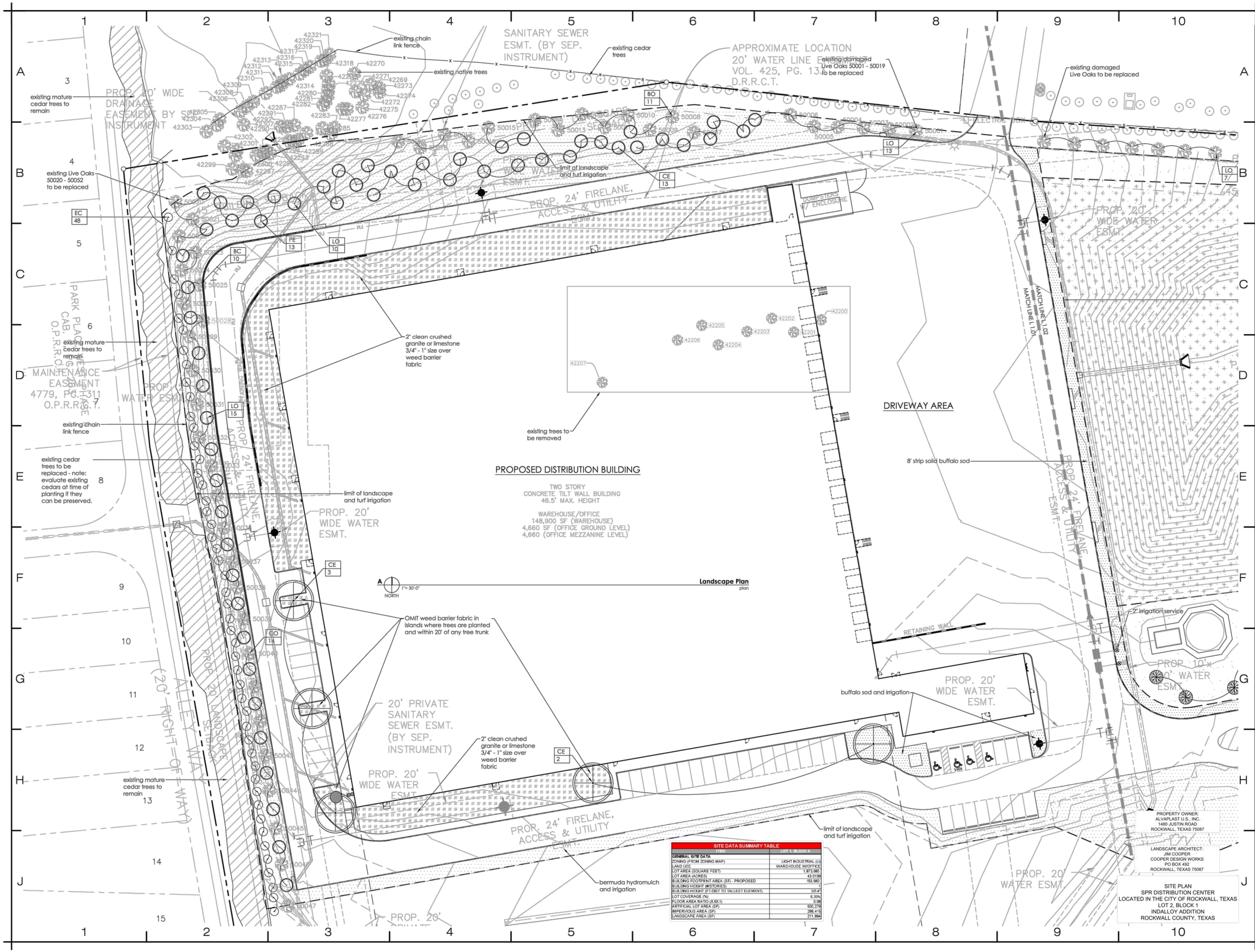
NOTARY PUBLIC STATE OF TEXAS
VONDA L CLEMENTS
Notary ID #10306723
My Commission Expires
January 5, 2025



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,685
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,560
BUILDING HEIGHT (#STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX:1)	0.08
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	288,415
LANDSCAPE AREA (SF)	211,864

PROPERTY OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
JIM COOPER
COOPER DESIGN WORKS
PO BOX 492
ROCKWALL, TEXAS 75087

SITE PLAN
SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS

MJDII Architects, Inc.
Architecture • Planning • Consulting
16775 Addison Road, Suite 310 Tel: (972) 866-8600
Addison, Texas 75001 Fax: (972) 866-8601

HILL & WILKINSON GENERAL CONTRACTORS
DESIGN BUILDER
2703 TELECOM PARKWAY, SUITE 120
RICHARDSON, TEXAS 75082
214-299-4300

JQ shaping the built environment
STRUCTURAL ENGINEERING
100 GLASS STREET
DALLAS, TEXAS 75207
214-752-9098

Westwood
PARKWAY CENTRE 1
2901 DALLAS PARKWAY, SUITE 400
PLANO, TEXAS 75093
214-473-4640

COOPER DESIGN WORKS
LANDSCAPE ARCHITECTURE . PLANNING . URBAN DESIGN
PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519
cooperdesignworks.com

PILLAR ELECTRIC GROUP
2703 TELECOM PARKWAY, SUITE 100
RICHARDSON, TEXAS 75082
469-277-4860

#	DESCRIPTION	DATE
	City Comments And Qty. Updates	17 Aug 2023

Seal:
James A Cooper RLA 1287
17 August 2023

REGISTERED LANDSCAPE ARCHITECT JAMES A. COOPER 1287 STATE OF TEXAS

SPR
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.01

Landscape Plan

existing damaged Live Oaks 50001 - 50019 to be replaced

existing damaged Live Oaks to be replaced

existing cedar trees

limit of landscape and irrigation

EC 9 (to replace dead cedar trees in this area verify quanties at planting time)

LO 13

LO 7

BO 6

CO 6

PROP. 20' LANDSCAPE SETBACK

45' BUILDING SETBACK

PROP. 120' WIDE WATER ESMT.

20' WATER LINE EASEMENT VOL. 425, PG. 133 D.R.R.C.T.

DUMPSTER W/ ENCLOSURE

native grasses - drill seed with heavy hydromulch cap for erosion control

PROPOSED DETENTION AREA

PROP. DRAINAGE ESMT. (BY SEP. INSTRUMENT)

APPROXIMATE LOCATION FEMA FLOODLINE ACCORDING TO FEMA MAP NO. 48397C0040L DATED 09/26/2008

DRIVEWAY AREA

MATCH LINE L.02

MATCH LINE L.01

8' strip solid buffalo sod

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

CALLED 7.56 A ROCKWALL COMM PLAYHOUSE VOL. 4239, PG O.P.R.R.C.T.

2" irrigation service

native grasses - drill seed with hydromulch cap

EC 14

RETAINING WALL

PROP. 10' x 20' WATER ESMT.

buffalo sod and irrigation

PROP. 20' WIDE WATER ESMT.

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

APPROXIMATE LOCATIO 20' SOUTHWESTERN BE EASEMENT VOL. 110, PG. 66 D.R.R.C.T.

APPROXIMATE LOCA FEMA FLOODLINI ACCORDING TO FEMA M 4839 09

DRAINAGE EASEMEN INST. NO. 20200000015

A NORTH 1" = 30'-0"

Landscape Plan plan

solid bermuda sod to edge of slope

limit of landscape and turf irrigation

ONE STORY METAL BUILDING FINISHED FLOOR ELEVATION = 563.5'

PROP. 20' WATER ESMT.

SITE DATA SUMMARY TABLE	
ITEM	LOT 1, BLOCK A
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	LIGHT INDUSTRIAL (LI)
LAND USE	WAREHOUSE W/OFFICE
LOT AREA (SQUARE FEET)	1,873,686
LOT AREA (ACRES)	43.0139
BUILDING FOOTPRINT AREA (SF) - PROPOSED	153,660
BUILDING HEIGHT (#/STORIES)	1
BUILDING HEIGHT (FT-DIST TO TALLEST ELEMENT)	50'-4"
LOT COVERAGE (%)	8.20%
FLOOR AREA RATIO (X.XX:1)	0.08
ARTIFICIAL LOT AREA (SF)	500,279
IMPERVIOUS AREA (SF)	286,415
LANDSCAPE AREA (SF)	211,864

PROPERTY OWNER:
ALVAPLAST U.S., INC.
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
JIM COOPER
COOPER DESIGN WORKS
PO BOX 492
ROCKWALL, TEXAS 75087

SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS

MJDII Architects, Inc.
Architecture • Planning • Consulting
16775 Addison Road, Suite 310 Tel: (972) 866-8600
Addison, Texas 75001 Fax: (972) 866-8601

HILL & WILKINSON GENERAL CONTRACTORS
DESIGN BUILDER
2703 TELECOM PARKWAY, SUITE 120
RICHARDSON, TEXAS 75082
214-299-4300

JQ shaping the built environment
STRUCTURAL ENGINEERING
100 GLASS STREET
DALLAS, TEXAS 75207
214-752-9098

Westwood
PARKWAY CENTRE 1
2901 DALLAS PARKWAY, SUITE 400
PLANO, TEXAS 75093
214-473-4640

COOPER DESIGN WORKS
LANDSCAPE ARCHITECTURE · PLANNING · URBAN DESIGN
PO BOX 492 ROCKWALL TEXAS 75087 P 972.412.9519
cooperdesignworks.com

PILLAR ELECTRIC GROUP
2703 TELECOM PARKWAY, SUITE 100
RICHARDSON, TEXAS 75082
469-277-4860

#	DESCRIPTION	DATE
	City Comments And Qty. Updates	17 Aug 2023

Seal:
James A Cooper RLA 1287
17 August 2023

REGISTERED LANDSCAPE ARCHITECT JAMES A. COOPER 1287 STATE OF TEXAS

SPR
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087
SPR DISTRIBUTION CENTER

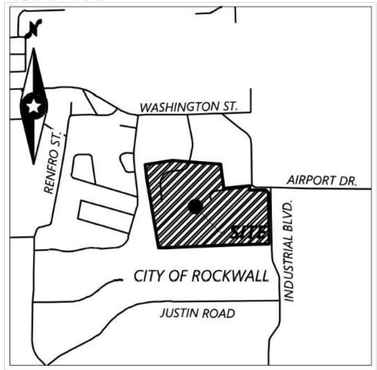
Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.02

Landscape Plan

VICINITY MAP



Landscape Calculations:

Parking Lot Landscaping:

Parking Area (Double Row):	4958 SF
Interior Landscape Area Required 5%:	249 SF
Interior Landscape Area Provided:	250 SF
Parking lot trees provided at terminus of rows and islands.	

Detention Pond Landscaping:

Detention Pond Area:	160,537 SF
Native Grass Seed/Sod Provided:	160,537 SF
Ornamental Grasses Required:	214 (5) Gallon Plants
160,537 SF / 1 Plant per 750 SF = 214	
Ornamental Grasses Provided:	
(14) 3" Cedar trees are substituted for ornamental grasses.	

Abutting Residential Buffer:

Landscape buffer abutting residential development is existing.

Landscape Notes:

An automatic irrigation system will be provided comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City of Rockwall Code of Ordinances, and all applicable state laws, as may be amended.

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IMPERVIOUS AREA (SF)	288,415
LANDSCAPE AREA (SF)	211,864

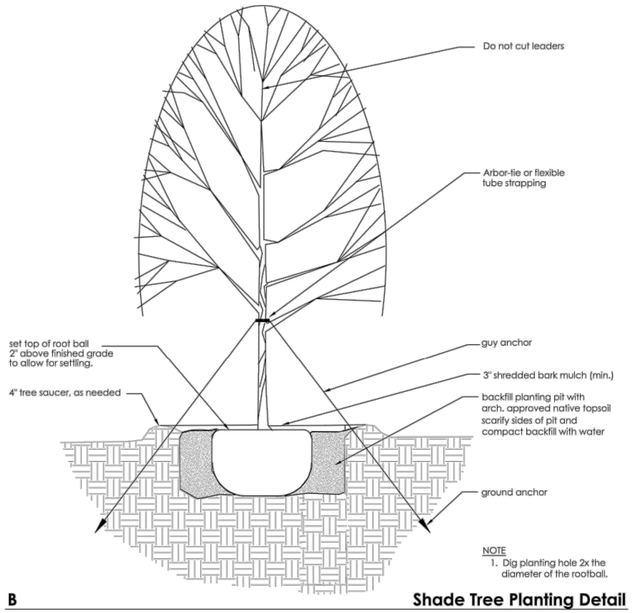
PLANT SCHEDULE

Large Shade And Evergreen Trees

	SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION AT PLANTING
Indicates new buffer tree to be added. / Indicates existing buffer tree to be replaced.	PE	13	Native Pecan	Carya illinoinis	Buffer trees. 4" Caliper 12'-14' Ht./ 4'-5' spread, container grown straight trunk.
	BO	23	Bur Oak	Quercus macrocarpa	
	LO	45	Live Oak	Quercus virginiana	
	BC	10	Bald Cypress	Taxodium distichum	
	CO	20	Chinquapin Oak	Quercus muehlenbergii	
Indicates new tree to be added. / Indicates existing buffer tree to be replaced.	EC	71	Eastern Red Cedar	Juniperis virginiana	3" Caliper 7'-8' Ht./ 3'-4' spread, container grown full to ground.
	CE	5	Cedar Elm	Ulmus crassifolia	4" Caliper 12'-14' Ht./ 5'-6' spread, container grown straight trunk.

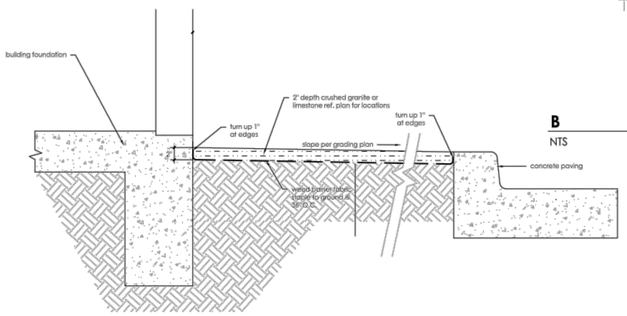
Shrubs and Groundcovers

	SYM	QTY	COMMON NAME	BOTANICAL NAME	SIZE & CONDITION AT PLANTING
		159,580 SF	Texas/Oklahoma Roadside Mix Evening Primrose Little Bluestem Purple Three-awn Sideoats Grama Buffalo Grass	Native America Seed Co. Oenothera speciosa Schizachyrium scoparium Aristida purpurea Bouteloua curtipendula Bouteloua dactyloides	See specifications for seed quantities. Drill seed and hydromulch cover per supplier recommendation. Submit product data or sample.
		85,367 SF			Heavy hydromulch cap for erosion control. Alternate No. 1 - erosion control blanket in lieu of hydromulch cap.
		8,347 SF	Solid Buffalo Sod	Bouteloua dactyloides	Add 1" organic compost tilled 3" depth into topsoil. Fine grade prior to installation
		36,624 SF	Bermuda Hydromulch	Cynadon dactylon	Fine grade prior to installation
		20,806 SF	Crushed Gravel		2" depth over weed barrier fabric. Clean crushed granite or limestone 3/4"-1" size.



NOTE
1. Dig planting hole 2x the diameter of the rootball.

B NTS **Shade Tree Planting Detail**



B NTS **Crushed Gravel Groundcover Detail**

PROPERTY OWNER:
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1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
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PO BOX 492
ROCKWALL, TEXAS 75087

SITE PLAN
SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
INDALLOY ADDITION
ROCKWALL COUNTY, TEXAS

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PILLAR ELECTRIC GROUP
2703 TELECOM PARKWAY, SUITE 100
RICHARDSON, TEXAS 75082
469-277-4860

#	DESCRIPTION	DATE
	City Comments And Qty. Updates	17 Aug 2023

Seal:
James A Cooper RLA 1287
17 August 2023

REGISTERED LANDSCAPE ARCHITECT · JAMES A. COOPER · 1287 · STATE OF TEXAS

SPR

1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

SPR DISTRIBUTION CENTER

Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.03

Landscape Plan

existing mature cedar trees to remain

existing cedar trees

existing buffer trees

existing chain link fence

existing trees to be removed

existing tree to be preserved or replaced

tree number ref. tree preservation plan sheet L1.04

existing tree to be removed

existing mature cedar trees to remain

existing cedar trees

existing mature cedar trees to remain

existing chain link fence

existing cedar trees

PROP. 20' SANITARY SEWER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

PROP. 8" WATER

PROP. 10'x 10' WATER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 10'x 10' WATER ESMT.

PROP. 20' SANITARY

PROP. 20' LANDSCAPE SETBACK

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

PROP. 24' FIRELANE, ACCESS & UTILITY ESMT.

PROP. 6" F.H. LEAD

PROP. 2" DOM. SERVICE

8" FIRE SERVICE

PROP. 8" WATER

PROP. 8" F.H. LEAD

PROP. 20' WATER ESMT.

PROP. 20' WATER ESMT.

PROP. 20' WATER ESMT.

Treescape Calculations:

Total Mitigation Required:	276 inches
Tree Credits:	
Tree No. 42276 30" Elm	30 inches
Parking Lot/Site Trees	248 inches
Total Mitigation Provided:	**278 inches**

Tree Preservation Table

Tree Number	Common Name	DBH Inches	Status	Feature Tree	Mitigation Required	Mitigation Inches
42220	Live Oak	26	Remove	Yes	Yes	52
42201	Crape Myrtle	12	Remove	No	Yes	12
42202	Crape Myrtle	16	Remove	No	Yes	16
42203	Live Oak	30	Remove	Yes	Yes	60
42204	Crape Myrtle	12	Remove	No	Yes	12
42205	Crape Myrtle	12	Remove	No	Yes	12
42206	Live Oak	26	Remove	Yes	Yes	52
42207	Live Oak	30	Remove	Yes	Yes	60
42269	Willow	18	Preserve	No	No	
42270	Cedar	6	Preserve	No	No	
42271	Elm	20	Preserve	No	No	
42272	Elm	20	Preserve	No	No	
42273	Unknown	10	Preserve	No	No	
42274	Hackberry	12	Preserve	No	No	
42275	Elm	11	Preserve	No	No	
42276	Elm	30	Preserve	No	No	
42277	Elm	13	Preserve	No	No	
42278	Elm	15	Preserve	No	No	
42279	Elm	20	Preserve	No	No	
42280	Elm	20	Preserve	No	No	
42281	Elm	6	Preserve	No	No	
42282	Cedar	4	Preserve	No	No	
42283	Cedar	14	Preserve	No	No	
42284	Cedar	6	Preserve	No	No	
42285	Cedar	12	Preserve	No	No	
42286	Elm	10	Preserve	No	No	
42287	Elm	9	Preserve	No	No	
42288	Elm	18	Preserve	No	No	
42289	Hackberry	8	Preserve	No	No	
42290	Cedar	12	Preserve	No	No	
42291	Elm	11	Preserve	No	No	
42292	Elm	4	Preserve	No	No	
42293	Elm	9	Preserve	No	No	
42294	Elm	9	Preserve	No	No	
42295	Hackberry	15	Preserve	No	No	
42296	Elm	6	Preserve	No	No	
42297	Cedar	6	Preserve	No	No	
42298	Cedar	6	Preserve	No	No	
42299	Elm	10	Preserve	No	No	
42300	Elm	8	Preserve	No	No	
42301	Elm	8	Preserve	No	No	
42302	Elm	4	Preserve	No	No	
42303	Elm	9	Preserve	No	No	
42304	Elm	4	Preserve	No	No	
42305	Elm	9	Preserve	No	No	
42306	Elm	16	Preserve	No	No	
42307	Elm	4	Preserve	No	No	
42308	Elm	15	Preserve	No	No	
42309	Elm	12	Preserve	No	No	
42310	Elm	4	Preserve	No	No	
42311	Elm	6	Preserve	No	No	
42312	Elm	6	Preserve	No	No	
42313	Elm	4	Preserve	No	No	
42314	Elm	9	Preserve	No	No	
42315	Elm	9	Preserve	No	No	
42316	Elm	16	Preserve	No	No	
42317	Elm	16	Preserve	No	No	
42318	Cedar	6	Preserve	No	No	
42319	Cedar	4	Preserve	No	No	
42320	Cedar	6	Preserve	No	No	
42321	Cedar	10	Preserve	No	No	
42437	Bois d'arc	24	Preserve	No	No	

Tree Number	Common Name	DBH Inches	Status	Feature Tree	Mitigation Required	Mitigation Inches
50001	Live Oak	4-5"	Replace	No	No	
50002	Live Oak	4-5"	Replace	No	No	
50003	Live Oak	4-5"	Replace	No	No	
50004	Live Oak	4-5"	Replace	No	No	
50005	Live Oak	4-5"	Replace	No	No	
50006	Live Oak	4-5"	Replace	No	No	
50007	Live Oak	4-5"	Replace	No	No	
50008	Live Oak	4-5"	Replace	No	No	
50009	Live Oak	4-5"	Replace	No	No	
50010	Live Oak	4-5"	Replace	No	No	
50012	Live Oak	4-5"	Replace	No	No	
50013	Live Oak	4-5"	Replace	No	No	
50014	Live Oak	4-5"	Replace	No	No	
50015	Live Oak	4-5"	Replace	No	No	
50016	Live Oak	4-5"	Replace	No	No	
50017	Live Oak	4-5"	Replace	No	No	
50018	Live Oak	4-5"	Replace	No	No	
50019	Live Oak	4-5"	Replace	No	No	
50020	Live Oak	4-5"	Replace	No	No	
50022	Live Oak	4-5"	Replace	No	No	
50023	Live Oak	4-5"	Replace	No	No	
50024	Live Oak	4-5"	Replace	No	No	
50025	Live Oak	4-5"	Replace	No	No	
50026	Live Oak	4-5"	Replace	No	No	
50027	Live Oak	4-5"	Replace	No	No	
50028	Live Oak	4-5"	Replace	No	No	
50029	Live Oak	4-5"	Replace	No	No	
50030	Live Oak	4-5"	Replace	No	No	
50031	Live Oak	4-5"	Replace	No	No	
50032	Live Oak	4-5"	Replace	No	No	
50033	Live Oak	4-5"	Replace	No	No	
50034	Live Oak	4-5"	Replace	No	No	
50035	Live Oak	4-5"	Replace	No	No	
50036	Live Oak	4-5"	Replace	No	No	
50037	Live Oak	4-5"	Replace	No	No	
50038	Live Oak	4-5"	Replace	No	No	
50039	Live Oak	4-5"	Replace	No	No	
50040	Live Oak	4-5"	Replace	No	No	
50042	Live Oak	4-5"	Replace	No	No	
50043	Live Oak	4-5"	Replace	No	No	
50044	Live Oak	4-5"	Replace	No	No	
50045	Live Oak	4-5"	Replace	No	No	
50046	Live Oak	4-5"	Replace	No	No	
50047	Live Oak	4-5"	Replace	No	No	

Total Mitigation Inches = 276

SITE DATA SUMMARY TABLE	
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PROPERTY OWNER:
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1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

LANDSCAPE ARCHITECT:
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SITE PLAN
SPR DISTRIBUTION CENTER
LOCATED IN THE CITY OF ROCKWALL, TEXAS
LOT 2, BLOCK 1
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PILLAR ELECTRIC GROUP
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469-277-4860

#	DESCRIPTION	DATE

Seal:
James A Cooper RLA 1287
24 April 2023

REGISTERED LANDSCAPE ARCHITECT JAMES A. COOPER 1287 STATE OF TEXAS

SPR

1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

SPR DISTRIBUTION CENTER

Drawn By:	CDW
Project Number:	22-0013-00
Date:	24 APRIL 2023
Issue:	PERMIT/CONSTRUCTION
Approved By:	CDW

Sheet Number:

L1.05

Treescape Details

© 2023 Westwood Professional Services, Inc.

INDALLOY ADDITION

LOT 1, BLOCK A, PARK STATION
INST NO. 20220000021178, P.R.R.C.T.

20' DRAINAGE ESMT.
(BY SEP. INSTRUMENT)

3" IPF

N80°56'02"E 407.89'

S83°54'27"E 274.71'
231.68'

APPROXIMATE LOCATION AND WIDTH OF ACCESS EASEMENT VOL. 1968, PG. 66, D.R.R.C.T. AS DEPICTED ON INST. NO. 20220000021178, P.R.R.C.T.

LOT 1, BLOCK A, PARK STATION
INST NO. 20220000021178, P.R.R.C.T.

S86°07'57"E 435.47'

1/2" IRF

20'x 11.23' WATER EASEMENT, B.T.P.

267.53'

N80°15'45"E 483.29'

195.76'

FIRELANE, ACCESS & UTILITY EASEMENT, B.T.P.

N80°15'45"E 421.70'

24'

20' WATER LINE EASEMENT
VOL. 425, PG. 133, D.R.R.C.T.
ABANDONED BY THIS PLAT

10'x 10' WATER EASEMENT, B.T.P.

20' DRAINAGE ESMT.
(BY SEP. INSTRUMENT)

PARK PLACE WEST PHASE II
CAB. F, PG. 263
O.P.R.R.C.T.

N05°23'58"W 206.89'

S07°12'00"E 361.81'

CALLED 7.56 ACRES
ROCKWALL COMMUNITY PLAYHOUSE
VOL. 4239, PG. 206
O.P.R.R.C.T.

20' WATER LINE EASEMENT
VOL. 425, PG. 133, D.R.R.C.T.
ABANDONED BY THIS PLAT

N05°23'58"W 96.80'

64.30'

20'x 10' WATER EASEMENT, B.T.P.

20' OFFSITE MAINTENANCE EASEMENT
VOL. 4779, PG. 311, O.P.R.R.C.T.

FIRELANE, ACCESS & UTILITY EASEMENT, B.T.P.

S05°56'34"E 337.68'

S05°56'34"E 334.35'

N09°50'57"W 265.68'

LOT 2, BLOCK 1
42.991 ACRES
1,872,676 SF

LOT 2, BLOCK 1
INDALLOY ADDITION
INST. NO. 20200000019991
O.P.R.R.C.T.

11.3736 AC
ALVAPLAST U.S. INC.
INST. NO. 20150000002739
O.P.R.R.C.T.

24'

FIRELANE, ACCESS & UTILITY EASEMENT, B.T.P.

10'x 20' WATER EASEMENT, B.T.P.

15' WATER EASEMENT, B.T.P.

MATCH LINE SHEET 1 OF 4

CIRS

S82°15'24"W 210.00'

S80°03'26"W 109.33'

L=72.98'

FIRELANE, ACCESS & UTILITY EASEMENT B.T.P.

N82°15'24"E 210.38'

42'

78.99'
N80°03'26"E

ONCOR EASEMENT
VOL. 7A, PG. 222
O.P.R.R.C.T.

MATCH LINE SHEET 3 OF 4

ALLEY WAY
(20' RIGHT-OF-WAY)

2' WATER EASEMENT, B.T.P.

20' SANITARY SEWER EASEMENT, B.T.P.

20' WATER EASEMENT, B.T.P.

S80°03'26"W 132.48'

S80°03'26"W 344.82'

N80°03'26"E 420.82'

252.35'

FIRELANE, ACCESS & UTILITY EASEMENT B.T.P.

81.06'

N80°03'26"E 194.61'
126.98'

20.00'

2.00'

20.03'

20' SANITARY SEWER EASEMENT, B.T.P.

20' WATER EASEMENT, B.T.P.

R. BALLARD SURVEY
ABSTRACT NO. 29

MATCH LINE SHEET 1 OF 4
MATCH LINE SHEET 2 OF 4

S35°03'26"W 186.68'

N35°03'26"E 186.68'

20' WATER EASEMENT, B.T.P.

ALLEY A
(26' RIGHT-OF-WAY)

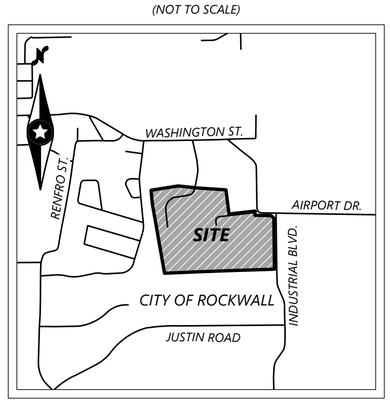
N09°56'34"W 1,039.22'

1/2" IRF

PARK PLACE WEST PHASE III
INST. NO. 20180000008712
O.P.R.R.C.T.

VICINITY MAP

(NOT TO SCALE)



1"=60'

0' 60' 120' 180'

LEGEND

B.T.P.	BY THIS PLAT
CIRS	1/2"IRON ROD WITH PLASTIC CAP SET STAMPED "WESTWOOD PS"
IRF	IRON ROD FOUND
CAB. / VOL. / PG.	CABINET VOLUME PAGE
INST. NO.	INSTRUMENT NUMBER
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
(C.M.)	CONTROLLING MONUMENT
P.O.B.	PLACE OF BEGINNING
R.O.W.	RIGHT-OF-WAY
	EASEMENT ABANDONMENT
	EASEMENT ABANDONMENT

OWNER:
ALVAPLAST U.S. INC.
ALVAPLAST U.S. DEVELOPMENT, LLC
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER / SURVEYOR
Westwood

Phone (214) 473-4640
Toll Free (888) 937-5150
2901 Dallas Parkway, Suite 400
Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TBPE FIRM REGISTRATION NO. F-11756
TBPLS FIRM REGISTRATION NO. F-10074301

FINAL PLAT
OF
INDALLOY ADDITION
LOT 2, BLOCK 1

BEING A REPLAT OF LOT 2, BLOCK 1
INDALLOY ADDITION
42.991 ACRES OF LAND
N. BUTLER SURVEY, ABSTRACT NO. 20
R. BALLARD SURVEY, ABSTRACT NO. 29
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CASE NO. XXXX-XX

42.991 Acres July 14, 2023 Job No. 0036677.00 Indalloy Addition

N:\0036677.00\1 PROJECT DATA\DWG\SURVEY\0036677.00_RP.DWG

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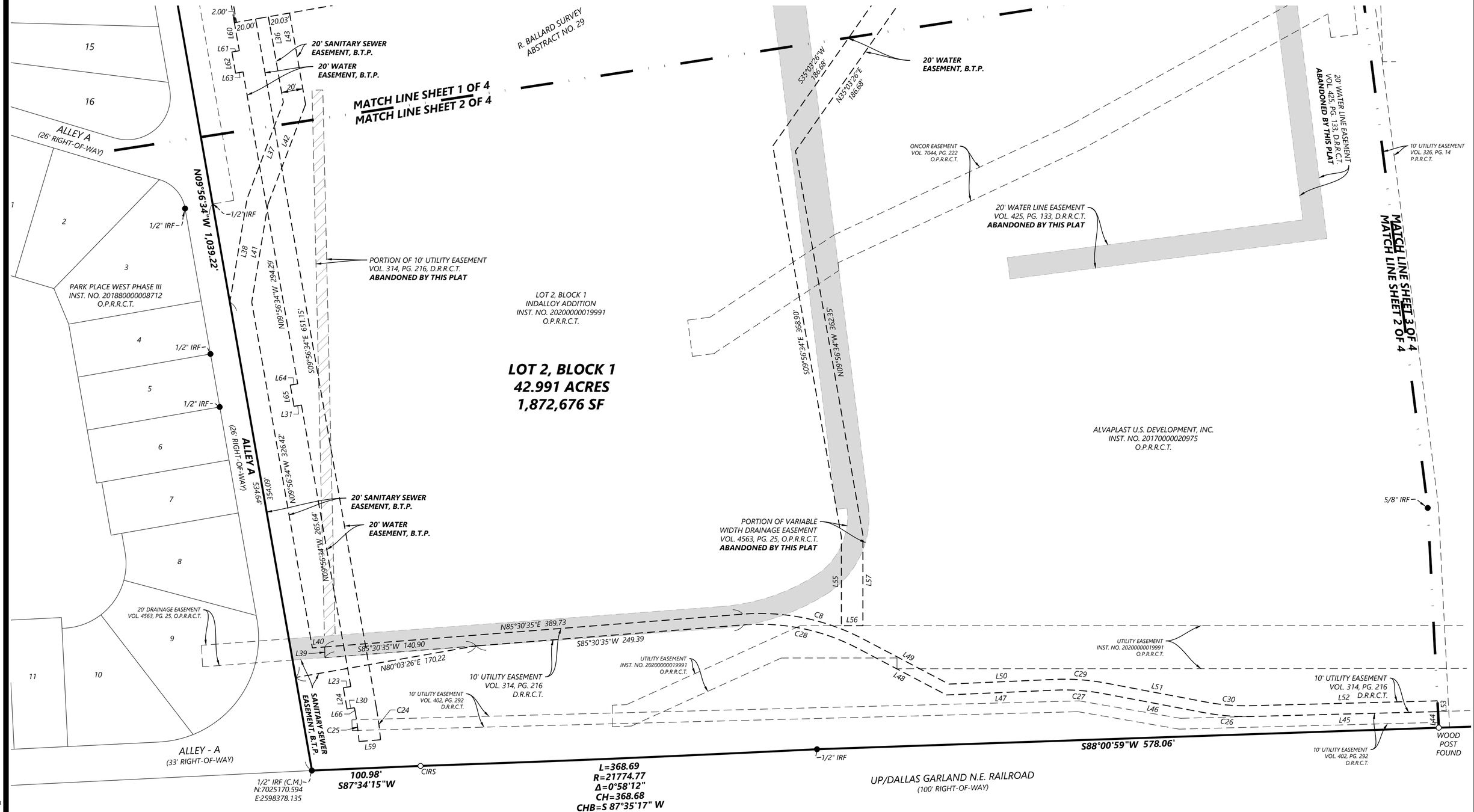
INDALLOY ADDITION



LEGEND

B.T.P.	BY THIS PLAT
CIRS	1/2"IRON ROD WITH PLASTIC CAP SET STAMPED "WESTWOOD PS"
IRF	IRON ROD FOUND
CAB. / VOL. / PG.	CABINET VOLUME PAGE
INST. NO.	INSTRUMENT NUMBER
P.R.R.C.T.	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
(C.M.)	CONTROLLING MONUMENT
P.O.B.	PLACE OF BEGINNING
R.O.W.	RIGHT-OF-WAY
	EASEMENT ABANDONMENT
	EASEMENT ABANDONMENT

1"=60'

0' 60' 120' 180'

NOTES:

1. *BASIS OF BEARING: TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NORTH AMERICAN DATUM OF 1983. ADJUSTMENT REALIZATION 2011, NAVD 1988.*
2. *ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48397C0040L DATED 09/26/2008 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, A PORTION OF THIS PROPERTY IS IN ZONE A AND ZONE X AS AMENDED BY LOMR UNDER CASE NO. 21-06-1013P, WITH AN EFFECTIVE DATE OF 02/07/2022.*
3. *SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCE AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITY AND BUILDING PERMITS.*
4. *IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.*

OWNER:
ALVAPLAST U.S. INC.
ALVAPLAST U.S. DEVELOPMENT, LLC
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER / SURVEYOR

Westwood

Phone (214) 473-4640
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Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TBPE FIRM REGISTRATION NO. F-11756
TBPLS FIRM REGISTRATION NO. F-10074301

FINAL PLAT OF INDALLOY ADDITION LOT 2, BLOCK 1

BEING A REPLAT OF LOT 2, BLOCK 1
INDALLOY ADDITION
42.991 ACRES OF LAND
N. BUTLER SURVEY, ABSTRACT NO. 20
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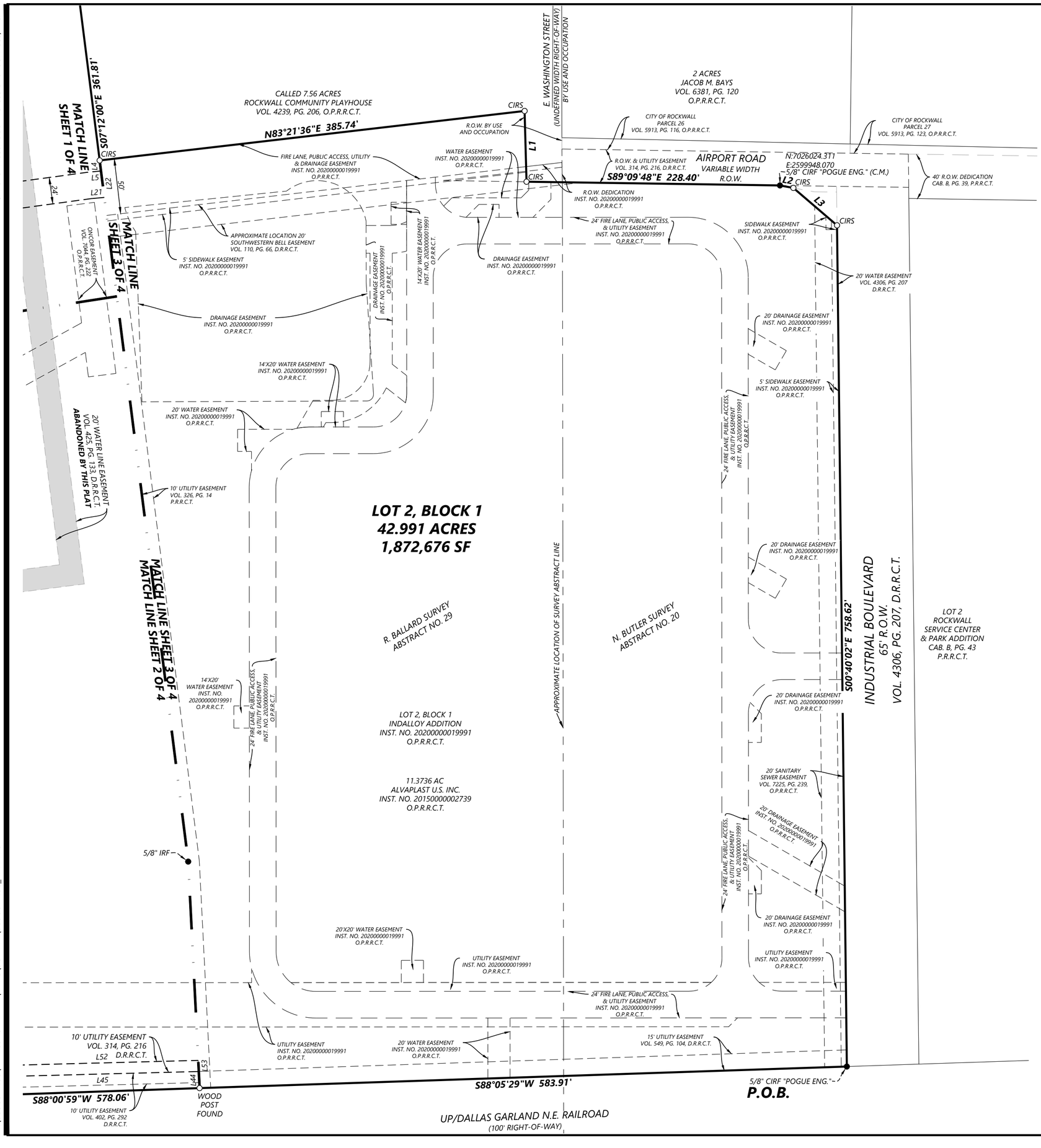

Line Table		
Line #	Length	Direction
L1	63.84	S01°33'33"E
L2	12.43	S79°29'46"E
L3	51.84	S49°24'24"E
L4	9.64	S07°12'00"E
L5	11.47	S84°47'18"W
L6	9.69	N80°03'26"E
L7	20.00	N09°56'34"W
L8	10.00	S80°03'26"W
L9	10.01	N80°03'26"E
L10	20.00	N09°56'34"W
L11	10.01	N80°03'26"E
L12	21.62	N09°56'34"W
L13	9.37	N10°04'14"E
L14	41.73	N83°55'16"W
L15	11.23	S09°44'15"E
L16	20.00	S80°15'45"W
L17	11.23	S09°44'15"E
L18	13.22	S37°25'53"W
L19	112.11	S05°23'58"E
L21	11.24	N84°47'18"E
L22	24.01	N07°12'00"W
L23	7.00	N80°25'20"E
L24	20.00	N09°56'34"W
L25	53.45	N83°55'16"W
L26	56.01	S05°23'58"E
L27	10.00	N80°03'26"E
L28	20.00	S09°56'34"E
L29	10.00	S80°03'26"W
L30	7.00	S80°03'26"W
L31	7.00	S80°03'26"W
L32	20.00	N09°56'34"W
L33	95.98	S80°03'26"W
L34	15.00	N09°56'34"W
L35	40.90	N80°03'26"E
L36	80.70	S09°56'34"E
L37	95.89	S20°36'16"W
L38	97.38	S09°25'46"W
L39	10.02	S01°17'55"E
L40	11.47	S85°30'35"W
L41	91.87	N09°25'46"E
L42	99.40	N20°36'16"E
L43	86.16	N09°56'34"W
L44	14.98	N02°53'25"W
L45	173.70	S88°30'36"W
L46	95.32	N79°16'25"W
L47	101.09	S87°27'35"W
L48	93.05	N62°15'25"W
L49	90.34	S62°15'25"E
L50	98.38	N87°27'35"E
L51	95.32	S79°16'25"E
L52	173.46	N88°30'10"E
L53	10.03	S02°53'25"E
L54	44.72	N09°56'34"W
L55	82.52	S00°01'40"E
L56	20.00	N89°58'20"E
L57	84.26	N00°01'40"W
L58	53.00	N09°56'34"W
L59	20.00	S85°21'44"W
L60	26.44	N09°56'34"W
L61	7.00	N80°03'26"E
L62	20.00	N09°56'34"W
L63	7.00	S80°03'26"W
L64	7.00	N80°03'26"E
L65	20.00	N09°56'34"W
L66	4.78	N09°56'34"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	21.83	45.00	027°47'43"	N 83°50'43" W	21.62
C2	15.71	30.00	029°59'41"	N 84°56'42" W	15.53
C3	78.54	50.00	089°59'59"	N 54°56'33" W	70.71
C4	19.94	30.00	038°05'02"	N 28°59'05" W	19.58
C5	20.28	20.00	058°05'50"	N 18°58'41" W	19.42
C6	40.82	30.00	077°57'08"	S 57°06'10" W	37.74
C7	20.43	74.00	015°48'58"	S 88°10'14" W	20.36
C8	115.33	205.00	032°14'00"	S 78°22'25" E	113.81
C9	24.58	310.00	004°32'36"	S 7°40'16" E	24.58
C10	22.46	30.00	042°53'43"	S 78°29'43" E	21.94
C11	40.43	54.00	042°53'43"	S 78°29'43" E	39.49
C12	22.06	45.00	028°05'18"	S 85°53'55" E	21.84
C13	14.71	30.00	028°05'05"	S 85°53'49" E	14.56
C14	13.73	30.00	026°13'31"	N 66°56'40" E	13.61
C15	22.32	45.00	028°25'29"	N 68°02'40" E	22.10
C16	64.56	50.00	073°58'39"	N 46°55'55" W	60.17
C17	13.80	50.00	015°48'58"	S 88°10'14" W	13.76
C18	74.75	50.00	085°39'43"	S 37°25'53" W	67.98
C19	15.86	200.00	004°32'36"	S 7°40'16" E	15.86
C20	67.45	50.00	077°17'27"	S 61°17'50" E	62.45
C21	40.43	54.00	042°53'43"	S 78°29'43" E	39.49
C22	22.46	30.00	042°53'43"	S 78°29'43" E	21.94
C23	47.12	30.00	090°00'00"	N 35°03'26" E	42.43
C24	28.70	310.00	005°18'19"	S 7°17'25" E	28.69
C25	26.85	290.00	005°18'19"	N 7°17'25" W	26.84
C26	43.74	205.00	012°13'25"	N 85°23'08" W	43.65
C27	45.15	195.00	013°16'00"	N 85°54'25" W	45.05
C28	109.70	195.00	032°14'00"	N 78°22'25" W	108.26
C29	47.47	205.00	013°16'00"	S 85°54'25" E	47.36
C30	41.60	195.00	012°13'25"	S 85°23'08" E	41.52
C31	44.85	30.00	085°39'43"	S 37°25'53" W	40.79
C32	17.76	224.00	004°32'36"	S 7°40'16" E	17.76

1"=60'

0' 60' 120' 180'

OWNER:
ALVAPLAST U.S. INC.
ALVAPLAST U.S. DEVELOPMENT, LLC
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ENGINEER / SURVEYOR

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FINAL PLAT
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LOT 2, BLOCK 1

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ROCKWALL COUNTY, TEXAS

CASE NO. XXXX-XX

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OWNERS CERTIFICATE AND DEDICATION

STATE OF TEXAS §
COUNTY OF ROCKWALL §

WHEREAS Alvaplast U.S. Development, LLC and Alvaplast U.S. Inc. are the sole owners of a 42.991 acre tract of land situated in the R. Ballard Survey, Abstract No. 29A and the N. Butler Survey, Abstract No. 20, City of Rockwall, Rockwall County, Texas, and being all of Lot 2, Block 1, Indalloy Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 20200000019991, of the Plat Records, Rockwall County, Texas and being all of a tract of land described in Tracts 1 and 2 conveyed to Alvaplast U.S. Development, LLC by deed of record in Instrument No. 20170000020975 of the Official Public Records of Rockwall County, Texas, and being all of a 11.3736 acre tract of land conveyed to Alvaplast U.S. Inc., by deed of record in Instrument Number 20150000002739, of said Official Public Records; said 42.991 acre tract being more particularly described as follows:

BEGINNING at a 5/8" iron rod with a yellow plastic cap stamped "POGUE ENG." found at the intersection of the west right-of-way line of Industrial Boulevard, a 65-foot right-of-way and the north right-of-way line of UP/Dallas Garland N.E. Railroad, a 100-foot railroad right-of-way; said point being at the southeast corner of said Lot 2, Block 1;

THENCE along the said north line of the UP/Dallas Garland N.E. Railroad and the south line of said Lot 2, Block 1, the following courses and distances:

South 88 degrees 05 minutes 29 seconds West, a distance of 583.91 feet to a wood post found at an angle point;

South 88 degrees 00 minutes 59 seconds West, a distance of 578.06 feet to a 1/2" iron rod found at the beginning of a non-tangent curve to the right;

Along said non-tangent curve to the right having a central angle of 00 degrees 58 minutes 12 seconds, a radius of 21,774.77 feet, and an arc length of 368.69 feet (chord bears South 87 degrees 35 minutes 17 seconds West, 368.68 feet) to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at the end of said curve;

South 87 degrees 34 minutes 15 seconds West, a distance of 100.98 feet to a 1/2" iron rod found at the southwest corner of said Lot 2, Block 1, and being the southeast corner of Alley A, a variable width alley right-of-way;

THENCE departing the said north line of the UP/Dallas Garland N.E. Railroad and the south line of Lot 2, Block 1, along the easterly line of said Alley A and the westerly line of said Lot 2, Block 1, the following courses and distances;

North 09 degrees 56 minutes 34 seconds West, at a distance of 534.64 feet passing a 1/2" iron rod found for reference, continuing in all a total distance of 1,039.22 feet to a 1/2" iron rod found at an angle point;

North 05 degrees 23 minutes 58 seconds West, a distance of 206.89 feet to a 1/2" iron rod found at the southwest corner of Lot 1, Block A, Park Station, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 20220000021178, of said Plat Records, and being at the northwest corner of said Lot 2, Block 1;

THENCE departing the said easterly line of said Alley A and the westerly line of said Lot 2, Block 1, along the common line between said Lot 1, Block A and said Lot 2, Block 1, the following courses and distances:

North 80 degrees 56 minutes 02 seconds East, a distance of 407.89 feet to a 3" (pinched) fence corner post at an angle point;

South 83 degrees 54 minutes 27 seconds East, a distance of 274.71 feet to a 1/2" iron rod found at an angle point;

South 86 degrees 07 minutes 57 seconds East, a distance of 435.47 feet to a 1/2" iron rod found for corner in the west line of a called 7.56 acre tract of land conveyed to Rockwall Community Playhouse, by deed of record in Volume 4239, Page 206, of said Official Public Records; said point being at the southeast corner of said Lot 1, Block A, and being at a northeast corner of said Lot 2, Block 1;

THENCE South 07 degrees 12 minutes 00 seconds East, departing the said common line between said Lot 1, Block A and Lot 2, Block 1, along the common line between said Lot 2, Block 1 and said Rockwall Community Playhouse tract, a distance of 361.81 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at a re-entrant corner of said Lot 2, Block 1 and the southwest corner of said Rockwall Community Playhouse tract;

THENCE North 83 degrees 21 minutes 36 seconds East, continuing along the said common line between Lot 2, Block 1 and the Rockwall Community Playhouse tract, a distance of 385.74 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at a northeast corner of said Lot 2, Block 1;

THENCE South 01 degrees 33 minutes 33 seconds East, departing the said common line between Lot 2, Block 1 and Rockwall Community Playhouse tract, along an east line of said Lot 2, Block 1, a distance of 63.84 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set at a re-entrant corner of said Lot 2, Block 1; said point being in the south line of Airport Road, a variable width right-of-way;

THENCE South 89 degrees 09 minutes 48 seconds East, departing the said east line of Lot 2, Block 1, along the said south line of Airport Road and a north line of said Lot 2, Block 1, a distance of 228.40 feet to a 5/8" iron rod with a yellow plastic camp stamped "POGUE ENG." found at an angle point;

THENCE South 79 degrees 29 minutes 46 seconds East, continuing along the said south line of Airport Road and said north line of Lot 2, Block 1, a distance of 12.43 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set for corner at the west end of a right-of-way corner clip at the intersection of the said south line of Airport Road and the said west line of Industrial Boulevard; said point being at a northeast corner of said Lot 2, Block 1;

THENCE South 49 degrees 24 minutes 24 seconds East, departing the said south line of Airport Road and the said north line Lot 2, Block 1, along said right-of-way corner clip, a distance of 51.84 feet to a 1/2" iron rod with a yellow plastic cap stamped "WESTWOOD PS" set for corner in the said west line of Industrial Boulevard, at the south end of said corner clip; said point being at a northeast corner of said Lot 2, Block 1;

THENCE South 00 degrees 40 minutes 02 seconds East, departing the said right-of-way corner clip, along the said west line of Industrial Boulevard and an east line of said Lot 2, Block 1, a distance of 758.62 feet to the **POINT-OF-BEGINNING**, containing **1,872,676 square feet or 42.991 acres of land.**

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as Lot 2, Block 1, Indalloy Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein. I (we) further certify that all other parties who have a mortgage or lien interest in the subdivision have been notified and signed this plat.

I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

1. *No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.*
2. *Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at anytime, procuring the permission of anyone.*
3. *The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.*
4. *The developer and subdivision engineer shall bear total responsibility for storm drain improvements.*
5. *The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.*
6. *No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.*
7. *Property owner shall be responsible for all maintenance, repair, and reconstruction of all systems in drainage and detention easements.*

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

Alvaplast U.S. Inc.
Alvaplast U.S. Development, LLC

_____
NAME:
TITLE:

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ___ day of _____, 2023.

_____
Notary Public in and for the State of Texas
My Commission Expires:

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, Jason B. Armstrong, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Ordinance of the City of Rockwall, Texas.

Dated this the _____ day of _____, 2023.

_____
Jason B. Armstrong
Registered Professional Land Surveyor
No. 5557

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Jason B. Armstrong, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2023.

_____
Notary Public in and for the State of Texas

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

_____
PLANNING & ZONING

Approved

I hereby certify that the above and foregoing plat of an Addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 20___.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty (180) days from said date of final approval.

Witness our hands, this _____, day of _____, 2023.

_____
Mayor, City of Rockwall

_____ _____
City Secretary

_____
City Engineer

OWNER:
ALVAPLAST U.S. INC.
ALVAPLAST U.S. DEVELOPMENT, LLC
1480 JUSTIN ROAD
ROCKWALL, TEXAS 75087

ENGINEER / SURVEYOR

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FINAL PLAT OF INDALLOY ADDITION LOT 2, BLOCK 1

BEING A REPLAT OF LOT 2, BLOCK 1
INDALLOY ADDITION
42.991 ACRES OF LAND
N. BUTLER SURVEY, ABSTRACT NO. 20
R. BALLARD SURVEY, ABSTRACT NO. 29A
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

CASE NO. XXXX-XX

42.991 Acres July 14, 2023 Job No. 0036677.00 Indalloy Addition

INDALLOY ADDITION

N:\0036677.00\1 PROJECT DATA\DWG\SURVEY\0036677.00_RP.DWG

Westwood

Closure Sheet
LOT 2, BLOCK 1 INDALLOY ADDITION

SEGMENT LINE
South 88°05'29" West 583.91'

SEGMENT LINE
South 88°00'59" West 578.06'

SEGMENT CURVE
DIRECTION South 87°35'17" West 368.68'
ARC LENGTH 368.69'
RADIUS 21,774.77'
CENTRAL ANGLE 00°58'12"

SEGMENT LINE
South 87°34'15" West 100.98'

SEGMENT LINE
North 09°56'34" West 1,039.22'

SEGMENT LINE
North 05°23'58" West 206.89'

SEGMENT LINE
North 80°56'02" East 407.89'

SEGMENT LINE
South 83°54'27" East 274.71'

SEGMENT LINE
South 86°07'57" East 435.47'

SEGMENT LINE
South 07°12'00" East 361.81'

SEGMENT LINE
North 83°21'36" East 385.74'

SEGMENT LINE
South 01°33'33" East 63.84'

SEGMENT LINE
South 89°09'48" East 228.40'

SEGMENT LINE
South 79°29'46" East 12.43'

SEGMENT LINE

South 49°24'24" East 51.84'

SEGMENT LINE
South 00°40'02" East 758.62'

Containing 1,872,676 square feet or 42.991 acres, more or less.

PRECISION: 1:585,848,542,659
PERIMETER: 5,858.4854'
ERROR OF CLOSURE: 0.0000'

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Angelica Guevara, *Planning Technician*
DATE:	August 29, 2023
SUBJECT:	MIS2023-011; *Exception for a Front Yard Fence for 146 Blanchard Drive*

The applicant, Audrey Andrews, is requesting the approval of an exception for a front yard fence. The subject property is located on a 0.1446-acre parcel of land (*i.e. Lot 6, Block D, Lynden Park Estates, Phase 2 Addition*), and is addressed as 146 Blanchard Drive. The applicant's fence exhibit indicates that the proposed front yard fence will be: [*1*] constructed using wrought-iron, [*2*] be 60-inches in height, and [*3*] will be more than 50.00% transparent.



FIGURE 1: EXAMPLES OF PROPOSED FENCE

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as "(a)ny *wall* or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure." In addition, Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that, "(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission…" This section goes on to lay out the criteria to be considered by the Planning and Zoning Commission when reviewing exceptions for front yard fences. This criterion is as follows: (a) the fence is to be 50.00% transparent, (b) the fence shall not exceed four (4) feet (*or 48-inches*) in height, and (c) opaque fences should be prohibited. In this case, the applicant is proposing a five (5) foot wrought iron fence with a gate, which meets the majority of the requirements for a front yard fence with the exception of the height requirement. Staff should point out that there is one (1) other home with a wrought-iron, front yard fence *(i.e. 597 Pendleton Drive)* in the same subdivision (*i.e., Lynden Park Subdivision, Phase 2*); however, this fence appears to meet all of the criteria for a front yard fence (*i.e. it appears to meet height restrictions for a front yard fence*).

Staff should note that the front yard fence requirements were written with the intent of restricting front yard fences that completely or partially enclose or impair visibility of the primary structure, and that the applicant's fence *does not* appear to be intended to enclose or impair visibility of the primary structure. Based on this and the fact that there is an existing front yard fence in the Lynden Park Subdivision, the proposed front yard fence *does not* appear to have a negative impact on any other adjacent residential property; however, the height of the proposed fence could create a precedence in the neighborhood if approved. With this being said, this request -- *specifically the height of the fence* -- is a discretionary decision for the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on *August 29, 2023*.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: MIS2023-011
PROJECT NAME: Front Yard Fence for 146 Blanchard Drive
SITE ADDRESS/LOCATIONS: 146 BLANCHARD DR

CASE CAPTION: Discuss and consider a request by Audrey Andrews for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 0.1446-acre parcel of land identified as Lot 6, Block D, Lyden Park Estates, Phase 2 Addition, zoned Planned Development District 17 (PD-17) for single-family detached, addressed as 146 Blanchard Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: Must be out of right-of-way of the street and alley.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved w/ Comments

08/23/2023: Maximum height of a front wrought iron fence is 4 feet. So they will need both an approval for a front yard fence and and for the height if it exceeds 4 feet in any area.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: MIS2023-011; Exception for Fence Placement at 146 Blanchard Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Audrey Andrews for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 0.1446-acre parcel of land identified as Lot 6, Block D, Lynden Park Estates, Phase 2 Addition, zoned Planned Development District 17 (PD-17) for single-family detached, addressed as 146 Blanchard Drive.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

I.3 Subsection 08.03 (D)(2), Fences in the Front Yard, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC):

Fences in the Front Yard. No fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission unless specifically permitted by Subsection 08.03(D)(3). For the purposes of this provision the front yard is defined as the area between the front façade of the primary structure and the front property line. The Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:

(a) Wood Fences. Wood fences that are 50% transparent shall not exceed 42-inches in height.
(b) Wrought Iron or Decorative Metal Fences. Wrought iron or decorative metal fences that are 50% transparent shall not exceed 48-inches in height.
(c) Opaque Fences. Opaque fences are prohibited in the front yard of residential properties.

I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.”

I.5 In this case, the applicant is proposing a five (5) foot, wrought-iron fence that is 50.00% transparent.

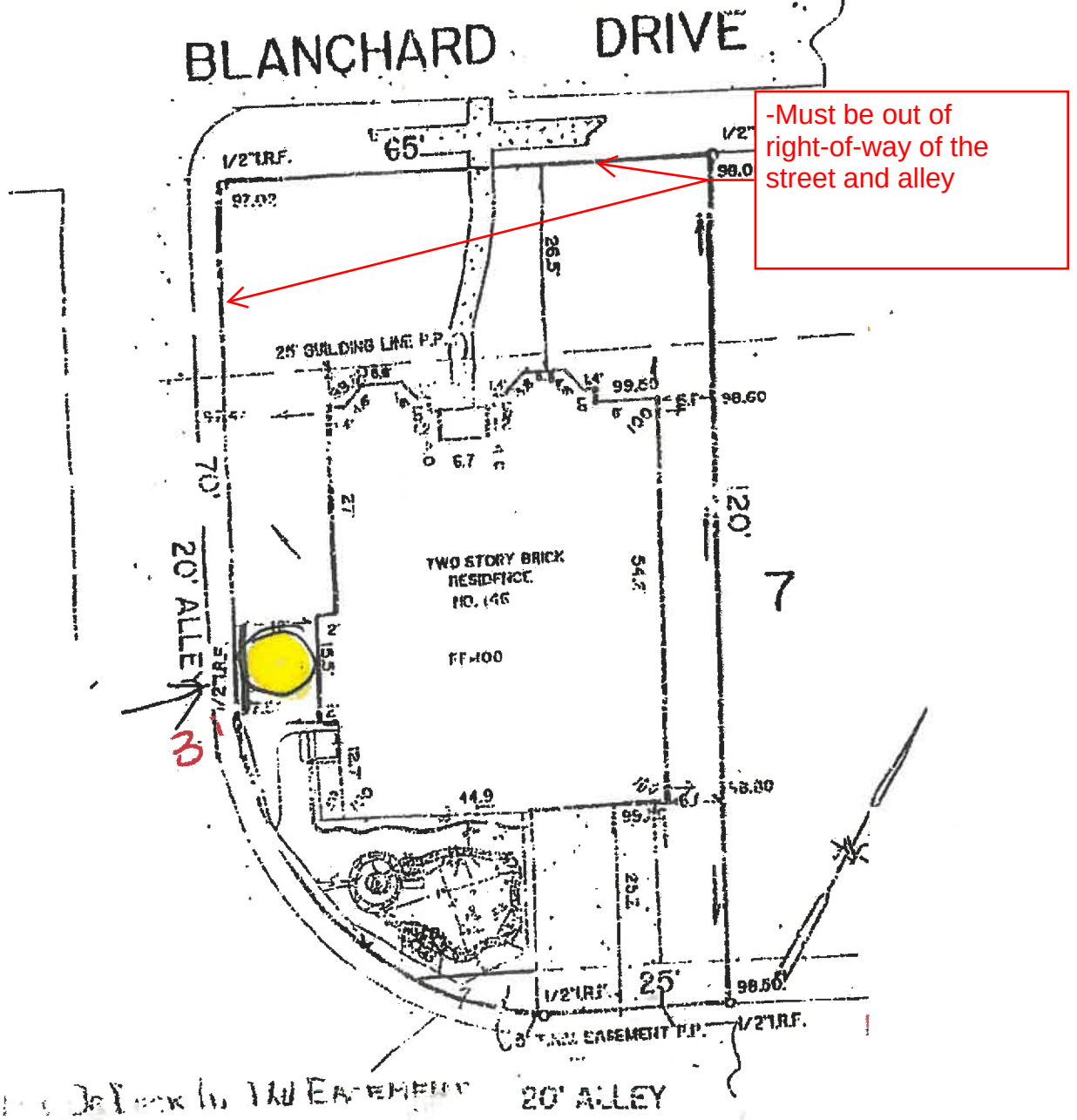
I.6 Please note the scheduled meeting for this case:
1) Planning & Zoning meeting will be held on August 29, 2023 at 6pm in the council chambers at City Hall.

I.7 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person, in the City’s Council Chambers, and are scheduled to begin at 6:00 p.m.

SURVEY PLAT

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 146 BLANCHARD DRIVE, in the City of ROCKWALL, Texas, described as being Lot 6 Block D on addition of LYNDEN PARK ESTATES PHASE 2, Texas, according to the PLAT THEREOF to the City of ROCKWALL, Texas, according to the PLAT THEREOF recorded in Cabinet D at Slide 341 of the MAP Records of ROCKWALL COUNTY, TEXAS.

NOTE: THE FOLLOWING EASEMENT(S) DO NOT AFFECT THIS LOT
VOL. 51, PG. 118 & VOL. 51, PG. 121, DRRCT; VOL. 1039, PG. 152, DRRCT.
VOL. 166, PG. 222.



-Must be out of right-of-way of the street and alley

FINAL GRADING PLAN

"I hereby declare that the elevations and drainage patterns [illegible] of this property, performed on 1-22-02, and accurate and truly depict the elevations as they existed on this date, the relative elevations as designed may change subsequent to the date of this survey due to consolidation or removal of the soil addition or removal of the soil by acts of man, erosion by wind or water, or other factors. Therefore, this survey as may not depict the elevations and drainage patterns of this property after the date of this survey." The elevations and drainage patterns shown above are the certified [illegible] the provisional engineer or land surveyor of the finished ground grades around the structure on the date of the survey. The homeowner must maintain these elevations and grades to properly drain [illegible] away from the house.

Don Parish
Registered Professional Land Surveyor #2513

BUILDER

PURCHASER

PURCHASER

[illegible] 480547 0005C this property is not located in the 100 year flood plain zone X

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	146 Blanchard Dr				
SUBDIVISION	Lynden Park Estates Phase 2	LOT	6	BLOCK	D
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Residential		CURRENT USE	Residential	
PROPOSED ZONING			PROPOSED USE		
ACREAGE		LOTS [CURRENT]		LOTS [PROPOSED]	

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER	Audrey Andrews	☐ APPLICANT	
CONTACT PERSON	Audrey Andrews	CONTACT PERSON	
ADDRESS	146 Blanchard Dr	ADDRESS	
CITY, STATE & ZIP	Rockwall, TX 75032	CITY, STATE & ZIP	Same
PHONE	469-745-7015	PHONE	
E-MAIL	alandrews65@gmail.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Audrey Andrews [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100.00 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 14 *DAY OF* August *20* 23 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

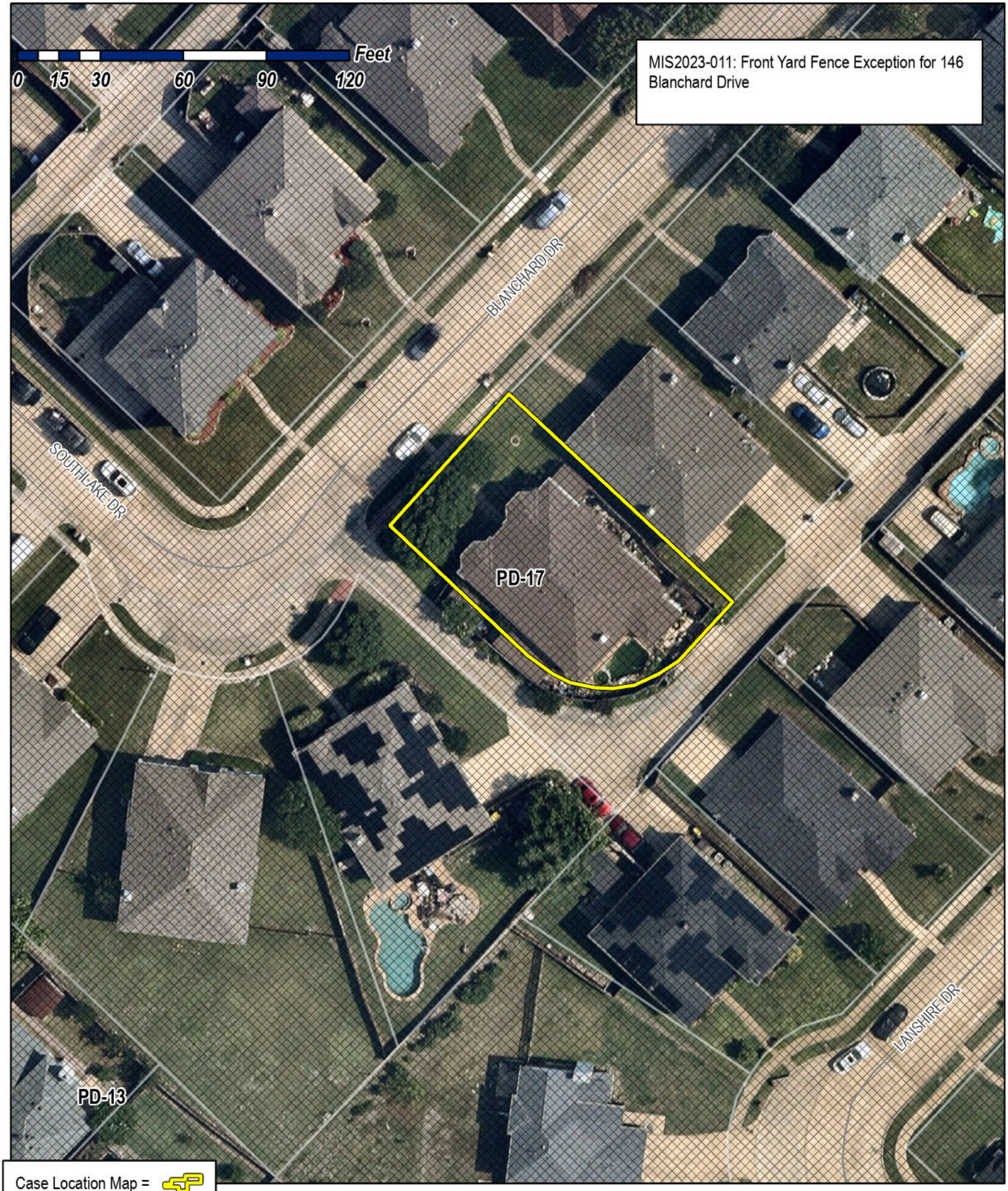
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 *DAY OF* August *20* 23

OWNER'S SIGNATURE [signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Delores A Burns

DELORES A BURNS
Notary Public
STATE OF TEXAS
My Comm. Exp. 10-09-24
Notary ID # 1065328-7

MY COMMISSION EXPIRES 10/09/2024



City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

8-14-2023

To the City of Rockwall, P&Z, And all concerned,

I am writing this letter to apply for a permit to put a wrought iron fence for athele purposes in front of my yard.

The materials will be weather proof Wrought iron with a six ft step down approach to allow the gate to open properly at the opening sidewalk going up to the house. The fence will not impede the site distance or walkability of any pedestrians.

The purpose is merely for property improvement and aesthetics. This type of fence has been place in several parts of the neighborhood and has added great aesthetic value and beautification to the neighborhood.

Dr. Andrews

469-745-7015
alandrews65@gmail.com

146 Blanchard Outside Aesthetic Fence
Lynden Park Estates, Phase 2 LOT, 6 Block D
Owner: Dr. Audrey Andrews
Rockwall Resident

Current Front Day/Night

Outside Front of House
Location: 146 Blanchard Dr
City, State: Rockwall, Texas 75032
Corner Lot: Alley





Desired Image: Wrought Iron Fence
Fence: 126 Ft Wrought Iron Fence – Gate Included
Gate: 6 ft stepdown fence



146 Blanchard Outside Aesthetic Fence

Lynden Park Estates, Phase 2 LOT, 6 Block D

Owner: Dr. Audrey Andrews

Rockwall Resident

Samples Lynden Park Estates Neighborhood

There are several exceptions that have been made in the Lynden Park Estates Neighborhood to allow for an aesthetic wrought iron fence to be used to enclose the front part of the yard. These changes were made over several years and for several reasons: aesthetics, privacy, pet protection, and property containment.

Outside Front of House

Location: Pendelton Dr

City, State: Rockwall, Texas









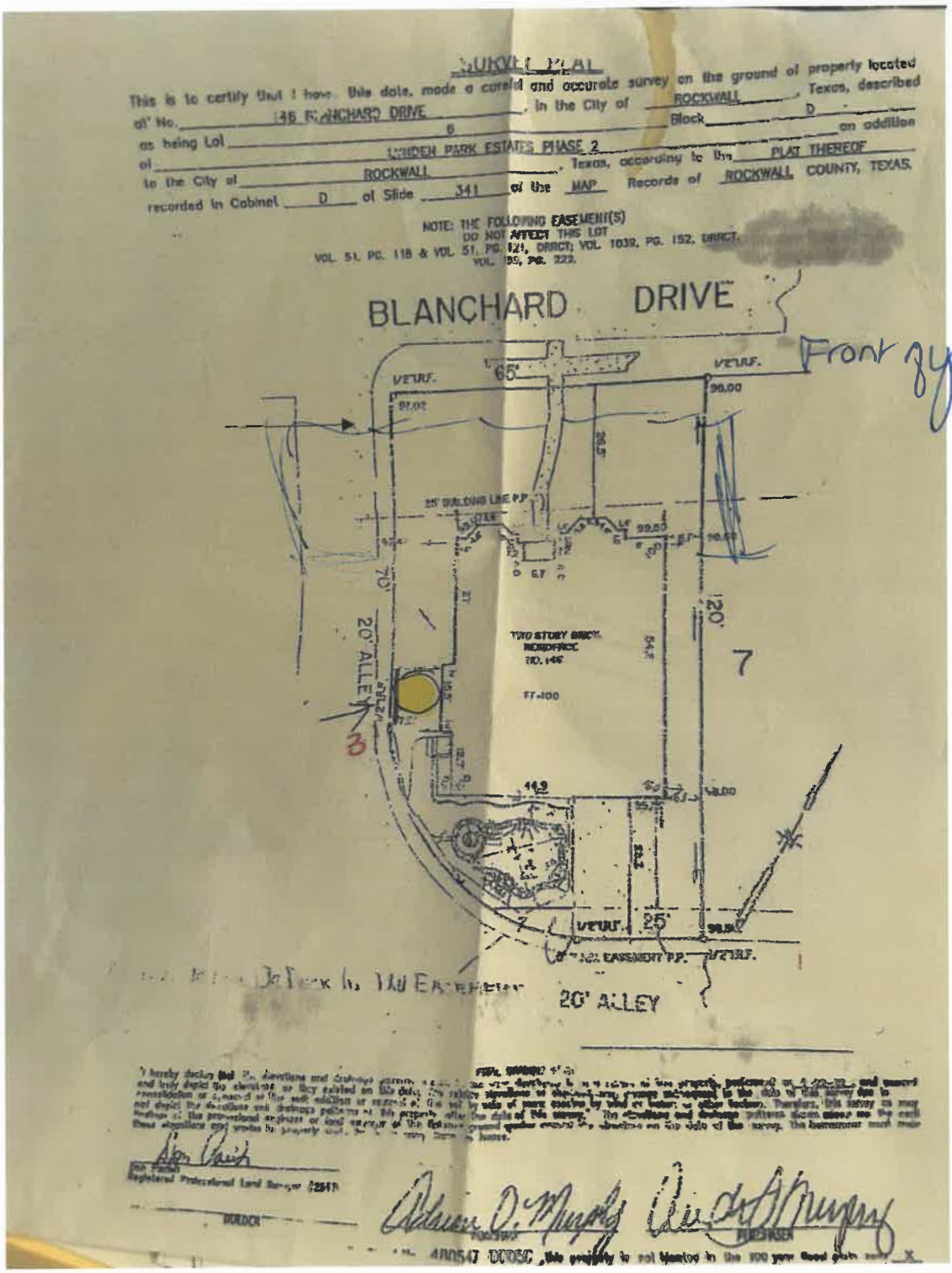
k

146 Blanchard Outside Aesthetic Fence

Lynden Park Estates, Phase 2 LOT, 6 Block D

Owner: Dr. Audrey Andrews

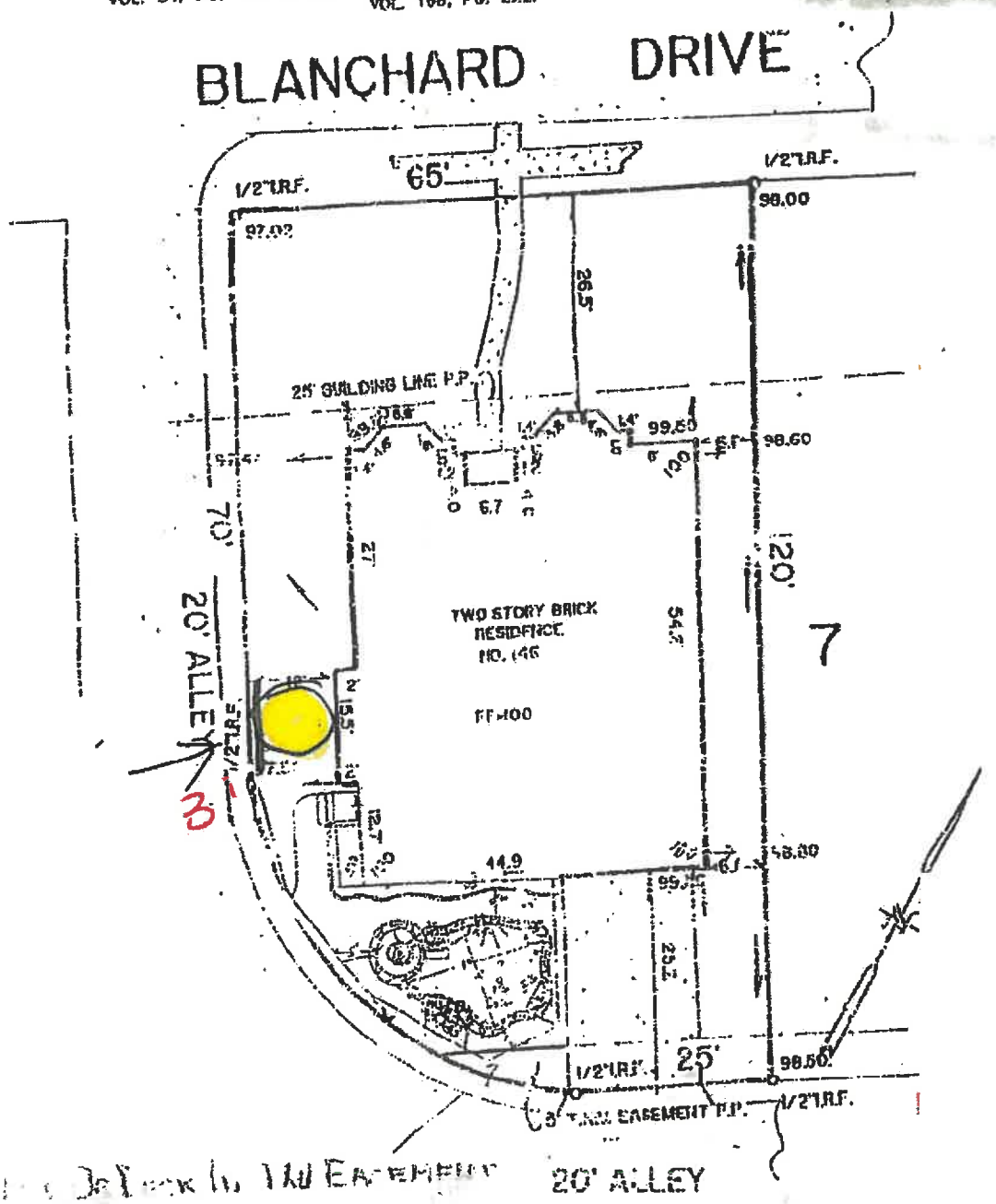
Rockwall Resident



SURVEY PLAT

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 146 BLANCHARD DRIVE, in the City of ROCKWALL, Texas, described as being Lot 6 Block D of LYNDEN PARK ESTATES PHASE 2 an addition to the City of ROCKWALL, Texas, according to the PLAT THEREOF recorded in Cabinet D at Slide 341 of the MAP Records of ROCKWALL COUNTY, TEXAS.

NOTE: THE FOLLOWING EASEMENT(S) DO NOT AFFECT THIS LOT
VOL. 51, PG. 118 & VOL. 51, PG. 121, DRRCT; VOL. 1039, PG. 152, DRRCT.
VOL. 166, PG. 222.



FINAL GRADING PLAN

"I hereby declare that the elevations and drainage patterns shown in the above drawing are in accordance with the property, performed on 1-22-92, and accurate and truly depict the elevations as they existed on this date, the relative elevations or depicted may change subsequent to the date of this survey due to consolidation or removal of the soil addition or removal of the soil by acts of man, erosion by wind or water, or other factors. Therefore, this survey as may not depict the elevations and drainage patterns of this property after the date of this survey." The elevations and drainage patterns shown above are the certified findings of the professional engineer or land surveyor of the finished ground grades around the structure on the date of the survey. The homeowner must maintain these elevations and grades to properly drain the [illegible] away from the house.

Don Parish
Registered Professional Land Surveyor #2513

BUILDER

PURCHASER

PURCHASER

[illegible] 480547 0005C this property is not located in the 100 year flood plain zone X

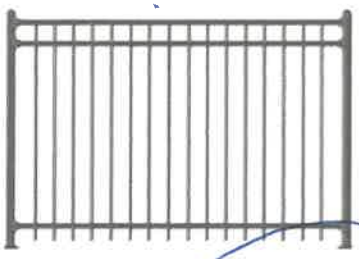
146 Blanchard Outside Aesthetic Fence
Lynden Park Estates, Phase 2 LOT, 6 Block D
Owner: Dr. Audrey Andrews
Rockwall Resident



Materials Needed:
Fence
Cement

Various Fencing Companies

Materials available at:
Home Depot
Lowes
Amazon



XCEL Black Steel Anti Rust Fence Panel- Flat End Picket 6.5 Wx5ft H – Easy installation kid, outdoor residential fencing for yard, concrete, 3-rail Metal Fence, Includes a fence post. Cost $198.00 $6.09 per Sq Ft.

Approximately: $198.00$198.00 $6.09 per Sq Ft($6.09$6.09 / Sq Ft)

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Angelica Guevara, *Planning Technician*
DATE:	August 29, 2023
SUBJECT:	MIS2023-012; *Exception for a Front Yard Fence for 2065 & 2067 Airport Road*

The applicant, Gerzim Daniel, is requesting the approval of an exception for a front yard fence. The subject property is located on a 1.93-acre parcel of land (*i.e. Tract 17 of the E. M. Elliot Survey, Abstract No. 77 and Lot 2, Block A, Epton Addition*) addressed as 2065 & 2067 Airport Road. The applicant's fence exhibit indicates that the proposed front yard fence will be: [*1*] constructed using wrought-iron, [*2*] be 72-inches in height, and [*3*] be 50.00% transparent. In addition, the applicant is also proposing to construct two (2), six (6) foot stone columns; two (2), seven (7) foot stone columns; and an eight (8) foot swing gate as part of the request [*see Figure 1*].

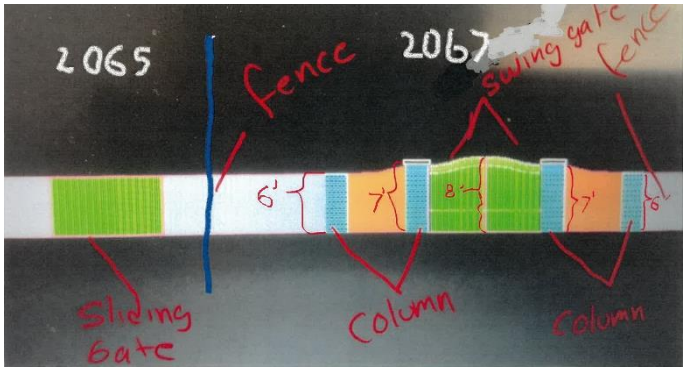


FIGURE 1: FENCE EXHIBIT

According to Article 13, *Definitions*, of the Unified Development Code (UDC), a fence is defined as "(a)ny *wall* or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure." In addition, Subsection 08.03(D)(2) of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC) states that, "(n)o fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission…" This section goes on to lay out the criteria to be considered by the Planning and Zoning Commission when reviewing exceptions for front yard fences. This criterion is as follows: (a) the fence is to be 50.00% transparent, (b) the fence does not exceed four (4) feet (*or 48-inches*) in height, and (c) opaque fences should be prohibited. In this case, the fence *does not* meet the requirements for a front yard fence. Specifically,the applicant is proposing a six (6) foot, wrought-iron fence with four (4) stone columns and an eight (8) foot swing gate.





FIGURE 2: EXAMPLES OF STONE COLUMNS

With this being said, staff should point out that there is an existing wrought iron fence surrounding the neighborhood adjacent to the subject property [*i.e. Ridgecrest Addition*]. While the proposed stone columns do not follow the 50% transparency requirement, the remainder of the proposed fence *does not* appear to be intended to enclose or impair visibility of the primary structure. Based on this, the proposed fence *does not* appear to have a negative impact on the adjacent properties, and would create a similar aesthetic to the existing subdivision fence for the Ridgecrest Subdivision. With this being said, any requests requiring an exception for a front yard fence is discretionary decision for the Planning and Zoning Commission. Should the

Planning and Zoning Commission have any questions concerning the applicant's request, staff will be available at the meeting on *August 29, 2023*.

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: MIS2023-012
PROJECT NAME: Front Yard Fence for 2067 Airport Road
SITE ADDRESS/LOCATIONS: 2067 AIRPORT RD

CASE CAPTION: Discuss and consider a request by Gerzim Daniel for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 1.93-acre parcel of land identified as Tract 17 of E. M. Elliot Survey, Abstract No. 77 and Lot 2, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 2065 & 2067 Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: There is a 10 foot wide utility easement inside the property along the ROW line. The fence may not be in or cross the easement. The fence must be a minimum of 10 feet away from the property line.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved w/ Comments

08/23/2023: Maximum height of a front wrought iron fence is 4 feet. So they will need both an approval for a front yard fence and and for the height if it exceeds 4 feet in any area.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: MIS2023-012; Exception for Fence Placement at 2067 Airport Road

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Gerzim Daniel for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence for a 1.93-acre parcel of land identified as Tract 17 of E. M. Elliot Survey, Abstract No. 77 and Lot 2, Block A, Epton Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 2065 & 2067 Airport Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

I.3 Subsection 08.03 (D)(2), Fences in the Front Yard, Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC):

Fences in the Front Yard. No fence shall be constructed in the front yard of a residential property without being granted an exception from the Planning and Zoning Commission unless specifically permitted by Subsection 08.03(D)(3). For the purposes of this provision the front yard is defined as the area between the front façade of the primary structure and the front property line. The Planning and Zoning Commission may authorize the issuance of an exception for the construction of a front yard fence subject to the following provisions:

(a) Wood Fences. Wood fences that are 50% transparent shall not exceed 42-inches in height.
(b) Wrought Iron or Decorative Metal Fences. Wrought iron or decorative metal fences that are 50% transparent shall not exceed 48-inches in height.
(c) Opaque Fences. Opaque fences are prohibited in the front yard of residential properties.

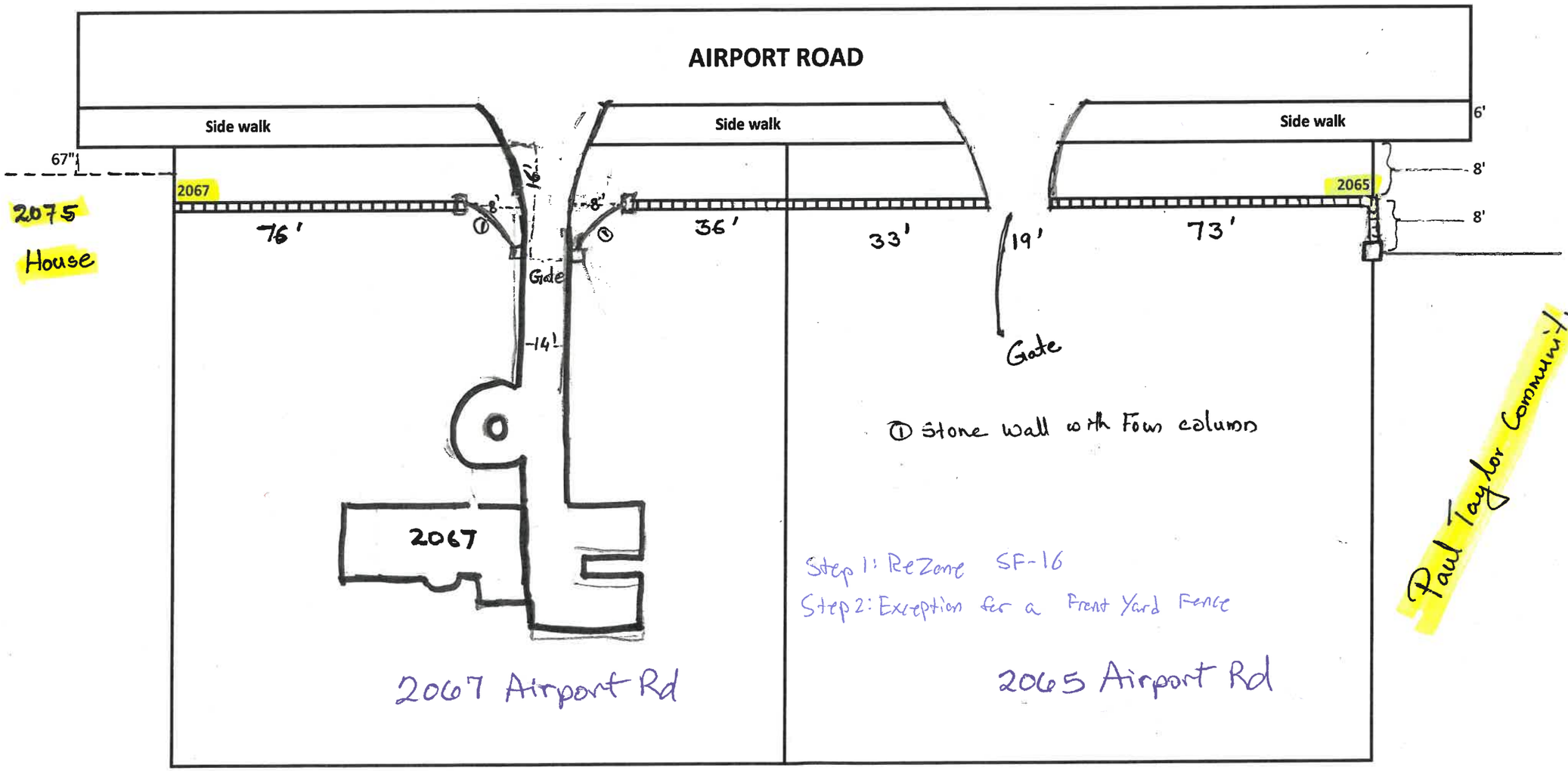
I.4 According to Article 13, Definitions, of the Unified Development Code (UDC), a fence is defined as “(a)ny wall or structure of any material for which the purpose is to provide protection from intrusion, both physical and visual, to prevent escape, mark a boundary, enclose, screen, restrict access to, or decorate any lot, building, or structure.”

I.5 In this case, the applicant is proposing a six (6) foot, wrought-iron fence that is 50.00% transparent. In addition, the applicant is also proposing to construct two (2), six (6) foot stone columns; to (2), seven (7) foot stone columns; and an eight (8) foot swing gate.

I.6 Please note the scheduled meeting for this case:
1) Planning & Zoning meeting will be held on August 29, 2023 at 6pm in the council chambers at City Hall.

I.7 Staff recommends that a representative be present for the meetings as scheduled above to answer any questions the Commission or Council may have regarding your request. All meetings will be held in person, in the City’s Council Chambers, and are scheduled to begin at 6:00 p.m.

No Comments - MP



There is a 10 foot wide utility easement inside the property along the ROW line. The fence may not be in or cross the easement. The fence must be a minimum of 10 feet away from the property line.

Paul Taylor Comm

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☒ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	2067 AIRPORT RD				
SUBDIVISION	EPTON ADDITION	LOT	2	BLOCK	A
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	SF		CURRENT USE	SF	
PROPOSED ZONING			PROPOSED USE		
ACREAGE		LOTS [CURRENT]		LOTS [PROPOSED]	

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER	GERZIM DANIEL	☐ APPLICANT	
CONTACT PERSON		CONTACT PERSON	
ADDRESS	2067 AIRPORT RD	ADDRESS	
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	
PHONE	214-243-9668	PHONE	
E-MAIL	gerzim@hotmail.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GERZIM DANIEL [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100.00 , TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF SEMPTEMBER, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

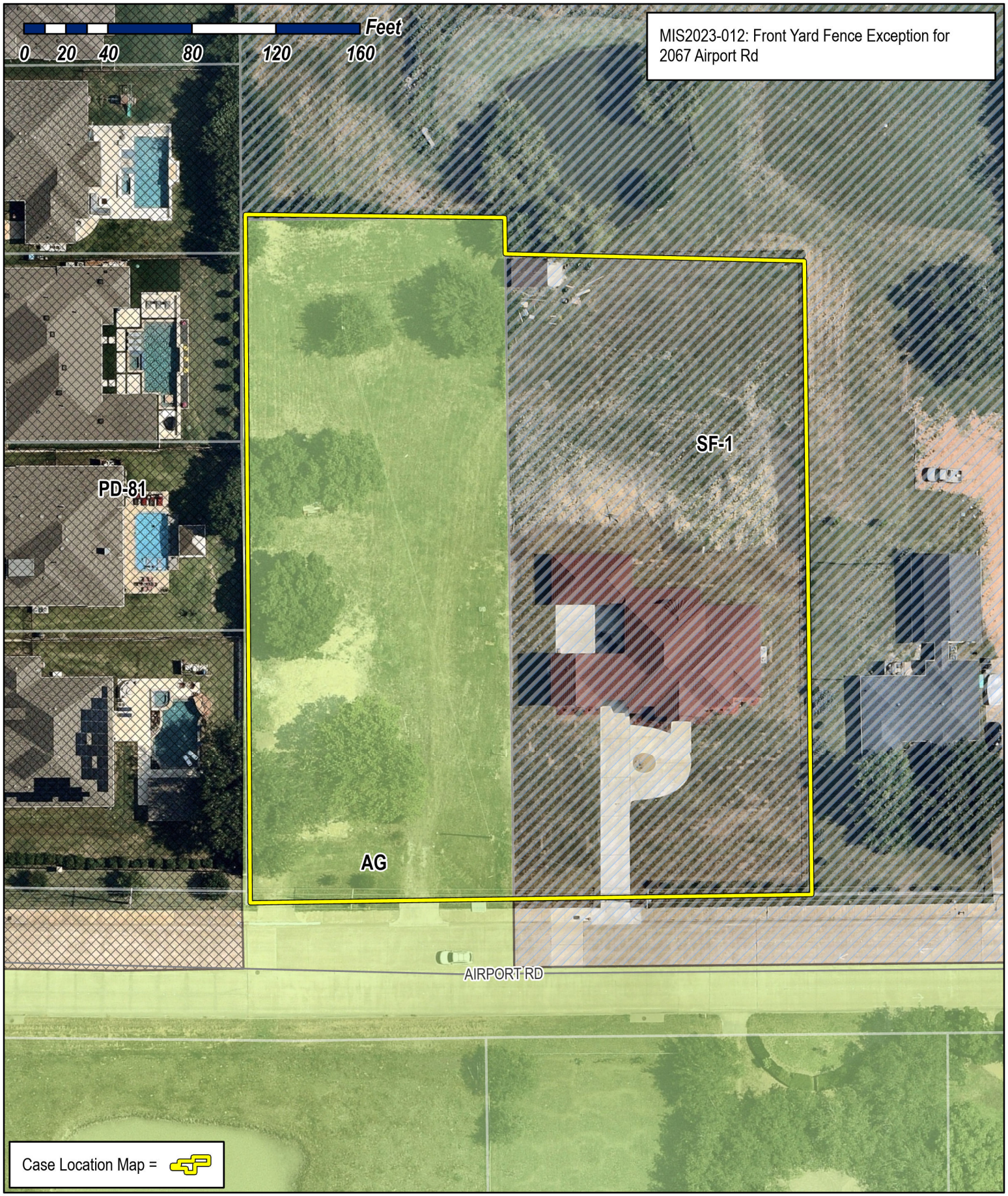
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 28th DAY OF July, 2023

OWNER'S SIGNATURE Gerzim Daniel

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Cheryl Hogan

MY COMMISSION EXPIRES

NOTARY PUBLIC
Cheryl Hogan
My Commission Expires
05/25/2025
ID No. 961294



City of Rockwall

Planning & Zoning Department
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(P): (972) 771-7745
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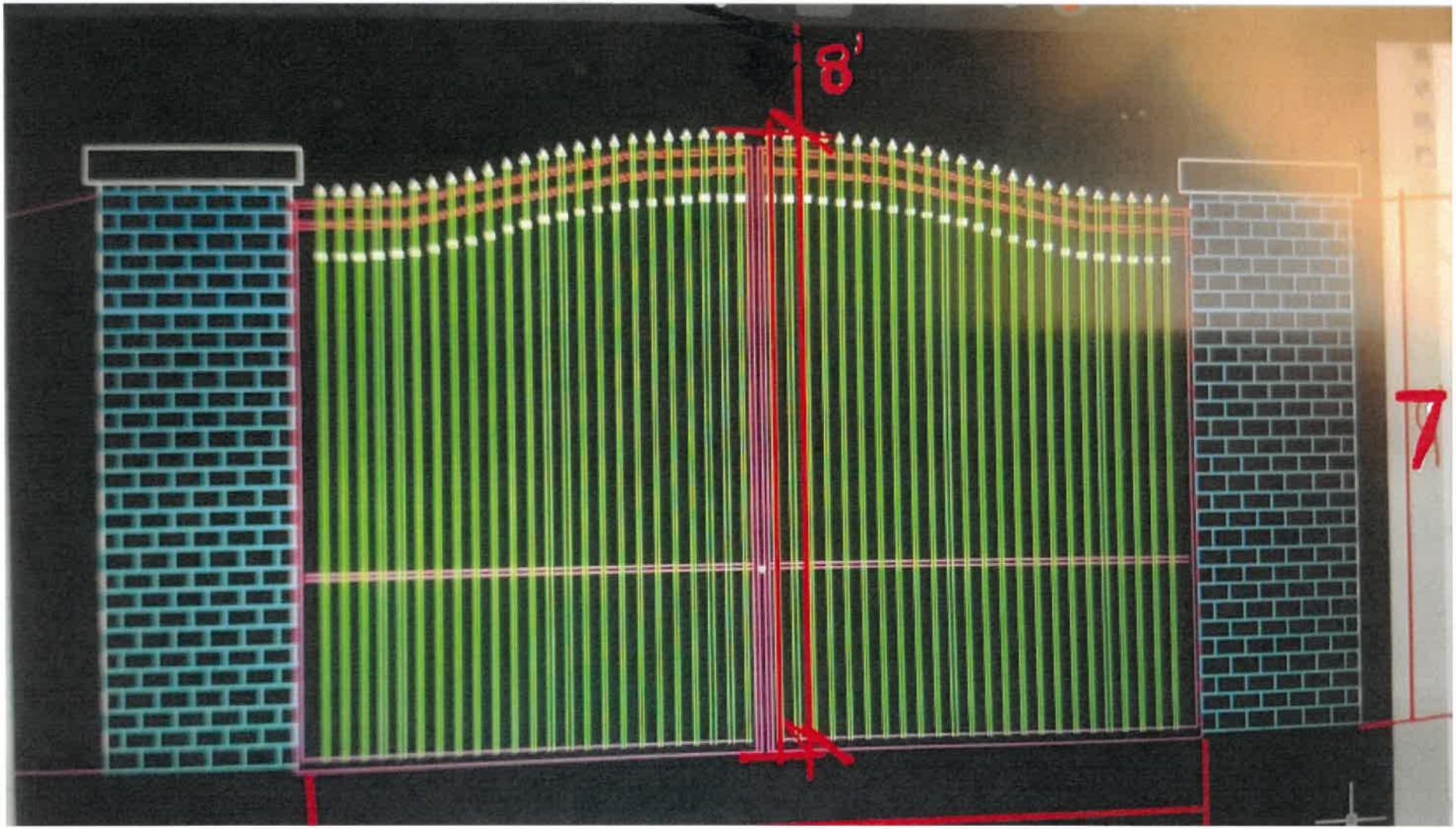
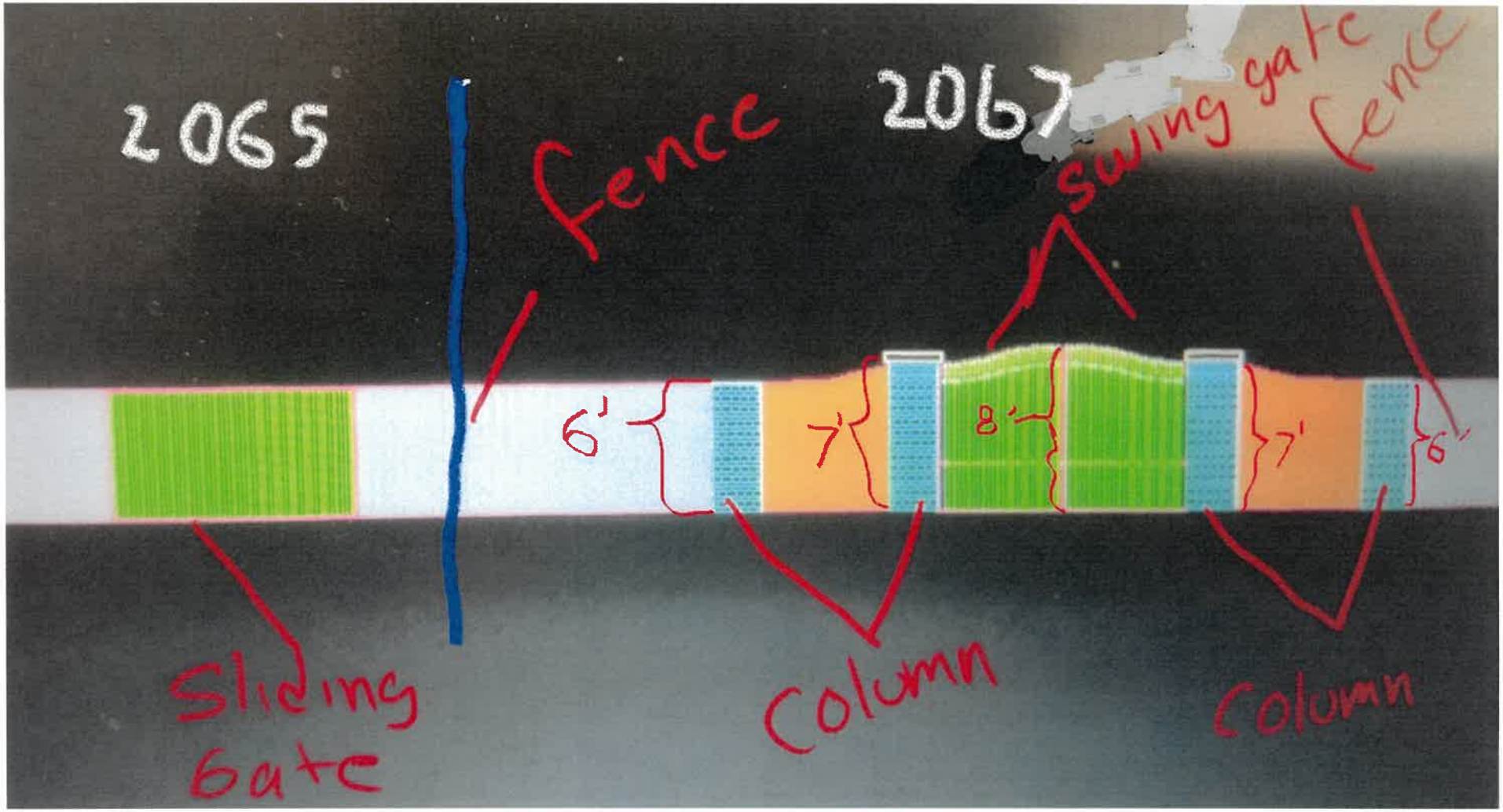
Virtual Tour
1/28

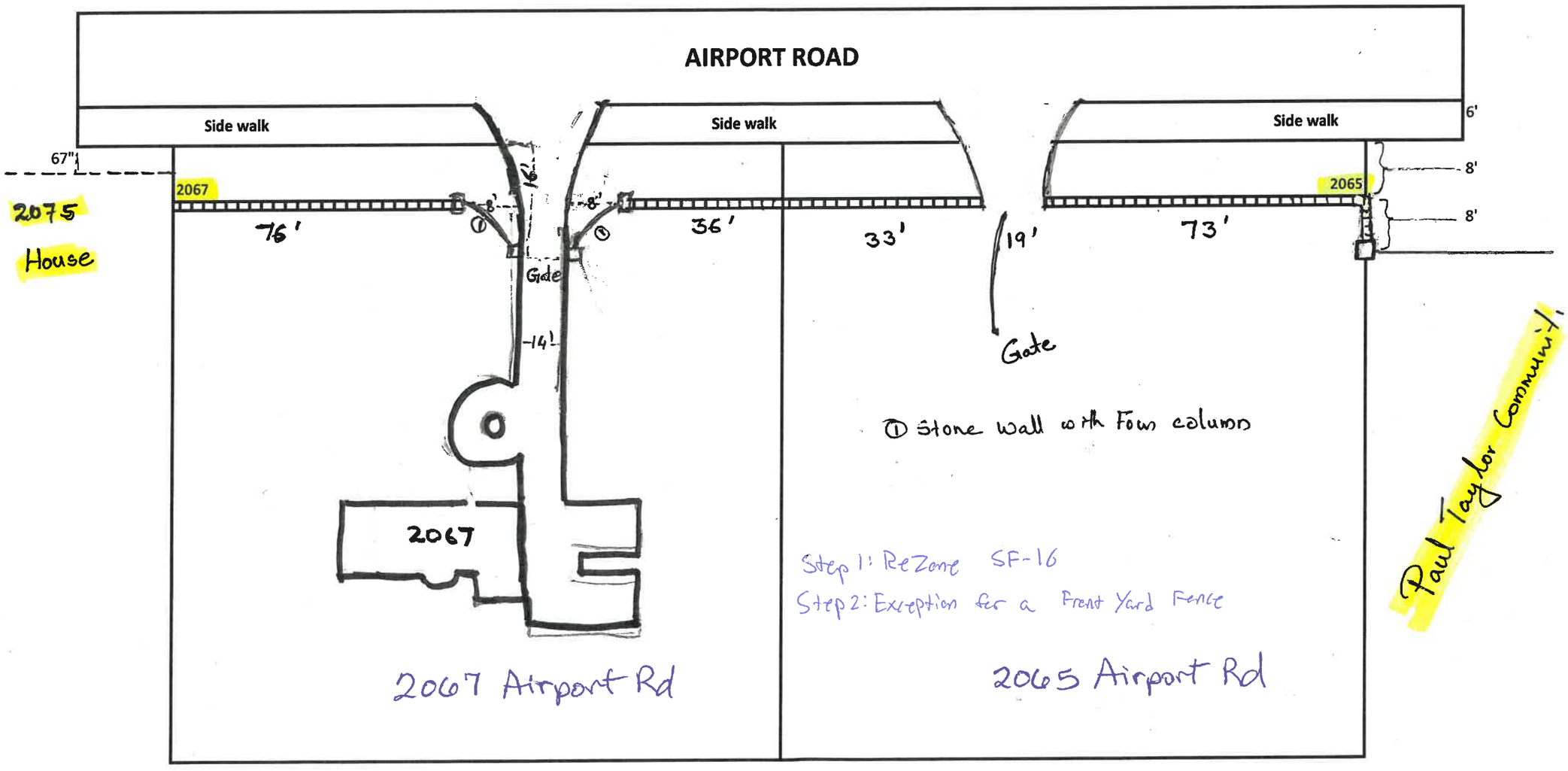







8'
7'


2065
Fence
2067
Swing gate
Fence
6'
7'
8'
7'
6'
Sliding Gate
Column
Column


AIRPORT ROAD
Side walk
Side walk
Side walk
6'
67"
2067
2065
8'
8'
2075
House
76'
36'
33'
19'
73'
16'
8'
8'
Gate
14'
Gate
① Stone wall with Four column
2067
Step 1: ReZone SF-16
Step 2: Exception for a Front Yard Fence
2067 Airport Rd
2065 Airport Rd
Paul Taylor Community

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Ryan Miller, *Director of Planning and Zoning*
DATE:	August 29, 2023
SUBJECT:	Z2023-038; Amendment to Planned Development District 3 (PD-3)

On June 5, 2023, the City Council directed staff to begin the process of initiating zoning to amend the City's older Planned Development (PD) Districts in order to prepare consolidating ordinances (*i.e. writing one [1] ordinance that supersedes all previous ordinances for the Planned Development Districts*). The purpose of this effort is to [*1*] make zoning easier to understand for the City's external customers (*i.e. developers, homebuilders, and citizens*), and [*2*] to make the zoning ordinances easier to interpret internally by City staff; however, the proposed consolidating ordinances are *not* intended to change any of the requirements, concept plans, or development standards stipulated for any Planned Development (PD) District. This was successfully done recently to the Planned Development (PD) District for the Chandler's Landing Subdivision (*i.e. Planned Development District 8 [PD-8]*).

The Shores Subdivision -- *also known as Planned Development District 3 (PD-3)* -- was originally adopted in 1972, and currently consists of 116 pages of regulations within 11 regulating ordinances. The following is a timeline and summary of the ~85 development cases associated with this Planned Development District:

RED: EXPIRED ORDINANCES
BLUE: SUPERSEDED ORDINANCES
GREEN: PARTIALLY SUPERSEDED ORDINANCES

- *1972*: The original Planned Development District 3 (PD-3) was established as part of the 1972 Zoning Ordinance, and allowed the following land uses: *Single-Family Dwellings*, *Single-Family Cluster Home Housing*, *Duplexes*, *Townhomes, Multiple Family Dwellings*, *Neighborhood Services*, *General Retail*, *Church*, *School*, *Park*, *Community Center*, and *Golf Course*. [*SUPERSEDED BY ORDINANCE NO. 73-02*]
- *FEBRUARY 5, 1973 (ORDINANCE NO. 73-02)*: This ordinance superseded the existing Planned Development District 3 (PD-3), and adopted a concept plan for the 439.70-acre tract of land that allowed a total of 2,115 dwelling units. These units consisted of single-family homes, cluster homes, and apartments. In addition, the ordinance allowed the following non-residential land uses: *Church and Day School*, *School and Park Site*, *General Retail*, *Neighborhood Services and Office*, *Inn – Restaurant*, *Pro Shop – Marina*, and *Golf*. [*SUPERSEDED BY ORDINANCE NO. 77-19A*]
- *OCTOBER 3, 1977 (ORDINANCE NO. 77-19A)*: This ordinance superseded *Ordinance No. 73-02*, and added an additional 147.10-acres to the Planned Development District for a total of 586.80-acres. Under this amendment the land uses were changed to: *Single-Family Detached*, *Cluster Attached (Eight [8] Units Per Acre)*, *Multi-Family (18 Dwelling Units Per Acre)*, *Retail*, *Recreation*, *Recreation (Golf Course*), and *School – Park*. In addition, this amendment added minimum lot area, lot depth, and lot width standards for each lot type. [*SUPERSEDED BY ORDINANCE NO. 80-33*]
- *DECEMBER 1, 1980 (ORDINANCE NO. 1980-33)*: This ordinance superseded *Ordinance No. 77-19A*, changing the approved concept plan and added phasing for certain thoroughfare improvements proposed for the subdivision. Under this amendment the land uses were changed to: *Single-Family Detached*, *Cluster Attached*, *Multiple*, *Patio Homes*, *Retail*, *School*, and *Golf Course and Facilities*. This amendment also increased the number of permitted housing units from 2,115 to 2,714. [*PARTIALLY SUPERSEDED BY ORDINANCE NO.'s 83-39, 89-04, 94-35, & 96-23*]
- *APRIL 16, 1981*: Final Plat for Phase 2 of the Shores Subdivision was approved.
- *DECEMBER 3, 1984 (ORDINANCE NO. 1984-59)*: [*Case No. PZ1984-101-01*] This ordinance added a *Temporary Recreation Vehicle Storage Area* to the Planned Development District. This area was located at the then terminus of Shores Boulevard north of Shores Circle (*approximately in the location of Islemere Drive or Aberdeen Lane*). [*EXPIRED*]

- *APRIL 8, 1986 (ORDINANCE NO. 86-23)*: [*Case No. PZ1985-59-01 & PZ1985-102-01*] This ordinance allowed a *Private Club* as an accessory land use to a *General Restaurant* for the Shores Clubhouse, which was called out as Lot 1, Block A, The Shores Clubhouse Addition. [*EXPIRED*]
- *MAY 19, 1986 (ORDINANCE NO. 86-39)*: [*Case No. PZ1986-022-01*] This ordinance amended *Ordinance No. 80-33* to add a 30.35-acre tract of land to Planned Development District 3 (PD-3) that created a total subdivision area of 611.15-acres. The northern areas of the Planned Development (PD) District were changed to a minimum lot size of 7,200 SF with a minimum unit size of 1,500 SF. This ordinance also established a buffer zone in between the 9,000 SF lots -- *platted as The Shores, Phase 1* -- and the proposed 7,200 SF lots. This buffer zone included three (3) rows of two (2) different product types that consisted of minimum lot sizes of 8,400 SF and minimum unit sizes that ranged from 1,500 SF to 1,800 SF. [*SUPERSEDED BY ORDINANCE NO. 96-23*]
- *JUNE 9, 1986*: [*Case No. PZ1986-38-01*] A Phasing Plan was adopted for the Shores Subdivision.
- *JULY 21, 1986 (ORDINANCE NO. 86-61)*: [*Case No. PZ1986-038-01*] This ordinance amended *Ordinance No. 80-33* to add special conditions relating to thoroughfare plan phasing based on the number of units that were constructed.
- *AUGUST 17, 1987*: [*Case No. 1987-052-01*] A Replat of Phase 1 of the Shores Subdivision was submitted; however, this case was withdrawn on August 17, 1987.
- *OCTOBER 19, 1987*: [*Case No. PZ1987-063-01, PZ1987-064-01, & PZ1987-065-01*] A Preliminary Plat for Phases 2, 3, & 4 of the Shores Subdivision was approved.
- *FEBRUARY 20, 1989*: [*Case No. PZ1988-036-01*] A revised Preliminary Plat for the Shores Subdivision was approved.
- *MARCH 20, 1989*: [*Case No. 1989-007-01*] A Final Plat for the Shores Club House was approved.
- *MARCH 20, 1989 (ORDINANCE NO. 89-04)*: This ordinance amended *Ordinance No. 1980-33* to change the concept plan and development standards for the northern tracts of land (*i.e. the land north of the buffer established by Ordinance No. 89-39*). This ordinance also established a concept plan and development standards for five (5) lots (*i.e. Lots 17-21, Block H*) east of the existing clubhouse off of Champions Drive. [*PARTIALLY SUPERSEDED BY ORDINANCE NO. 96-23*]
- *1989 (MISSING FOLDER)*: [*Case No. PZ1989-027-01*] A Preliminary Plat for Phase 2 of the Shores Subdivision was approved.
- *1989 (MISSING FOLDER)*: [*Case No. PZ1989-029-01*] A Final Plat for Phase 2 of the Shores Subdivision was approved.
- *AUGUST 20, 1990*: [*Case No. PZ1990-024-01*] A Preliminary Plat and Development Plan for Phases 3 & 4 of the Shores Subdivision was approved.
- *OCTOBER 15, 1990*: [*Case No. PZ1990-026-01*] A Final Plat for Phases 3 & 4 of the Shores Subdivision was approved. This subdivision plat was later vacated and replatted on March 18, 1991.
- *JANUARY 18, 1993*: [*Case No. PZ1993-003-01 & Case No. PZ1993-004-01*] A Preliminary Plat for Phases 4 & 5 of the Shores Subdivision was approved.
- *APRIL 19, 1993*: [*Case No. PZ1993-008-01*] A Final Plat for Phase 4 of the Shores Subdivision was approved.
- *MAY 17, 1993*: [*Case No. PZ1993-016-01*] A Final Plat for Phase 2 of the Shores Subdivision was approved. This subdivision plat was vacated by *Case No. PZ1995-071-01* on January 15, 1996.
- *JUNE 7, 1993*: [*Case No. PZ1993-017-01*] A Final Plat and Zoning for the Shores Park and School was denied by the City Council.
- *OCTOBER 17, 1994 (ORDINANCE NO. 94-35)*: [*Case No. PZ1994-016-01*] *A* Concept Plan, Zoning Change, and Preliminary Plat for the Random Oaks at the Shores Subdivision was approved. This ordinance amended *Ordinance No. 80-33* to establish the concept plan and development standards for the Random Oaks at the Shores Subdivision.
- *DECEMBER 19, 1994*: [*Case No. PZ1994-043-01*] A Final Plat for the Random Oaks at the Shores Subdivision was approved.
- *SEPTEMBER 18, 1995*: [*Case No. PZ1994-032-01*] An abandonment of an Easement for Random Oaks at the Shores Subdivision was approved.
- *JANUARY 15, 1996*: [*Case No. PZ1995-071-01*] A Vacation Plat for Phase 3 of the Shores Subdivision was approved.
- *JUNE 24, 1996 (ORDINANCE NO. 96-23)*: This was a City initiated zoning case that amended the concept plan and development standards associated with Planned Development District 3 (PD-3), and superseded portions of *Ordinance No. 80-33*. This also allowed two (2) non-residential tracts to be governed by the General (GR) Retail and Commercial (C) District standards. This established new standards for: [*1*] the northern areas of the Planned Development (PD) District, [*2*] the southern tracts, and [*3*] the areas along Ridge Road West.
- *OCTOBER 21, 1996*: [*Case No. PZ1996-067-01 & PZ1996-067-02*] A Concept Plan and Preliminary Plats for Crestview, Hillside, and Fairway Pointe Subdivisions at the Shores were approved.
- *DECEMBER 16, 1996*: [*Case No. 1996-088-01*] Final Plats for the Crestview and Hillside Subdivisions were approved.

- *JANUARY 21, 1997*: [*Case No. PZ1996-100-01, PZ1996-100-02, PZ1996-101-01, PZ1996-102-01 & PZ1996-103-01*] A Concept Plan for Creekside at the Shores Subdivision and Phase 2 of the Creekside Village Subdivision and a Final Plat and Tree Plan for the Hillside and Crestview Subdivisions were approved.
- *FEBRUARY 17, 1997*: [*Case No. PZ1997-001-01*] A Final Plat for Phase 2 of the Fairway Pointe at the Shores Subdivision was approved.
- *MARCH 17, 1997*: [*Case No. PZ1997-011-01*] A Final Plat for Creekside at the Shores Subdivision was approved.
- *OCTOBER 22, 1997*: [*Case No. PZ1997-082-01*] A Replat for Creekside at the Shores Subdivision was approved.
- *OCTOBER 19, 1998*: [*Case No. PZ1998-062-01, PZ1998-062-02, PZ1998-064-01, & PZ1998-064-02*] A Preliminary Plat and Tree Plan for Phase 3 of the Fairway Pointe at the Shores Subdivision and Phase 3 of the Crestview Subdivision were approved.
- *NOVEMBER 16, 1998*: [*Case No. PZ1998-071-01*] A Replat for Creekside at the Shores Subdivision was approved.
- *JANUARY 19, 1999*: [*Case No. PZ1998-088-01 & PZ1998-090-01*] A Final Plat for Phase 3 of the Fairway Pointe at the Shores Subdivision and Phase 3 of the Crestview Subdivision were approved.
- *FEBRUARY 15, 1999*: [*Case No. PZ1998-089-01*] A Final Plat for Phase 3 of the Hillside Subdivision was approved.
- *JANUARY 18, 2000*: [*Case No. PZ1999-107-01*] A Preliminary Plat for the Creekside at the Shores Subdivision was approved.
- *FEBRUARY 21, 2000*: [*Case No. PZ2000-005-01*] A Replat for Phase 3 of the Hillside Subdivision was approved.
- *MARCH 20, 2000*: [*Case No. PZ2000-006-01 & PZ2000-023-01*] A Preliminary Plat for Phase 4 of the Hillside Subdivision and a Replat for Phase 3 of the Crestview Subdivision were approved.
- *MAY 19, 2000*: *[Case No. PZ2000-038-01*] A Final Plat for Phase 2 of the Creekside Village Subdivision was approved.
- *JUNE 19, 2000*: [*Case No. PZ1999-036-01, PZ2000-028-01, PZ2000-040-01, PZ2000-050-01 & PZ2000-054-01*] A Concept Plan for the Shores North Subdivision, Final Plats for Phases 2, 4, & 5 of the Hillside Subdivision, and a Replat for Phase 3 of the Fairway Pointe at Shores Subdivision were approved.
- *JULY 17, 2000*: [*Case No. PZ2000-059-01*] A Preliminary Plat for the Shores North Subdivision was approved.
- *AUGUST 21, 2000*: [*Case No. PZ2000-067-01*] A Preliminary Plat for Phase 1 of the Shores North Subdivision was approved.
- *OCTOBER 10, 2000*: [*Case No.'s PZ2000-092-01 & PZ2000-092-02*] A Preliminary Plat and Tree Plan for Phase 5 of the Shores North Subdivision was approved.
- *JANUARY 16, 2001*: [*Case No.'s PZ2000-129-01, PZ2000-130-01, PZ2000-131-01, & PZ2000-132-01*] Final Plats for Phases 1, 2A, 3A, & 4A of the Shores North Subdivision were approved.
- *FEBRUARY 19, 2001*: [*Case No. PZ2001-009-01*] A Final Plat for Phase 5 of the Shores North Subdivision was approved.
- *APRIL 16, 2001*: [*Case No. PZ2001-034-01*] A Preliminary Plat for Phase 6 of the Shores North Subdivision was approved.
- *OCTOBER 19, 2001*: [*Case No.'s PZ2001-096-01 & PZ2001-096-02*] A Final Plat and Tree Plan for Phase 6 of the Shores North Subdivision was approved.
- *OCTOBER 21, 2002*: [*Case No. PZ2002-077-01*] A Final Plat amending Phase 4A of the Shores North Subdivision was approved.
- *DECEMBER 16, 2002*: [*Case No.'s PZ2002-091-01, PZ2002-091-02, PZ2002-092-01, PZ2002-092-02, PZ2002-093-01, & PZ2002-093-02*] Final Plats and Landscape Plans for Phases 2B, 3B, & 4B of the Shores North Subdivision were approved.
- *FEBRUARY 6, 2006*: [*Case No. P2006-004*] A Final Plat for Lots 1 & 2, Block 1, Shops at Ridge Creek Addition was approved.
- *SEPTEMBER 4, 2012*: [*Case No. SP2012-019*] A Site Plan for the Rockwall Golf and Athletic Club allowing a metal building to provide an office and employee break room was approved.
- *NOVEMBER 21, 2013*: [*Case No. SP2013-018*] A Site Plan for the Shores Homeowner's Association's (HOA's) Clubhouse Building was approved.
- *DECEMBER 16, 2013*: [*Case No. P2013-040*] A Final Plat for Lots 2 & 3, Block A, The Shores Club House Addition was approved.
- *JULY 15, 2014*: [*Case No. SP2014-015*] A Site Plan for the Rockwall Golf and Athletic Club Restroom Facility was approved.

The biggest issue that staff has with interpreting this Planned Development (PD) District is that *Ordinance No. 96-23 -- which was City initiated, currently regulates the majority of the Shores Subdivision, and changed the zoning of certain tracts in PD-3*

-- does not align with the phases that were actually platted and constructed. Specifically, this affects all of the Shores North phases as seen in *Figures 1 & 2*. This means that the lot sizes and dimensional requirements that were approved through the zoning ordinance do not correspond with the lots sizes and dimensional requirements that were approved through the concept plans and subsequent subdivision plats and building permits.

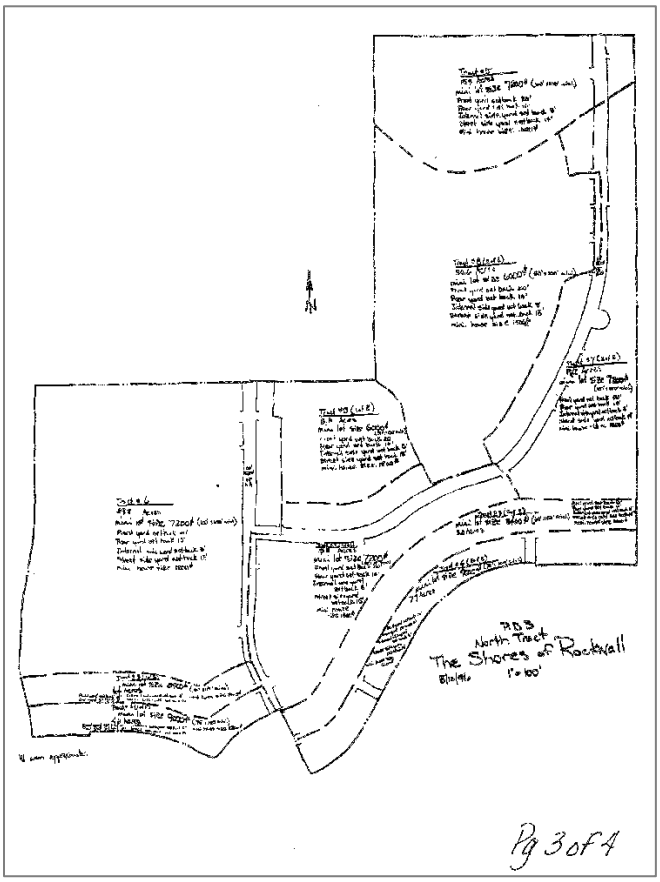


FIGURE 1: EXHIBIT FROM ORDINANCE NO. 96-23

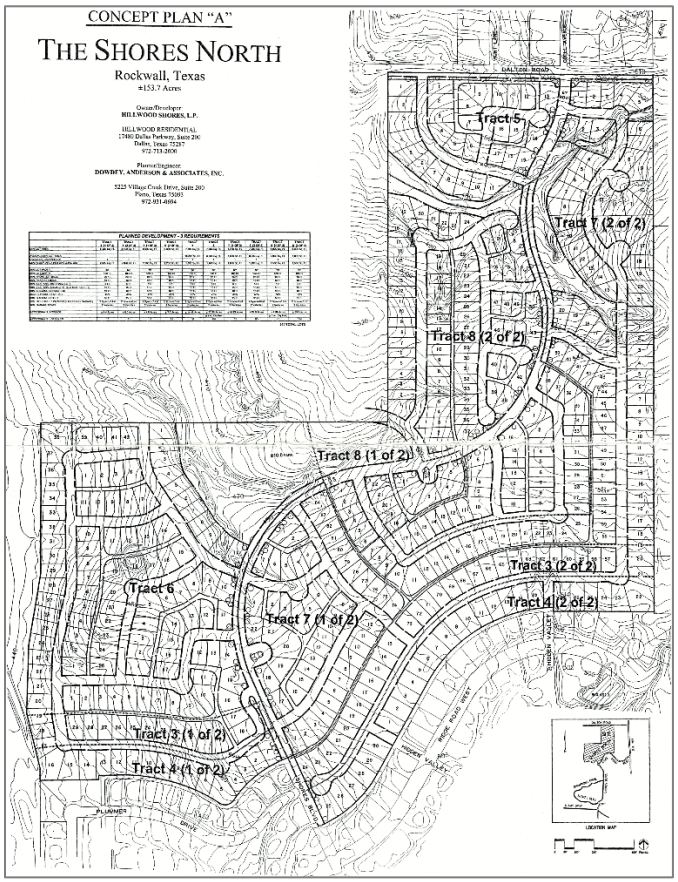


FIGURE 2: CONCEPT PLAN USED TO SUBDIVIDE AND PERMIT HOUSING IN THIS SUBDIVISION

This issue also exists in *Tracts O & P* as depicted in staff's updated concept plan contained in the draft ordinance. In addition, Tract 3 (*i.e. the Shores HOA Clubhouse and Rockwall Golf and Athletic Club*) does *not* include development standards or a base zoning district in any of the ordinances that make up Planned Development District 3 (PD-3); however, staff has found documentation showing that the development of this area was constructed under both the General Retail (GR) District requirements contained in the 1997 Zoning Ordinance and the *General Commercial District Standards* contained in the 2012 version of the Unified Development Code (UDC). To remedy these issues staff researched the building permits and development cases (*listed above*) to ascertain the development standards for each of these properties and incorporate them into the proposed draft ordinance. With this being said, since staff utilized standards that match the approved concept plans, subdivision plats, and building permits for these phases of the Shores Subdivision, the proposed zoning ordinance *does not* change the land uses and density and dimensional requirements for any of the existing properties in Planned Development District 3 (PD-3). Rather the proposed draft ordinance will bring what was constructed into unison with the approved zoning for these areas.

To assist the Planning and Zoning Commission in understanding this zoning change, staff has included a copy of the current ordinances that make up Planned Development District 3 (PD-3) and staff's proposed draft ordinance for comparison purposes. The proposed amendment to Planned Development District 3 (PD-3) will move forward in accordance with the following schedule:

Planning and Zoning Commission Work Session: August 29, 2023
Planning and Zoning Commission [*Public Hearing*]: September 12, 2023
City Council [*Public Hearing/First Reading*]: September 18, 2023

City Council [*Second Reading*]: October 2, 2023

Should the Planning and Zoning Commission have any questions, staff will be available at the ***August 29, 2023*** Planning and Zoning Commission Work Session Meeting.



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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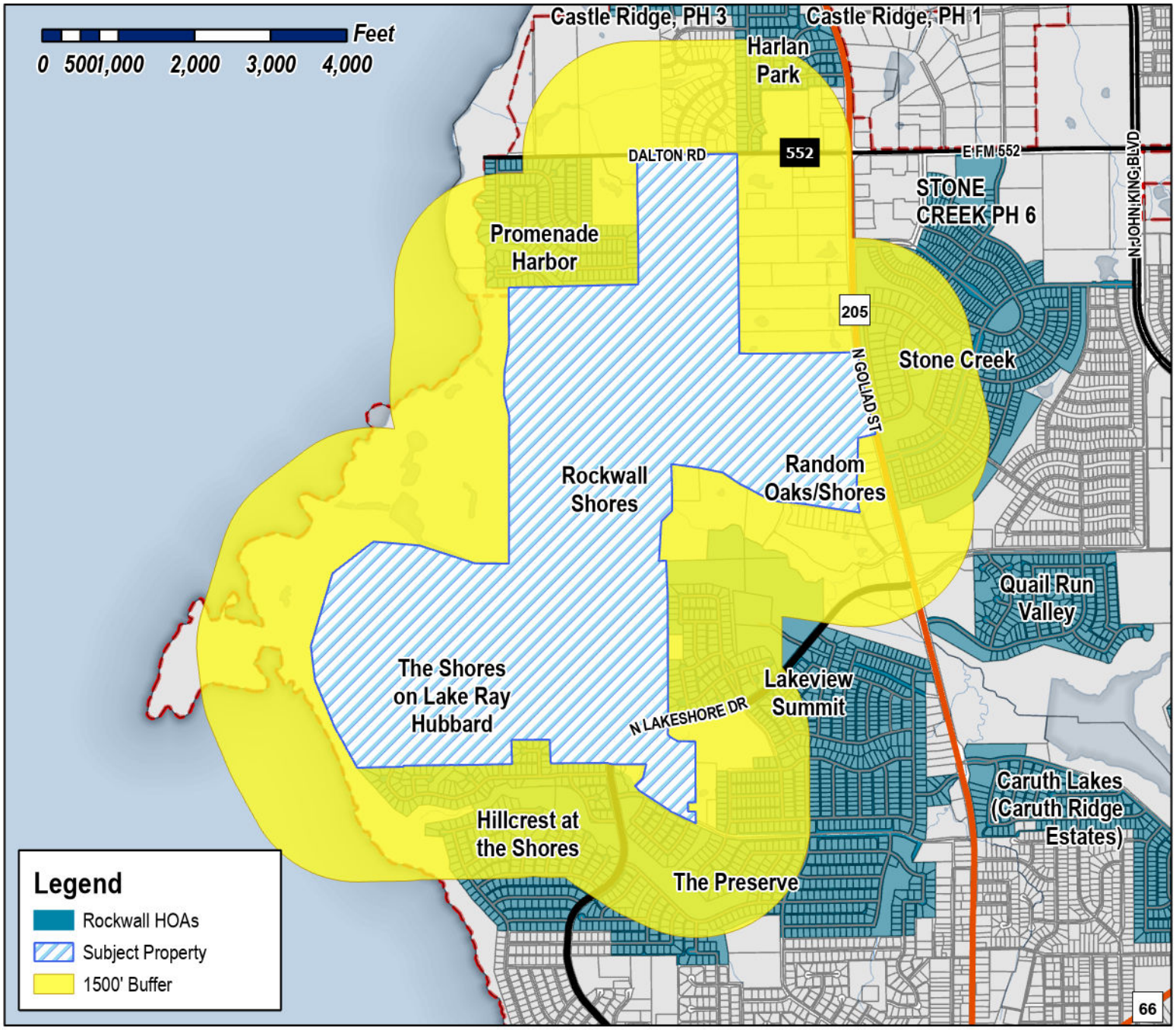
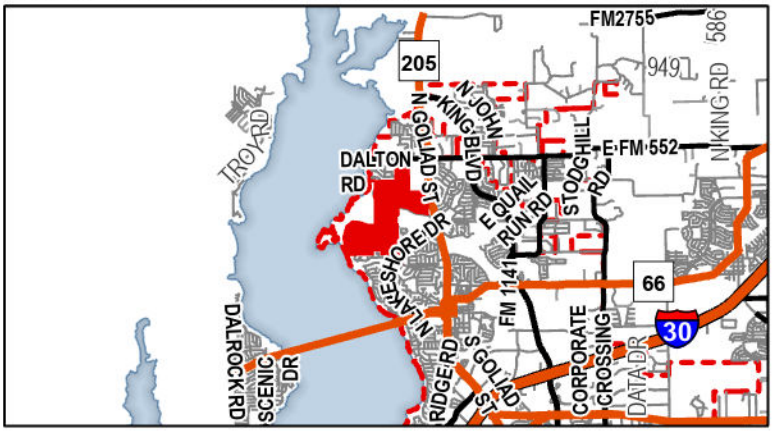


Case Number: Z2023-038
Case Name: Amendment to PD-3
Case Type: Zoning
Zoning: Planned Development District 3 (PD-3)
Case Address: The Shores Subdivision



Date Saved: 8/16/2023
For Questions on this Case Call (972) 771-7745

Miller, Ryan

From: Zavala, Melanie
Sent: Thursday, August 17, 2023 2:02 PM
Cc: Miller, Ryan; Ross, Bethany; Guevara, Angelica; Lee, Henry
Subject: Neighborhood Notification Program [Z2023-038]
Attachments: Public Notice (P&Z) (08.16.2023).pdf; HOA Map (08.16.2023).pdf; Public Notice Letter (08.09.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2023-038: Amendment to PD-3
Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 3 (PD-3) [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23] for the purpose of consolidating the regulating ordinances for a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west of SH-205 [S. Goliad Street], and north of Lake Forest Drive, and take any action necessary.

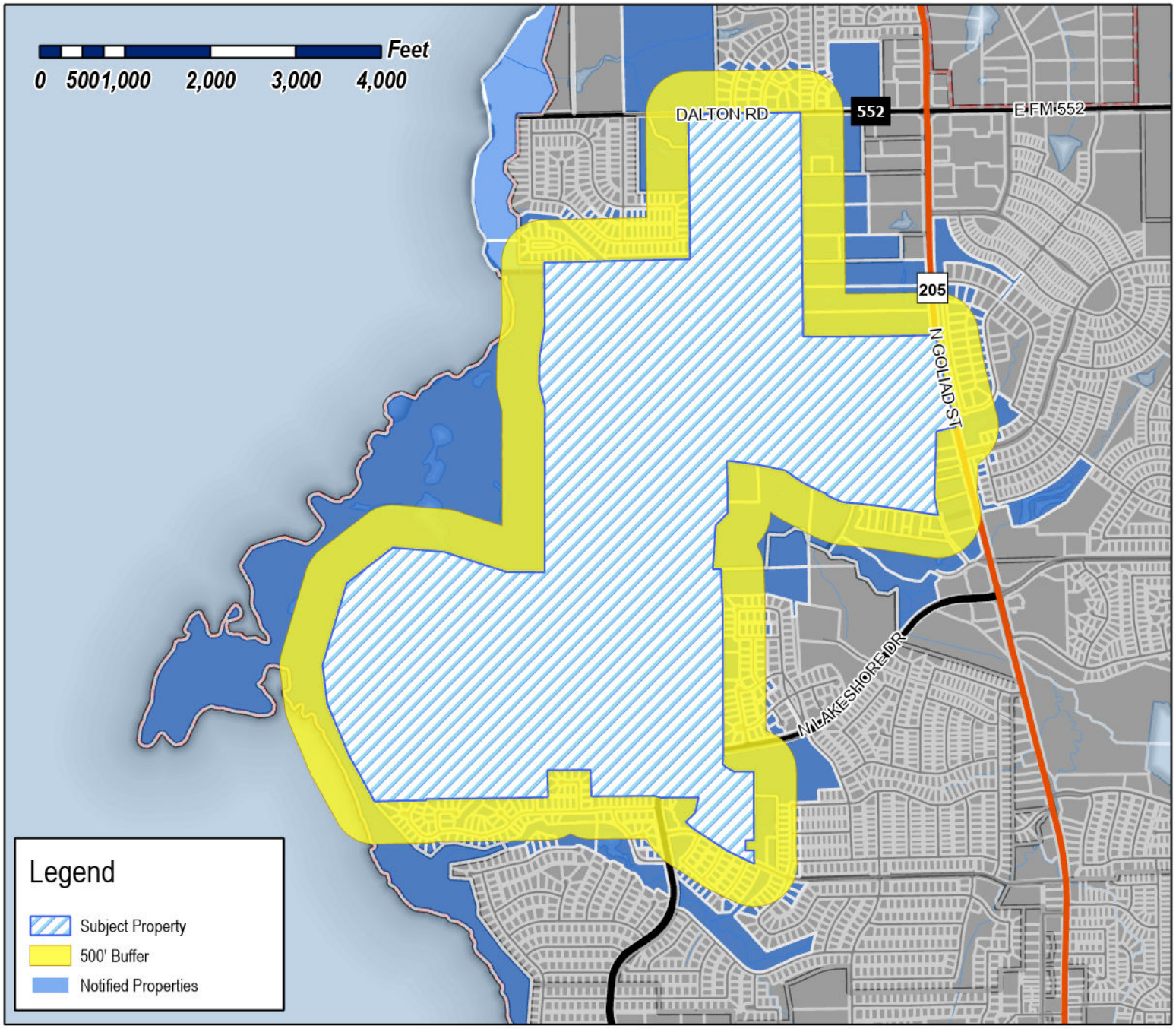
Thank you,

Melanie Zavala
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
http://www.rockwall.com/
972-771-7745 Ext. 6568

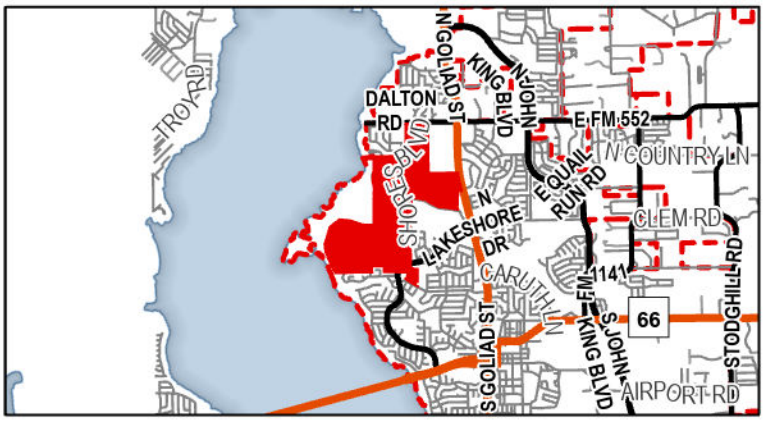
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-038
Case Name: Amendment to PD-3
Case Type: Zoning
Zoning: Planned Development District 3 (PD-3)
Case Address: The Shores Subdivision



Date Saved: 8/16/2023
For Questions on this Case Call: (972) 771-7746

MOHAREB RAMI & MARIAN HANNA
1000 PINEHURST DR
ROCKWALL, TX 75087

PEREIRA DOMINIC
1000 POTTER AVE
ROCKWALL, TX 75087

JACCK RESIDENTIAL HOLDINGS LLC
1000 PULLEN ROAD
MCLENDON CHISHOLM, TX 75032

WHITAKER JOSHUA & KRISTIN
1000 RIDGE ROAD COURT
ROCKWALL, TX 75087

KHAN ABDUL AND MAIMOONA REVOCABLE
LIVING TRUST
ABDUL RAHMAN KHAN AND MAIMOONA
RAHMAN KHAN CO TRUSTEES
1002 CREEKWOOD DR
GARLAND, TX 75044

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ROCKWALL, TX 75087

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1005 RIDGE ROAD W
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10051 PROMONTORY DR
FRISCO, TX 75035

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1006 EMBARCADERO DR
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1007 LOMBARD DRIVE
ROCKWALL, TX 75087

EVANS DAVID
1007 RICHMOND DRIVE
ROCKWALL, TX 75087

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ALLEN, TX 75002

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CORRAL LEOBARDO
1011 LOMBARD DRIVE
ROCKWALL, TX 75087

PRADO GONZALO PABLO CABRERA AND
LYL C MEDINA EYZAGUIRRE
1011 RICHMOND DRIVE
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MORROW GLENN
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ROCKWALL, TX 75087

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1019 LOMBARD DRIVE
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ROCKWALL, TX 75087

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RESIDENT
1022 RICHMOND DR
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1022 EMBARCADERO DRIVE
ROCKWALL, TX 75087

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C/O NEIGHBORHOOD MANAGEMENT INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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AINO DALLAS LLC
103 FOULK ROAD, SUITE 900
WILMINGTON, DE 19803

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1030 MONT CASCADES DR
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ORCHARD STREET SPENDTHRIFT TRUST- REX W FITHIAN-TRUSTEE
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106 PECAN DRIVE
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1062 KCK WAY
CEDAR HILL, TX 75104

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1115 BAYSHORE DR
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KASEY L ALEXANDER
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1120 ASHBOURNE DR
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1120 RIDGE RD WEST
ROCKWALL, TX 0

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1125 POTTER AVE
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FISCHER PEGGY
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ROCKWALL, TX 75087

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1125 WAWTERSIDE CIRCLE
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MONROE JAMES
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ROCKWALL, TX 75087

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1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

CSH PROPERTY ONE, LLC
1131 W WARNER RD STE 102
TEMPE, AZ 85284

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1135 ISLEMERE DRIVE
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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MAULDIN JESSICA
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ROCKWALL, TX 75087

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1140 RIDGE ROAD WEST
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1140 ISLEMERE DR.
ROCKWALL, TX 75087

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1140 LAKE GLEN CIR
ROCKWALL, TX 75087

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SCHREIBER CHARLES & ADELE
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ROCKWALL, TX 75087

SHANKS MICHAEL L
1140 WATERSIDE CIRCLE
ROCKWALL, TX 75087

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1145 ISLEMERE DR
ROCKWALL, TX 75087

ENGLE ROBERT A AND JENNIFER
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ROCKWALL, TX 75087

HUGHES MARK
1145 RIDGE RD W
ROCKWALL, TX 75087

HAMDAN NADIA
1148 LOTT AVE
AUSTIN, TX 78721

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1150 POTTER AVE
ROCKWALL, TX 75087

CAIN DENNIS R & MELISSA K
1150 CRESTCOVE DR
ROCKWALL, TX 75087

DUPUIS JORDAN MICHELLE & KYLE THOMAS
1150 ISLEMERE DR
ROCKWALL, TX 75087

ANDRUSKA KRISTIN
1150 LAKE GLEN CIR
ROCKWALL, TX 75087

VAHALIK LUKE A AND MELISSA A
1150 RIDGE ROAD W
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CONDIT CLAUDIA AND TODD LEE II
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KELLY RUSSELL G
1150 SHORES BLVD
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SHERMAN ROBERT & SUZANNE R
1150 WATERSIDE CIR
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DEFRATES JOAN
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SHEPHERD NATALIE E AND
KEVIN MICHAEL SHEPHERD
1155 POTTER AVE
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GRASKA SHAWN & VICKI
1155 RIDGE RD W
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TROMBINI SOLANGE L & ENRICO
1155 SHORES BOULEVARD
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MONES GRANT M AND CHRISTI ELISE
1155 WATERWOOD CIRCLE
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RESIDENT
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DAOUD JERRY TOMA AND MEREDITH CAVANAH-DAOUD
1160 CRESTCOVE DR
ROCKWALL, TX 75087

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1160 LAKE GLEN CIRCLE
ROCKWALL, TX 75087

YEAGER CLINTON W & DEBORAH A
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ROCKWALL, TX 75087

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1160 RIDGE RD WEST
ROCKWALL, TX 75087

MCKINNEY JAMES D & SUSAN D
1160 RIDGEWAY DR
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COOPER CHRIS J & MELISSA D
1160 WATERSIDE CIR
ROCKWALL, TX 75087

SEABOURN JONATHAN AND MEREDITH
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ROCKWALL, TX 75087

IRADI THOMAS E JR & DEBORAH V
1165 ABERDEEN LANE
ROCKWALL, TX 75087

HOUSTON NORMA KAY
1165 ISLEMERE DR
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VU QUANG & JACQUELINE
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ROCKWALL, TX 75087

KERNAN MICHAEL & TOBYE
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ROCKWALL, TX 75087

PARAMEDHWARAN KODEESWARAN AND GNANACHCHELVI
1169 CLEMENSEN CIR
FOLSOM, CA 95630

ZHAO JULIAN ZHONGLIANG AND ROSE FAN
117 ROLLING HILL DRIVE
MORGANVILLE, NJ 7751

BROWN DAVID A AND SUSAN YATES-BROWN
1170 CRESTCOVE DRIVE
ROCKWALL, TX 75087

NICHOL MORIAH R
1170 ISLEMERE DR
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HANNA MELANIE AND DAVID L
1170 LAKE GLEN CIRCLE
ROCKWALL, TX 75087

GAY JOHN I AND KATE A
1170 POTTER AVE
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1170 RIDGE ROAD WEST
ROCKWALL, TX 75087

BURROUGHS KEN
1170 RIDGEWAY DRIVE
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ROBERTSON GERALDINE C & LANCE S
1170 WATERSIDE CIRCLE
ROCKWALL, TX 75087

SPILSBURY QUINN OLMSTEAD
1170 WATERWOOD CIRCLE
ROCKWALL, TX 75087

COLLINGS MELVIN D & RENATA
1175 ABERDEEN LN
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JOHNSON REGINA AND GEORGE A
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1175 SHORES BLVD
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PALMERI MARTHA A
1175 WATERWOOD CIR
ROCKWALL, TX 75087

BLAGG RANDALL L AND
KRISTINA LEIGH
1180 CRESTCOVE DRIVE
ROCKWALL, TX 75032

SCHAEFER JAMES B & VICKI M
1180 ISLEMERE DR
ROCKWALL, TX 75087

TAYLOR JAMES E AND PAMELA A
1180 LAKE GLEN CIRCLE
ROCKWALL, TX 75087

LUNSFORD STEPHEN AND KATHY
1180 POTTER AVENUE
ROCKWALL, TX 75087

THOMPSON RICHARD B ETUX
1180 RIDGE RD W
ROCKWALL, TX 75087

KINDRICK JEFFREY R
1180 RIDGEWAY DR
ROCKWALL, TX 75087

AGUILERA ARMANDO & MARIA M
1180 WATERSIDE CIR
ROCKWALL, TX 75087

JORDAN SHANNAN AND
FERNANDO DIRK CARVAJAL
1180 WATERWOOD CIRCLE
ROCKWALL, TX 75087

CALDWELL JOSHUA T & STEPHANIE
1185 ABERDEEN LANE
ROCKWALL, TX 75087

FRONEK RICHARD JAMES III AND ASHLEY P
1185 CRESTCOVE DRIVVE
ROCKWALL, TX 75087

MCLAUGHLIN THOMAS A & GEORGENE A
1185 ISLEMERE DR
ROCKWALL, TX 75087

BARRON MEDINA AND DOUGLAS W
1185 LAKE GLEN CIR
ROCKWALL, TX 75087

REDFIELD KIMBERLY K
1185 MCDOLE DRIVE
SUGAR GROVE, IL 60554

DENHARTOG ADAM
1185 POTTER AVENUE
ROCKWALL, TX 75087

LEWIS KIMBERLY AND WILLIAM ERIC
1185 SHORES BLVD
ROCKWALL, TX 75087

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1190 RIDGEWAY DR
ROCKWALL, TX 75087

HENSLEY GREGORY & JILL
1190 ABERDEEN LANE
ROCKWALL, TX 75087

MULLEN SCOTT AND KELSEY
1190 CREST COVE DRIVE
ROCKWALL, TX 75087

BAKER KITTY A
1190 ISLEMERE DR
ROCKWALL, TX 75087

WARMAN DAVID JOHN
1190 LAKE GLEN CIRCLE
ROCKWALL, TX 75087

RANGE MILES E JR
1190 POTTER AVE
ROCKWALL, TX 75087

BAKER SCOTT KEITH AND MARTHA JULIA
1190 RIDGE ROAD W
ROCKWALL, TX 75087

HERNANDEZ DAVID & AMBER
1190 WATERSIDE CIR
ROCKWALL, TX 75087

RESIDENT
1195 LAKE GLEN CIR
ROCKWALL, TX 75087

BROOME NATHAN P & HOLLY A
1195 ABERDEEN LN
ROCKWALL, TX 75087

GOODEN BRETT J
1195 ISLEMERE DRIVE
ROCKWALL, TX 75087

SMITH LONNIE L JR & SHARON A
1195 POTTER AVE
ROCKWALL, TX 75087

GARCIA JORGE A AND
ROSE P LEE
1195 SHORES BLVD
ROCKWALL, TX 75087

SFR BORROWER 2021-2 LLC
120 S RIVERSIDE PLAZ SUITE 2000
CHICAGO, IL 60606

SFR TEXAS ACQUISITIONS 1 LLC
120 S RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

HPA TEXAS SUB 2018-1 MS LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HOME PARTNERS OF AMERICA INC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2020-2 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2020-1 GA LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

HPA II TEXAS SUB 2019-1 LLC
120 SOUTH RIVERSIDE PLAZA SUITE 2000
CHICAGO, IL 60606

ASHCRAFT BRANDON E & LORI B
1200 ABERDEEN LANE
ROCKWALL, TX 75087

JUNGELS ROBERT S & KRISTIN
1200 CRESTCOVE DR
ROCKWALL, TX 75087

FEHRENBACH RACHEL AND CODY
1200 ISLEMERE DR
ROCKWALL, TX 75087

SAUTER DANA & TINA
1200 LAKE GLEN CIR
ROCKWALL, TX 75087

DENMAN RYAN AND
HOLLY MAPEL
1200 POTTER AVE
ROCKWALL, TX 75087

KOCH EARLIS
1200 RIDGE RD W
ROCKWALL, TX 75087

DOBBINS PATRICIA AND DENNIS
1200 WATERSIDE CIRCLE
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S
1203 WYNDEN CREEK DR
HOUSTON, TX 77056

RESIDENT
1205 SHORES BLVD
ROCKWALL, TX 75087

BAUER MICHAEL S & AUDREY F
1205 ABERDEEN LANE
ROCKWALL, TX 75087

ECKWERT HI SUN
1205 CRESTCOVE DR
ROCKWALL, TX 75087

MORROW BILL & JUDY LIVING TR
WILBURN B & JUDITH TRUSTEES
1205 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

NEDRUD ERIK & JENNIFER B
1205 ISLEMERE DR
ROCKWALL, TX 75087

SCHROEDER DARYL
1205 LAKE GLEN CIRCLE
ROCKWALL, TX 75087

BALTHROP GREGORY M & SHANNON R
1205 POTTER AVE
ROCKWALL, TX 75087

HARTZKE FRED A ETUX
1205 RIDGE RD W
ROCKWALL, TX 75087

UTNAGE WILLIAM L & VIRGINIA L
12074 RIDGE RD
FORNEY, TX 75126

RESIDENT
1210 RIDGEWAY DR
ROCKWALL, TX 75087

CONSELMAN FRANK B & NICOLE S
1210 CRESTCOVE DR
ROCKWALL, TX 75087

MALLOU DENISE MAXWELL
1210 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

SHORES COUNTRY CLUB LLC
ATTN JOHN DUNN
1210 GLENWOOD
OKLAHOMA CITY, OK 73116

TROXLER MATTHEW T &
DEBORAH A
1210 ISLEMERE DR
ROCKWALL, TX 75087

RAJ SANCHIN D
1210 POTTER AVE
ROCKWALL, TX 75087

QUINONEZ JASON AND HAYLEY
1210 RIDGE RD W
ROCKWALL, TX 75087

JEFFUS JUSTIN AND ERIN
1214 E FORK
ROCKWALL, TX 75087

JACKSON RONALD L &
LEEANN CROSSMAN
1215 ABERDEEN LANE
ROCKWALL, TX 75087

SOLOMON LAURA LEE
1215 COASTAL DR
ROCKWALL, TX 75087

RICHER JAMES E AND
DANIELLA TELLAM
1215 CRESTCOVE DRIVE
ROCKWALL, TX 75087

ELLIS CAMERON AND GINA
1215 ISLEMERE DR
ROCKWALL, TX 75087

HAMMOND JAMES THOMAS AND KATHLEEN
HAVERIN
1215 POTTER AVE
ROCKWALL, TX 75087

BROOKS J CRAIG & LISA M
1215 RIDGE ROAD WEST
ROCKWALL, TX 75087

COLLYEAR DEWITT & KIMBERLY
1215 SHORES BLVD
ROCKWALL, TX 75087

ERIC R AND MARIAH D FRANCIS FAMILY TRUST
ERIC R FRANCIS AND MARIAH D FRANCIS- CO
TRUSTEES
12171 BLUE RIDGE DR
FRISCO, TX 75033

RONALD J BOTT AND EILEEN P BOTT 2000
REVOCABLE TRUST
RONALD J BOTT AND EILEEN P BOTT-
COTRUSTEES
12172 GAY RIO DR
LAKESIDE, CA 92040

RESIDENT
1220 POTTER AVE
ROCKWALL, TX 75087

RESIDENT
1220 RIDGEWAY DR
ROCKWALL, TX 75087

COATS CASEY AND LAUREN
1220 CRESTCOVE DRIVE
ROCKWALL, TX 75087

BLASE CHRISTOPHER & JILL
1220 E FORK
ROCKWALL, TX 75087

BIZO LLC
1220 E FORK
ROCKWALL, TX 75087

BREC ENTERPRISES LLC
1220 E FORK DRIVE
ROCKWALL, TX 75087

WILLMON RENEA MARGARET AND JOEL
THOMAS
1220 ISLEMERE DR
ROCKWALL, TX 75087

SALINAS ROBERT RHONDA
1220 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
1225 SHORES BLVD
ROCKWALL, TX 75087

ERICKSON DAVID L
1225 COASTAL DR
ROCKWALL, TX 75087

BANKSTON HELEN M AND WESLEY
1225 CRESTCOVE DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
1225 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

WOODHAM SIM AND BRANDI G
1225 ISLEMERE DR
ROCKWALL, TX 75087

TIAN PETER PIREN AND LISA YUMEI LU
1225 LADY DE VANCE LN
LEWISVILLE, TX 75056

FIGERT ALEX P & ERIN M
1225 POTTER AVE
ROCKWALL, TX 75087

THOMPSON JACK E & BARBARA E
1225 RIDGE RD W
ROCKWALL, TX 75087

OSORIO ERENDIRA R GUERRERO AND
ORLANDO JESUS OSORIO JIMENEZ
1230 CRESTCOVE DR
ROCKWALL, TX 75087

HOUSER CHRISTIAN & LAURA
1230 ISLEMERE DR
ROCKWALL, TX 75087

GILCREASE JACKIE EUGENE & SANDY ANNE
1230 POTTER AVE
ROCKWALL, TX 75087

DEMARCO DOUGLAS & CHERYLE
1230 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
1235 CRESTCOVE DR
ROCKWALL, TX 75087

RESIDENT
1235 POTTER AVE
ROCKWALL, TX 75087

CRUZ CHRISTIAN SHANE KAIWI AND LISA ANNE
1235 COASTAL DRIVE
ROCKWALL, TX 75087

TOWNSEND MICHAEL G AND MICHELLE G
1235 FAIRLAKES POINTE
ROCKWALL, TX 75087

WHITFIELD JAMES H & SHARON
1235 ISLEMERE DR
ROCKWALL, TX 75087

NORTON CHARLES CHRISTOPHER
1235 RIDGE WEST RD
ROCKWALL, TX 75087

FRERICHS KENNY J & DAVID BUSH
1235 SHORES BLVD
ROCKWALL, TX 75087

ANZAI BYRON H
1239 MISSION DRIVE
ROCKWALL, TX 75087

RESIDENT
1240 ISLEMERE DR
ROCKWALL, TX 75087

DEMIEN ARLIE & TIFFANY
1240 COASTAL DR
ROCKWALL, TX 75087

FLANAGAN SHEREE L
1240 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

DASILVA WAGNER E AND
DAWN M BUSKE DASILVA
1240 POTTER AVENUE
ROCKWALL, TX 75087

GOUCHER DUSTY
1240 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
1245 POTTER AVE
ROCKWALL, TX 75087

MCGILL MARK & CHERI
1245 CRESTCOVE DR
ROCKWALL, TX 75087

BREWER ANNETTE
1245 CRESTWAY DR
ROCKWALL, TX 75087

HUMPHREY MICHAEL D AND KONNI D
1245 ISLEMERE DRIVE
ROCKWALL, TX 75087

HUX MARK
1245 MISSION DR
ROCKWALL, TX 75087

PUMMILL ZACHARY L AND MELISSA A
1245 RIDGE ROAD W
ROCKWALL, TX 75087

MANIS KATHRYN D
1245 SHORES BLVD
ROCKWALL, TX 75087

TAYEM ALEXANDER G & CINDY SIKES
1245 WALES DR
ROCKWALL, TX 75032

MANNING BILLY T & TAMMY L
1250 COASTAL DR
ROCKWALL, TX 75087

ZEPP JENNIFER AND
MARK PHELPS
1250 CRESTCOVE
ROCKWALL, TX 75087

NARVID ANDREA MURPHY AND JUSTIN C
1250 POTTER AVENUE
ROCKWALL, TX 75087

MCCUNE DAVID CHARLES AND PAMELA
1250 RIDGE ROAD WEST
ROCKWALL, TX 75087

CONFIDENTIAL
1251 MISSION DR
ROCKWALL, TX 75087

JAMES DONA D
1255 CRESTCOVE DR
ROCKWALL, TX 75087

EASTLAND LEWIS WILLIAM AND KENDAL ST
CLAIR
1255 CRESTWAY DRIVE
ROCKWALL, TX 75087

MITCHELL JASON N & AMELIA KATRINA
1255 POTTER AVENUE
ROCKWALL, TX 75087

GOFF JAMES AND TIFFANY
1255 RIDGE ROAD WEST
ROCKWALL, TX 75087

TAUZIN MICHAEL JAMES
1255 SHORES BOULEVARD
ROCKWALL, TX 75087

WANG JESSE AND
LESLIE C ROACH
1257 MISSION DR
ROCKWALL, TX 75087

SOWA MARK AND PATRICIA
12573 MONTEGO PLZ
DALLAS, TX 75230

COREY & SHEILA ALSOBROOK REVOCABLE TRUST
COREY G ALSOBROOK AND SHEILA E ALSOBROOK- TRUSTEES
1260 COSTAL DRIVE
ROCKWALL, TX 75087

COMINGORE J ANDREW AND M KATIE
1260 CRESTCOVE DR
ROCKWALL, TX 75087

KEY JENNIFER V AND JOSHUA
1260 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

MELTON RICHARD E AND ELIZABETH S
1260 SHORES CT
ROCKWALL, TX 75087

RESIDENT
1263 MISSION DR
ROCKWALL, TX 75087

RESIDENT
1264 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1265 CRESTCOVE DR
ROCKWALL, TX 75087

RESIDENT
1265 CRESTWAY DR
ROCKWALL, TX 75087

RESIDENT
1265 GRANDVIEW DR
ROCKWALL, TX 75087

RESIDENT
1265 SHORES BLVD
ROCKWALL, TX 75087

MAHROUMI MOHAMMAD AND PARISA SHAHBAZI
MANOCHEHR KIANPOUR
1269 MISSION DRIVE
ROCKWALL, TX 75087

DASGUPTA ROSHNI & AJAY VISVANATHAN
1270 COASTAL DR
ROCKWALL, TX 75087

COOK BRETT AND LISA
1270 CRESTCOVE DRIVE
ROCKWALL, TX 75087

PEYROVAN PEYMAN & MANDANA HAKIMI
1270 GRANDVIEW
ROCKWALL, TX 75087

A WILLIAM AND SANDRA LINGNELL REVOCABLE TRUST
1270 SHORES CT
ROCKWALL, TX 75087

RWC HILLCREST SHORES THREE HOMEOWNERS ASSOC INC
C/O PRINCIPAL MANAGEMENT GROUP
12700 PARK CENTRAL DRIVE, SUITE 600
DALLAS, TX 75251

MUMPER MATT A AND PAMELA J
1274 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1275 CRESTWAY DR
ROCKWALL, TX 75087

RESIDENT
1275 GRANDVIEW DR
ROCKWALL, TX 75087

RESIDENT
1275 MISSION DR
ROCKWALL, TX 75087

FARROW DOUGLAS & LYNN
1275 CRESTCOVE DR
ROCKWALL, TX 75087

DALSTON JEAN R & JANICE M
1275 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1280 SHORES CT
ROCKWALL, TX 75087

IGLESIA MIRIAM
1280 COASTAL DR
ROCKWALL, TX 75087

SCICLUNA JON
1280 CRESTCOVE DR
ROCKWALL, TX 75087

LOPEZ FRANKLIN AND AMBER
1280 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

MCCORMICK LINDA
1280 GRANDVIEW DR
ROCKWALL, TX 75087

RESIDENT
1281 MISSION DR
ROCKWALL, TX 75087

ROGERS DEBORAH R
1284 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1285 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
1285 CRESTCOVE DR
ROCKWALL, TX 75087

CLARK BRICE D AND BRITTANY A
1285 CRESTWAY DR
ROCKWALL, TX 75087

GONZALEZ FERNANDO
1285 GRANDVIEW
ROCKWALL, TX 75087

RESIDENT
1287 MISSION DR
ROCKWALL, TX 75087

BOWMAN JOHN II AND DEBORAH A
1290 COASTAL DR
ROCKWALL, TX 75087

BAYIH MESFIN AND
EYERUSALEM ABERA BALAKER
1290 CRESTCOVE DRIVE
ROCKWALL, TX 75087

THELEN ROMAN
1290 FAIRLAKES DR
ROCKWALL, TX 75087

SMITH JAMES R
1290 GRANDVIEW DR
ROCKWALL, TX 75087

CUPPETT BRYAN S & LISA H
1290 SHORES BLVD
ROCKWALL, TX 75087

HARTWIG FENTON WILLIAM & BETSY S
1290 SHORES CT
ROCKWALL, TX 75087

ARDEN JOSEPH R AND
LISA M STEWART ARDEN
1292 HIGHLAND DR
ROCKWALL, TX 75087

CHANDLER JEFFREY & KIMBERLY
1293 MISSION DR
ROCKWALL, TX 75087

RESIDENT
1295 GRANDVIEW DR
ROCKWALL, TX 75087

AYALA LOREANA AND BENY
1295 CRESTCOVE DRIVE
ROCKWALL, TX 75087

DORTON HAROLD AND DIANE M AND
DIANE DORTON
1295 CRESTWAY DRIVE
ROCKWALL, TX 75087

DUPLECHAIN REVOCABLE TRUST
RODNEY J DUPLECHAIN AND SUE A
DUPLECHAIN- COTRUSTEES
1295 SHORES BOULEVARD
ROCKWALL, TX 75087

GUANCIAL JOSEPH LOUIS AND SOPHIA XUAN VO
1299 MISSION DR
ROCKWALL, TX 75087

HOLDER JANICE
1300 CHAMPIONS DRIVE
ROCKWALL, TX 75087

HATHCOCK LANA & CHRISTOPHER
1300 GOLD COAST DRIVE
ROCKWALL, TX 75087

SORENSEN DOUG AND SUSAN
1300 MEANDERING WAY
ROCKWALL, TX 75087

YANCY CHRISTOPHER BURNS & KATHY ELAINE
1300 SCARBORO HILLS LN
ROCKWALL, TX 75087

PITLIK MARTIN & LUANN
1300 SHORES BLVD
ROCKWALL, TX 75087

SCOTT MICHAEL & MANUELA
1300 SHORES CIR
ROCKWALL, TX 75087

CONFIDENTIAL
1303 SHORES CIR
ROCKWALL, TX 75087

KELLY JAMES H IV & DAO
1305 CHAMPIONS DRIVE
ROCKWALL, TX 75087

DUNN KENT AND AMBER
1305 CLEARMEADOW COURT
ROCKWALL, TX 75087

HALL TIMOTHY ROBERT
1305 CRESTWAY DR
ROCKWALL, TX 75087

VANDERPOOL ANDREA T
1305 GOLD COAST DR
ROCKWALL, TX 75087

BELL CHARLES ELMER
1305 MEANDERING WAY
ROCKWALL, TX 75087

WARD COLIN & SHELBY
1305 SHORES BLVD
ROCKWALL, TX 75087

HAND WESLEY C AND KARLIE J
1307 SHORES CIRCLE
ROCKWALL, TX 75087

HARDY DAMON AND JODIE
1309 BRIMWOOD DR
MCKINNEY, TX 75070

KOPINSKI CLIFFORD & BERNIECE B
1309 MEANDERING WAY
ROCKWALL, TX 75087

HEATH RENTAL PROPERTIES LLC
1309 MORAINE PLACE
HEATH, TX 75032

RESIDENT
1310 SHORES BLVD
ROCKWALL, TX 75087

MCCORMACK RODNEY LEE & JULIA
1310 CHAMPIONS DR
ROCKWALL, TX 75087

FIELDSMITH ROBERT NATHAN
1310 CLEARMEADOW COURT
ROCKWALL, TX 75087

HUNT PRISCILLA AND DARREN
1310 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

CANTWELL PATRICK L & JENNY M
1310 GOLD COAST DRIVE
ROCKWALL, TX 75087

PRUITT ROBERT A & NANCY N
1310 MEANDERING WAY
ROCKWALL, TX 75087

DERIEMAECKER JESSICA AND THOMAS
1310 SCARBORO HILLS LN
ROCKWALL, TX 75087

KIDD STEVEN D & GAYLE R
1310 SHORES CIR
ROCKWALL, TX 75087

WALTERS MICHAEL F & DAWN A
1311 SHORES CIRCLE
ROCKWALL, TX 75087

KIM DANIELLE RENEE & JOHN SUB
1313 MEANDERING WAY
ROCKWALL, TX 75087

RESIDENT
1315 CLEARMEADOW CT
ROCKWALL, TX 75087

MCCALL STEVEN A & MARYANN HALL
1315 CHAMPIONS DRIVE
ROCKWALL, TX 75087

WORSHAM BRAD AND RAEGAN
1315 CRESTWAY DR
ROCKWALL, TX 75087

WRIGHT DAVID A AND JENEE P
1315 SHORES BOULEVARD
ROCKWALL, TX 75087

HICKSON SAM M & DEBORAH
1315 SHORES CIR
ROCKWALL, TX 75087

2019 K.B. OREGAN REVOCABLE TRUST
KEITH JAMES OREGAN & BARBARA LINDSAY
TRUSTEES
1317 MEANDERING WAY
ROCKWALL, TX 75087

LAWHON THOMAS E & DEBORAH J
1319 SHORES CIR
ROCKWALL, TX 75087

JENKS KAREN SUE
1320 CHAMPIONS DRIVE
ROCKWALL, TX 75087

DIXON DOUGLAS E AND ANDREA L
1320 COASTAL DR.
ROCKWALL, TX 75087

CLEMENTS PHILLIP & AMY
1320 COLONIAL CT
ROCKWALL, TX 75087

WILDING DAVID AND MICHELLE
1320 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

SCHWARTZ DAVID M AND CHERYL D
1320 GOLD COAST DR
ROCKWALL, TX 75087

CUNNINGHAM ELIZABETH M
1320 MEANDERING WAY
ROCKWALL, TX 75087

SOTOODEH ALI & NARGES KABIRI
1320 SCARBORO HILLS LANE
ROCKWALL, TX 75087

LANCASTER JERRY GLEN
1320 SHORES BLVD
ROCKWALL, TX 75087

HEJKE K MICHAEL
1320 SHORES CIR
ROCKWALL, TX 75087

RESIDENT
1325 CLEARMEADOW CT
ROCKWALL, TX 75087

RESIDENT
1325 PETALUMA DR
ROCKWALL, TX 75087

RESIDENT
1325 SHORES CIR
ROCKWALL, TX 75087

RESIDENT
1325 TANGLEVINE DR
ROCKWALL, TX 75087

CLARK JAMES RONALD & MARCIA E
1325 CHAMPIONS DR
ROCKWALL, TX 75087

SMITH DAVID & ANDREA
1325 GOLD COAST DRIVE
ROCKWALL, TX 75087

TAYLOR JAMES R
1325 HILLWAY DRIVE
ROCKWALL, TX 75087

GINGERICH PHILIP R & DIANE L
1325 MEANDERING WAY
ROCKWALL, TX 75087

JONES HERMAN B
1325 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1330 CLEAR MEADOW CT
ROCKWALL, TX 75087

RESIDENT
1330 MEANDERING WAY
ROCKWALL, TX 75087

MUNCY WILLARD DON AND NORMA
MCCALLUM
1330 CHAMPIONS DR
ROCKWALL, TX 75087

BOTT ERIC & JULIE
1330 COASTAL DR
ROCKWALL, TX 75087

PEREZ FERDINANDO
1330 CRESTWAY DR
ROCKWALL, TX 75087

DAVIS DARIN L AND LORILYN R
1330 SCARBORO HILLS LN
ROCKWALL, TX 75087

BRITT SUSAN JANETTE
1330 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
1330 SHORES CIR
ROCKWALL, TX 75087

SIMS BENJAMIN D
1335 CHAMPIONS DRIVE
ROCKWALL, TX 75087

SELF DAVID & DEBRA
1335 CLEAR MEADOW COURT
ROCKWALL, TX 75087

BELTRAN WILLIE AND ANNE
1335 CLUBHILL DRIVE
ROCKWALL, TX 75087

CARLETON REVOCABLE LIVING TRUST
GEOFFREY A AND PHUONG M CARLETON
TRUSTEES
1335 COLONIAL CT
ROCKWALL, TX 75087

ACKERMAN KRISTA J
1335 GOLD COAST DR
ROCKWALL, TX 75087

ABDELSHAHIED MAHER &
ROSE MARIE
1335 MEANDERING WAY
ROCKWALL, TX 75087

BINGHAM WAYNE DOUGLAS & MARY KATHRYN
1335 SHORES BLVD
ROCKWALL, TX 75087

KELLY KEVIN B ETUX
1335 SHORES CIR
ROCKWALL, TX 75087

WALTER PAMELA H
1335 TANGLEVINE LN
ROCKWALL, TX 75087

BASINGER RICHARD R AND MARY D
1340 CHAMPIONS DR
ROCKWALL, TX 75087

SPIERS TERRY L & ANA P
1340 CLEAR MEADOW COURT
ROCKWALL, TX 75087

SIMOWITZ MARK AND
LETICIA UNDERWOOD
1340 COASTAL DRIVE
ROCKWALL, TX 75087

SEARCY LAURA L
1340 COLONIAL CT
ROCKWALL, TX 75087

WILLIAMS LETA A
1340 CRESTWAY DR
ROCKWALL, TX 75087

NORVELL RONNIE L & ROBBIE L
1340 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

TUCKER PATRICIA ANN
1340 MEANDERING WAY
ROCKWALL, TX 75087

DWORKIN ROBERT E AND PATRICIA M
1340 SCARBORO HILLS LN
ROCKWALL, TX 75087

EDDIE AND EDITH FRAZIER REVOCABLE TRUST
EDDIE LEON FRAZIER AND EDITH ANN FRAZIER-
COTRUSTEES
1340 SHORES BLVD
ROCKWALL, TX 75087

SCHWANEKE EDWARD E ETUX
1340 SHORES CIR
ROCKWALL, TX 75087

WALKER LEONARD A JR & TRESSIA Y
1340 TANGLEVINE LN
ROCKWALL, TX 75087

TRESHOCK WILLIAM AND EMILY ANN MATSON
1341 SCARBORO HILLS LANE
ROCKWALL, TX 75087

GERLACH CHRISS AND RON FAMILY TRUST
RON GERLACH, TRUSTEE
13435 ROANE CIR
SANTA ANA, CA 92705

GARDENCREST SERIES
A SEPARATE SERIES OF CAYUGA REALTY LLC
13449 BIGELOW LANE
FRISCO, TX 75035

RESIDENT
1345 CLEARMEADOW CT
ROCKWALL, TX 75087

MUSSER ROGER L & CAROL E
1345 CHAMPIONS DR
ROCKWALL, TX 75087

RODEN JERRY & SHARON
1345 CLUBHILL DR
ROCKWALL, TX 75087

JORDAN ROY L & STACY L
1345 GOLD COAST DR
ROCKWALL, TX 75087

FISHER JENNIFER A
1345 HILLWAY DR
ROCKWALL, TX 75087

ULLMANN JOSEPH J & ELIZABETH
1345 MEANDERING WAY
ROCKWALL, TX 75087

SACHSE JUSTIN & LISA M
1345 PEBBLE HILLS DR
ROCKWALL, TX 75087

NICHOL CHARLES T & KAREN R
1345 SHORES BLVD
ROCKWALL, TX 75087

KRIKORIAN RICHARD N & KATHERINE S
1345 SHORES CIR
ROCKWALL, TX 75087

JESTER IRVING P & ALICE
1345 TANGLEVINE LN
ROCKWALL, TX 75087

RESIDENT
1350 CLEARMEADOW CT
ROCKWALL, TX 75087

RESIDENT
1350 WHITE SAND DR
ROCKWALL, TX 75087

BROESKE JASON S AND CRISTINA
1350 CHAMPIONS DR
ROCKWALL, TX 75087

FIKES JAY S
1350 COASTAL DR
ROCKWALL, TX 75087

IRWIN CHARLES H & WILMA K
1350 COLONIAL CT
ROCKWALL, TX 75087

PRATER CHRISTOPHER WARREN & MEREDITH
1350 LEEWARD DR
ROCKWALL, TX 75087

SANSOM TED & ANN
1350 MEANDERING WAY
ROCKWALL, TX 75087

PIKE FAMILY TRUST
1350 MISTY COVE
ROCKWALL, TX 75087

RANDOLPH LARRY L & CHARLOTTE
1350 PEBBLE HILLS DR
ROCKWALL, TX 75087

GOAD JOHN C
1350 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

PARNELL BRIAN AND BRIANA
1350 SCARBORO HILLS LANE
ROCKWALL, TX 75087

LINDSEY WAYNE III
1350 SHORES BLVD
ROCKWALL, TX 75087

HOFMANN SASCHA FRANZ & MARIA E
1350 SHORES CIRCLE
ROCKWALL, TX 75087

ELLIS LAKE AND ELIZABETH
1351 COASTAL DR
ROCKWALL, TX 75087

BROWN BENJAMIN AND MAURA H D
1351 LEEWARD DR
ROCKWALL, TX 75087

ASBELL JOHN C & PAMELA K
1351 MISTY CV
ROCKWALL, TX 75087

RIPPY REVOCABLE TRUST
1351 SCARBORO HILLS LN
ROCKWALL, TX 75087

HUNTER JERRY & KIM
1351 WHITE SAND DRIVE
ROCKWALL, TX 75087

RESIDENT
1355 TANGLEVINE DR
ROCKWALL, TX 75087

SANDERS BRIAN PETER AND CASSANDRA ALICE
1355 CLEAR MEADOW CT
ROCKWALL, TX 75087

SWIERCINSKY JOSHUA L
1355 CLUBHILL DR
ROCKWALL, TX 75087

STURKIE DONNA AND DAVID
1355 COLONIAL CT
ROCKWALL, TX 75087

LYONS JONATHAN D AND HOLLY E
1355 SHORES BOULEVARD
ROCKWALL, TX 75087

NEWSOM RUSSELL AND OLIVIA
1355 SHORES CIRCLE
ROCKWALL, TX 75087

BROZE GREGORY J & KATHLEEN K
1360 CHAMPIONS DR
ROCKWALL, TX 75087

STERLING MICHAEL C & KENYATTA T
1360 CLUBHILL ROAD
ROCKWALL, TX 75087

COLE CHARLES C AND
LADONNA L IMMKEN
1360 COASTAL DR
ROCKWALL, TX 75087

BLACKWELL GILBERT & MICHELLE
1360 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

LEDE' HOWARD G AND ANNETTE M
1360 GOLD COAST DRIVE
ROCKWALL, TX 75087

VAN MAREL CARL J REV TR
CARL J & SARA S VAN MAREL CO TRUSTEES
1360 LEEWARD DR
ROCKWALL, TX 75087

LAZORKO JACK & BRENDA G
1360 MEANDERING WAY
ROCKWALL, TX 75087

MURREY JOHN & ROSA
1360 MISTY COVE
ROCKWALL, TX 75087

NEECE SCOTT AND CARA
1360 RIVERSIDE OAK DR
ROCKWALL, TX 75087

MAGILL MICHAEL
1360 SCARBORO HILLS LANE
ROCKWALL, TX 75087

BROSIG DANIEL & DANIELA
1360 SHORES BOULEVARD
ROCKWALL, TX 75087

JANENE MAXINE SHANKS REVOCABLE TRUST
JANENE MAXINE SHANKS- TRUSTEE
1360 SHORES CIRCLE
ROCKWALL, TX 75087

THOMPSON BENJAMIN R & COURTNEY B
1360 SOUTHERN PINES
ROCKWALL, TX 75087

CARBAUGH KEVAN J AND ALICIA REBECA
1360 TANGLEVINE LANE
ROCKWALL, TX 75087

RAY MICHAEL AND ASHLEY
1360 WHITE SAND DR
ROCKWALL, TX 75087

ENGLISH SCOTT T & GRETCHEN
1361 COASTAL DR
ROCKWALL, TX 75087

NUYTTEN CHRISTOPHER C AND
KATHLEEN T NUYTTEN
1361 LEEWARD DR
ROCKWALL, TX 75087

NEYLAND MATTHEW AARON AND TAMSYN
ALICIA
1361 MISTY COVE DR
ROCKWALL, TX 75087

POSEY STEPHEN
1361 RIVERSIDE OAKS DRIVE
ROCKWALL, TX 75087

SAMPLES KEVIN W & AMANDA J
1361 SCARBORO HILLS LN
ROCKWALL, TX 75087

MOSELEY JULIA BETH AND CODY ALLEN
1361 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1365 CLEARMEADOW CT
ROCKWALL, TX 75087

RESIDENT
1365 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1365 SOUTHERN PINES DR
ROCKWALL, TX 75087

GALLANDER TYSON & SUSAN
1365 CLUBHILL DRIVE
ROCKWALL, TX 75087

TRAIL MARK A & DIANE P
1365 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

UUSITALO JOUNI
1365 PEBBLE HILLS DR
ROCKWALL, TX 75087

HARTE REBECCA J & MICHAEL D
1365 SHORES CIR
ROCKWALL, TX 75087

RAYSHELL DRAKE M & SHELBY M
1365 TANGLEVINE LANE
ROCKWALL, TX 75087

RESIDENT
1370 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

RESIDENT
1370 TANGLEVINE DR
ROCKWALL, TX 75087

PLUMMER JAROD AND HOLLY
1370 CHAMPIONS DR
ROCKWALL, TX 75087

VANDERVER WES A & SARA A
1370 CLEAR MEADOW COURT
ROCKWALL, TX 75087

STARK KELLY
1370 COASTAL DR
ROCKWALL, TX 75087

HALLFORD BARON & STEPHANIE
1370 GOLD COAST DR
ROCKWALL, TX 75087

ROHRIG JAMES & LAURA
1370 LEEWARD DR
ROCKWALL, TX 75087

KARGAKIS GEORGIOS & LAURA COOKIE
SHAPIRO-KARGAKIS
1370 MEANDERING WAY
ROCKWALL, TX 75087

2022 S A SPROUL REVOCABLE TRUST
STACEY ANN SPROUL- TRUSTEE
1370 MISTY COVE
ROCKWALL, TX 75087

WELCH GERALD J AND ELIZABETH A
1370 PEBBLE HILLS DR
ROCKWALL, TX 75087

COOK DAVID L AND NANCY A
1370 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

WHATLEY KYLE THOMAS AND ERICA KRUEGER
1370 SCARBORO HILLS LN
ROCKWALL, TX 75087

GARRISON CHARLES AND SHASTA
1370 SHORES BLVD
ROCKWALL, TX 75087

THOMPSON MAURICE AND
PAT HARDEN
1370 SHORES CIRCLE
ROCKWALL, TX 75087

CUNDY ROBERT PETER & MILDRED ARLENE
1370 SOUTHERN PNES
ROCKWALL, TX 75087

PARKER PAUL G & ALEIDA G
1370 WHITE SAND DRIVE
ROCKWALL, TX 75087

RESIDENT
1371 COASTAL DR
ROCKWALL, TX 75087

ASBILL JOINT REVOCABLE LIVING TRUST
1371 LEEWARD DR
ROCKWALL, TX 75087

CURRY RUSSELL E & HYON C
1371 MISTY CV
ROCKWALL, TX 75087

TEDDER PAUL BURTON AND JANET
1371 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

COOK MICHAEL D & TERESA
1371 SCARBORO HILLS LN
ROCKWALL, TX 75087

NAUERT MELANIE BLISS
1371 WHITE SAND DRIVE
ROCKWALL, TX 75087

MELLODY-CAMACHO GERARD AND CASEY
13734 BRAMBOROUGH ROAD
HUNTERSVILLE, NC 28078

RESIDENT
1375 CLEARMEADOW CT
ROCKWALL, TX 75087

SANFORD JOSHUA K
1375 CLUBHILL DR
ROCKWALL, TX 75087

ZOUTMAN DEBRA LYNN
1375 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

HAYEK CAROLINE C
1375 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

DURAN EMILIO AND BARBARA
1375 SHORES BLVD
ROCKWALL, TX 75087

JOHNSEN AMANDA AND KENNETH
1375 SHORES CIR
ROCKWALL, TX 75087

RESIDENT
1380 MEANDERING WAY
ROCKWALL, TX 75087

RESIDENT
1380 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

MASELLA JOSHUA DANIEL
1380 CLUBHILL DR
ROCKWALL, TX 75087

NOWACZYK DARREN
1380 COASTAL DRIVE
ROCKWALL, TX 75087

MARTINSON ERIC AND CINDY
1380 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

JARMUSCH KIRSTEN PATRICE
1380 GOLD COAST DR
ROCKWALL, TX 75087

GOBER COURTNEY AND DEVYN
1380 LEEWARD DR
ROCKWALL, TX 75087

MCINTIRE ROBERT AND SUSAN
1380 MISTY COVE DR
ROCKWALL, TX 75087

PETERSON MATTHEW DAVID AND KEELY ANNE
1380 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

MORRIS TAYLOR AND AMBER
1380 SCARBORO HILLS LM
ROCKWALL, TX 75087

MISHOU STEPHANIE COLBERT
1380 SHORE BLVD
ROCKWALL, TX 75087

MCKEE MARCUS D & GENA
1380 SHORES CIR
ROCKWALL, TX 75087

LOCKWOOD RYAN
1380 SOUTHERN PINES
ROCKWALL, TX 75087

LANGFORD JAMES GORDON
1380 TANGLEVINE LANE
ROCKWALL, TX 75087

CONFIDENTIAL
1380 WHITE SAND DR
ROCKWALL, TX 75087

MIX B CLAIRE
1380 WHITNEY LAKES DR
ROCKWALL, TX 75087

YATES MICHAEL CHRISTOPHER AND
AMIE CHEATHAM
1381 COASTAL DRIVE
ROCKWALL, TX 75087

HARGROVE TODD & TONDA
1381 LEEWARD DR
ROCKWALL, TX 75087

EVANS KRIS AND AMANDA
1381 MISTY COVE DR
ROCKWALL, TX 75087

JONES IAN D AND CASSANDRA R
1381 RIVERSIDE OAKS DRIVE
ROCKWALL, TX 75087

DICKERSON JODY AND
ASHWORTH JEFFREY D
1381 SCARBORO HILLS LANE
ROCKWALL, TX 75087

KEARNS WILLIAM JOSEPH JR
1381 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1385 TANGLEVINE DR
ROCKWALL, TX 75087

RESIDENT
1385 WHITNEY LAKES DR
ROCKWALL, TX 75087

GAGE DONALD R & GAIL M
1385 CLUBHILL DR
ROCKWALL, TX 75087

MORROW SHANNON AND CHRISTOPHER
1385 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

BROWN HUBERT E & NORMA J
1385 PEBBLE HILLS DR
ROCKWALL, TX 75087

SMITH MICHAEL D & KELLYE M
1385 SHORES BLVD
ROCKWALL, TX 75087

WEBB KAMI W & JASON M
1385 SHORES CIRCLE
ROCKWALL, TX 75087

ANDERSON VERNON & HARRIET
1385 SOUTHERN PNES
ROCKWALL, TX 75087

DUNCAN JEFFREY A & NANCY S
139 HUNTER LN
SAVANNAH, GA 31405

CAMPOS BENJAMIN & TRACY
139 WAGON TRAIL
ROCKWALL, TX 75032

DUNIGAN FRANK C
1390 COASTAL DR
ROCKWALL, TX 75087

JOHNSON GREGORY DON
1390 GOLD COAST DR
ROCKWALL, TX 75087

SMITH FRANKLIN & ARMENIA
1390 LEEWARD DR
ROCKWALL, TX 75087

FLETCHER PATRICK D & LINDA D
1390 MEANDERING WAY
ROCKWALL, TX 75087

TARANGO HERCULES & MARIA
1390 MISTY CV
ROCKWALL, TX 75087

GIARDINO ANDREW AND ANNE
1390 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

DIVITA PAUL S & D LYNNE
1390 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

ALBRECHT ERIC W & STEPHANIE L
1390 SCARBORO HILLS LN
ROCKWALL, TX 75087

VALENTINE H WAYNE
1390 SHORES BLVD
ROCKWALL, TX 75087

JONES SUNNY & MICHAEL BRENT
1390 SOUTHERN PINES
ROCKWALL, TX 75087

NEECE DAVID W SR & LYNNE MARIE
1390 TANGLEVINE LN
ROCKWALL, TX 75087

LLAVONA RAMON J AND LAURA M
1390 WHITE SAND DR
ROCKWALL, TX 75087

ADAMS INNA AND DAVID M
1390 WHITNEY LAKES DRIVE
ROCKWALL, TX 75087

ALPERT SHIRLEY
1391 COASTAL DR
ROCKWALL, TX 75087

ROTH DOUGLAS R & HEATHER Z
1391 LEEWARD DR
ROCKWALL, TX 75087

BURNS EDWARD E III AND JULI
1391 MISTY COVE
ROCKWALL, TX 75087

CHIDESTER RONALD C JR & MONIDA LA TERISA
1391 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

BROOKS CECIL S III & KARLY E
1391 SCARBORO HILLS LN
ROCKWALL, TX 75087

STONE STEVEN T
1391 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1395 CLEARMEADOW CT
ROCKWALL, TX 75087

JIMMIE MCKENNEY LIFE ESTATE AND
MARIA VICTORIA BARTSCH
1395 CLUBHILL DRIVE
ROCKWALL, TX 75087

CROCKER MICHAELA C AND
LEE A BAESLER
1395 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

RATTLER NEKITHA TOSHEA
1395 SHORES BLVD
ROCKWALL, TX 75087

STUART MICHAEL D AND REBECCA
1395 SOUTHERN PINES
ROCKWALL, TX 75087

SOUTH STACY M AND STACEY M
1395 WHITNEY LAKES DR
ROCKWALL, TX 75087

KURUVILA JACOB KUNNIRICKAL AND SUJAMMA
14 NUGENT STREET
NEW HYDE PARK, NY 11040

RESIDENT
1400 CHAMPIONS DR
ROCKWALL, TX 75087

QUILL DAVID
1400 CLUBHILL DR
ROCKWALL, TX 75087

TRAXLER DEBRA
1400 COASTAL DR
ROCKWALL, TX 75087

ESTRIDGE RONALD D & KAREN D
1400 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

LOWRANCE ROBERT L & CHRISTINE J
1400 GOLD COAST DR
ROCKWALL, TX 75087

MUMFORD BLAKE
1400 LEEWARD DRIVE
ROCKWALL, TX 75087

MERRITT CHRISTOPHER S
1400 MEANDERING WAY
ROCKWALL, TX 75087

JOHNSON RUTH A
1400 MISTY CV
ROCKWALL, TX 75087

BOEHM JEFFREY S & LISA
1400 PLUMMER DR
ROCKWALL, TX 75087

MILLS SEAN & CATHERINE
1400 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

WILEY JEFFREY J & MARCELLA I
1400 SCARBORO HILLS LN
ROCKWALL, TX 75087

ALEXANDER WILLIAM JACKSON
1400 SOUTHERN PINES DR
ROCKWALL, TX 75087

WILSON ANDREW AND CARRI
1400 TANGLEVINE LANE
ROCKWALL, TX 75087

PUGSLEY RICHARD D & KIM M
1400 WHITE SAND DR
ROCKWALL, TX 75087

TROWBRIDGE LEROY
1400 WHITNEY LAKES DR
ROCKWALL, TX 75087

BROUILLETTE DON PAUL & NICOLE K
1401 COASTAL DR
ROCKWALL, TX 75087

CUELLAR CRISTINA & SALOMON
1401 LEEWARD DR
ROCKWALL, TX 75087

SLINKARD TREY AND JACKIE
1401 MISTY COVE
ROCKWALL, TX 75087

BOWLES ANTHONY W AND KELSEY M
1401 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

YOUNG HENRY & KATHLEEN
1401 SCARBORO HILLS LN
ROCKWALL, TX 75087

WILHELM DEBRA LYN & STEVEN D
1401 WHITE SAND DR
ROCKWALL, TX 75087

KABOBEL GRANT PETER AND
NICOLE RAMONITA MORENO
1403 SAN BRUNO COURT
ROCKWALL, TX 75087

RESIDENT
1405 PEBBLE HILLS DR
ROCKWALL, TX 75087

RESIDENT
1405 SHORES BLVD
ROCKWALL, TX 75087

BACH GEORGE L & JANE K
1405 CLUBHILL DRIVE
ROCKWALL, TX 75087

SHEFFIELD CLAYTON AND ANGELA SLAWINSKI
1405 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

DAY LISA R
1405 MEADOWS DR
ROCKWALL, TX 75087

DINNELL AMANDA AND ROBERT JOHN
1405 MEANDERING WAY
ROCKWALL, TX 75087

WALES JUSTIN TYLER
1405 PLUMMER DRIVE
ROCKWALL, TX 75087

KHIEN TY & SEYLA EANG
1405 SOUTHERN PINE DRIVE
ROCKWALL, TX 75087

MCGUIRE JAMES CASE AND PAULA
1405 WHITNEY LAKES DR
ROCKWALL, TX 75087

JONES LAURENT & ROBIN
14069 DOVE CANYON DR
RIVERSIDE, CA 92503

VOGT NATHANIEL HENRY AND JENNIFER R
1407 SAN BRUNO COURT
ROCKWALL, TX 75087

FIRST UNITED METHODIST CHURCH
1408 S GOLIAD ST
ROCKWALL, TX 75087

SUDBOROUGH IVAN HAL &
LINDA MORALES
1410 COASTAL DR
ROCKWALL, TX 75087

DUE KEITH & SHERRI
1410 GOLD COAST DR
ROCKWALL, TX 75087

TRIGO KIMBERLY E AND RONALD D
1410 LEEWARD DR
ROCKWALL, TX 75087

CONFIDENTIAL
1410 MEANDERING WAY
ROCKWALL, TX 75087

SHEPARD DARLA J
1410 MERION DR
ROCKWALL, TX 75087

MORGAN CHAD D AND MAEGAN S
1410 MISTY COVE
ROCKWALL, TX 75087

MATTSON MARK W & DOMONIE
1410 PEBBLE HILLS DR
ROCKWALL, TX 75087

PARKER H WAYNE JR & PATRICIA
1410 PLUMMER DR
ROCKWALL, TX 75087

CEDAR ROBERT K & PAULA S
1410 RIVERSIDE OAKS DRIVE
ROCKWALL, TX 75087

NELSON ALAN G & LINDA J
1410 SCARBORO HILLS LN
ROCKWALL, TX 75087

BRINKLEY JESSE K
1410 TANGLEVINE DR
ROCKWALL, TX 75087

LEFF RYAN R AND SUSAN K
1410 WHITE SAND DR
ROCKWALL, TX 75087

KOKARAM VICTORIUS AND
MARGARET A MCBRIDE
1410 WHITNEY LAKES DRIVE
ROCKWALL, TX 75087

NOFZIGER SCOTT
1411 COASTAL DR
ROCKWALL, TX 75087

AKRIDGE SHERRIE ANN
1411 LEEWARD DR
ROCKWALL, TX 75087

MORRIS BRANDON K & JAN P
1411 MISTY CV
ROCKWALL, TX 75087

TAWADROUS ZAKARIA AND MARIANA
1411 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

SANCHEZ LUIS
1411 WHITE SAND
ROCKWALL, TX 75087

BINGHAM KURT D AND BRENDA R
1415 CLUBHILL DR
ROCKWALL, TX 75087

ROLLINS DEBORAH & BILLY
1415 MEADOWS DR
ROCKWALL, TX 75087

KING SHAUN BUCKLEY AND MARY CLAIRE
1415 MEANDERING WAY
ROCKWALL, TX 75087

SULLIVAN TIMOTHY E & JOYCE
1415 PLUMMER DR
ROCKWALL, TX 75087

ARCENEAUX WAYNE T
1415 SHORES BOULEVARD
ROCKWALL, TX 75087

FATHKE AMANDA AND ROBERT DWAYNE
1415 SOUTHERN PNES
ROCKWALL, TX 75087

BROWN ANGELA
1415 WHITNEY LAKES DR
ROCKWALL, TX 75087

SMITH ELIZABETH & IAN J
1420 CLUBHILL DRIVE
ROCKWALL, TX 75087

CONIGLIO CHRISTOPHER & BRANDIE
1420 COASTAL DRIVE
ROCKWALL, TX 75087

SULLIVAN BRIAN AND GABRIELLA
1420 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

GARRETT GARY R AND HOLLY L
1420 GOLD COAST DR
ROCKWALL, TX 75087

BURNETT SARAHA E & GARY W
1420 LEEWARD DRIVE
ROCKWALL, TX 75087

HOLLOWAY TY W
1420 MEANDERING WAY
ROCKWALL, TX 75087

RIMMER J DUANE & ALEXIA W
1420 MERION DR
ROCKWALL, TX 75087

TAYLOR MELISSA S
1420 MISTY COVE DRIVE
ROCKWALL, TX 75087

MITCHELL LETHA DANIELLE
1420 PLUMMER DR
ROCKWALL, TX 75087

PARKER BRYAN L & DENISE R
1420 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

FISCHER JASON AND STEPHANIE M
1420 SCARBORO HILLS LN
ROCKWALL, TX 75087

SHOLTIS EUGENE J JR AND SHANNON L
1420 TANGLEVINE LN
ROCKWALL, TX 75087

PITCHLYN DEANO M & LYNETTE A
1420 WHITE SAND DR
ROCKWALL, TX 75087

ATTEBERRY KELLE
1421 COASTAL DRIVE
ROCKWALL, TX 75087

MCLEOD KIMBERLY
1421 MISTY COVE DRIVE
ROCKWALL, TX 75087

CRAIN RONNIE R AND LAURA K
1421 RIVERSIDE OAK DR
ROCKWALL, TX 75087

STARR NATHAN
1421 SCARBORO HILLS LANE
ROCKWALL, TX 75087

YANG SIMON AND
FANG JUNG YEH
1421 WHITE SAND DRIVE
ROCKWALL, TX 75087

ALAN J WONSOWSKI REVOCABLE TRUST &
FRANCES H WONSOWSKI REVOCABLE TRUST
ALAN J WONSOWSKI AND FRANCES H
WONSOWSKI- TRUSTEES
1425 CARMEL DRIVE
ROCKWALL, TX 75087

LUTZEL TED W & GENNY
1425 CLUBHILL DR
ROCKWALL, TX 75087

CARRASCO CHRIS AND KIMBERLY
1425 FAIRLAKES POINTE
ROCKWALL, TX 75087

CARTER ELIAS J
1425 MEADOWS DRIVE
ROCKWALL, TX 75087

HENSLEY ALBERT R
1425 MEANDERING WAY
ROCKWALL, TX 75087

LINDSAY RICHARD H AND DEBRA K LIVING
TRUST
1425 PEBBLE HILLS DR
ROCKWALL, TX 75087

CARMICHAEL GLENN JAMES JR
1425 PLUMMER DR
ROCKWALL, TX 75087

PARKS AMY E
1425 WHITNEY LAKES DRIVE
ROCKWALL, TX 75087

MICHAELS DONNA LORETTA GAIL
1430 CLUB HILL DRIVE
ROCKWALL, TX 75087

SPERLICH ROLAND & JENNIFER
1430 COASTAL DRIVE
ROCKWALL, TX 75087

SUMMERS JILL ANN
1430 GOLD COAST DR
ROCKWALL, TX 75087

BARNETT JOHN ROBERT ETUX
1430 MEANDERING WAY
ROCKWALL, TX 75087

REEDER JOHN KARL
1430 MERION DR
ROCKWALL, TX 75087

ELSIK SCOT & KIMBERLY
1430 MISTY CV
ROCKWALL, TX 75087

MATTHYS CHARLES D & JANIS E
1430 PEBBLE HILLS DR
ROCKWALL, TX 75087

MINO MICHAEL P AND JACI S
1430 PLUMMER DR
ROCKWALL, TX 75087

COX SHULER P & KATHALYN
1430 RIVERSIDE OAKS DR
ROCKWALL, TX 75087

WOMACK TIMOTHY R & AMY E
1430 SCARBORO HILLS LN
ROCKWALL, TX 75087

LOVE PRESTON AND SHANNON
1430 WHITE SAND DR
ROCKWALL, TX 75087

TAN FELECIA
14300 CERVANTES AVE
GERMANTOWN, MD 20874

COFFMAN THOMAS E &
LINDA DARNELL
1431 COASTAL DR
ROCKWALL, TX 75087

COFFMAN THOMAS E & LINDA
1431 COASTAL DR
ROCKWALL, TX 75087

BADER THOMAS WILLIAM AND MARGARET
ABIGAIL URBAN-BADER
1431 MISTY COVE
ROCKWALL, TX 75087

WARREN LINCOLN E III & NANCY BRANDON
1431 RIVERSIDE OAKS
ROCKWALL, TX 75087

AMICK ROBERT L & SANDRA S
1431 SCARBORO HILLS LN
ROCKWALL, TX 75087

ABREGO DARRIN K & DARLA R
1431 WHITE SAND DRIVE
ROCKWALL, TX 75087

MARTINEZ JOSE GONZALEZ
1435 CARMEL DRIVE
ROCKWALL, TX 75087

QUARTRONE WILLIAM B JR AND JULIE A
1435 CLUBHILL DR
ROCKWALL, TX 75087

PORTER ELIZABETH B
1435 MEADOWS DR
ROCKWALL, TX 75087

WOODSON THOMAS D
1435 MEANDERING WAY
ROCKWALL, TX 75087

HAMILTON SHAWN & SANDRA
1435 PEBBLE HILLS DRIVE
ROCKWALL, TX 75087

WEATHERS THERESA
1435 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1440 MISTY COVE DR
ROCKWALL, TX 75087

RESIDENT
1440 TANGLEVINE DR
ROCKWALL, TX 75087

CONFIDENTIAL
1440 CLUBHILL DRIVE
ROCKWALL, TX 75087

CLEMENT CHRISTOPHER ROBERT
1440 COASTAL DR
ROCKWALL, TX 75087

CAREY KACIE L & MICHAEL D
1440 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

BARKER ROBERT BRUCE RICHARD AND DANICA BRYN
1440 GOLD COAST DRIVE
ROCKWALL, TX 75087

OLTMANNS RICHARD E & MARY
1440 MEANDERING WAY
ROCKWALL, TX 75087

ROBERT FITZGERALD REVOCABLE TRUST
ROBERT FITZGERALD-TRUSTEE
1440 MERION DRIVE
ROCKWALL, TX 75087

JACKSON ALAN P & CYNTHIA W
1440 PLUMMER DR
ROCKWALL, TX 75087

POWELL LINDSEY AND ROBERT RAINER
1440 SCARBORO HILLS LANE
ROCKWALL, TX 75087

WALKER JEFFREY LEE
1440 WHITE SAND DR
ROCKWALL, TX 75087

PACESETTER HOMES LLC
14400 THE LAKES BLVD BUILDING C, SUITE 200
AUSTIN, TX 78660

WANTTAJA KEITH F
1441 COASTAL DRIVE
ROCKWALL, TX 75087

MUNDEN MICHAEL D & LOUANNE B
1441 MISTY CV
ROCKWALL, TX 75087

HAINLINE WILLIAM AND LORI
1441 RIVERSIDE OAK DR
ROCKWALL, TX 75087

TORRE DANIEL ALEJANDRO DE LA AND NAOMI CAROL DE LA
1441 WHITE SASND DR
ROCKWALL, TX 75087

RESIDENT
1445 CLUBHILL DR
ROCKWALL, TX 75087

SINGLETON MICHAEL AND LYMEDA
1445 CARMEL DRIVE
ROCKWALL, TX 75087

ANDREWS DARRIN
1445 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

ILAOA BARBARA
1445 MEADOWS DR
ROCKWALL, TX 75087

COOK JONATHAN EMERY & REBECCA ANN
1445 MEANDERING WAY
ROCKWALL, TX 75087

COLLINS HARVEY
1445 PEBBLE HILLS DR
ROCKWALL, TX 75087

CUTLER VIVIAN M
1445 PLUMER DR
ROCKWALL, TX 75087

RESIDENT
1450 PLUMMER DR
ROCKWALL, TX 75087

WALSER JERRY B & DEBBIE K
1450 ASHBOURNE DR
ROCKWALL, TX 75087

BOYKIN MADELYN AND JACK
1450 CLUBHILL DR
ROCKWALL, TX 75087

2016 S H STEVENSON REVOCABLE TRUST
1450 COASTAL DRIVE
ROCKWALL, TX 75087

HURD DEBORAH
1450 MEANDERING WAY
ROCKWALL, TX 75087

JACKSON DAVID B & CONSTANCE
1450 MERION DR
ROCKWALL, TX 75087

HUBER LEE M
1450 MISTY CV
ROCKWALL, TX 75087

BROWN CHRISTOPHER W AND JAMIE L
1450 WHITE SAND DR
ROCKWALL, TX 75087

ZEARES MELINDA A
1451 COASTAL DR
ROCKWALL, TX 75087

DUTTA KANWAL N & MATTIE K
1451 WHITE SAND DR
ROCKWALL, TX 75087

ABDULLA OSAMA AND
SHAHAD MOHAMMED
1452 CARMEL DRIVE
ROCKWALL, TX 75087

DRISCOLL GREGORY D JR
1455 CARMEL DRIVE
ROCKWALL, TX 75087

HILGER CHARLES EDWARD AND DENISE MARIE
SAADI
1455 CLUBHILL DRIVE
ROCKWALL, TX 75087

KREYMER TIMMY RAY & ROBIN
1455 MEADOWS DR
ROCKWALL, TX 75087

BAKER MARK Q
1455 MEANDERING WAY
ROCKWALL, TX 75087

FLAIG ANNA-ROSE AND RICHARD GLEN
1455 PEBBLE HILLS DR
ROCKWALL, TX 75087

MURRAY ROBERT AND JENNIFER
1455 PLUMMER DR
ROCKWALL, TX 75087

BELL JOINT REVOCABLE LIVING TRUST
EARL WAYNE BELL AND AMINA JUMA BELL -
TRUSTEES
1456 CARMEL DRIVE
ROCKWALL, TX 75087

RESIDENT
1459 CARMEL DR
ROCKWALL, TX 75087

RESIDENT
1460 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
1460 PLUMMER DR
ROCKWALL, TX 75087

LINCECUM TIMOTHY B AND KIMBERLY M
EDWARDS
1460 CARMEL DR
ROCKWALL, TX 75087

WEATHERFORD JASON S & KATHRYN N
1460 COASTAL DR
ROCKWALL, TX 75087

GARRISON GARY & KARLA
1460 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

OLVERA JOSE &
LESLIE ZAVALA
1460 MEANDERING WAY
ROCKWALL, TX 75087

ZIMMERMAN KARL J AND KARLA J
1460 MERION DR
ROCKWALL, TX 75087

YARBROUGH BRUCE AND JOANNE
1460 MISTY COVE DR
ROCKWALL, TX 75087

HILES KIMBERLY S
1460 WHITE SAND DR
ROCKWALL, TX 75087

SALTER GREGORY SCOTT
1461 COASTAL DRIVE
ROCKWALL, TX 75087

FERNANDEZ JAMES P & AMY E
1461 WHITE SAND DR
ROCKWALL, TX 75087

CHU CHUNHSIN AND KOYI CHOU CHU
14610 14TH AVE SE
MILL CREEK, WA 98012

YOON SEUNG WON AND
JOHYUN KIM
14620 FALLING LEAF DRIVE
FRISCO, TX 75035

STALLINS HOLLY
1463 CARMEL DR
ROCKWALL, TX 75087

ROBINSON STACEY
1464 CARMEL DRIVE
ROCKWALL, TX 75087

DETHLOFF RAYMOND P JR
1465 AVONLEA DR
ROCKWALL, TX 75087

PARKS JAMES AND LAURIE
1465 CLUBHILL DRIVE
ROCKWALL, TX 75087

MARCHAND SAMUEL JOHN AND OLGA
1465 MEADOWS DRIVE
ROCKWALL, TX 75087

CANTRELL ROBERT D AND DEBORAH M
1465 MEANDERING WAY
ROCKWALL, TX 75087

DARKAZANLI AMMAR
1465 PLUMMER DRIVE
ROCKWALL, TX 75087

WILLIAMS LARRY J AND CLAUDIA H
1465 SHORES BLVD
ROCWALL, TX 75087

FLUITT MARCUS LEE AND
ANAIS CHAVEZ
1467 CARMEL DR
ROCKWALL, TX 75087

RAYAS SANDY MELENDEZ AND JUAN C
MELENDEZ-RAYAS
1468 CARMEL DR
ROCKWALL, TX 75087

RESIDENT
1470 PLUMMER DR
ROCKWALL, TX 75087

SMITH JEFFREY R
1470 ASHBOURNE DR
ROCKWALL, TX 75087

LEE JEONG HEE
1470 COASTAL DR
ROCKWALL, TX 75087

EAST LLOYD C & CAROLYN T
1470 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

KEPNER JOHN D AND ESTHER
1470 MEANDERING WAY
ROCKWALL, TX 75087

COOK MARY F & WALLACE C
1470 MERION DR
ROCKWALL, TX 75087

EASTERWOOD CHET & AMANDA
1470 MISTY CV
ROCKWALL, TX 75087

PETERSON JUSTIN H
1470 S JOHN KING BLVD #1207
ROCKWALL, TX 75032

KONGER CHAD AND CAITLIN REESE
1470 WHITE SAND DR
ROCKWALL, TX 75087

RESIDENT
1471 WHITE SAND DR
ROCKWALL, TX 75087

LYONS WILLIAM CHRISTOPHER & ANGELA
RENEE
1471 COASTAL DR
ROCKWALL, TX 75087

TOWNSEND SCOTT DAVID AND
NUBIA A CARVAJAL
1475 ASHBOURNE DRIVE
ROCKWALL, TX 75087

WAGGONER STEVEN AND PERRI
1475 AVONLEA DR
ROCKWALL, TX 75087

BRUCE JAY R AND TAYLOR L
1475 PLUMMER DRIVE
ROCKWALL, TX 75087

LUBURICH DENNIS JACK
1475 SHORES BLVD
ROCKWALL, TX 75087

SERNA ALBERT T
1480 ASHBOURNE DRIVE
ROCKWALL, TX 75087

ANSTEAD CHARLOTTE & CLIFF
1480 AVONLEA DR
ROCKWALL, TX 75087

THE CELLI FAMILY TRUST
SARA SUE CELLI AND ROBERT H JR CELLI
TRUSTEES
1480 COASTAL DR
ROCKWALL, TX 75087

SCOTT JASON AND CASEY
1480 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

BURROWS PATRICIA R AND CYNTHIA R RAMIREZ
1480 PLUMMER DR
ROCKWALL, TX 75087

CONFIDENTIAL
1480 SHORES BLVD
ROCKWALL, TX 75087

WILLIAMS MICHAEL P & PIPER A
1480 WHITE SAND DR
ROCKWALL, TX 75087

PWBG LIVING TRUST
TYLER D GROSS AND TABATHA O'HARE GROSS-TRUSTEES
1481 COASTAL DR
ROCKWALL, TX 75087

MOORE MARK T & JAN L
1481 WHITE SAND DR
ROCKWALL, TX 75087

COLE JANICE & CURT COLE
1485 ASHBOURNE DR
ROCKWALL, TX 75087

CHILDRESS FRANCES S
1485 AVONLEA DRIVE
ROCKWALL, TX 75087

TAVANAEI MARY E
1485 PLUMMER
ROCKWALL, TX 75087

MOON JASON
1485 SHORES BOULEVARD
ROCKWALL, TX 75087

RESIDENT
1490 ASHBOURNE DR
ROCKWALL, TX 75087

COLLINS PETER F AND CHRIS
1490 AVONLEA DR
ROCKWALL, TX 75087

AUGURSON CORNELIUS & VICTORIA
1490 COASTAL DRIVE
ROCKWALL, TX 75087

CORDRAY CHRIS AND ERIN
1490 WHITE SAND DR
ROCKWALL, TX 75087

MORREN JAMES DAVID & ELIZABETH ANN
1491 COASTAL DRIVE
ROCKWALL, TX 75087

CHEEK JAMES & HALEY
1491 WHITE SAND DR
ROCKWALL, TX 75087

EIDE ANDREW
1495 ASHBOURNE DR
ROCKWALL, TX 75087

WHATLEY LEAMON TODD AND KAREN K
1495 AVONLEA DR
ROCKWALL, TX 75087

CULLINS JO ANN
1495 PLUMMER DR
ROCKWALL, TX 75087

DAVIS SUSAN PATRICIA
1500 ASHBOURNE DRIVE
ROCKWALL, TX 75087

LUIZ ZACHARY AND COURTNEY SHLENSKY
1500 AVONLEA DR
ROCKWALL, TX 75087

SHARP J W
1500 CHAMPIONS DR
ROCKWALL, TX 75087

WIMS DANNY J & KRISTY E
1500 COASTAL DRIVE
ROCKWALL, TX 75087

ANDERSON REBECCA LYNNE & DAVID JAY
1500 MEADOWS CIR
ROCKWALL, TX 75087

SIMON KIMBERLY
1501 BURLINGAME DR
ROCKWALL, TX 75087

MILLER PAUL JOSEPH
1501 CARMEL DRIVE
ROCKWALL, TX 75087

GRUBBS GREGG & WENDEE
1501 COASTAL DRIVE
ROCKWALL, TX 75087

AYALA JOSE A II & KRYSTAL
1502 BURLINGAME DRIVE
ROCKWALL, TX 75087

ADAMS CANDACE
1503 BURLINGAME DR
ROCKWALL, TX 75087

RESIDENT
1505 AVONLEA DR
ROCKWALL, TX 75087

RESIDENT
1505 BURLINGAME DR
ROCKWALL, TX 75087

ARMSTRONG BRAD ROSS
1505 ASHBOURNE DRIVE
ROCKWALL, TX 75087

PARKS KALEB AND MACKENZIE
1505 CARMEL DRIVE
ROCKWALL, TX 75087

FITZGERALD JAMES V & SHIRLEY A
FITZGERALD LIVING TRUST
1505 PLUMMER DR
ROCKWALL, TX 75087

THOMAS ROBIN
1506 BURLINGAME DR
ROCKWALL, TX 75087

MCCORMICK GENEVIEVE M
1509 BURLINGAME DRIVE
ROCKWALL, TX 75087

RESIDENT
1510 AVONLEA DR
ROCKWALL, TX 75087

BUTLER CONSTANCE (CONNIE) L
1510 ASHBOURNE DR
ROCKWALL, TX 75087

MILSTEAD AMY O AND MATTHEW C
1510 BURLINGAME DRIVE
ROCKWALL, TX 75087

DILLARD ANDY C
1510 CHAMPIONS DR
ROCKWALL, TX 75087

CONGER DAVID & DEBRA
1510 COASTAL DR
ROCKWALL, TX 75087

WINKLER JIMMY B & MARY A
1510 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

TOWNES KEVIN AND JAN
1511 COASTAL DRIVE
ROCKWALL, TX 75087

RESIDENT
1515 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
1515 AVONLEA DR
ROCKWALL, TX 75087

FISHER STEVEN TROY & DONNA C
1515 PLUMMER DR
ROCKWALL, TX 75087

ANTON DAVID G AND BAMBI A
1517 BURLINGAME DRIVE
ROCKWALL, TX 75087

MARES RODOLFO AND
ALICIA CEDENO
1518 BURLINGAME DRIVE
ROCKWALL, TX 75087

RESIDENT
1520 MEADOWS CIR
ROCKWALL, TX 75087

BARNHILL ALEXANDER & SHAWN FAZEKAS
1520 ASHBOURNE DRIVE
ROCKWALL, TX 75087

COPENHAVER CRYSTALINE AMBER & GARY
RICHARD
1520 AVONLEA DR
ROCKWALL, TX 75087

RAY RHONDA G & TOMMY L
1520 CHAMPIONS DR
ROCKWALL, TX 75087

FISCHER PAUL A & JOY A TRUSTEES
FISCHER FAMILY TRUST
1520 COASTAL DR
ROCKWALL, TX 75087

PERKINS MAC H & SHIRLEY A
1520 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

MCGUIRE PATRICK A AND JOANN L
1521 BURLINGAME DR
ROCKWALL, TX 75087

OLGIN SHANNON D AND MARK
1522 BURLINGAME DRIVE
ROCKWALL, TX 75087

RESIDENT
1523 TELEGRAPH DR
ROCKWALL, TX 75087

JOHNSON TODD CHRISTIAN & NOEL DENISE
SAUL
1524 BAY VALLEY CIRCLE
HEATH, TX 75032

WILLS DALANA JEANE
1525 ASHBOURNE DR
ROCKWALL, TX 75087

WILLIAMS RICHARD D III AND CAITLYN M
1525 TELEGRAPH DRIVE
ROCKWALL, TX 75087

RAIBOURN JAMES C
1529 TELEGRAPH DRIVE
ROCKWALL, TX 75087

RESIDENT
1530 AVONLEA DR
ROCKWALL, TX 75087

PRIMROSE ANTHONY LEON & TAMMY ELAINE
1530 ASHBOURNE DR
ROCKWALL, TX 75087

HART CHARLETTE RENE AND
RONZE HART
1530 CHAMPIONS DR
ROCKWALL, TX 75087

BOUCHER RICHARD K & OLYMPIA T
1530 COASTAL DRIVE
ROCKWALL, TX 75087

CAVIN KYLE ANDREW & KELLEY LYNN
1530 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

TERRY MARGARET JOAN
1530 MEADOWS CIR
ROCKWALL, TX 75087

RIVERA ROGELIO JR
1531 COASTAL DR
ROCKWALL, TX 75087

CONFIDENTIAL
1533 TELEGRAPH DRIVE
ROCKWALL, TX 75087

NUNEZ MARIO
1535 ASHBOURNE DR
ROCKWALL, TX 75087

BOERNER DANIEL AND KELSEY
1537 TELEGRAPH DRIVE
ROCKWALL, TX 75087

SMITH MICHAEL L & AMY
BURNETT CAROL & JOHN
1540 ASHBOURNE DR
ROCKWALL, TX 75087

FERGUSON KENNETH R & CHEREE L
1540 AVONLEA DR
ROCKWALL, TX 75087

MINNISH JAMES E AND ROXANNE W
1540 CHAMPIONS DR
ROCKWALL, TX 75087

KARDA BRUCE AND DONNA
1540 COASTAL DR
ROCKWALL, TX 75087

TAYLOR COLEMAN DAVID & SARA DIANE
1540 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

WRIGHT ANTHONY AND CLAUDIA N
1541 COASTAL DR
ROCKWALL, TX 75087

WALLE VANESSA AND MERA
1541 TELEGRAPH DRIVE
ROCKWALL, TX 75087

HAMBLIN ADRIENNE AND KEVIN
1545 ASHBOURNE DR
ROCKWALL, TX 75087

GRAND HOMES 2014 LP
15455 DALLAS PARKWAY SUITE 1000

BARTON BRIAN
1550 ASHBOURNE DR
ROCKWALL, TX 75087

REYES JULIO C & CECILIA F
1550 AVONLEA DRIVE
ROCKWALL, TX 75087

ANGUISH ROBERT H ET UX
1550 CHAMPIONS DR
ROCKWALL, TX 75087

BURTON THOMAS G AND PEGGY W
1550 COASTAL DR
ROCKWALL, TX 75087

CANNAVO GENE GARY
1550 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

CHAFFIN DAVID AND JOANN
1550 MEADOWS CIR
ROCKWALL, TX 75087

ROLLINS ROBBY AND JAMI
1550 WATER WAY COURT
ROCKWALL, TX 75087

DARE BENJAMIN R & KATHERINE L
1551 COASTAL DRIVE
ROCKWALL, TX 75087

PULATIE EARL JAMES JR
1554 CHAMPIONS CT
ROCKWALL, TX 75087

DANAHY KATHLEEN & JOHN M
1555 CHAMPIONS CT
ROCKWALL, TX 75087

CLEM DONALD & MINDY
1555 FAIRLAKES CT
ROCKWALL, TX 75087

RESIDENT
1560 MEADOWS CIR
ROCKWALL, TX 75087

2018 R M LOVETT REVOCABLE TRUST
RANDALL JAY LOVETT AND MELANIE NICHOLE
LOVETT- TRUSTEES
1560 CHAMPIONS DRIVE
ROCKWALL, TX 75087

COLTON DUDLEY TEEPELL AND KAREN SUE
1560 COASTAL DR
ROCKWALL, TX 75087

ACHENBACH WILLIAM M & REBECCA A
1560 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

TACAZON MARK
1560 WATER WAY COURT
ROCKWALL, TX 75087

BARTHOLD FRED L
1561 COASTAL DRIVE
ROCKWALL, TX 75087

LINTER PAUL R &
LORETTA M LINTER
1561 WATER WAY CT
ROCKWALL, TX 75087

TORRES RICHARD R
1564 CHAMPIONS CT
ROCKWALL, TX 75087

CANTRELL RICHARD D & CYNTHIA P
1565 CHAMPIONS COURT
ROCKWALL, TX 75087

VANARSDALL EDNA MAE
1565 CHAMPIONS CT
ROCKWALL, TX 75087

LANG WILLIAM J & JILL A
1565 FAIRVIEW DR
ROCKWALL, TX 75087

GONZALEZ EDUARDO H
1570 CHAMPIONS DRIVE
ROCKWALL, TX 75087

CADDELL LYLE AND CATHERINE
1570 COASTAL DRIVE
ROCKWALL, TX 75087

LEEK PATRICIA A & LEONARD
1570 FAIRLAKES CT
ROCKWALL, TX 75087

LEEK LEONARD R
1570 FAIRLAKES CT
ROCKWALL, TX 75087

GRUBBS DAVID F JR & SHANNON
1570 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

WEIR ROBERT & MELANIE
1570 FAIRVIEW DR
ROCKWALL, TX 75087

WESTMORELAND SHELLEY
1570 WATER WAY CT
ROCKWALL, TX 75087

ALHUSSEINI MAZEN
1571 COASTAL DRIVE
ROCKWALL, TX 75087

GLUCK STEFAN & ELIZABETH ASHLEY
1571 WATER WAY CT
ROCKWALL, TX 75087

SMITH AMY DIANE & ANTHONY DAVID
1574 CHAMPIONS CT
ROCKWALL, TX 75087

CARROLL JUDY AND RICHARD
1575 CHAMPIONS COURT
ROCKWALL, TX 75087

COGGINS MICHAEL AND BRITTAIN
1575 FAIRLAKES COURT
ROCKWALL, TX 75087

LAMBRETH CHARLES & SUSAN
1575 FAIRVIEW DR
ROCKWALL, TX 75087

RESIDENT
1580 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

CLAGGETT STEVEN B
1580 CHAMPIONS DRIVE
ROCKWALL, TX 75087

BASSILI ANTHONY AND MELANIE
1580 COASTAL DRIVE
ROCKWALL, TX 75087

JONES KEVIN AND JILL
1580 FAIRVIEW DR
ROCKWALL, TX 75087

REID MICHAEL E & SUZANNE
1580 WATER WAY CT
ROCKWALL, TX 75087

RAPP ANDREW AND WHITNEY
1581 COASTAL DRIVE
ROCKWALL, TX 75087

GROOP GARY A & CINDY
1581 WATER WAY CT
ROCKWALL, TX 75087

VICTOR B MILLER AND SUSAN D MILLER 2017
REVOCABLE TRUST
15815 INDIAN VALLEY RD
JAMAL, CA 91935

KENNETH J FOLEY AND MARGARET S FOLEY
FAMILY TRUST
KENNETH J AND MARGARET S FOLEY- TRUSTEES
1584 CHAMPIONS COURT
ROCKWALL, TX 75087

BAUER DONALD G AND DEE ANN
1585 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

FISHER CHARLES H & DONNA M
1585 FAIRVIEW DR
ROCKWALL, TX 75087

SWITZER KEVIN & NICOLE
1590 CHAMPIONS DR
ROCKWALL, TX 75087

BURKE MARK P
1590 COASTAL DR
ROCKWALL, TX 75087

BARFIELD JOHN E & RACHEL M
1590 WATER WAY CT
ROCKWALL, TX 75087

VONDERHOYA SALLY
1600 CHAMPIONS DR
ROCKWALL, TX 75087

DUREN MATTHEW L AND JENNIFER RENEE
1600 COASTAL DR
ROCKWALL, TX 75087

NELSON MICHAEL S AND SUSAN B
1600 FAIRLAKES CT
ROCKWALL, TX 75087

KALASH JAMES AND SUSAN
1600 FAIRVIEW DR
ROCKWALL, TX 75087

GLOSSUP VERNON R AND MARY ANNE
1600 PLUMMER DR
ROCKWALL, TX 75087

ALLEN CLAUDIS
1600 WATER WAY CT
ROCKWALL, TX 75087

PATTERSON BRANDON E AND JASMINE
1601 COASTAL DRIVE
ROCKWALL, TX 75087

BOMKAMP TONYA ANN
1605 ASHBOURNE DR
ROCKWALL, TX 75087

EVAN E COCHRANE IRREVOCABLE TRUST
PATRICIA L COCHRANE TRUSTEE
1605 FAIRLAKES COURT
ROCKWALL, TX 75087

ELAM BRAD S & KATHLEEN A
1605 FAIRVIEW DRIVE
ROCKWALL, TX 75087

PUCKETT MARY
1605 PLUMMER DR
ROCKWALL, TX 75087

STANLEY SHIRLEY AND KEVIN
1605 SHORES BLVD
ROCKWALL, TX 75087

NORMAN GREGORY
1610 ASHBOURNE DRIVE
ROCKWALL, TX 75087

MARTINEZ JOHN C & TONNIE
1610 CHAMPIONS DR
ROCKWALL, TX 75087

MORELAN RICHARD P & SANDRA L
1610 COASTAL DRIVE
ROCKWALL, TX 75087

THURLKILL BILLY RAY II AND MARIE KAY
1610 FAIRLAKES POINT DR
ROCKWALL, TX 75087

BOGGS JOHN S
1610 PLUMMER DR
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS
1610 SHORES BLVD
ROCKWALL, TX 75087

LUKOWSKY DENISE DANIELLE
1610 WATER WAY CT
ROCKWALL, TX 75087

SIVATHARMAN NATHAN & GOWRY
1611 COASTAL DR
ROCKWALL, TX 75087

RESIDENT
1615 SHORES BLVD
ROCKWALL, TX 75087

ROBERTS KYLE L & SUNDEE L
1615 CRESTHILL DR
ROCKWALL, TX 75087

SCOTT JAMES DAVID & JOLAINE MARIE
1615 FAIRLAKES POINT DR
ROCKWALL, TX 75087

WATKINS JAMES C JR & LYDIA
1615 PLUMMER DR
ROCKWALL, TX 75087

ELKINS MATTHEW AND KATHARINE
1620 ASHBOURNE DRIVE
ROCKWALL, TX 75087

SARPONG JOSEPH F
1620 AVONLEA DRIVE
ROCKWALL, TX 75087

HESLER ROBERT L & LYNN B
1620 CHAMPIONS DR
ROCKWALL, TX 75087

STANESIC FRANK L AND CHRISTINE Z
1620 COASTAL DR
ROCKWALL, TX 75087

STROHMEYER NANCY & JAMES
1620 FAIRLAKES POINTE DR
ROCKWALL, TX 75087

FULMER BETTY L
1620 PLUMMER DR
ROCKWALL, TX 75087

LAWS DON MICHAEL
1620 SHORES BLVD
ROCKWALL, TX 75087

RHODES TERRY E
1620 WATER WAY CT
ROCKWALL, TX 75087

MCGARY DONALD
1621 COASTAL DRIVE
ROCKWALL, TX 75032

SPARKS M JANE
1625 ASHBOURNE DR
ROCKWALL, TX 75087

HONEYCUTT CLINTON R & DAWN C
1625 CRESTHILL DR
ROCKWALL, TX 75087

CROOM FORREST D & KAREN M
1625 FAIRLAKES POINTE DRIVE
ROCKWALL, TX 75087

GROARK MICHAEL H & CONSTANCE M
1625 PLUMMER DR
ROCKWALL, TX 75087

MILLER RYAN ROGER WILLIAM
1625 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1630 ASHBOURNE DR
ROCKWALL, TX 75087

MELINDA STARKEY ODOM REVOCABLE TRUST
MELINDA STARKEY ODOM- TRUSTEE
1630 AVONLEA DRIVE
ROCKWALL, TX 75087

IRIS BELK SMITH REVOCABLE TRUST
IRIS BELK SMITH- TRUSTEE
1630 COASTAL DRIVE
ROCKWALL, TX 75087

MORGAN CHAD AND NICOLE
1630 PLUMMER DRIVE
ROCKWALL, TX 75087

SHULMAN STEVEN MARC AND
VICTORIA OLIVE DREW
1630 SHORES BLVD
ROCKWALL, TX 75087

BARBAY TERRY & ZELENA
1635 CRESTHILL DR
ROCKWALL, TX 75087

WOFFORD REVOCABLE LIVING TRUST
JOHN WILLIAM WOFFORD AND LINDA SUE
WOFFORD TRUSTEES
1635 PLUMMER DRIVE
ROCKWALL, TX 75087

SOLOMON HAROLD E & SANDRA S
1635 SHORES BLVD
ROCKWALL, TX 75087

KENNEDY JUAN AND ANDREA
1640 ASHBOURNE DRIVE
ROCKWALL, TX 75087

MIAN JASMINE AND SAMI
1640 COASTAL DRIVE
ROCKWALL, TX 75087

BARNETT AARON AND KATESSA
1640 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1645 CRESTHILL DR
ROCKWALL, TX 75087

JAHNER ERIC
1645 ASHBOURNE
ROCKWALL, TX 75087

BIRKHOLZ LYNELLE KAYE HILL-
1645 PLUMMER DRIVE
ROCKWALL, TX 75087

BAUGHIER BARRY G & STEPHANIE L
1645 SHORES BLVD
ROCKWALL, TX 75087

HERB LOUIS L & MICHELE R
THE LOUIS L HERB & MICHELE R HERB
REVOCABLE LIVING TRUST
1650 ASHBOURNE DRIVE
ROCKWALL, TX 75087

HAGENY MARY & MATTHEW
1650 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1655 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
1655 ASHBOURNE DR
ROCKWALL, TX 75087

FOSTER DAVID L AND VICKI H
1655 CRESTHILL DRIVE
ROCKWALL, TX 75087

HUGHES DAVID H AND
BRENDA SUE FIELD
1655 PLUMMER DRIVE
ROCKWALL, TX 75087

COOK RUSSELL E & AMANDA L
1660 ASHBOURNE DR
ROCKWALL, TX 75087

ANDERSON DONALD S & LINDA T
1660 PLUMMER DR
ROCKWALL, TX 75087

GRESHAM BRENT & MELINDA
1665 ASHBOURNE DR
ROCKWALL, TX 75087

VRANA CAITLIN & ALEXANDER
1665 CRESTHILL DRIVE
ROCKWALL, TX 75087

MIXON JAMES
1665 PLUMMER DR
ROCKWALL, TX 75087

WALL DOUGLAS G AND
DEANA C WALL
1665 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1670 ASHBOURNE DR
ROCKWALL, TX 75087

KOLLEHNER STEVEN AND AMY
1670 LAKE BROOK CIR
ROCKWALL, TX 75087

ELY JAMES
1670 PARK VIEW DR
ROCKWALL, TX 75087

SEED DANIEL BRUCE & BARBARA A
1670 PLUMMER
ROCKWALL, TX 75087

SEED DANIEL B & BARBARA A
1670 PLUMMER DR
ROCKWALL, TX 75087

WEST JIMMIE C AND CAROLYN O
16710 TELGE ROAD
CYPRESS, TX 77429

KING JENNIFER
1675 ASHBOURNE DR.
ROCKWALL, TX 75087

HUDGENS GERALD FRANK & ROCHELLE
EAVONNE
1675 AVONLEA DRIVE
ROCKWALL, TX 75087

PYLE JERRY W & JUDY K
1675 CRESTHILL DR
ROCKWALL, TX 75087

RIGGINS JOSH DAVID AND
MEGHAN HARRIS
1675 LAKE BROOK CIRCLE
ROCKWALL, TX 75087

COLWELL DAVID
1675 PLUMMER DRIVE
ROCKWALL, TX 75087

CECIL WILLIAM R ETUX
1675 SHORES BLVD
ROCKWALL, TX 75087

BURNS JOE W & DEBORAH
1680 ASHBOURNE DR
ROCKWALL, TX 75087

GARRETT DAVID W & JULIE L
1680 LAKE BROOK CIR
ROCKWALL, TX 75087

CATLETT JAMES W & PATRICIA A TRUSTEES
JAMES W & PATRICIA A CATLETT REV LIVING
TRUST
1680 PARK VIEW DR
ROCKWALL, TX 75087

HUYNH SANG T
1680 PLUMMER DRIVE
ROCKWALL, TX 75087

RESIDENT
1685 CRESTHILL DR
ROCKWALL, TX 75087

EFENEY W MICHAEL JR & AMY LYNN
1685 LAKE BROOK CIR
ROCKWALL, TX 75087

PRODAHL DALE AND KAREN
1685 PLUMMER DR
ROCKWALL, TX 75087

PRODAHL DALE A & KAREN S
1685 PLUMMER DR
ROCKWALL, TX 75087

KING CLYDE A & VICKIE
1685 SHORES BLVD
ROCKWALL, TX 75087

CHEEK CHARLES M & JUNE M
1690 ASHBOURNE DRIVE
ROCKWALL, TX 75087

FORINASH JONATHAN
1690 LAKE BROOK CR
ROCKWALL, TX 75087

EDWARDS DENISE
1690 LAKE FOREST DR
ROCKWALL, TX 75087

BARTON ALLEN J SR &
STANA WHITE BARTON
1690 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1695 LAKE BROOK CIR
ROCKWALL, TX 75087

SHARTZER LEVI GENE & LAUREN NICHOLE
1695 LAKE FOREST DR
ROCKWALL, TX 75087

PARR JACOB AND ANGELA
1695 PLUMMER DRIVE
ROCKWALL, TX 75087

RESIDENT
1700 CRESTHILL DR
ROCKWALL, TX 75087

RESIDENT
1700 PLUMMER DR
ROCKWALL, TX 75087

SOWARDS DAVID E & EDNA M
1700 ASHBOURNE DRIVE
ROCKWALL, TX 75087

BOYNE DAVID ROBERT & DEBORAH K
1700 LAKE BROOK CIR
ROCKWALL, TX 75087

DEMOVILLE TREY & SARAH
1700 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
1705 CRESTHILL DR
ROCKWALL, TX 75087

MANCUSO TYLER J & TAMMY B
1705 LAKE FOREST DR
ROCKWALL, TX 75087

LEE KENNETH M AND TERRI LEE
1705 PLUMMER DR
ROCKWALL, TX 75087

ZHU JIA & JIANXIONG DONG
1706 MAGNOLIA CIRCLE
PLEASANTON, CA 94566

RESIDENT
1709 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1710 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
1710 PLUMMER DR
ROCKWALL, TX 75087

HEATHINGTON ERNESTINE
1710 CRESTHILL DR
ROCKWALL, TX 75087

DEARING JAMES AND KANESHA
1710 LAKE FOREST DR
ROCKWALL, TX 75087

LAWSHE G MICHAEL & SARAH E
1713 PLUMMER DR
ROCKWALL, TX 75087

PIPES CAMERON S AND
STEPHANIE P DUTY
1715 CRESTHILL DRIVE
ROCKWALL, TX 75087

2019-1 IH BORROWER LP
1717 MAIN SST SUITE 2000
DALLAS, TX 75201

CSH PROPERTY ONE LLC
1717 MAIN STREET SUITE 2000
DALLAS, TX 75201

JONES GARY
1717 PLUMMER DR
ROCKWALL, TX 75087

WHIPPLE JOHN & COLLEEN
1720 CRESTHILL DR
ROCKWALL, TX 75087

PRISOCK ANGELA RENEE
1720 LAKE FOREST DRIVE
ROCKWALL, TX 75087

MCCUTCHEON JOHN C AND
MYCHEL L MACINNIS
1720 PLUMMER DR
ROCKWALL, TX 75087

HOLDMAN KRISTOPHER D AND SARAH A
1721 PLUMMER DRIVE
ROCKWALL, TX 75087

HERNANDEZ IGNACIO AND ELVIA
1725 CRESTHILL DR
ROCKWALL, TX 75087

JARCY EVAN
1725 LAKE FOREST DRIVE
ROCKWALL, TX 75087

BAUCHMAN MICHAEL & JEANETTE
1725 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1729 PLUMMER DR
ROCKWALL, TX 75087

LOE REVOCABLE TRUST
STEVEN LOE AND KIMBERLEY LOE- TRUSTEES
173 BLACK POWDER CIRCLE
FOLSOM, CA 95630

RESIDENT
1730 CRESTHILL DR
ROCKWALL, TX 75087

KIM SEONG CHEOL & HEE SOOK
1730 LAKE FOREST DR
ROCKWALL, TX 75087

JEFFRESS TIMOTHY W & MICHELLE L
1730 PLUMMER DR
ROCKWALL, TX 75087

STARK ROBERT JR & KIMBERLY A
1730 WIND HILL RD
ROCKWALL, TX 75087

HILL MICHAEL G ETUX
1733 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1735 PLUMMER DR
ROCKWALL, TX 75087

TETLEY GEOFFREY & PAULA SCRUBBS TETLEY
1735 CRESTHILL DR
ROCKWALL, TX 75087

MARSHALL JOHN & HEATHER
1735 LAKE FOREST DR
ROCKWALL, TX 75087

CLARK CHARLES L & SANDRA J TRUSTEES
CHARLES L & SANDRA J CLARK FAMILY TRUST
1739 MORLEY STREET
SIMI VALLEY, CA 93065

RESIDENT
1740 CRESTHILL DR
ROCKWALL, TX 75087

ULAND HARRY E & JERI M
1740 LAKE FOREST DR
ROCKWALL, TX 75087

ODOM STEVEN WILLIAM AND AMPARO
1740 PLUMMER DR
ROCKWALL, TX 75087

FONTENOT JORDAN L AND ALISON R
1740 WIND HILL ROAD
ROCKWALL, TX 75087

RESIDENT
1745 CRESTHILL DR
ROCKWALL, TX 75087

MARTIN DONALD
1745 LAKE FOREST DRIVE
ROCKWALL, TX 75087

WEGHORST ALLAN & NANETTE
1745 PLUMMER DR
ROCKWALL, TX 75087

CONFIDENTIAL
1750 CRESTHILL DR
ROCKWALL, TX 75087

WILLIAMSON MICHAEL R & NANCY S
1750 LAKE FOREST DR
ROCKWALL, TX 75087

CRAFT REID L AND ELIZABETH A WADE
1750 PLUMMER DR
ROCKWALL, TX 75087

RESIDENT
1755 CRESTHILL DR
ROCKWALL, TX 75087

FAWCETT BRIAN P & THERESA E
1755 PLUMMER DRIVE
ROCKWALL, TX 75087

SOUTH KIMBERLY GAIL
1760 CRESTHILL DRIVE
ROCKWALL, TX 75087

FOSTER MARTHA K REVOCABLE TRUST
1760 LAKE FOREST DR
ROCKWALL, TX 75087

MINO MADISON AND ADRIANA
1760 PLUMMER DRIVE
ROCKWALL, TX 75087

DOLLINS JUSTIN RYAN AND LISA NOEL
1760 WIND HILL ROAD
ROCKWALL, TX 75087

REASOR BRYAN E & KIMBERLY
1765 CRESTHILL DR
ROCKWALL, TX 75087

BAAS DENNIS R & MITZI K
1765 LAKE FOREST DR
ROCKWALL, TX 75087

CORDELL JOSEPH AND APRIL
1765 PLUMMER DR
ROCKWALL, TX 75087

ATHEY PATSY R
1770 PLUMMER DRIVE
ROCKWALL, TX 75087

CUTLER STEVEN R
1770 WIND HILL RD
ROCKWALL, TX 75087

WHITE BONNIE SUE
1775 LAKE FOREST DRIVE
ROCKWALL, TX 75087

COLLIER DARBY AND
CASEY JAMES COLLIER
1775 PLUMMER DRIVE
ROCKWALL, TX 75087

RESIDENT
1780 WIND HILL RD
ROCKWALL, TX 75087

WEIGAND THOMAS MATTHEW AND JOANNA
1780 LAKE FOREST
ROCKWALL, TX 75087

DYE KATIE
1780 PLUMMER DR
ROCKWALL, TX 75087

KING CLIFTON C & ROBBI LINN
1790 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1800 LYNCH CT
ROCKWALL, TX 75087

KULA THOMAS W & JEANNETTE G
1800 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1801 ISLE ROYALE DR
ROCKWALL, TX 75087

STEPHENS BRIAN SCOTT & MARGARET
JOSEPHINE
1801 LYNCH COURT
ROCKWALL, TX 75087

WRIGHT MELINDA M
1805 RANDOM OAKS DR
ROCKWALL, TX 75087

PALLONE JOSEPH & MONIKA
1805 WIND HILL RD
ROCKWALL, TX 75087

METCALF-KELLY KEVIN P
1810 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1811 ISLE ROYALE DR
ROCKWALL, TX 75087

DEHART KEVIN D & LEE ANN
1811 LYNCH CT
ROCKWALL, TX 75087

ULSRUD TAREN A & JASON ULSRUD
1811 RANDOM OAKS DR
ROCKWALL, TX 75087

SONNEN GREGORY & ANNETTE
1814 EMERALD BAY DR
ROCKWALL, TX 75087

PERKINS STEVEN M & LISA M
1815 WIND HILL RD
ROCKWALL, TX 75087

HUGHES COLE
1817 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1820 LYNCH CT
ROCKWALL, TX 75087

GIBSON JASON D AND LEILA D
1820 HIDDEN HILLS
ROCKWALL, TX 75087

BROWN CHARLES W & AMBERLY A
1820 WINDHILL RD
ROCKWALL, TX 75087

BROWNING JAMES O & JAN RAMEY BROWNING
REVOCABLE TRUST
JAMES O & JAN R BROWNING TRUSTEES
1821 ISLE ROYALE DRIVE
ROCKWALL, TX 75087

LYNCH JOSEPH P & CONSTANCE J
1821 LYNCH CT
ROCKWALL, TX 75087

WALLACE DUANE & PAULA
1822 EMERALD BAY DR
ROCKWALL, TX 75087

NICHOLS MONTE C & SHERRI E
1823 RANDOM OAKS DR
ROCKWALL, TX 75087

KOOB F PAUL & CAROLE A
1825 WIND HILL RD
ROCKWALL, TX 75087

HUA ALEXANDER AND THU THUY
1829 HAINESWORTH DR
ROCKWALL, TX 75087

FOSNIGHT PETER AND MELISSA
1829 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

NEUGENT MEREDITH & ANNE
1830 EMERALD BAY DR
ROCKWALL, TX 75087

KLEIN MAX E JR & GLENDA M
1830 HIDDEN HLS
ROCKWALL, TX 75087

SLOAN CHRISTOPHER A & MISTI D
1830 OAK BEND DRIVE
ROCKWALL, TX 75087

PERSER JOHN R ETUX
1830 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1831 HAINSWORTH DR
ROCKWALL, TX 75087

TAYLOR DAVID C AND HEATHER
1831 ISLE ROYALE DR
ROCKWALL, TX 75087

AVENETTI QUINT D & BRENDA
1831 LYNCH CT
ROCKWALL, TX 75087

RESIDENT
1833 HAINSWORTH DR
ROCKWALL, TX 75087

LAABS MICHAEL AND HAYLEY
1835 HIDDEN HILL
ROCKWALL, TX 75087

BOBACK STEPHEN P & DONNA A
1835 RANDOM OAKS DR
ROCKWALL, TX 75087

OSTROWSKI JOHN J SR & VITA M
1835 WIND HILL RD
ROCKWALL, TX 75087

HATCHER BLAYNE AND KRISTEN
1838 EMERALD BAY DR
ROCKWALL, TX 75087

MONTGOMERY BARRY A AND MARY R
1838 OAK BEND DR
ROCKWALL, TX 75087

NARRAVULA SUNDEEP AND
VENKATA N CHINTALA
18380 CLEMSON AVE
SARATOGA, CA 95070

RESIDENT
1839 OAK BEND DR
ROCKWALL, TX 75087

RESIDENT
1840 WIND HILL RD
ROCKWALL, TX 75087

GARCIA MANUEL DE JESUS AND MONICA J
1840 CLUBVIEW DRIVE
ROCKWALL, TX 75087

IVEY CRAIG & NICOLE
1840 CRESTLAKE DR
ROCKWALL, TX 75087

OWENS MARLENE SANDERS
1840 HIDDEN HILLS
ROCKWALL, TX 75087

KUNHARDT CARL J & JULIA E
1841 ISLE ROYAL DRIVE
ROCKWALL, TX 75087

HUSTON BRIAN AND SUSAN
1841 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

MULLET STEPHEN PAUL
1844 OAK BEND DR
ROCKWALL, TX 75087

COX RAEUL G JR & SUSAN
1845 HIDDEN HLS
ROCKWALL, TX 75087

RAKOW DONALD E JR & RHONDA
1845 OAK BEND DR
ROCKWALL, TX 75087

LAMBERT THOMAS & JULIE
1847 RANDOM OAKS DR
ROCKWALL, TX 75087

HUNDLEY TERRY G & SHERRIE M
1850 CRESTLAKE DR
ROCKWALL, TX 75087

BYROM ROBERT M & JANET R
1850 HIDDEN HLS
ROCKWALL, TX 75087

PENCE RICHARD G & SHELLEY R
1850 LA GRANDE DR
ROCKWALL, TX 75087

GREEN CHRISTOPHER AND JULIE
1850 OAK BEND DRIVE
ROCKWALL, TX 75087

FKH SFR PROPCO B-HLD, LP
C/O FIRST KEY HOMES LLC
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

FKH SFR PROPCO A LP
1850 PARKWAY PLACE SUITE 900
MARIETTA, GA 30067

SUNDERSON JOHN MAURICE JR & GWENDOLYN B
1850 WIND HILL RD
ROCKWALL, TX 75087

PECORARO LUIGI AND JULIE
1851 OAK BEND DRIVE
ROCKWALL, TX 75087

COWDEN DIANE S
1853 RANDOM OAKS DR
ROCKWALL, TX 75087

FOWLER JEREMEY & DALAIH
1855 CRESTLAKE DR
ROCKWALL, TX 78087

BARNETT JOSEPH R & LADONNA K
1855 HIDDEN HLS
ROCKWALL, TX 75087

TOKUZ MAHMUT & BARBARA LYNN
1855 WIND HILL RD
ROCKWALL, TX 75087

REDMOND BRIAN AND NICOLE
1856 OAK BEND DR
ROCKWALL, TX 75087

LOPEZ CECILIA LIZETH MENDEZ
1857 OAK BEND DR
ROCKWALL, TX 75087

BARTLEY JOSHUA AND ASHLEY
1859 RANDOM OAKS DR
ROCKWALL, TX 75087

MOORE HEATHER & STEVEN
1859 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

ELY MINNIE E
1860 CLUBVIEW DR
ROCKWALL, TX 75087

KAMINSKI STEVEN J &
LORRAINE F KAMINSKI
1860 CRESTLAKE DR
ROCKWALL, TX 75087

WIEDEMANN MATTHEW
1860 LA GRANDE DRIVE
ROCKWALL, TX 75087

DOBIYANSKI JOHN WILLIAM & DORIS MAILLOUX
1860 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1862 OAK BEND DR
ROCKWALL, TX 75087

GARCIA RACHELLE N
1863 OAK BEND DR
ROCKWALL, TX 75087

KAMINSKI CHERYL L
1865 CRESTLAKE DR
ROCKWALL, TX 75087

WHITE TRACY ALANE
1865 HILLCROFT DR
ROCKWALL, TX 75087

SMITH PATRICK R & KIMBERLY
1865 RANDOM OAKS DR
ROCKWALL, TX 75087

NIKKARI MELISSA R
1865 WIND HILL ROAD
ROCKWALL, TX 75087

MAPENGO DERECK B AND TERI
1868 OAK BEND DRIVE
ROCKWALL, TX 75087

RESIDENT
1869 OAK BEND DR
ROCKWALL, TX 75087

GEGENHEIMER MARLENE
1870 CLUBVIEW DRIVE
ROCKWALL, TX 75087

WHITAKER BARBARA A AND WADE H
1870 CRESTLAKE DR
ROCKWALL, TX 75087

MIZE JAMES M AND JULIE K
1870 HILLCROFT DRIVE
ROCKWALL, TX 75087

FERGUSON TRAVIS & MELISSA
1870 WIND HILL CIR
ROCKWALL, TX 75087

ASBILL PAULA L
1871 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1875 CRESTLAKE DR
ROCKWALL, TX 75087

RESIDENT
1875 OAK BEND DR
ROCKWALL, TX 75087

HERVEY CLAY AND ANNIE
1876 OAK BEND DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
1877 RANDOM OAKS DR
ROCKWALL, TX 75087

HOPKINS GARY L & GRETCHEN C
1880 CRESTLAKE DR
ROCKWALL, TX 75087

HILL CHRISTOPHER AND SHELLEY
1880 WIND HILL CIRCLE
ROCKWALL, TX 75087

STEPHENS KENNETH & HOLLY
1885 CLUBVIEW DR
ROCKWALL, TX 75087

STEWART NATHAN A & BRITTANY T, TRUSTEES
OF NATHAN &
BRITTANY STEWART LIVING TRUST
1885 CREEKSIDE DRIVE
ROCKWALL, TX 75087

FOSTER MARCIA M
1885 CRESTLAKE DRIVE
ROCKWALL, TX 75087

NASUFI ZIKRI & TEUTA
1885 HILLCROFT DR
ROCKWALL, TX 75087

I&G SFR II BORROWER LLC
1887 WHITNEY MESA DRIVE #3380
HENDERSON, NV 89014

TURNER FAMILY TRUST
GARY & DANA TURNER CO-TRUSTEES
1890 CLUBVIEW DR
ROCKWALL, TX 75087

SANTANA ALBERTO J
1890 CRESTLAKE DRIVE
ROCKWALL, TX 75087

BILLUPS RYAN & REBECCA
1890 HILLCROFT DRIVE
ROCKWALL, TX 75087

STONE WARREN C
1890 WIND HILL CIR
ROCKWALL, TX 75087

RESIDENT
1895 CRESTLAKE DR
ROCKWALL, TX 75087

RHYNER KENNETH R & VALERIE L
1895 CREEKSIDE DR
ROCKWALL, TX 75087

BUNCH HAROLD GARY & LAUREN ANN
1895 HILLCROFT DRIVE
ROCKWALL, TX 75087

ROJAS PEDRO & SANDRA
1900 CLUB LAKE CIR
ROCKWALL, TX 75087

LOWHORN JEREMIAH AND BROOKE
1900 CREEKSIDE DRIVE
ROCKWALL, TX 75087

STRICKER MICHAEL CLAY & CYNTHIA JAYNELL
1900 CRESTLAKE DRIVE
ROCKWALL, TX 75087

LOCKETTE RAGAN FRANKLIN AND DONNA ANN
1900 HILLCROFT DRIVE
ROCKWALL, TX 75087

GODFREY CHRISTIAN & MONICA M SAWAYA
1900 MONT CASCADES DR
ROCKWALL, TX 75087

WANDREY DANIEL E
1900 WIND HILL CIRCLE
ROCKWALL, TX 75087

RESIDENT
1905 HIDDEN VALLEY
ROCKWALL, TX 75087

LOWKE LYNDIA CAROL
1905 CLUB LAKE CIR
ROCKWALL, TX 75087

BAILEY MANA COX AND
LINDA LOVVORN
1905 CLUBVIEW DR
ROCKWALL, TX 75087

TURLEY NANCY C AND GEORGE D
1905 CREEKSIDE DR
ROCKWALL, TX 75087

NEKUYI FARZAD AND BEHNAZ GHOLAMI
1905 CRESTLAKE DR
ROCKWALL, TX 75087

MERTENS ANDREW J & TIFFANY R
1905 HILLCROFT DR
ROCKWALL, TX 75087

LEAHY STEVEN AND JENNIFER
1905 MURIFIELD AVE
ROCKWALL, TX 75087

HORN DONALD O & STEPHANIE L
1905 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1910 CREEKSIDE DR
ROCKWALL, TX 75087

SHEERAN PATRICK K AND JANE E
1910 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

KIM DO BAE & JUNG KYU PARK
1910 CLUBVIEW DR
ROCKWALL, TX 75087

ANDERSON A JEANETTE
1910 CRESTLAKE DR.
ROCKWALL, TX 75087

GIROD DEVIN AND ANGELICA
1910 HILLCROFT DRIVE
ROCKWALL, TX 75087

NELSON KAREN S
1910 MURIFIELD AVE
ROCKWALL, TX 75087

SCHULTZ JENNIFER S & ERIC
1910 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

BOWHALL ELMER F ET UX
1910 RIDGE CREST PL
ROCKWALL, TX 75087

SHIBLEY DAVID W ET UX
1910 WIND HILL CIR
ROCKWALL, TX 75087

RESIDENT
1911 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1915 CLUBVIEW DR
ROCKWALL, TX 75087

NABORS MARTIN E AND LEAANN
1915 CLUB LAKE CIR
ROCKWALL, TX 75087

PEARRE CHARLES W & JANET L
1915 CREEKSIDE DR
ROCKWALL, TX 75087

COPELAND DONNA
1915 CRESTLAKE DR
ROCKWALL, TX 75087

HOLMAN JANICE K
1915 HIDDEN VALLEY
ROCKWALL, TX 75087

CATER CARL & DEBORAH
1915 HILLCROFT DR
ROCKWALL, TX 75087

REEVES RUSSELL A & SARA
1915 MURIFIELD AVENUE
ROCKWALL, TX 75087

ORR J STEVEN & KAY LISA BOHLS
1915 WIND HILL RD
ROCKWALL, TX 75087

WEYGANDT DEBORA ANN
1918 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

PETERSEN MICHAEL P & JANICE D
1919 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1920 CRESTLAKE DR
ROCKWALL, TX 75087

MOLINAR JOHN L & KATHY B
1920 CLUB LAKE CIR
ROCKWALL, TX 75087

NATAL ERIC AND SUSAN
1920 CLUBVIEW DRIVE
ROCKWALL, TX 75087

GUILFOYLE JOANNE AND HENRY PASTERCZYK
1920 CREEKSIDE DR
ROCKWALL, TX 75087

CHRISTENSEN SHIRLEY AND
BETHANY TERRY
1920 HILLCROFT DRIVE
ROCKWALL, TX 75087

DRUMMOND REBECCA AND
BRENDA COX
1920 MURIFIELD AVE
ROCKWALL, TX 75087

FERINA JAKE VICTOR
1920 RIDGE CREST PLACE
ROCKWALL, TX 75087

JONES ROBERT & JANET
1920 WIND HILL
ROCKWALL, TX 75087

DENSON CODY WAYNE AND NATALIE JENAE
1925 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

STONE ROBERT BRIAN AND
KIMBERLY ANN STONE
1925 CLUBVIEW DRIVE
ROCKWALL, TX 75087

CAGLE CHRISTOPHER
1925 CREEKSIDE DR
ROCKWALL, TX 75087

RIDDLE ANDREW G
1925 CRESTLAKE DRIVE
ROCKWALL, TX 75087

COUCH RICHARD A & ELISA
1925 HIDDEN VALLEY
ROCKWALL, TX 75087

NORTRIDGE SUSAN J
1925 HILLCROFT DRIVE
ROCKWALL, TX 75087

HOWARD SCOTT E & LISA A
1925 MURIFIELD AVENUE
ROCKWALL, TX 75087

WILLS GARTH C ET UX
1925 WIND HILL RD
ROCKWALL, TX 75087

WITT ANYA ELLEN
1927 RANDOM OAKS DR
ROCKWALL, TX 75087

MCDONALD KRISTOPHER AND LYDIANNE
1930 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

GRASSO SUZAN E AND MARK A
1930 CLUBVIEW DR
ROCKWALL, TX 75087

ISON CHARLES R & SANDRA D
1930 CREEKSIDE DRIVE
ROCKWALL, TX 75087

DORINSKI DAVID ALAN
1930 CRESTLAKE DRIVE
ROCKWALL, TX 75087

HARDING ROBERT TATUM AND SHELLEY ANN
1930 HIDDEN VALLEY
ROCKWALL, TX 75087

ROSE DAVID & KAREN R
1930 HILLCROFT DRIVE
ROCKWALL, TX 75087

GORDON DANNY & LINDA
1930 MURIFIELD AVE
ROCKWALL, TX 75087

JOSEPH AND WENDY COLES REVOCABLE TRUST
JOSEPH R COLES III AND WENDY ALLYCE COLES,
CO-TRUSTEES
1930 RIDGE CREST PLACE
ROCKWALL, TX 75087

SHAVER BRADLEY AND KENDRA
1930 WIND HILL RD
ROCKWALL, TX 75087

SMITH OWEN R AND HOLLIE M
1935 CLUB LAKE CIRCLE
ROCKKWALL, TX 75087

VALENTINE VICTORIA
1935 CLUBVIEW DR
ROCKWALL, TX 75087

PRESCOTT BYRON C
1935 CREEKSIDE DR
ROCKWALL, TX 75087

PRESCOTT BYRON C AND WENDI D
1935 CREEKSIDE DR
ROCKWALL, TX 75087

THOMPSON JOHN D AND RHONDA G
1935 CRESTLAKE DR
ROCKWALL, TX 75087

GRAND-LIENARD JACOB E
1935 HIDDEN VALLEY
ROCKWALL, TX 75087

CAMPBEL WILLIAM M & JO G
1935 HILLCROFT DR
ROCKWALL, TX 75087

CATINCHI RODOLFO J
1935 MURIFIELD AVE
ROCKWALL, TX 75087

HEIN AMANDA LORRAINE
1935 MURIFIELD AVE
ROCKWALL, TX 75087

PRINCE STEPHEN AND JESSICA
1935 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

JORGENSEN HARRIS HOLT & DONNA T
1935 WIND HILL RD
ROCKWALL, TX 75087

JAMES JAY & VALERIE
1940 CLUB LAKE CIR
ROCKWALL, TX 75087

CHASE BRANDON P
1940 CREEKSIDE DR
ROCKWALL, TX 75087

BRINDOCK ANDREW J ETUX
1940 HIDDEN VLY
ROCKWALL, TX 75087

ALI VANESA ELIZABETH
1940 MURIFIELD AVE
ROCKWALL, TX 75087

RESIDENT
1940 N LAKESHORE RD
ROCKWALL, TX 75087

WOODS THOMAS M ETUX
1940 RIDGE CREST PL
ROCKWALL, TX 75087

RAMIREZ ANTHONY A & CYNTHIA R
1940 WIND HILL RD
ROCKWALL, TX 75087

HOWELLS TYLER LEE
1941 RANDOM OAKS DR
ROCKWALL, TX 75087

JONES PETER W AND WHITNEY M JONES LIVING TRUST
PETER W JONES AND WHITNEY M JONES TRUSTEES
1945 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

HAZLEWOOD TAD D & MICHELLE D
1945 CREEKSIDE DRIVE
ROCKWALL, TX 75087

HOLSTROM GAIL AND JERRY
1945 HIDDEN VALLEY
ROCKWALL, TX 75087

CONVERSE CODY E
1945 MURIFIELD AVENUE
ROCKWALL, TX 75087

SULLINS BRIAN AND CRYSTAL
1945 WIND HILL ROAD
ROCKWALL, TX 75087

CLARY AUDREY BLAIR AND KENNETH LEE
1947 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

RESIDENT
1950 HIDDEN VALLEY
ROCKWALL, TX 75087

WOON FAMILY TRUST
RICHARD T WOON AND DIANE M WOON-COTRUSTEES
1950 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

KROPP CLIFTON M & LESLIE
1950 CREEKSIDE DR
ROCKWALL, TX 75087

TORRIERO STEVE OTTO
1950 LAKE FOREST DR
ROCKWALL, TX 75087

HEIMER BRAD RYAN & SHANNON
1950 MURIFIELD AVE
ROCKWALL, TX 75087

FLETCHER ROBERT L & PATRICIA
1950 RIDGE CREST PL
ROCKWALL, TX 75087

GURAWALE MAKARAND G AND ASHWINI GURWALE
1950 WIND HILL ROAD
ROCKWALL, TX 75087

ZEPEDA NORA E
1953 RANDOM OAKS DRIVE
ROCKWALL, TX 75087

BROWN LARRY W & DIANE
1954 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1955 HIDDEN VALLEY
ROCKWALL, TX 75087

RESIDENT
1955 WIND HILL RD
ROCKWALL, TX 75087

GENTZLER STEPHEN M
1955 CLUB LAKE CIR
ROCKWALL, TX 75087

SCHILLING BRANDON S AND ANGELIQUE
1955 CREEKSIDE DR
ROCKWALL, TX 75087

ROORDA DIRK J & ASTAIRE H
1955 MURIFIELD AVENUE
ROCKWALL, TX 75087

LEE JEANNE YU-HAN & EDWARD MARTIN SCOTT
1960 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

LEE JEANNE YU-HAN & EDWARD MARTIN SCOTT
1960 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

FARROW DOUGLAS E & REBECCA B
1960 CREEKSIDE DR
ROCKWALL, TX 75087

HOLT TRACYE NELSON AND MICHAEL ROY
1960 HIDDEN VALLEY
ROCKWALL, TX 75087

SANDERS MARK LINDSAY AND PIPER NICOLE
1960 LAKE FOREST DR
ROCKWALL, TX 75087

PETERSON LAURA C.
1960 MURIFIELD AVE
ROCKWALL, TX 75087

LOPEZ JUAN S AND JENNIFER KNICKERBOCKER
1960 RANDOM OAKS
ROCKWALL, TX 75087

SUMNERS ROY L & DEBBIE K
1960 RIDGE CREST PL
ROCKWALL, TX 75087

CHASTAIN JEREMY M AND SARAH
1960 WIND HILL ROAD
ROCKWALL, TX 75087

RESIDENT
1961 RANDOM OAKS DR
ROCKWALL, TX 75087

ALBERS STEPHEN & MITZI
1965 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

LAYMAN NICHOLAS AND AMY
1965 CREEKSIDE DR
ROCKWALL, TX 75087

LOVELESS WYMAN D & LINDA G
1965 HIDDEN VLY
ROCKWALL, TX 75087

MOODY JONITA
1965 MURIFIELD AVE
ROCKWALL, TX 75087

DAVIS CHRISTOPHER & CHRISTINE
1965 WIND HILL RD
ROCKWALL, TX 75087

PEREZ JOHN & BRITANIE
1966 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1967 RANDOM OAKS DR
ROCKWALL, TX 75087

RESIDENT
1970 RIDGE CREST PL
ROCKWALL, TX 75087

GOODEN-ANDERSON TAMECKA C AND EARNTY T ANDERSON
1970 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

SLEDGE CHAD
1970 CREEKSIDE DR
ROCKWALL, TX 75087

HOLT CHARLES W JR & CLAUDIA
1970 HIDDEN VLY
ROCKWALL, TX 75087

MENEFEE SHAWN AND NICOLE
1970 LAKE FOREST DRIVE
ROCKWALL, TX 75087

TWILLEY EDWARD GLEN & KATHERINE ANN
1970 MURIFIELD AVENUE
ROCKWALL, TX 75087

FINCH DANIEL JOSEPH SR AND CHERI LYNN
1970 WINDHILL RD
ROCKWALL, TX 75087

TWOMEY WESTON AND VALERIE
1975 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

BOHNER NICHOLAS B AND MISHAWNA K
1975 CREEKSIDE DRIVE
ROCKWALL, TX 75087

GORE ELTON & JEANNE
1975 HIDDEN VLY
ROCKWALL, TX 75087

VENT GEORGE L JR
1975 MURIFIELD AVENUE
ROCKWALL, TX 75087

RESIDENT
1980 CREEKSIDE DR
ROCKWALL, TX 75087

BRADDOCK JAMES A AND SARAH J
1980 CLUB LAKE CIR
ROCKWALL, TX 75087

VERVALIN MARY
1980 HIDDEN VALLEY
ROCKWALL, TX 75087

PIERCE RICHARD T & MISTY O
1980 LAKE FOREST DR
ROCKWALL, TX 75087

CURRY LISA RAE AND MARK
1980 MURIFIELD AVENUE
ROCKWALL, TX 75087

GAYLE PHILIP D AND PAMELA F DUNNING
1980 RIDGE CREST PL
ROCKWALL, TX 75087

FORD MARILYN J
1980 WIND HILL RD
ROCKWALL, TX 75087

BUSKIRK DERECK F AND YESENIA J
1985 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

REESE DEREK DENNIS AND KARA LEE
1985 CREEKSIDE DRIVE
ROCKWALL, TX 75087

KEEN JAMES D JR AND CYNTHIA A
1985 HIDDEN VALLEY
ROCKWALL, TX 75087

ROHDE CHRISTOPHER TODD AND SHANNON LEANNE
1985 LAKE FOREST DR
ROCKWALL, TX 75087

TUMA BRITTANY HINES & CHRISTOPHER GEORGE
1985 MURIFIELD AVE
ROCKWALL, TX 75087

DURST STEVEN P
1990 CLUB LAKE CIR
ROCKWALL, TX 75087

AFROIMSKY LAURA
EDWARD AFROIMSKY
1990 CREEKSIDE DR
ROCKWALL, TX 75087

BENNETT BYRON R & STACEY L
1990 MURIFIELD AVE
ROCKWALL, TX 75087

PATTERSON WALTER F II AND CARRIE E
1990 RIDGE CREST PLACE
ROCKWALL, TX 75087

OREFICE ALDO & RITA A
1990 WIND HILL RD
ROCKWALL, TX 75087

RESIDENT
1995 MURIFIELD AVE
ROCKWALL, TX 75087

WICKHAM ROBERT O II & MITA P
1995 CLUB LAKE CIR
ROCKWALL, TX 75087

HULBEN REVOCABLE LIVING TRUST
STANLEY GEORGE HULBEN AND KIMBERLY ANN HULBEN- COTRUSTEES
1995 CREEKSIDE DRIVE
ROCKWALL, TX 75087

ROYALL DWIGHT FRANK
1995 HIDDEN VLY
ROCKWALL, TX 75087

MORRISON WARD C
1998 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2000 MURIFIELD AVE
ROCKWALL, TX 75087

BUTLER EDWARD J VI AND MELISSA
2000 BERKDALE LN
ROCKWALL, TX 75087

THAI TONG HOA & CHRISTINE UYEN
2000 CLUB LAKE CIR
ROCKWALL, TX 75087

GARRETT KATHY
2000 GLENCOE DR
ROCKWALL, TX 75087

ARAUZ CARLOS
2000 LAKE FOREST DR
ROCKWALL, TX 75087

MOORE NICHOLAS AND KERRI-ANN
2000 RIDGE CREST PL
ROCKWALL, TX 75087

OLSON GREG & CHARLENE
2001 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2005 HEATHER GLEN DR
ROCKWALL, TX 75087

GARZA JUAN M
2005 BERKDALE LN
ROCKWALL, TX 75087

CONFIDENTIAL
2005 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

PIERCE PATRICK AND MARLA
2005 LAKE FOREST DRIVE
ROCKWALL, TX 75087

TANGLEVINE SERIES, A SERIES OF CA & LA, LLC
201 GOLD STREET SUITE 300
GARLAND, TX 75042

EGANRIDGE SERIES
A SERIES OF CA & LA LLC
201 GOLD STREET SUITE 300
GARLAND, TX 75042

RESIDENT
2010 GLENCOE DR
ROCKWALL, TX 75087

RESIDENT
2010 HEATHER GLEN DR
ROCKWALL, TX 75087

FULLERTON ELVIN R & DIANNA D
2010 ASHBOURNE DRIVE
ROCKWALL, TX 75087

HANSEN HOLGER B
2010 BERKDALE LN
ROCKWALL, TX 75087

LONG SCOTT E
2010 CLUB LAKE CIR
ROCKWALL, TX 75087

BERENSON MITCHELL & ROBERTA
2010 CRESTLAKE DR
ROCKWALL, TX 75087

CALVERT MYRNA
2010 HILLCROFT DRIVE
ROCKWALL, TX 75087

FLECK CORY M & LINDSEY
2011 WHITNEY BAY DRIVE
ROCKWALL, TX 75087

HUFFMAN MELISSA ANN AND JOHN EDWIN
2015 BERKDALE LANE
ROCKWALL, TX 75087

MINOR TIMOTHY & JENNIFER
2015 CLUB LAKE CIR
ROCKWALL, TX 75087

BJORKLUND ROBERT PAUL AND LAURA LYNN
2015 CLUBVIEW DR
ROCKWALL, TX 75087

SMITH STEPHEN C & HELEN S
2015 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

KAMPMAN STEVEN & JANIS
2015 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2020 BERKDALE LN
ROCKWALL, TX 75087

RESIDENT
2020 HILLCROFT DR
ROCKWALL, TX 75087

SMITH DAN R & DEBORAH D
2020 ASHBOURNE DR
ROCKWALL, TX 75087

HUGHES LARRY AND DONABEL
2020 CLUB LAKE CIRCLE
ROCKWALL, TX 75087

SCOTT HERBERT & JILL
2020 CLUBVIEW DR
ROCKWALL, TX 75087

MAY STEPHEN AND MELANIE
2020 GLENCOE DR
ROCKWALL, TX 75087

ROSS MICHAEL C & PAULA FRASSINETTI
2020 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

HEGGAR RICKEY & LAKECIA
2020 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2021 WHITNEY BAY DR
ROCKWALL, TX 75087

ROPER DAN A & TINA P
2025 BERKDALE LN
ROCKWALL, TX 75087

RUTHERFORD KAREN
2025 CLUB LAKE CIR
ROCKWALL, TX 75087

KING ROGER AND JULIA
2025 HEATHER GLEN DR
ROCKWALL, TX 75087

RANDLE MICHAEL & REBECCA
2025 HILLCROFT DR
ROCKWALL, TX 75087

GG & MG FAMILY REVOCABLE TRUST
GREGORY ENLOE GOFF & MITZIE RENEE GOFF-CO-TRUSTEES
2025 LAKE FOREST DRIVE
ROCKWALL, TX 75087

DAWSON PAULA G
2030 ASHBOURNE DRIVE
ROCKWALL, TX 75087

CRUMRINE MICHAEL V & ANDREA L
2030 BERKDALE LANE
ROCKWALL, TX 75087

HURT TYRONE & BARBARA
2030 CRESTLAKE DR
ROCKWALL, TX 75087

MCCOLLOM JOE A & MARCINE G
2030 GLENCOE DR
ROCKWALL, TX 75087

DRAPER LESLIE WIENHOLD
2030 HEATHER GLEN DR
ROCKWALL, TX 75087

WILK TERESA HALEY
2030 LAKE FOREST DR
ROCKWALL, TX 75087

DOUGLAS DARYL
2035 BERKDALE LN
ROCKWALL, TX 75087

LOTZ BRADY CHRISTOPHER CHARLENE R
2035 CLUBLAKE CIRCLE
ROCKWALL, TX 75087

PRUIETT CHARLES S & ANGELA
2035 CLUBVIEW DRIVE
ROCKWALL, TX 75087

CAMPBELL BRADLEY M AND VICKY J
2035 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

SANCHEZ ARTURO M & DIANNE M
2035 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2040 CLUBVIEW DR
ROCKWALL, TX 75087

BALEK JENNIFER AND CHARLES
2040 ASHBOURNE DRIVE
ROCKWALL, TX 75087

MCCLAIN MAURICE & LAKISHA
2040 BERKDALE LN
ROCKWALL, TX 75087

DUFFY JUSTIN
2040 GLENCOE DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
2040 HEATHER GLEN DR
ROCKWALL, TX 75087

SWINGER JEFFREY A &
KIMBERLY A
2040 HILLCROFT DR
ROCKWALL, TX 75087

SWINFORD STEVE
2040 LAKE FOREST DR
ROCKWALL, TX 75087

ZAESKE ROGER A JR & BRIDGET
2040 WHITNEY BAY
ROCKWALL, TX 75087

RESIDENT
2041 ASHBOURNE DR
ROCKWALL, TX 75087

RESIDENT
2041 WHITNEY BAY DR
ROCKWALL, TX 75087

VALLE JAMES JUAN
2041 GLENCOE DRIVE
ROCKWALL, TX 75087

MCGOVERN MARTIN ORVILLE & TAMMY STARK
2045 BERKDALE LANE
ROCKWALL, TX 75087

STURGEON DENNIS J & KAREN S
2045 CLUB LAKE CIR
ROCKWALL, TX 75087

LEE JUSTIN V AND CHRISTINA
2045 CLUBVIEW DR
ROCKWALL, TX 75087

SLAYTON MICHAEL AND CYNTHIA
2045 HEATHER GLEN DR
ROCKWALL, TX 75087

WOODUL LEX E & KIMBERLY M
2045 HILLCROFT DRIVE
ROCKWALL, TX 75087

ATTERBURY ANDREW J
2045 LAKE FOREST DRIVE
ROCKWALL, TX 75087

WILLIAMS CEMETERY
C/O MIKE PHEMISTER
205 W RUSK ST
ROCKWALL, TX 75087

RESIDENT
2050 BELFRY CT
ROCKWALL, TX 75087

RESIDENT
2050 GLENCOE DR
ROCKWALL, TX 75087

BOTERO JUAN AND OLGA ARCINIEGAS
2050 ASHBOURNE DR
ROCKWALL, TX 75087

MORRIS CYNTHIA
2050 BERKDALE LN
ROCKWALL, TX 75087

PARDUE JASON AND SUZAN
2050 GARDEN CREST DR.
ROCKWALL, TX 75087

URRUTIA DIANA M AND FLAVIO
DALLAGASPERINA
2050 HEATHER GLEN DR
ROCKWALL, TX 75087

ARMON STEVEN J & LETICIA
2050 WHITNEY BAY DR
ROCKWALL, TX 75087

AMMER MARK E & ROSANNE M
2051 ASHBOURNE DR
ROCKWALL, TX 75087

BIRK STEPHEN J AND ALISON L
2051 GLENCOE DR
ROCKWALL, TX 75087

CLARK MICHAEL D AND
LESLIE ANN GRIFFIN
2051 WHITNEY BAY DRIVE
ROCKWALL, TX 75087

RESIDENT
2055 BERKDALE LN
ROCKWALL, TX 75087

RESIDENT
2055 CLUB LAKE CIR
ROCKWALL, TX 75087

SCHULTER SUSAN
2055 CRESTLAKE DR
ROCKWALL, TX 75087

WILSON JEFFREY A AND DANIELLE L
2055 GARDEN CREST DR
ROCKWALL, TX 75087

GRIM MELODY
2055 HEATHER GLEN DR
ROCKWALL, TX 75087

RESIDENT
2060 GARDEN CREST DR
ROCKWALL, TX 75087

RESIDENT
2060 HILLCROFT DR
ROCKWALL, TX 75087

HENDERSON MARKHAM L
2060 ABERDEEN LN
ROCKWALL, TX 75087

DENNY LARRY A II AND ERIN
2060 ASHBOURNE DR
ROCKWALL, TX 75087

PARKER BROC & CRYSTAL
2060 BELFRY COURT
ROCKWALL, TX 75087

CLARK KENNETH P
2060 BERKDALE LN
ROCKWALL, TX 75087

JOHNSON JAMES E & CYNTHIA A
2060 GLENCOE DR
ROCKWALL, TX 75087

MCCUTCHEON TERESA
2060 HEATHER GLEN DR
ROCKWALL, TX 75087

GARABEDIAN EUGENE C & COURTNEY
2060 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2061 BELFRY CT
ROCKWALL, TX 75087

SAETZ JESSE W & BARBARA
2061 ASHBOURNE DR
ROCKWALL, TX 75087

ROTH JASON AND STEPHANIE
2061 GLENCOE DRIVE
ROCKWALL, TX 75087

BARNES GREGORY B & HOLLY T
2061 WHITNEY BAY
ROCKWALL, TX 75087

RESIDENT
2065 CRESTLAKE DR
ROCKWALL, TX 75087

RESIDENT
2065 GARDEN CREST DR
ROCKWALL, TX 75087

RESIDENT
2065 HEATHER GLEN DR
ROCKWALL, TX 75087

COLMENERO ROSA
2065 BERKDALE LN
ROCKWALL, TX 75087

SWARINGEN STEPHEN NEAL
2065 CLUB LAKE CIR
ROCKWALL, TX 75087

JORDAN GORDON AND ANNE-MARIE
2065 HILLCROFT DRIVE
ROCKWALL, TX 75087

CARROLL BOBBY & CAROLYN
2065 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2069 BELFRY CT
ROCKWALL, TX 75087

NHUAN HUU HOANG
HOAN T NGUYEN
2069 BELFRY CT
ROCKWALL, TX 75087

MEYER KEVIN J AND JULIE E
2070 ABERDEEN LN
ROCKWALL, TX 75087

BOLDEN WILLIE II & JENNIFER L
2070 ASHBOURNE DR
ROCKWALL, TX 75087

DUNKLAU BRENT & TAMIE
2070 BELFRY CT
ROCKWALL, TX 75087

RITLAND AMY
2070 BERKDALE LN
ROCKWALL, TX 75087

SISKA PATRICIA DAWN
2070 GARDEN CREST DR
ROCKWALL, TX 75087

RUTLEDGE RONNIE & KAREN
2070 GLENCOE DR
ROCKWALL, TX 75087

MCDERMOTT ERIN M
2070 HEATHER GLEN DR
ROCKWALL, TX 75087

STRONZA JOSEFINA
2070 WHITNEY BAY DR
ROCKWALL, TX 75087

MATHIS SUMMER
2071 ASHBOURNE DRIVE
ROCKWALL, TX 75087

GREEN TYE
2071 GLENCOE DRIVE
ROCKWALL, TX 75087

PATEL ASISH & SMRUTI
2071 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2075 CRESTLAKE DR
ROCKWALL, TX 75087

RESIDENT
2075 GARDEN CREST DR
ROCKWALL, TX 75087

HAYNES SCOTT A & RHONDA
2075 BERKDALE LN
ROCKWALL, TX 75087

HORN JAN AND JULI
2075 CLUBLAKE CIR
ROCKWALL, TX 75087

CAMPMAN LAYNE & CINDY
2075 LAKE FOREST DR
ROCKWALL, TX 75087

BROWN DONALD K
2079 BELFRY CT
ROCKWALL, TX 75087

RESIDENT
2080 GLENCOE DR
ROCKWALL, TX 75087

MANN DEEDRA D
2080 ABERDEEN LN
ROCKWALL, TX 75087

DANIELS CURTIS LEON AND KENYA RENEE
2080 ASHBOURNE DRIVE
ROCKWALL, TX 75087

FLORES PETER
2080 BELFRY CT
ROCKWALL, TX 75087

ALVES CHRISTIAN S & LISA D
2080 BERKDALE LN
ROCKWALL, TX 75087

GREGA JON C
2080 GARDEN CREST DR
ROCKWALL, TX 75087

DAVIS DONALD EUGENE AND GRACE MARIA
2080 HEATHER GLEN DR
ROCKWALL, TX 75087

SINK JERRY D AND HESTER
2081 ABERDEEN LN
ROCKWALL, TX 75087

RICE DAVID AND
ELIZABETH PEREZ
2081 ASHBOURNE DR
ROCKWALL, TX 75087

SEED DANIEL BLAKE
2081 GLENCOE DR
ROCKWALL, TX 75087

MCCONNELL KAITLYN AND
BRAZOS ELKINS
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

HARRIS VINCENT AND FANTASIA
2085 BERKDALE LANE
ROCKWALL, TX 75087

BEARDEN GABRIEL
2085 CLUB LAKE CIR
ROCKWALL, TX 75087

SIMPSON JASON L & LISA D
NORMAN L PICKENS
2085 CRESTLAKE DR
ROCKWALL, TX 75087

CONGER EDWARD G & CATHERINE A
2085 GARDEN CREST DR
ROCKWALL, TX 75087

VELEZ CARLOS E
2085 HEATHER GLEN DR
ROCKWALL, TX 75087

KANE HUGH AND JANET
2089 BELFRY CT
ROCKWALL, TX 75087

RESIDENT
2090 GARDEN CREST DR
ROCKWALL, TX 75087

BULLOCK JAKE W & NICOLE
2090 ABERDEEN LANE
ROCKWALL, TX 75087

RICHMOND THOMAS R III
2090 ASHBOURNE DR
ROCKWALL, TX 75087

COCK ROBERT T & KIMBERLY M
2090 BELFRY COURT
ROCKWALL, TX 75087

TABER JAMES E
2090 BERKDALE LANE
ROCKWALL, TX 75087

HOLLOWELL DAVID L & JULIE K
2090 GLENCOE DRIVE
ROCKWALL, TX 75087

RUSHIN ASHLEY R
2090 HEATHER GLEN DR
ROCKWALL, TX 75087

SMITH MICHAEL AND KAMIA
2090 WHITNEY BAY DR
ROCKWALL, TX 75087

ANKEBRANT BRANDON LEE &
WHITNEY DENISE ROCKEY
2091 ASHBOURNE DR
ROCKWALL, TX 75087

SAILORS THOMAS L AND ALBERTA J
2091 GLENCOE DRIVE
ROCKWALL, TX 75087

GLAZIER JOSHUA KENT & ANDREA
2091 WHITNEY BAY DRIVE
ROCKWALL, TX 75087

MCCARTHY ROBERT M & DEBORAH M
2095 BERKDALE LN
ROCKWALL, TX 75087

ROTHERMEL JASON M AND CRYSTAL M
2095 CRESTLAKE DR
ROCKWALL, TX 75087

DELEMOS MARTHA J
2095 GARDEN CREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2100 ABERDEEN LN
ROCKWALL, TX 75087

RICH WILLIAM ANDRE
2100 BERKDALE LANE
ROCKWALL, TX 75087

COURTNEY ZACK AND MICHELLE
2100 CLUBVIEW DRIVE
ROCKWALL, TX 75087

KENNETH L GRANGER FAMILY TRUST
KENNETH L GRANGER- TRUSTEE
2100 GARDEN CREST DRIVE
ROCKWALL, TX 75087

SIMONETTI LISA JOYCE AGNEW
2100 GLENCOE DR
ROCKWALL, TX 75087

JOSIAH ANDRE R AND BRIDGET D
2100 HEATHER GLEN DR
ROCKWALL, TX 75087

BERTOLINI SUSAN
2100 HILLCROFT DR
ROCKWALL, TX 75087

CROWDER KENNETH C & JAN L
2100 LACEBARK LN
ROCKWALL, TX 75087

MAZZUCA MICHAEL JR AND JULIE
2100 TWIN CREEK LN
ROCKWALL, TX 75087

RESIDENT
2101 LACEBARK LN
ROCKWALL, TX 75087

RESIDENT
2101 TWIN CREEK LN
ROCKWALL, TX 75087

GILBERT NATHAN C & ELAINE T
2101 GLENCOE DR
ROCKWALL, TX 75087

RESIDENT
2105 GARDEN CREST DR
ROCKWALL, TX 75087

2022 M.J. MITCHELL REVOCABLE TRUST
MICHAWL JAMES MITCHELL AND JANINE
KIMBERLY MITCHELL
2105 BERKDALE LANE
ROCKWALL, TX 75087

HOWELL MARCUS JR AND EMILY
2105 CLUBVIEW DRIVE
ROCKWALL, TX 75087

KUPONIYI OLANREWAJU AND FUNMILAYO
2105 CRESTLAKE DR
ROCKWALL, TX 75087

JONES CHRISTINA N & BRANDON S
2105 HILLCROFT DRIVE
ROCKWALL, TX 75087

BRAMLETT D KYLE & DEIDRE
2105 LAKE FOREST DR
ROCKWALL, TX 75087

STILWELL DEBORAH
2106 LACEBARK LN
ROCKWALL, TX 75087

WETMORE BRENT & CHELSEA
2106 TWIN CREEK LANE
ROCKWALL, TX 75087

ISTEL DONALD III AND KRISHA
2107 LACEBARK LANE
ROCKWALL, TX 75087

BEASLEY WILLIAM KENNETH AND JENNIFER D
2110 BERKDALE LN
ROCKWALL, TX 75087

ARLAUSKAS ROBERT AND MILDA
2110 CLUBVIEW DRIVE
ROCKWALL, TX 75087

BENNETT PATTI
2110 GARDEN CREST DR
ROCKWALL, TX 75087

BRIDGES JOHN MARCUS JR & HYUNJU
2110 HEATHER GLEN DR
ROCKWALL, TX 75087

WANG YUAN CHUAN CHAD &
HUI CHIN CHENG WANG
2110 HILLCROFT DR
ROCKWALL, TX 75087

SCHRAP JOHANN M & WANDA
2112 LACEBARK LN
ROCKWALL, TX 75087

AJAM HANI AND
ZAHRA ELHANOUN
2112 TWIN CREEK LN
ROCKWALL, TX 75087

JOHNSTON BENJAMIN AND CHASARETH
2113 LACEBARK LN
ROCKWALL, TX 75087

JOSEPH AND NAOMI WRIGHT REVOCABLE
TRUST
JOSEPH PATTEN WRIGHT- TRUSTEE
2114 BARLASS DRIVE
ROCKWALL, TX 75087

ROBERTSON JEFFREY MICHAEL & ALEXANDRA
HANSARD
2115 CLUBVIEW DRIVE
ROCKWALL, TX 75087

SMITH CAROL ANN
2115 CRESTLAKE DR
ROCKWALL, TX 75087

HOANG WAYNE N
2115 GARDEN CREST DR
ROCKWALL, TX 75087

YOON SAM HEE & HYANG SOOK
2115 HILLCROFT DR
ROCKWALL, TX 75087

HIBBS DANIEL AARON AND JENNIFER ANGELA
2115 LAKE FOREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2116 BARLASS DRIVE
ROCKWALL, TX 75087

BRAUN LISA AND BRIAN
2118 BARLASS DR
ROCKWALL, TX 75087

MORGAN DEVON OLIVIA AND WILLIAM RILEY
2118 LACEBARK LN
ROCKWALL, TX 75087

LAPARE DENNIS E & RENEE E
2118 TWIN CREEK LN
ROCKWALL, TX 75087

SMITH JEFFERY D & JANIC R
2119 LACEBARK LN
ROCKWALL, TX 75087

RESIDENT
2120 BERKDALE LN
ROCKWALL, TX 75087

RESIDENT
2120 CRESTLAKE DR
ROCKWALL, TX 75087

CAVAZOS BRUNO
2120 BARLASS DRIVE
ROCKWALL, TX 75032

ZINK EDMUND D AND DEBORAH K
2120 CLUBVIEW DR
ROCKWALL, TX 75087

BRADY CHRISTOPHER
2120 GARDEN CREST DR
ROCKWALL, TX 75087

BURNS MARK A AND ASHLEY R
2120 HEATHER GLEN DR
ROCKWALL, TX 75087

LAFFERTY STEPHEN K & CHRISTINA A
2120 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2124 TWIN CREEK LN
ROCKWALL, TX 75087

MANAK PAUL W & LINDA L
2125 CLUBVIEW DR
ROCKWALL, TX 75087

SMILEY KEVIN & JENNIFER
2125 CRESTLAKE DR
ROCKWALL, TX 75087

FOLZ GILBERT F JR & TERESA
2125 GARDEN CREST DR
ROCKWALL, TX 75087

DELURINTU CRISTIANA AND
WILEY JACKSON JR
2125 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

SCHIFFMANN RAPHAEL
2125 HILLCROFT DR
ROCKWALL, TX 75087

PARDUE SUZAN LEIGH LUX
2125 LAKE FOREST DR
ROCKWALL, TX 75087

LANG NEAL & TAMMY
2127 LACEBARK LN
ROCKWALL, TX 75087

NICHOLS KESNEY
2130 BERKDALE LANE
ROCKWALL, TX 75087

LEWIS JONATHAN
2130 CLUBVIEW DRIVE
ROCKWALL, TX 75087

DIAZ FRANCISCO C AND ANDREA SILVA
2130 CRESTLAKE DR
ROCKWALL, TX 75087

TURNER ROBERT LINCOLN III AND JOSEFINA C
2130 GARDEN CREST DRIVE
ROCKWALL, TX 75087

MAJORS NATHAN & MICHELLE
2130 HEATHER GLEN DR
ROCKWALL, TX 75087

PENNISTON GAROLD J & BETTYE J
2130 HILLCROFT DR
ROCKWALL, TX 75087

COLLINS KIT J
2130 TWIN CREEK LN
ROCKWALL, TX 75087

PAULSEN ROBERT ALLAN III AND KATHRYN
BLAIR
2135 CLUBVIEW DRIVE
ROCKWALL, TX 75087

CAMPION ANGELA D
2135 CRESTLAKE DRIVE
ROCKWALL, TX 75087

DAVIS RANDAL R
2135 GARDEN CREST DR
ROCKWALL, TX 75087

PIERCE KRISTEN
2135 HEATHER GLEN DRIVE
ROCKWALL, TX 75087

HUGHES BARTON B AND CATHERINE H
2135 HILLCROFT DR
ROCKWALL, TX 75087

KABA GAZMENT & SHQIPE
2135 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2136 TWIN CREEK LN
ROCKWALL, TX 75087

LEE-GRAHAM WENDY
214 HEATHER GLEN DR
ROCKWALL, TX 75087

STELMAR THOMAS E JR
TRACY J STELMAR
2140 CLUBVIEW DR
ROCKWALL, TX 75087

SHAW KIRK D & MELISSA M
2140 CRESTLAKE DRIVE
ROCKWALL, TX 75087

DELANEY JIMMY
2140 GARDEN CREST DR
ROCKWALL, TX 75087

LEE-GRAHAM WENDY
2140 HEATHER GLEN DR
ROCKWALL, TX 75087

BOREK RICHARD J II AND OLGA
2140 HILLCROFT DR
ROCKWALL, TX 75087

PERCEFUL LARRY P
2140 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2145 CRESTLAKE DR
ROCKWALL, TX 75087

GARCIA LAURA AND AMANDA SUSTAITA
2145 CLUBVIEW DRIVE
ROCKWALL, TX 75087

ROBINSON RAY & BARBARA
2145 GARDEN CREST DR
ROCKWALL, TX 75087

KOTWAL MICHAEL CHAD
2145 HEATHER GLEN DR
ROCKWALL, TX 75087

BAUCOM KERRY E & CHRISTOPHER S
2145 HILLCROFT DRIVE
ROCKWALL, TX 75087

HAENFTLING JOHN E & TAMMY J
2150 CLUBVIEW DR
ROCKWALL, TX 75087

OP SPE PHX1 LLC
2150 E GERMANN RD SUITE #1
CHANDLER, AZ 85286

PACOT MICHELLE BROUSSARD & SCOTT
2150 GARDEN CREST DR
ROCKWALL, TX 75087

DEMUTH RAYMOND P & MARY E
2150 HEATHER GLEN DR
ROCKWALL, TX 75087

LI SHIYOU
2150 HILLCROFT DR
ROCKWALL, TX 75087

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DRIVE
ROCKWALL, TX 75087

LEAF SHOENE J & WILLIAM F II
2155 CRESTLAKE DR
ROCKWALL, TX 75087

TANKERSLEY LUTHER
2155 GARDEN CREST
ROCKWALL, TX 75087

VOGELMAN EUGENE R AND JENNIFER H
2155 HILLCROFT DRIVE
ROCKWALL, TX 75087

ROOF STEPHEN
2155 LAKE FOREST DR
ROCKWALL, TX 75087

DEAN LANTY W & MARY F
216 W QUAIL RUN RD
ROCKWALL, TX 75087

KING TRAVIS S & BRIDGETTE K
2160 CLUBVIEW DR
ROCKWALL, TX 75087

ROSE JAMES D AND NANCY L
2160 CRESTLAKE DR
ROCKWALL, TX 75087

BURROW RUSTY & CHRISTINE
2160 GARDEN CREST DR
ROCKWALL, TX 75087

SCHEETZ STEPHEN P & CARLA J
2160 HILLCROFT DR
ROCKWALL, TX 75087

WRIGHT REBEKAH R & KEVIN P
2160 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2165 GARDEN CREST DR
ROCKWALL, TX 75087

WILLIAMS RANDY
2165 CLUBVIEW DR
ROCKWALL, TX 75087

WILCOX RICHARD C
2165 CRESTLAKE DR
ROCKWALL, TX 75087

SMITH KENNETH D &
DENISE M DUNCAN SMITH
2165 HILLCROFT DR
ROCKWALL, TX 75087

WANG GUONENG AND HUI SUN
2165 HOLLYHOCK CT
GILROY, CA 95020

GLADNEY CAROL
2170 CRESTLAKE DR
ROCKWALL, TX 75087

BALLENGER DANIEL & JULIE
2170 GARDEN CREST DR
ROCKWALL, TX 75087

GREEN WILLIAM M AND LINDSAY
2170 HILLCROFT DR
FATE, TX 75087

CONFIDENTIAL
2175 CLUBVIEW DR
ROCKWALL, TX 75087

FISCHER SARA
2175 CRESTLAKE DR
ROCKWALL, TX 75087

CHILDERS JOHN & EMILY A
2175 GARDEN CREST DR
ROCKWALL, TX 75087

JOSE JEFFRIN &
LINDA THOMAS
2175 HILLCROFT DRIVE
ROCKWALL, TX 75087

DAVIS RICHARD S & LYNDELL R
2175 LAKE FOREST DR
ROCKWALL, TX 75087

HYDE TRENT D & DEBRA A
218 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2180 GARDEN CREST DR
ROCKWALL, TX 75087

SCHILLE JOSHUA AND ALISHA
2180 HILLCROFT DR
ROCKWALL, TX 75087

FLORES ANGEL O & GENISE J
2180 LAKE FOREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2185 CLUBVIEW DR
ROCKWALL, TX 75087

RESIDENT
2185 CRESTLAKE DR
ROCKWALL, TX 75087

LUX MARGERY S
2185 GARDEN CREST DRIVE
ROCKWALL, TX 75087

KEISER ANDREW B AND ELIZABETH M
2185 HILLCROFT DR
ROCKWALL, TX 75087

MCKENZIE DONALD & SHELBIE
2185 LAKE FOREST DR
ROCKWALL, TX 75087

CARREIRO DENNIS
2190 GARDEN CREST DR
ROCKWALL, TX 75087

HEFFNER STEPHEN D & DEBORAH L
2190 HILLCROFT DR
ROCKWALL, TX 75087

WILKERSON STEPHEN AND LORI
2190 LAKE FOREST DR
ROCKWALL, TX 75087

RESIDENT
2195 GARDEN CREST DR
ROCKWALL, TX 75087

GAWEDZINSKI ROBERT W & DIANE B
2195 CRESTLAKE DRIVE
ROCKWALL, TX 75087

WINSON PETER & THERESA TRAN
2195 HILLCROFT DR
ROCKWALL, TX 75087

HUNTER MICHAEL B & VICKIE D
220 W QUAIL RUN RD
ROCKWALL, TX 75087

MOORE KENNETH S & JENNIFER R
2200 CRESTLAKE DR
ROCKWALL, TX 75087

THONG SUNNARAK & PHAL K
2200 HILLCROFT DR
ROCKWALL, TX 75087

ROPER PATTY
2205 FALLS VIEW DRIVE
ROCKWALL, TX 75087

WHITE LARRY & JANETLYN
2205 GARDEN CREST DRIVE
ROCKWALL, TX 75087

WEIN ROBERT T & YULIA
2205 HILLCROFT DR
ROCKWALL, TX 75087

RESIDENT
2210 GARDEN CREST DR
ROCKWALL, TX 75087

FOUTZ DONALD L & DEBORA L
2210 HILLCROFT DR
ROCKWALL, TX 75087

ARZYMBETOV RUSTEM
2210 THOMAS JEFFERSON DR
RENO, NV 89509

GARDNER SUZANNE ROGERS
2215 CRESTLAKE DR
ROCKWALL, TX 75087

LEE RYAN AND CHRISTINA
2215 FALLS VIEW DRIVE
ROCKWALL, TX 75087

FORD FRANK G & RHYS O
2215 GARDEN CREST DR
ROCKWALL, TX 75087

HARPER JOHN R & RINA N
2215 HILLCROFT DR
ROCKWALL, TX 75087

ESTATE OF OEXMAN ALVIN & JOHNNIE
222 DAISE LN
LINDALE, TX 75771

LEE MARK AND KIMBERLY
222 EAGLES BLUFF BLVD
BULLARD, TX 75757

GORDON CECILIA A
222 W QUAIL RUN RD
ROCKWALL, TX 75087

RESIDENT
2220 GARDEN CREST DR
ROCKWALL, TX 75087

MCKELROY KENNETH G AND LORI
2220 BARLASS DRIVE
ROCKWALL, TX 75087

MYRICK CHASE AND CHRISTINA
2224 BARLASS DR
ROCKWALL, TX 75087

RESIDENT
2225 GARDEN CREST DR
ROCKWALL, TX 75087

ARANYOS JOSEPH AND KESHETTE BURTON
2225 FALLS VIEW DR
ROCKWALL, TX 75087

VELA IGNACIO
2225 HILLCROFT DR
ROCKWALL, TX 75087

LOFLAND WILLIAM CHRISTOPHER AND LYNDSEY NICOLE
2226 BARLASS DR.
ROCKWALL, TX 75087

BOWMAN JOHN D AND BARBARA
2228 BARLASS DR
ROCKWALL, TX 75087

SARTAIN ROBBIE R AND KIM M
2230 BARLASS DR
ROCKWALL, TX 75087

BOND MARK A
2230 GARDEN CREST DRIVE
ROCKWALL, TX 75087

BALLARD LINDA A
2232 BARLASS DRIVE
ROCKWALL, TX 75087

ROHLF DWAYNE C & KIMBERLY L
2235 FALLS VIEW DR
ROCKWALL, TX 75087

DUNNE ELIZABETH
2235 GARDEN CREST DR
ROCKWALL, TX 75087

RESIDENT
224 W QUAIL RUN RD
ROCKWALL, TX 75087

WALKER MERVIN NELSON AND NELDA DARLENE
2240 GARDEN CREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2240 SHORECREST DR
ROCKWALL, TX 75087

JONES STEVEN H AND MARY R
2240 WATER WAY
ROCKWALL, TX 75087

HILTON W DARRELL &
MELINDA G HILTON
2245 FALLS VIEW DR
ROCKWALL, TX 75087

VITIELLO KRISTINE A & DAN F
2245 GARDEN CREST DR
ROCKWALL, TX 75087

TOWER MATTHEW C AND CANDACE ELAINE
2245 SHORECREST DRIVE
ROCKWALL, TX 75087

FRANCES B STINNETT REVOCABLE TRUST
FRANCES BELK STINNETT- TRUSTEE
2250 GARDEN CREST DRIVE
ROCKWALL, TX 75087

COERVER HOLLY H
2250 WATER WAY
ROCKWALL, TX 75087

MIKOLASEK FAMILY TRUST
RICHARD A AND TIMARIE A MIKOLASEK
22535 S BRAMBLE HILL RD
JOLIET, IL 60404

PEACOCK DONALD AND MEGAN
2255 FALLS VIEW DR
ROCKWALL, TX 75087

GLENN JOHN AND CHRISHTAN
2255 GARDEN CREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
2260 GARDEN CREST DR
ROCKWALL, TX 75087

THOMAS NATHAN & APRIL
2260 SHORECREST DRIVE
ROCKWALL, TX 75087

RADCLIFF DAVID M & MICHELLE L
2260 WATER WAY
ROCKWALL, TX 75087

GRIMES OTIS M
2265 FALLS VIEW DR
ROCKWALL, TX 75087

KRATZ WILLIAM
2265 GARDEN CREST DR
ROCKWALL, TX 75087

NESKOVIC BRANO & RADA
2265 SHORECREST DR
ROCKWALL, TX 75087

PORTOFINO DRIVE LLC
2266 LAFAYETTE LANDING
HEATH, TX 75032

CORBELL TAMMIE
2270 GARDEN CREST DR
ROCKWALL, TX 75087

GARCIA MARY A
2270 SHORECREST DR
ROCKWALL, TX 75087

VAZQUEZ EDWIN J
2270 WATER WAY
ROCKWALL, TX 75087

BOOKER JON
2271 LAFAYETTE LANDING
ROCKWALL, TX 75032

BUSTOS SONYA
2275 FALLS DRIVE
ROCKWALL, TX 75087

FALETTO DARRYL D
2275 GARDEN CREST DR
ROCKWALL, TX 75087

MIZE CAROLYN
2275 SHORECREST DR
ROCKWALL, TX 75087

RESIDENT
2280 GARDEN CREST DR
ROCKWALL, TX 75087

MORGAN WILLIAM E & MARIAN G
2280 SHORECREST DR
ROCKWALL, TX 75087

SEATON GREGORY B AND KAYLA E
2280 WATER WAY
ROCKWALL, TX 75087

WISEMAN CAREY S AND REBECCA
2285 FALLS VIEW DR
ROCKWALL, TX 75087

WISEMAN CAREY STEPHEN AND REBECCA
DENESE
2285 FALLS VIEW DRIVE
ROCKWALL, TX 75087

KRAWIETZ LUKE & CYNTHIA
2285 GARDEN CREST DR
ROCKWALL, TX 75087

HOLLOWAY GREGORY & TERRY
2285 SHORECREST DR
ROCKWALL, TX 75087

RESIDENT
2290 GARDEN CREST DR
ROCKWALL, TX 75087

CHRISTIAN JOHN CASEY
2290 WATER WAY
ROCKWALL, TX 75087

CRUMP ERIKA B & ALRED T IV
2295 FALLS VIEW DRIVE
ROCKWALL, TX 75087

WAGNER STACY L
2295 GARDEN CREST DR
ROCKWALL, TX 75087

POLK JEREMY DON & JENNIFER SHAE
2300 GOLD COAST COURT
ROCKWALL, TX 75087

MORGENTHALER EDWARD P
2300 SHOAL CREEK LN
ROCKWALL, TX 75087

KNIGHT KENNY
2300 WATER WAY
ROCKWALL, TX 75087

FISCHER PAUL A II AND JANE
2301 WATER WAY
ROCKWALL, TX 75087

ALBRECHT ALEXANDER
2301 WHITNEY BAY DR
ROCKWALL, TX 75087

RESIDENT
2305 FALLS VIEW DR
ROCKWALL, TX 75087

RILEY DANA J AND RICHARD E
2305 CRESTLAKE DR
ROCKWALL, TX 75087

STEGMAN STACIE AND JOSHUA
2305 GARDEN CREST DR
ROCKWALL, TX 75087

SILVA DAVID & SHEILA
2305 GOLD COAST CT
ROCKWALL, TX 75087

MULLIKEN MATTHEW S & ELLIE T
2305 LAKE FOREST DR
ROCKWALL, TX 75087

WATSON DANIEL L AND JANIS A
2305 SADDLEBROOK LN
ROCKWALL, TX 75087

ROBERT J MINBIOLE & ROSEMARY S MINBIOLE
REVOCABLE LIVING TRUST
ROBERT J MINBIOLE & ROSEMARY S MINBIOLE,
TRUSTEES
2305 SHOAL CREEK LANE
ROCKWALL, TX 75087

RESIDENT
2310 GOLD COAST CT
ROCKWALL, TX 75087

RESIDENT
2310 SHOAL CREEK LN
ROCKWALL, TX 75087

BEHNE DONALD P & LISA R
2310 WATER WAY
ROCKWALL, TX 75087

RICH JOANNA AND
ADAM RICH
2311 WATER WAY
ROCKWALL, TX 75087

MILNER LYNNE HARBART
2312 SERENITY LN
ROCKWALL, TX 75032

RESIDENT
2315 FALLS VIEW DR
ROCKWALL, TX 75087

RESIDENT
2315 GARDEN CREST DR
ROCKWALL, TX 75087

BENTON JOHN
2315 CRESTLAKE DRIVE
ROCKWALL, TX 75087

SIEG JEFFREY P AND REBECCA L
2315 GOLD COAST CT
ROCKWALL, TX 75087

MCMILLAN MICHAEL T
2315 SHOAL CREEK LANE
ROCKWALL, TX 75087

BAILEY JOHN BRANDON & MARESA RAMOS
2320 GOLD COAST COURT
ROCKWALL, TX 75087

CALHOUN JACKIE III & JOY
2320 SHOAL CREEK LANE
ROCKWALL, TX 75087

FREEMAN ROBERT PEYTON & TERESA L
2320 WATER WAY
ROCKWALL, TX 75087

OBRYAN LINDA
2321 WATER WAY
ROCKWALL, TX 75087

BRISCOE OIL INC
2323 STEVENS RD
ROCKWALL, TX 75032

RESIDENT
2325 FALLS VIEW DR
ROCKWALL, TX 75087

RESIDENT
2325 SHOAL CREEK LN
ROCKWALL, TX 75087

MILLIGAN GINGER LYNNETTE & ROBERT WILLIAM
2325 CRESTLAKE DR
ROCKWALL, TX 75087

LIPPEL EVERRETT AND DANA
2325 DESERT FALLS
ROCKWALL, TX 75087

CONFIDENTIAL
2325 GARDEN CREST DR
ROCKWALL, TX 75087

ALCORN DAVID E AND
DAYSHA A CRAIN
2325 GOLD COAST COURT
ROCKWALL, TX 75087

RICHEY MICHAEL D AND TAMIE L
233 RIDGE POINT DR
HEATH, TX 75126

TOWLES JEFFREY AND
STEPHANIE TOWLES
2330 DESERT FALLS LANE
ROCKWALL, TX 75087

HOLT DAYLAN & JENNIFER
2330 GOLD COAST COURT
ROCKWALL, TX 75087

TWEDELL ELIZABETH AND MATTHEW
2330 SHOAL CREEK LN
ROCKWALL, TX 75087

BROWN AARON ETUX
2330 SHORECREST DR
ROCKWALL, TX 75087

BARSOUM GABRIEL AND BARAAT JAMIEL
ALFAHEL
2330 WATER WAY
ROCKWALL, TX 75087

RESIDENT
2331 WATER WAY
ROCKWALL, TX 75087

KING JON JOSHUA
2335 CRESTLAKE DRIVE
ROCKWALL, TX 75087

ENGLE ROBERT AND SHANNON
2335 DESERT FALLS LANE
ROCKWALL, TX 75087

PACOT SCOTT TREVOR AND MICHELLE
BROUSSARD-PACOT
2335 FALLS VIEW DR
ROCKWALL, TX 75087

BROWN CINDY AND ROBERT
2335 SHOAL CREEK
ROCKWALL, TX 75087

HOLMES JOHN ROGER & MARILYN L
2335 SHORECREST DR
ROCKWALL, TX 75087

SWANSON AARON J & PRISCILLA
2340 DESERT FALLAS LN
ROCKWALL, TX 75087

CERVANTES JOSE AND ALEJANDRA
2340 SHOAL CREEK LN
ROCKWALL, TX 75087

FORMAN JOSEPH & ELIZABETH
2340 SHORECREST DR
ROCKWALL, TX 75087

ENGLAND JESSE AND MEREDITH
2340 WATER WAY
ROCKWALL, TX 75087

NORTHCUTT TERRY C & JANET R
2341 WATER WAY
ROCKWALL, TX 75087

BARKELEW JOSEPH MATTHEW
2345 CRESTLAKE DR
ROCKWALL, TX 75087

HICKEY COLIN P & CAROLYN G
2345 DESERT FALLS LANE
ROCKWALL, TX 75087

CONDREN ROBERT & SHEILA
2345 FALLS VIEW DR
ROCKWALL, TX 75087

REESE DENNIS P & GLORIA K
2345 LAKE FOREST DR
ROCKWALL, TX 75087

MARTIN PHYLLIS A
2345 SHOAL CREEK LN
ROCKWALL, TX 75087

CDEBACA CHRISTI W & BRIAN P
2345 SHORECREST DR
ROCKWALL, TX 75087

COKER SUZANNE & WESLEY C
2350 DESERT FALLS LN
ROCKWALL, TX 75087

DANIEL ANDREW AND KATHARINE
2350 SHOAL CREEK
ROCKWALL, TX 75087

WEIR STEVEN CRAIG
2350 SHORECREST DR
ROCKWALL, TX 75087

SAMARAS GREGORY S & MEREDITH D
2351 WATER WAY
ROCKWALL, TX 75087

MCGEE CHARLES E AND SHANNON L
2355 DESERT FALLS LANE
ROCKWALL, TX 75087

WHITE BRADY D AND SARAH E
2355 FALLS VIEW DRIVE
ROCKWALL, TX 75087

DECKER JOE & ELIZABETH
2355 SHOAL CREEK LN
ROCKWALL, TX 75087

GONZALEZ MARTIN N & ANGELA D
2355 SHORECREST DRIVE
ROCKWALL, TX 75087

JOHNSON BRIAN W & STEPHANIE KAHN
2360 DESERT FALLS LN
ROCKWALL, TX 75087

FITZPATRICK ADAM AND SARAH
2360 LAKE FOREST DRIVE
ROCKWALL, TX 75087

COUGHLIN JOHN & LYNETTE
2360 SHORECREST DR
ROCKWALL, TX 75087

DILLON JOSEPH W & TILLERI F
2360 WATER WAY
ROCKWALL, TX 75087

BORAWSKI PHILIP M AND TERRI R STCLAIR
2361 WATER WAY
ROCKWALL, TX 75087

WINKLER LIVING TRUST
MAGNOLIA L WINKLER- TRUSTEE
2365 DESERT FALLS LANE
ROCKWALL, TX 75087

RAGNO LINDA L
2365 FALLS VIEW DR
ROCKWALL, TX 75087

RAGNO LINDA L
2365 FALLS VIEW DR
ROCKWALL, TX 75087

HOLLOWAY WILLIAM DAVID & LISA K
2365 LAKE FOREST DRIVE
ROCKWALL, TX 75087

KHATER CHARLES J
2368 E FM 552
ROCKWALL, TX 75087

PATTERSON DAVID W
2370 DESERT FALLS LN
ROCKWALL, TX 75087

CONFIDENTIAL
2370 SHORECREST DR
ROCKWALL, TX 75087

DONHAM BRENT L & ELESA H
2370 WATER WAY
ROCKWALL, TX 75087

SINUTKO JOHN & NANCY BEVERLY
2375 FALLS VIEW DRIVE
ROCKWALL, TX 75087

HOLT KELLY AND TAMARA LYNN
2375 LAKE FOREST DRIVE
ROCKWALL, TX 75087

PERRY ALLEN D AND KAREN S
2380 DESERT FALLS LN
ROCKWALL, TX 75087

EDWARDS MORGAN AND
CHANCE WOOD
2380 SHORECREST DRIVE
ROCKWALL, TX 75087

YARBROUGH JAMES S
2380 WATER WAY
ROCKWALL, TX 75087

GEISINGER MATT D & JOYCE O
2385 FALLS VIEW DR
ROCKWALL, TX 75087

PINE ROBERT E & ELLEN R
2390 DESERT FALLS LN
ROCKWALL, TX 75087

REED CARA M
2390 SHORECREST DR
ROCKWALL, TX 75087

HUNT INES V & ROBERT W
2390 WATER WAY
ROCKWALL, TX 75087

HUNT ROBERT WESLEY & INES VALENTINA
2390 WATER WAY
ROCKWALL, TX 75087

COBLE JONATHAN B
2395 FALLS VIEW DR
ROCKWALL, TX 75087

AMH 2015-2 BORROWER LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIES EIGHT LLC
23975 PARK SORRENTO SUITE 300
CALABASAS, CA 91302

PINK DALLAS LLC
240 WILLOWCREST
ROCKWALL, TX 75032

RESIDENT
2400 DESERT FALLS LN
ROCKWALL, TX 75087

RAY DUSTIN K & JORDAN E
2400 SHORECREST DRIVE
ROCKWALL, TX 75087

LAMB KELLY
2400 WATER WAY
ROCKWALL, TX 75087

DUGGAN JOEL D & MELBA L
2405 FALLS VIEW DR
ROCKWALL, TX 75087

ARNEY TONI GALE AND
JEFFREY M FEYERHERM
2405 SHOAL CREEK LANE
ROCKWALL, TX 75087

RESIDENT
2410 SHORECREST DR
ROCKWALL, TX 75087

PORTER JON E & KAREN K
2410 DESERT FALLS LN
ROCKWALL, TX 75087

CONFIDENTIAL
2410 WATER WAY
ROCKWALL, TX 75087

SMITH STOVE L III AND AMY ONOFRIO-SMITH
2415 FALLS VIEW DR
ROCKWALL, TX 75087

RITTER DAVID AND HERMI
2415 SHOAL CREEK LANE
ROCKWALL, TX 75087

DANIEL BILLY AND SHERRY
2420 SHORECREST DR
ROCKWALL, TX 75087

STARR RICHARD
2420 WATER WAY
ROCKWALL, TX 75087

HAYES WILLIAM AND PATRICIA HAYES
2425 SHOAL CREEK LN
ROCKWALL, TX 75087

MATHSON KATHLEEN G
2430 SHORECREST DR
ROCKWALL, TX 75087

FASELER BRIAN J AND JENNIFER R
2430 WATER WAY
ROCKWALL, TX 75087

BARDWELL MICHAEL G & MARSHA L
2435 SHOAL CREEK LN
ROCKWALL, TX 75087

WARE WILSON G & CARRIE L
2440 SHORECREST DR
ROCKWALL, TX 75087

STRUNCK LYNDALL
2440 WATER WAY
ROCKWALL, TX 75087

FRITZ COREY F & SUSAN D
2445 SHOAL CREEK LN
ROCKWALL, TX 75087

STEVENSON BENJAMIN AND LAUREN
2450 SHORECREST DRIVE
ROCKWALL, TX 75087

RESIDENT
2460 SHORECREST DR
ROCKWALL, TX 75087

QUAN HONG
2469 SLEEPY HOLLOW TRL
FRISCO, TX 75034

KEITH MACKENZIE D & KERRY S
2470 SHORECREST DRIVE
ROCKWALL, TX 75087

PARKER CEMETERY
C/O BARBARA WILLESS
2471 FM 1141
ROCKWALL, TX 75087

MUNN ROBERT W & MARCIA C
2480 SHORECREST DR
ROCKWALL, TX 75087

DEVLIN MARY RACHEL
249 CRAFTS ST
NEWTON, MA 2460

WHITE RICHARD A
2490 SHORECREST DR
ROCKWALL, TX 75087

THE BRANCH OFFICE PROPERTIES LLC
C/O WILLIAM BRANCH
25 NOBLE COURT
HEATH, TX 75032

MCLAUGHLIN BRETT AND LEIGH
2500 DESERT FALLS LANE
ROCKWALL, TX 75087

NIEBLA OYUKI
2500 SHORECREST DRIVE
ROCKWALL, TX 75087

ELLIOTT JOEL S & SHARON KIM
2510 DESERT FALLS LANE
ROCKWALL, TX 75087

TETER ERIC JASON AND MELANIE ANN
2510 SHORECREST DRIVE
ROCKWALL, TX 75087

MEDINA MANUELA AND
MARIA DEL CARMEN MONTANA
2513 CHANTILLY CT
HEATH, TX 75032

RILEY TONY & KATHY
2520 SHORECREST DR
ROCKWALL, TX 75087

FREDERICKS GARY AND CHRISTINE
2530 SHORECREST DRIVE
ROCKWALL, TX 75087

COLON STEPHEN AND JULIENNE
2530 WATER WAY
ROCKWALL, TX 75087

HARRIS FAMILY LIVING TRUST
MARLENE & NORMAN HARRIS TRUSTEES
25534 WEST COLETTE WAY
CALABASAS, CA 91364

GOTROCKS PROPERTIES LLC
ATTN: GENE COOPER, MANAGER
2560 TECHNOLOGY DRIVE SUITE 100
PLANO, TX 75074

CUPP MARCUS D AND TRACY DEE KERR
2565 DESERT FALLS LN
ROCKWALL, TX 75087

LIECHTY HOMES INC
258 WINDY LN
ROCKWALL, TX 75087

BURKEY DARBY D
2585 DESERT FALLS LANE
ROCKWALL, TX 75087

GALLAGHER JAMES E & RENA J
2595 DESERT FALLS LN
ROCKWALL, TX 75087

RESIDENT
2600 CHAMPIONS DR
ROCKWALL, TX 75087

SCHAMBER DAVID & SORAYA
2600 DESERT FALLS LN
ROCKWALL, TX 75087

LOPEZ SYLVIA A
2600 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2601 NOVA PARK CT
ROCKWALL, TX 75087

YANG RICHARD
2605 DESERT FALLS LN
ROCKWALL, TX 75087

RESIDENT
2610 ARGYLE SHORE DR
ROCKWALL, TX 75087

STELZER PATTI J
2610 EGANRIDGE LN
ROCKWALL, TX 75087

MITCHELL AND AMY COOK LIVING TRUST
MITCHELL V COOK AND AMY V DAVIS COOK-
TRUSTEES
2610 MIRAGE LANE
ROCKWALL, TX 75087

RESIDENT
2611 NOVA PARK CT
ROCKWALL, TX 75087

BRIGGS THOMAS & KARLA
2615 DESERT FALLS LANE
ROCKWALL, TX 75087

RESIDENT
2620 NOVA PARK CT
ROCKWALL, TX 75087

BENDA LINDSEY ANN
2620 ARGYLE SHORE DRIVE
ROCKWALL, TX 75087

PEARSON JEREMY
2620 EGANRIDGE LANE
ROCKWALL, TX 75087

GORDON REVOCABLE TRUST
2620 MIRAGE LN
ROCKWALL, TX 75087

PEPPER-FARRIS JO ANN
2621 EGANRIDGE LN
ROCKWALL, TX 75087

TAUSS RYAN BENTON AND JENNIFER LYNN
2621 NOVA PARK CT
ROCKWALL, TX 75087

HIGGINS JACOB AND CORI SUZANNE
2625 DESERT FALLS LANE
ROCKWALL, TX 75087

RESIDENT
2630 NOVA PARK CT
ROCKWALL, TX 75087

GANT WENDY
2630 ARGYLE SHORE DRIVE
ROCKWALL, TX 75087

MCMULLIN GRANVILLE
2630 EGANRIDGE LN
ROCKWALL, TX 75087

SHELBURNE CHARLES J AND
STACY H SHELBURNE
2630 MIRAGE LANE
ROCKWALL, TX 75087

NEILL JEFFREY & ASHLEI C
2631 EGANRIDGE LN
ROCKWALL, TX 75087

FRANKENFIELD DIANA & JASON
2635 DESERT FALLS LANE
ROCKWALL, TX 75087

RIGGS ROBERT THOMAS & NOELLE MARIE
2640 ARGYLE SHORE DRIVE
ROCKWALL, TX 75087

SMITH KEVIN D
2640 EGANRIDGE LN
ROCKWALL, TX 75087

TRAHAN JASON
2640 MIRAGE LANE
ROCKWALL, TX 75087

EVANS MICHAEL J AND CHERYL A
2640 NOVA PARK COURT
ROCKWALL, TX 75087

HENRY MICHAEL & JENNIFER
2641 EGANRIDGE LN
ROCKWALL, TX 75087

HABER TRAVIS
2641 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2645 DESERT FALLS LN
ROCKWALL, TX 75087

RESIDENT
2650 ARGYLE SHORE DR
ROCKWALL, TX 75087

RESIDENT
2650 NOVA PARK CT
ROCKWALL, TX 75087

SHORES ON LAKE RAY HUBBARD
HOME OWNERS ASSOCIATION
2650 CHAMPIONS
ROCKWALL, TX 75087

THE SHORES ON LAKE RAY HUBBARD
OWNERS ASSOCIATION INC
2650 CHAMPIONS
ROCKWALL, TX 75087

WERCHAN CONNIE
2650 EGANRIDGE LN
ROCKWALL, TX 75087

DUNNIGAN MICHAEL
2650 FERN VALLEY LN
ROCKWALL, TX 75087

DINH KIM OANH THI &
KHOI NGUYEN DANG
2650 MIRAGE LN
ROCKWALL, TX 75087

RESIDENT
2651 EGANRIDGE LN
ROCKWALL, TX 75087

SCOTT CANDACE ANGELL RICHARDSON AND
WADE ASHLEY
2651 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2660 NOVA PARK CT
ROCKWALL, TX 75087

MUELLER LUCILLE M
2660 EGANRIDGE LANE
ROCKWALL, TX 75087

STOVALL HUGH & BETTY JO
2660 FERN VALLEY LN
ROCKWALL, TX 75087

LOUTHAN KELSEY N
2660 MIRAGE LANE
ROCKWALL, TX 75087

RESIDENT
2661 NOVA PARK CT
ROCKWALL, TX 75087

BRITT CHRISTINA S & HUGH A
2661 EGANRIDGE LN
ROCKWALL, TX 75087

YOUNG GARY L AND JENNIFER E CAWTHON
2665 FERN VALLEY LN
ROCKWALL, TX 75087

RESIDENT
2670 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2670 FERN VALLEY LN
ROCKWALL, TX 75087

RESIDENT
2670 MIRAGE LN
ROCKWALL, TX 75087

BRIDGER CHRISTOPHER J AND WENDY L
2670 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2671 NOVA PARK CT
ROCKWALL, TX 75087

CREBS TIFFANY MARY
2671 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2680 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2680 FERN VALLEY LN
ROCKWALL, TX 75087

FRANKS JOHN D & JESSICA
2680 NOVA PARK CT
ROCKWALL, TX 75087

MCKINNEY JUDY ANN LIPPERT
2681 EGANRIDGE LANE
ROCKWALL, TX 75087

WILLIAMS TAYLOR L AND GWENDOLYN E
2681 NOVA PARK CT
ROCKWALL, TX 75087

WEISS WALTER J & AURELIA JOANN
2685 FERN VALLEY LN
ROCKWALL, TX 75087

KOWALCYK NICHOLAS & RACHEL
2690 EGANRIDGE LN
ROCKWALL, TX 75087

MORGAN ELLEN IONE
2690 FERN VALLEY LN
ROCKWALL, TX 75087

JERNIGAN WILLIAM CHAD
2690 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2691 EGANRIDGE LN
ROCKWALL, TX 75087

GALYON KELLY MELISSA
2691 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2700 EGANRIDGE LN
ROCKWALL, TX 75087

JOLLEY LOIS MAYNO
2700 FERN VALLEY LN
ROCKWALL, TX 75087

CARRIS RONALD WILLIAM
2700 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2701 EGANRIDGE LN
ROCKWALL, TX 75087

PARKS NADINE R
2701 NOVA PARK CT
ROCKWALL, TX 75087

COLLIER CASEY JAMES
2705 FERN VALLEY LANE
ROCKWALL, TX 75087

HAWKINS JIMMY & MARY ANN
2710 CLUBVIEW DR
ROCKWALL, TX 75087

CABALLERO MELISSA ANNE
2710 EGANRIDGE LANE
ROCKWALL, TX 75087

WOUDWYK TYLER AND ANDREA L CROASDALE WOUDWYK
2710 FERN VALLEY LN
ROCKWALL, TX 75087

THOMAS PATIENCE AND JAMES
2710 NOVA PARK
ROCKWALL, TX 75087

DILBECK JAMES SCOTT AND HILLARY ANN
2711 EGANRIDGE LN
ROCKWALL, TX 75087

MICHIE JOHN D & PHYLLIS R
2711 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2720 EGANRIDGE LN
ROCKWALL, TX 75087

MAXWELL KRISTIN R AND NATHANIEL A
2720 FERN VALLEY LN
ROCKWALL, TX 75087

IZAK MARY L
2720 NOVA PARK CT
ROCKWALL, TX 75087

PANOS HELEN
2721 EGANRIDGE LN
ROCKWALL, TX 75087

CARROLL CALVIN AND MARIA
2721 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2730 EGANRIDGE LN
ROCKWALL, TX 75087

MATHEW DANIEL AND EMILIE MENDALA-MATHEW
2730 FERN VALLEY LANE
ROCKWALL, TX 75087

SAENZ RICHARD GEORGE AND BERNADINE
2730 NOVA PARK CT
ROCKWALL, TX 75087

NIEBUR ALAN R & COURTNEY
2731 EGANRIDGE LN
ROCKWALL, TX 75087

DELLA FRANK E II
2731 NOVA PARK COURT
ROCKWALL, TX 75087

RESIDENT
2740 EGANRIDGE LN
ROCKWALL, TX 75087

RICH JENNIFER A
2740 FERN VALLEY LN
ROCKWALL, TX 75087

NABI HOSNI A & LYNN
2740 NOVA PARK CT
ROCKWALL, TX 75087

WOODDELL SCOTT W AND DEBBIE L
2741 NOVA PARK CT
ROCKWALL, TX 75087

RESIDENT
2750 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2750 FERN VALLEY LN
ROCKWALL, TX 75087

POULSON LESLIE C & CAROL D
2760 FERN VALLEY LN
ROCKWALL, TX 75087

WEATHERFORD CONNIE
2770 FERN VALLEY LANE
ROCKWALL, TX 75087

LAWSON JAMES W & SARAH
2780 FERN VALLEY LANE
ROCKWALL, TX 75087

ABC FINANCING INVESTMENT & HOLDING LLC
28 RUE PRINCIPALE 67160 ALTENSTADT
FRANCE,

MERRILL NOLAN
2800 EGANRIDGE LN
ROCKWALL, TX 75087

HODGES BARBARA
2800 FERN VALLEY LANE
ROCKWALL, TX 75087

HENRIQUEZ ERICK J
ASHLEY NICOLE ONEY
2802 EMBERWOOD DR
GARLAND, TX 75043

LAZORKO JACOB & SHAWNA LAZORKO
2820 EGANRIDGE LN
ROCKWALL, TX 75087

KECK MELISSA M
2825 EGANRIDGE LANE
ROCKWALL, TX 75087

LANGSTON ELAINA AND TIMOTHY
2830 EAGEN RIDGE LN
ROCKWALL, TX 75087

DOORNEK JORDAN
2835 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2840 EGANRIDGE LN
ROCKWALL, TX 75087

RESIDENT
2845 EGANRIDGE LN
ROCKWALL, TX 75087

GRUBBS BEN R & SHIRLEY J
2855 EGANRIDGE LN
ROCKWALL, TX 75087

BARRON RODOLFO & KRISTIN M
2860 EGANRIDGE LANE
ROCKWALL, TX 75087

RESIDENT
2865 EGANRIDGE LN
ROCKWALL, TX 75087

WESLEY RANDALL & CYNTHIA
2937 SAN DIEGO DRIVE
DALLAS, TX 75228

WATSON CAROLYN J
300 MCCREARY RD #2023
WYLIE, TX 75098

RESIDENT
3005 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3009 N GOLIAD
ROCKWALL, TX 75087

CUNNINGHAM CURTIS AND KIMBERLY
301 WOODED TRL
ROCKWALL, TX 75087

CLARK TROY & JANICE
3025 N GOLIAD ST
ROCKWALL, TX 75087

ROSS JODY ALAN & KAREY
3027 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3029 N GOLIAD ST
ROCKWALL, TX 75087

GREER PATRICIA L
3031 N GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
3031 N GOLIAD ST
ROCKWALL, TX 75087

GREER TIMOTHY K
3033 N GOLIAD
ROCKWALL, TX 75087

RESIDENT
3045 N GOLIAD RD
ROCKWALL, TX 75087

LAM PROPERTY
3051 N GOLIAD ST
ROCKWALL, TX 75087

STONE DAVID
3053 N GOLIAD ST
ROCKWALL, TX 75087

FERGUSON DAVEY L & SHIRLEY C
DAVID W FERGUSON AS JOINT TENANTS
3055 N GOLIAD ST
ROCKWALL, TX 75087

WEST JEFFREY A & CHANTEL M
3059 N GOLIAD STREET
ROCKWALL, TX 75087

MARKEE DAVID E & SUSAN M
3064 WILD ORCHID LN
BURTON, MI 48519

THE STEED FAMILY LIVING TRUST
JASON STEED AND NATALIE MARIE STEED - TRUSTEES
3065 N GOLIAD ST
ROCKWALL, TX 75087

STEED JASON & NATALIE MARIE
3065 N GOLIAD STREET
ROCKWALL, TX 75087

LIU JOHN AND CONNIE Q
3069 N GOLIAD
ROCKWALL, TX 75087

BURTON RICHARD E AND MARGARET H
3090 N GOLIAD ST #828102
ROCKWALL, TX 75087

PINEHURST SHORES LLC
3105 LIVE OAK DR
ROWLETT, TX 75088

MITCHELL STEPHEN NEAL & DEBORAH ELAINE
324 AME LANE
ROYSE CITY, TX 75189

STRACHAN GREGORY & CAITLYN
3300 ROSWELL RD NW UNIT 5324
ATLANTA, GA 30305

SHATSWELL RICHARD & CHRISTINE
3307 WHITELEY RD
WYLIE, TX 75098

WATTS ANGELA & DAVID
3345 SOUTHLAKE AVE
BATON ROUGE, LA 70810

M13 PROPERTIES LLC
3494 N STODGHILL RD
FATE, TX 75087

RESIDENT
350 DALTON ROAD
ROCKWALL, TX 75087

SULLIVAN PATRICK
3562 OAK CLIFF DR
FALLBROOK, CA 92028

SELMAN ENTERPRISES INC
3612 HILLTOP CIR
ROCKWALL, TX 75087

SELMAN ENTERPRISES INC
3612 HILLTOP CIR
ROCKWALL, TX 75087

MALCHEV CHARLES G & IVANKA
3635 NAVARRO WAY
FRISCO, TX 75034

CITY OF ROCKWALL
ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

GREENLEE JAMES JR AND ANTOINETTE
4047 I-30
CADDO MILLS, TX 75135

CARTER RICHARD W AND JODY
406 MCKINZIE PL
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES - SERIES 200
DARRIN DRIVE
407 CASTLE PINES DRIVE
HEATH, TX 75032

RESIDENT
408 MCKINZIE PL
ROCKWALL, TX 75087

MASON KEITH AND
ANN MARIE MASON
410 MCKENZIE PLACE
ROCKWALL, TX 75087

OPENDOOR PROPERTY TRUST I
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85281

OPENDOOR PROPERTY TRUST I, A DELAWARE
STATUTORY TRUST
410 N SCOTTSDALE RD SUITE 1600
TEMPE, AZ 85281

OSBORNE JAMES
410 N SCOTTSDALE RD STE 1600
TEMPE, AZ 85288

HAURY NORMAN L &
SHANNON R BOSTON
4186 RAVENBANK DR
ROCKWALL, TX 75087

BRYANT ROBERT W AND JANET R
420 BIRCH LANE
RICHARDSON, TX 75081

GODINES MANUEL & ANNA
4255 N HAMLIN AVE
CHICAGO, IL 60618

GU HUI
430 S 14TH ST
SAN JOSE, CA 95112

SANDERS DORIS A & JOE C
4400 BEACON PLACE PARKWAY APT 2806
TUSCALOOSA, AL 35405

RESIDENT
450 W QUAIL RUN RD
ROCKWALL, TX 75087

GOODWIN FAMILY REVOCABLE TRUST
4559 LANDEROS AVE
LA VERNE, CA 91750

YANG BO AND
YUE HU
4651 S CUSTER ROAD #2211
MCKINNEY, TX 75070

SWAN DANIEL AND CAMILLE
471 MONTEREY DR
ROCKWALL, TX 75087

AFFINITY DEVELOPMENT COMPANY LLC
480 WILDWOOD FOREST DRIVE SUITE 801
THE WOODLANDS, TX 77380

MELARA RUTH AND
TATYANA VELASQUEZ
489 BENDING OAK TRAIL
ROCKWALL, TX 75087

NEIGHBORS LEONARD V AND LINDA L
490 BENDING OAKS
ROCKWALL, TX 75087

SIEGELMAN LORI GOODWIN
4936 COUNTY ROAD 312B
CLEBURNE, TX 76031

CONFIDENTIAL
495 BENDING OAKS TRL
ROCKWALL, TX 75087

TOWELL KEITH R AND MARTHA M
496 BENDING OAKS TRAIL
ROCKWALL, TX 75087

CURTIS JOSEPH & THERESA
500 SHADOW OAKS CT
ROCKWALL, TX 75087

ALTO ASSET COMPANY 2 LLC
5001 PLAZA ON THE LAKE SUITE 200
AUSTIN, TX 78746

RESIDENT
501 BENDING OAKS TR
ROCKWALL, TX 75087

ZOPP THOMAS M & MITZI ANN
502 BENDING OAKS TRL
ROCKWALL, TX 75087

2011 WILCOX-HYUM FAMILY TRUST
ERIC C WILCOX AND JENNY K HYUN
5037 RHONDA DRIVE
SAN JOSE, CA 95129

ARRIAGA HENRY
505 HIDDEN OAK LN
ROCKWALL, TX 75087

OPEN HOUSE TEXAS REALTY & INVESTMENTS
LLC
5050 QUORUM DR #225
DALLAS, TX 75254

HAYASHI MASATOSHI
5050 QUORUM DRIVE SUITE 225
DALLAS, TX 75254

RESIDENT
506 SHADOW OAKS CT
ROCKWALL, TX 75087

BORN SHELLEY L
507 BENDING OAKS TRAIL
ROCKWALL, TX 75087

HASSAN IBRAHIM AND LATIFAT
5090 BERLIN PLACE
DULLES, VA 20189

RESIDENT
510 BENDING OAKS TR
ROCKWALL, TX 75087

JASMAN JAMES BLAKE
511 HIDDEN OAK LN
ROCKWALL, TX 75087

SARMIENTO FAMILY LIV REV TRUST
FRANCIS H SARMIENTO - BENEFICIARY
513 BENDING OAKS TRL
ROCKWALL, TX 75087

JOHNSON NATALIE K
514 SHADOW OAKS COURT
ROCKWALL, TX 75087

PHAM DAN Q
5158 COUNTY ROAD 3115
CAMPBELL, TX 75422

RESIDENT
517 SHADOW OAKS CT
ROCKWALL, TX 75087

DAYMAN DENNIS & JENNIFER
519 CELLARS CT
ROCKWALL, TX 75087

MOORE RICHARD DOUGLAS AND CAROLYN ANN
519 EAST I-30 PMB 705
ROCKWALL, TX 75087

MURRAY NANCY J
519 HIDDEN OAK LN
ROCKWALL, TX 75087

ZANDOMENI GABRIELA M AND
ARIEL A QUIROGA
524 WILLOW SPRINGS DR
HEATH, TX 75032

RESIDENT
525 SHADOW OAKS CT
ROCKWALL, TX 75087

FITZGERALD GLORIA J MCWHIRTER & DON
525 HIDDEN OAK LANE
ROCKWALL, TX 75087

JUAREZ CORAL AND JOSE A
530 HIDDEN OAK LN
ROCKWALL, TX 75087

CORTEZ GERRE L
531 HIDDEN OAK LANE
ROCKWALL, TX 75087

BOSTROM DAVID MATTHEW & RACHEL
533 SHADOW OAKS CT
ROCKWALL, TX 75087

THIRION MARK P & ELIZABETH
533 TALL OAKS PL
ROCKWALL, TX 75087

SAPUTA DUANE & MONICA
536 HIDDEN OAK LN
ROCKWALL, TX 75087

HOLLAND RODNEY B
536 LOMA VISTA
HEATH, TX 75032

COLE MARK A
537 HIDDEN OAK LN
ROCKWALL, TX 75087

SCOTT WILLIAM F & PATRICIA R
538 TALL OAKS PL
ROCKWALL, TX 75087

WALN IRMA SUE
REVOCABLE LIVING TRUST
539 TALL OAKS PL
ROCKWALL, TX 75087

P V REAL ESTATE HOLDINGS SERIES LLC SERIES B
540 NANCE RD
SUNNYVALE, TX 75182

P V REAL ESTATE HOLDINGS SERIES LLC SERIES C
540 NANCE RD
SUNNYVALE, TX 75182

HAYES MELANIE S
542 HIDDEN OAK LN
ROCKWALL, TX 75087

FOSTER MICHAEL A
543 HIDDEN OAK LANE
ROCKWALL, TX 75087

NADIR LADONNA AND
BARBARA MATHIS
544 TALL OAKS PLACE
ROCKWALL, TX 75087

VASQUEZ GLORIA
545 TALL OAKS PL
ROCKWALL, TX 75087

RESIDENT
548 HIDDEN OAK LN
ROCKWALL, TX 75087

MARSH SABREANA SMITH AND MATTHEW W
549 HIDDEN OAK LN
ROCKWALL, TX 75087

S HAYS FAMILY PARTNERSHIP LTD
555 LONE RIDER CT
ROCKWALL, TX 75087

SALTZMAN DANIEL
5620 S COLONY BLVD APT 810
THE COLONY, TX 75056

ASHLEY MARGARET P
5805 YACHT CLUB
ROCKWALL, TX 75032

LALUMIA MICHAEL
6 LEE DRIVE
HEATH, TX 75032

COSTELLO LISA J
6000 SHEPHERD MOUNTAIN CV UNIT 301
AUSTIN, TX 78730

DELA TORRE KENNETH C & MARIA CHATU SERRA
6004 AUBURNDALE AVE APT C
DALLAS, TX 75205

CAMPBELL DUNCAN AND TIFFANY
629 ARCADIA WAY
ROCKWALL, TX 75087

BATEMAN ROBERT L, TRUSTEE
ROBERT L BATEMEN REVOCABLE LIVING TRUST
642 SUNCREST CT
SHERRARD, IL 61281

KSSMS LLC
6501 YELLOW FLOWER WAY
PLANO, TX 75024

BLACK RICARDO N & LORY C
655 MISSION DR
ROCKWALL, TX 75087

MALONE CLANTON
657 MISSION DR
ROCKWALL, TX 75087

HULL JEFFREY C AND CARLA R
659 MISSION DR
ROCKWALL, TX 75087

CUMMINGS TERRENCE J & CHERYL L
661 MISSION DR
ROCKWALL, TX 75087

GEHAN MICHAEL P & AMY M
6613 SHADY POINT DR
PLANO, TX 75024

COLLIER JAMES P AND LINDA K
663 MISSION DRIVE
ROCKWALL, TX 75087

EBEIER JOHN C & DANIELLE B EBEIER
664 MISSION DR
ROCKWALL, TX 75087

RAMSEY JAMES & CYNTHIA
665 MISSION DR
ROCKWALL, TX 75087

BLACKWELL DEREK AND CASSIE
667 MISSION DR
ROCKWALL, TX 75087

GROVES JOSEPH M & MARIE E
668 BRYN MAHR LN
ROCKWALL, TX 75087

JACKSON TRACY & RETHA
668 MISSION DR
ROCKWALL, TX 75087

RESIDENT
670 PRINCETON WAY
ROCKWALL, TX 75087

STUDENNIKOV VITALY AND
VLADIMIR STUDENNIKOV AND MARINA
STUDENNIKOVA
670 BRYN MAHR LN
ROCKWALL, TX 75087

DAVIS AARON F & AMANDA M
670 MISSION DRIVE
ROCKWALL, TX 75087

FORESEE MICHAEL D AND JEAN A
6709 BAROLO DRIVE
ROWLETT, TX 75088

COBB STEPHEN L & MELANIE E
671 BRYN MAHR
ROCKWALL, TX 75087

MEANS AMANDA & AARON
671 PRINCETON WAY
ROCKWALL, TX 75087

JOHNSTON KERRY A AND ELIZABETH A
672 BRYN MAHR
ROCKWALL, TX 75087

CALVIN AND EMILY CARTER REVOCABLE TRUST
CALVIN CARTER AND EMILY CARTER- TRUSTEES
672 PRINCETON WAY
ROCKWALL, TX 75087

STEWART KIMBERLYN & CAROLYN
672 ST JOHNS PLACE
ROCKWALL, TX 75087

GRAVES JAMES GREGORY & ALISHA DIANE
673 BRYN MAHR LN
ROCKWALL, TX 75087

BURKHOLDER DANIEL
673 PRINCETON WAY
ROCKWALL, TX 75087

VOTTERI CHRISTOPHER MARK & BONNIE DARLINDA
674 BRYN MAHR LN
ROCKWALL, TX 75087

FLYNT MARK A & JOAN L TRUSTEES
FLYNT FAMILY LIVING TRUST
674 PRINCETON WAY
ROCKWALL, TX 75087

MATTESON TORY AND BRITTANY
674 SAINT JOHNS PLACE
ROCKWALL, TX 75087

TREVINO RAUL & MARIA J
675 BRYN MAHR LANE
ROCKWALL, TX 75087

PERKINS RUSSELL AND LESLIE
675 PRINCETON WAY
ROCKWALL, TX 75087

NORVILLE HORACE SCOTT AND HEATHER JACKSON
676 BRYN MAHR LANE
ROCKWALL, TX 75087

KARRETT JAMES M JR AND RAFFAELA
676 PRINCETON WAY
ROCKWALL, TX 75087

NIELSEN MATTHEW GRIFFITH
676 SAINT JOHNS PL
ROCKWALL, TX 75087

PALMER JAMIE A AND MITCHELL
677 BRYN MAHR LN
ROCKWALL, TX 75087

SOLOMON BRIAN & KELLY
678 BRYN MAHR LANE
ROCKWALL, TX 75087

OGBONNA OBIOMA
678 PRINCETON WAY
ROCKWALL, TX 75087

DHAKAL PRABESH AND ALINA
678 SAINT JOHNS PLACE
ROCKWALL, TX 75087

HUDSON MATTHEW AND JESSICA
679 PRINCETON WAY
ROCKWALL, TX 75087

BARKER CHARLES W & LISA M
680 BRYN MAHR LANE
ROCKWALL, TX 75087

M REA PROPERTIES 2 LLC
6807 OVERBROOK DR
PARKER, TX 75002

CORONADO JIMMY AND SHANNA V
681 BRYN MAHR LN
ROCKWALL, TX 75087

POWELL AMANDA AND DUANE
685 SHORES BLVD
ROCKWALL, TX 75087

CARROLL JEFF L & CANDY D
695 SHORES BLVD
ROCKWALL, TX 75087

MAYS RONALD E ETUX
704 LONESOME DOVE TRAIL
HURST, TX 76054

KIRK DAVID AND KATIE CHEY
705 CORNELL DR
ROCKWALL, TX 75087

VOORHIES JON AND TERESA
707 CORNELL DR
ROCKWALL, TX 75087

YANG BO AND
YUE HU
707-8633 CAPSTAN WAY
RICHMOND CANADA,

VATS AKHIL AND DEEPTI
709 CORNELL DR
ROCKWALL, TX 75087

CONFIDENTIAL
709 W. RUSK ST. SUITE B-852
ROCKWALL, TX 75087

GREER PATRICIA L
710 BROOKFIELD DR
GARLAND, TX 75040

RESIDENT
7100 ODELL
ROCKWALL, TX 75087

BULLARD JUSTIN
JOLIE DAY
7100 HARLAN DRIVE
ROCKWALL, TX 75087

WAY BRAD G AND KELLY S
7100 HUNT LN
ROCKWALL, TX 75087

SCHULZE DAVID J & CYNTHIA K
7101 HARLAN DR
ROCKWALL, TX 75087

NABORS MIKE N ETUX JULIE
7101 HUNT LN
ROCKWALL, TX 75087

KOSMAS NICHOLAS AND SABRINA
7101 ODELL AVE
ROCKWALL, TX 75087

ANDERSON PATRICK STEVEN & ROSEANNE
7102 HARLAN DR
ROCKWALL, TX 75087

FRINK JOSEPH B & DIANA G
7102 HUNT LN
ROCKWALL, TX 75087

LAWRENCE KIMBERLY DALE LIVING TRUST
KIMBERLY DALE LAWRENCE TRUSTEE
7102 ODELL AVENUE
ROCKWALL, TX 75087

RESIDENT
7103 HARLAN DR
ROCKWALL, TX 75087

DOWNS MICHAEL
7103 HUNT LN
ROCKWALL, TX 75087

MCKINNEY TERRY L
7103 ODELL AVE
ROCKWALL, TX 75087

PATLAN MARIO JR AND AMY
7104 HARLAN DR
ROCKWALL, TX 75087

KELSO JAMES P & BLYSON R
7104 HUNT LN
ROCKWALL, TX 75087

LUNA ERIC AND ANNABELL
7104 ODELL AVENUE
ROCKWALL, TX 75087

RESIDENT
7105 HUNT LN <Null>
ROCKWALL, TX 75087

LOMBARD THOMAS E AND PAULA J
7105 HARLAN DRIVE
ROCKWALL, TX 75087

DREXLER PAUL E & TAMRA L
7105 ODELL AVE
ROCKWALL, TX 75087

RESIDENT
7106 ODELL AVE
ROCKWALL, TX 75087

BURKE AIMEE M
7106 HARLAN DR
ROCKWALL, TX 75087

MCWHIRTER SATHINA ANJEANNETTE
7106 HUNT LN
ROCKWALL, TX 75087

SHORES SUSAN RUTH
7107 HARLAN DRIVE
ROCKWALL, TX 75087

SEVERN POLLY JEAN
7107 HUNT LN
ROCKWALL, TX 75087

CEGELSKI ERIC & ASHLEY DICKENS
7107 ODELL AVENUE
ROCKWALL, TX 75087

ROMERO JOE JR
7108 HUNT LN
ROCKWALL, TX 75087

CONFIDENTIAL
7108 ODELL AVE
ROCKWALL, TX 75087

RESIDENT
7109 HUNT LN
ROCKWALL, TX 75087

THOMPSON THOMAS J &
PAIGE C TILEY
7109 HOLDEN DR
ROCKWALL, TX 75087

ROMANS STEPHEN WAYNE & BROOK CONAWAY
7109 ODELL AVENUE
ROCKWALL, TX 75087

PROTHRO LANCE G AND DERONDA
711 CORNELL DR
ROCKWALL, TX 75087

GREENLEY MARY E TRUSTEE
MARY E GREENLEY REVOC LIVING TRUST
7110 HOLDEN DR
ROCKWALL, TX 75087

RESIDENT
7111 HOLDEN DR
ROCKWALL, TX 75087

JONES BRADLEY R
7113 HOLDEN DR
ROCKWALL, TX 75087

CORY CLAYTON M & KATHLEEN A
7125 HOLDEN DR
ROCKWALL, TX 75087

AKHTAR USMAN AND
AQSA MAHMOOD
713 CORNELL DRIVE
ROCKWALL, TX 75087

RESIDENT
715 CORNELL DR
ROCKWALL, TX 75087

GAMMILL KYLE E & ANGELINE L
716 STARLIGHT PASS
ROCKWALL, TX 75032

RS XII DALLAS OWNER 1 LP
C/O STREETLANE HOMES
717 N HARWOOD STREEET SUITE 2800
DALLAS, TX 75201

LI LI AND
XUEQING WANG
7409 WEMBLEY CT
PLANO, TX 75024

MCCOWN WILLIAM SCOTT
745 SHORES BOULEVARD
ROCKWALL, TX 75087

RESIDENT
750 W QUAIL RUN RD
ROCKWALL, TX 75087

DODSON HUA
751 MONTEREY DR
ROCKWALL, TX 75087

SATRIO FAMILY LIVING TRUST
7512 JOSHUA RD
FRISCO, TX 75033

KREMEN IRINA AND IGOR
7520 HADDON WAY
PLANO, TX 75025

KREMEN IRINA AND IGOR
7520 HADDOW WAY
PLANO, TX 75025

RESIDENT
754 VALLEJO DR
ROCKWALL, TX 75087

BUCHANAN DONALD BLAKE AND CHRISTINA MARIE
754 MONTEREY DRIVE
ROCKWALL, TX 75087

RESIDENT
755 GEARY DR
ROCKWALL, TX 75087

FORD TERRY AND RACHEL NICHOLE
755 SHORES BLVD
ROCKWALL, TX 75087

ALSROUJI ALAA AND DOAA ALSROUJI
755 VALLEJO DR
ROCKWALL, TX 75087

RESIDENT
765 SHORES BLVD
ROCKWALL, TX 75087

HAMMOND MARK L & DENISE L
775 RIDGE RD W
ROCKWALL, TX 75087

CALHOUN EVELYN ANNE
775 SHORES BLVD
ROCKWALL, TX 75087

TAYLOR LAURA
778 OAK HOLLOW
ROCKWALL, TX 75087

HUMERICKHOUSE MARCUS NEAL AND ANDREA L
780 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
784 BARRYMORE DR
ROCKWALL, TX 75087

MCPHAIL STEPHANIE
784 OAK HOLLOW LANE
ROCKWALL, TX 75087

RAY DAVID J & MARY H
785 SHORES BLVD
ROCKWALL, TX 75087

WEEKS FAMILY LIVING REVOCABLE TRUST
DONALD C WEEKS AND BETTY WEEKS- CO TRUSTEES
785 WEST RIDGE ROAD
ROCKWALL, TX 75087

TBC FAMILY TRUST
TONY AND BRENDA CAMPAGNA TRUSTEES
786 BARRYMORE DRIVE
ROCKWALL, TX 75087

HENDERSON ERIC S & MEGAN A
788 BARRYMORE DRIVE
ROCKWALL, TX 75087

RESIDENT
790 OAK HOLLOW LN
ROCKWALL, TX 75087

MAGUIRE LINDSAY T & CHRISTOPHER M
790 BARRYMORE DRIVE
ROCKWALL, TX 75087

STEVENS PATRICK & KIMBERLY
790 SHORES BLVD
ROCKWALL, TX 75087

BARRERA TOBY
790 W RIDGE ROAD
ROCKWALL, TX 75087

REID PAUL & HEATHER COOPER
792 BARRYMORE DR
ROCKWALL, TX 75087

LAMB CHANCE DUKE
794 BARRYMORE DR
ROCKWALL, TX 75087

MULLIS RHETT DANIEL AND SUSAN
794 FEATHERSTONE DR
ROCKWALL, TX 75087

JERAY FAMILY LIVING TRUST
DENNIS M & PATRICIA E JERAY TRUSTEES
795 RIDGE ROAD WEST
ROCKWALL, TX 75087

MRVA MICHAEL & PENNY
795 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
796 OAK HOLLOW LN
ROCKWALL, TX 75087

JAMES LANIER BALLARD & ELIZABETH SUTTER
BALLARD REVOCABLE LIVING TRUST
JAMES LANIER BALLARD & ELIZABETH SUTTER
BALLARD TRUSTEES
796 BARRYMORE DRIVE
ROCKWALL, TX 75087

LING SEAN AND AMY M
796 FEATHERSTONE DRIVE
ROCKWALL, TX 75087

HELM MARICELA & MATTHEW
796 W RIDGE RD
ROCKWALL, TX 75087

RESIDENT
797 FEATHERSTONE DR
ROCKWALL, TX 75087

PERRY DAYLENE ROSE & BRUCE ALEXANDER
797 OAK HOLLOW LANE
ROCKWALL, TX 75087

RESIDENT
798 BARRYMORE DR
ROCKWALL, TX 75087

RESIDENT
798 FEATHERSTONE DR
ROCKWALL, TX 75087

JGLV LLC, A TX LLC
80 SHILOH RD
ODESSA, TX 79762

ROCHE CHRISTOPHER & MELANIE
800 BARRYMORE DR
ROCKWALL, TX 75087

CEBRYNSKI TINA MARIA AND ALEXANDER JAMES
JR
800 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
801 AMHERST DRIVE
ROCKWALL, TX 75087

JONES BRYAN M AND MERICHELLE E
802 BARRYMORE DR
ROCKWALL, TX 75087

STAFFORD SHANE L & ELIZABETH A
802 BEAR BRANCH COURT
ROCKWALL, TX 75087

HALL STEVEN J AND BRENDA M
802 OAK HOLLOW LN
ROCKWALL, TX 75087

JACOB AND ALEXANDRA EDWARDS FAMILY
LIVING TRUST
JACOB LEE EDWARDS AND ALEXANDRA BOONE
EDWARDS- COTRUSTEES
802 RIDGE ROAD WEST
ROCKWALL, TX 75087

HEWITT DEREK THOMAS AND CAMERON ELISE
803 AMHERST DRIVE
ROCKWALL, TX 75087

HINTON GRADY T III AND
PATRICIA A HINTON
803 BEAR BRANCH CT
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA
803 DALTON RD
ROCKWALL, TX 75087

CAIN DENNIS & MELISSA
803 DALTON RD
ROCKWALL, TX 75087

BEASLEY TIMOTHY A & SARINA C
803 OAK HOLLOW LN
ROCKWALL, TX 75087

KHAN MASROOR
804 BARRYMORE DRIVE
ROCKWALL, TX 75087

GHC CAPITAL LLC
806 CALM CREST DRIVE
ROCKWALL, TX 75087

MOBLEY JANET
807 AMHERST DR
ROCKWALL, TX 75087

FRAZIER ROBERT & KAREN FOX
808 BEAR BRANCH CT
ROCKWALL, TX 75087

YANG BO
808 OAK HOLLOW LANE
ROCKWALL, TX 75087

ARMSTRONG NELLO AND SUZANNE
808 RIDGE ROAD WEST
ROCKWALL, TX 75087

SISTO MICHAEL A & SUSAN E
809 BEAR BRANCH CT
ROCKWALL, TX 75087

GARY DENNIS & DIANNE
809 COUNTY CLUB DRIVE
HEATH, TX 75032

DELGADO BRADLEY AND BRIANNA
809 OAK HOLLOW LN
ROCKWALL, TX 75087

SOSA RUDDY & JOLIENE
810 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
814 BEAR BRANCH CT
ROCKWALL, TX 75087

BALOG DAVID JR AND JESSICA
814 OAK HOLLOW LN
ROCKWALL, TX 75087

CRAIGHEAD JULIE CHRISTINE
814 RIDGE ROAD WEST
ROCKWALL, TX 75087

RESIDENT
815 OAK HOLLOW LN
ROCKWALL, TX 75087

SLATON STEPHEN P & JENNIFER
815 BEAR BRANCH COURT
ROCKWALL, TX 75087

RESIDENT
820 BEAR BRANCH CT
ROCKWALL, TX 75087

MERCER TAYLOR
820 OAK HOLLOW LN
ROCKWALL, TX 75087

FRYE STEVEN E AND CHERRY
820 SHORES BLVD
ROCKWALL, TX 75087

LEE CRYSTAL Z AND BENJAMIN S
820 WEST RIDGE RD
ROCKWALL, TX 75032

GRAF SANDRA E & HAYES M
8207 MARYLAND LN
BRENTWOOD, TN 37027

RESIDENT
821 OAK HOLLOW LN
ROCKWALL, TX 75087

NAPPS ADAM D
821 BEAR BRANCH COURT
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC
8214 WESTCHESTER SUITE 710
DALLAS, TX 75225

RESIDENT
825 GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
826 OAK HOLLOW LN
ROCKWALL, TX 75087

GIETEMA CHRISTINA M
826 BEAR BRANCH CT
ROCKWALL, TX 75087

MATTHEWS JACK ALEXANDER AND
HONGLIU HAN
826 RIDGE ROAD W
ROCKWALL, TX 75087

VORNBERG SCOTT A & LAURI L
827 BEAR BRANCH CT
ROCKWALL, TX 75087

PEARSON LEIF AND MELISSA N
827 OAK HOLLOW LANE
ROCKWALL, TX 75087

FARRELL COLLIN D AND HOLLY J
830 SHORES BLVD
ROCKWALL, TX 75087

MINCKLER CHRISTOPHER AND SARAI
832 BEAR BRANCH COURT
ROCKWALL, TX 75087

WILLBANKS DAVID & AMANDA
832 OAK HOLLOW LN
ROCKWALL, TX 75087

WATSON KATHERINE ROSE
832 RIDGE RD W
ROCKWALL, TX 75087

SHOUSE JAMIE L AND ANGELA M HARDT
833 BEAR BRANCH CT
ROCKWALL, TX 75087

HARRISON JASON J AND BARBARA JEAN
833 OAK HOLLOW LANE
ROCKWALL, TX 75087

JCDB GOLIAD HOLDINGS LLC C/O DA GOLIAD PARTNERS LP AND
DAVID R NELSON-ROTH IRA AND DAVID NELSON
8350 N CENTRAL EXPRESSWAY SUITE 1300
DALLAS, TX 75206

MILBERGER KYLE A
838 BEAR BRANCH CT
ROCKWALL, TX 75087

HUMPHREY KEREN MARIE
838 OAK HOLLOW LN
ROCKWALL, TX 75087

GREENLEY MARCIA DAVIDSON & JOSEPH R
838 RIDGE RD W
ROCKWALL, TX 75087

RESIDENT
839 OAK HOLLOW LN
ROCKWALL, TX 75087

BILLINGS BRIAN & ERIKA
839 BEAR BRANCH CT
ROCKWALL, TX 75087

SN DFW LLC
8390 E VIA DE VENTURA F-110 #303
SCOTTSDALE, AZ 85258

GONZALEZ JOHN AND DEBRA
840 SHORES BLVD
ROCKWALL, TX 75087

JOHNSON BERTON C & SONYA L
8404 COUNTY RD 592
NEVADA, TX 75173

COUSINEAU STACEY
8424 SANTA MONICA BLVD # A818
WEST HOLLYWOOD, CA 90069

COOPER MARNIE
844 BEAR BRANCH CT
ROCKWALL, TX 75087

WALTERS CHRIS
844 OAK HOLLOW LANE
ROCKWALL, TX 75087

DEPUE DANIEL AND
DEANA CUTTILL
844 RIDGE ROAD W
ROCKWALL, TX 75087

RESIDENT
845 BEAR BRANCH CT
ROCKWALL, TX 75087

STUFFT MICHAEL AND
STUFFT CHERYL ANN AND ALAN LEE
845 OAK HOLLOW LANE
ROCKWALL, TX 75087

HERNANDEZ FRANKLYN C & JUDY JAMES-HERNANDEZ
850 BEAR BRANCH CT
ROCKWALL, TX 75087

FLEETWOOD MARGARETTA
850 OAK HOLLOW LN
ROCKWALL, TX 75087

FRAIZER MARK C & STACY D
850 SHORES BLVD
ROCKWALL, TX 75087

GANT JUSTIN AND MARGARET C
860 SHORE BLVD
ROCKWALL, TX 75087

BARSOUM NAHIA
865 SHORES BLVD
ROCKWALL, TX 75087

MAXWELL GABRIEL D SR & MELISSA JEAN
870 SHORES BLVD
ROCKWALL, TX 75087

CRAWFORD JESSICA MORGAN
875 SHORES BLVD
ROCKWALL, TX 75087

WARDELL JAKE P AND MEREDITH
880 SHORES BLVD
ROCKWALL, TX 75087

ROWE DAVID A & SUSAN M
885 SHORES BLVD
ROCKWALL, TX 75087

VINSON BARRY AND MICHELLE
890 SHORES BOULEVARD
ROCKWALL, TX 75087

SMITH KAREN R
895 SHORES BLVD
ROCKWALL, TX 75087

URTEAGA PATRICIA
910 POTTER AVE
ROCKWALL, TX 75087

BLAGAILA EMANUEL & DORCA
9115 PEBBLE FIELD WAY
SACRAMENTO, CA 95829

YOUNG MATTHEW AND THERESA
915 MONT CASCADES DR
ROCKWALL, TX 75087

HURWITZ ROBERT A & SHARON K
915 POTTER AVE
ROCKWALL, TX 75087

PEDERSEN MARK AND ANDREA
920 POTTER AVENUE
ROCKWALL, TX 75087

SEUTTER JEREMY LEE & HEATHER DEANN
920 SHORES BOULEVARD
ROCKWALL, TX 75087

RESIDENT
925 MONT CASCADES DR
ROCKWALL, TX 75087

CHAMNESS JOHNNY OTTO & MYUNG DAWN
925 POTTER AVE
ROCKWALL, TX 75087

HIRSCHI JONATHAN K AND CHERYL
930 POTTER AVE
ROCKWALL, TX 75087

NAUERT STEVEN L JR
930 SHORES BLVD
ROCKWALL, TX 75087

ARMSTRONG JASON J & TARA A
935 MONT CASCADES DR
ROCKWALL, TX 75087

RESIDENT
940 SHORES BLVD
ROCKWALL, TX 75087

LE UYEN AND
PETER NGUYEN
940 POTTER AVENUE
ROCKWALL, TX 75087

GOMEZ JASON D & KELLY
945 MONT CASCADES DRIVE
ROCKWALL, TX 75087

BROCKWAY TRACY R AND MIN H KIM
945 POTTER AVENUE
ROCKWALL, TX 75087

BROWN KEVIN
947 SUNSET HILL
ROCKWALL, TX 75087

BELIEVE ICDI LLC
9472 E WHITEWING DR
SCOTTSDALE, AZ 85262

SPIVY MATTHEW & JENNIFER
950 POTTER AVENUE
ROCKWALL, TX 75087

BOWKER LEROY C & KIM L
950 SHORES BLVD
ROCKWALL, TX 75087

GARCIA JARRETT AND DEBORAHA
955 MONT CASCADES DRIVE
ROCKWALL, TX 75087

WEABLE KEVIN RAY AND JESSICA C
955 POTTER AVE
ROCKWALL, TX 75087

KHAN SABTAIN
960 POTTER AVE
ROCKWALL, TX 75087

SHERMAN WANDA D AND
JOHANNA BAER
960 SHORES BLVD
ROCKWALL, TX 75087

STROUP MARY
965 MONT CASCADES DR
ROCKWALL, TX 75087

ARMSTRONG CHRISTOPHER A AND
KRISTY K BRADY
965 POTTER AVE
ROCKWALL, TX 75087

RESIDENT
970 POTTER AVE
ROCKWALL, TX 75087

BAKER STEVEN R AND MELISSA A
970 SHORES BLVD
ROCKWALL, TX 75087

COLWILL JESSE & DIANA
975 MONT CASCADES DR
ROCKWALL, TX 75087

UGARTEMENDIA MARIA INMACULADA
975 POTTER AVE
ROCKWALL, TX 75087

THOMAS SAMSON N & LINDA R
980 HEATHER FALLS DRIVE
ROCKWALL, TX 75087

MAGBEE MILTON MARK AND SHERRI
980 POTTER AVENUE
ROCKWALL, TX 75087

MACK DANNY AND JANET
980 SHORES BLVD
ROCKWALL, TX 75087

DELALOYE JOHN F & SHARON
985 MONT CASCADES DR
ROCKWALL, TX 75087

RESIDENT
990 POTTER AVE
ROCKWALL, TX 75087

SPAULDING PATRICK F & OLIVIA J
990 PINEHURST DR
ROCKWALL, TX 75087

GEORGE THOMAS & ANIEAMMA THOMAS
990 SHORES BLVD
ROCKWALL, TX 75087

ELAZAR CAROLINA AND
BENJAMIN DAVIS
995 MONT CASCADES DRIVE
ROCKWALL, TX 75087

BEESON TRACI AND BRANDON LANE
995 POTTER AVE
ROCKWALL, TX 75087

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO, SUITE 300
CALABASAS, CA 91302

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO , SUITE 300
CALABASAS, CA 91302

AMH 2014-3 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 23975
PARK SORRENTO SUITE 300
CALABASAS, CA 91302

US BANK TRUST NA AS TRUSTEE
FOR LSF9 MASTER PARTICIPATION TRUST
C/O HUDSON HOMES MANAGEMENT LLC 2711
N HASKELL AVE STE 2100
DALLAS, TX 75204

RICHARDSON LIVING TRUST
MICHAEL DAVID RICHARDSON &
GAIL LORRAINE RICHARDSON- COTRUSTEES
1780 WIND HILL RD
ROCKWALL, TX 75087

LAUBE ALICIA MARIE AND TIMOTHY MICHAEL
P. O. BOX 1285
ROCKWALL, TX 75087

VENETO HOLDINGS LLC
P. O. BOX 2379
CHANDLER, AZ 85244

VANWINKLE DAVID T AND PATRICIA K
P. O. BOX 773451
STEAMBOAT SPRINGS, CO 80477

MELTON TOBY JEFF
P.O. BOX 2166
ROWLETT, TX 75030

PARAN LLC
P.O. BOX 27337
ANAHEIM, CA 92809

CARSON JANICE P
P.O. BOX 332
ROCKWALL, TX 75087

WU XIAOHONG & DING XIAOHANG &
DOMINIQUE SONG
P.O. BOX 374
ODESSA, FL 33556

KENNIMER LINDA K
PO BOX 1022
ROCKWALL, TX 75087

HODGDON DAVID L & SUE WYCHE
PO BOX 1106
ROCKWALL, TX 75087

BOX DIANE M & WEYMON K
PO BOX 1135
ROCKWALL, TX 75087

RICHMOND THOMAS R & JANET M
PO BOX 1145
ROCKWALL, TX 75087

BULLOCK LINDA
PO BOX 1508
ROCKWALL, TX 75087

WHITT JACK AND
OLD REPUBLIC EXCHANGE AND FACILITATOR CO
PO BOX 153
ROCKWALL, TX 75087

CASKEY BRUCE LIFE ESTATE AND
ANGELA KAE MCCORD & LORI ANNE PHILLIPS
PO BOX 1821
ROCKWALL, TX 75087

WILSON DAVID G
PO BOX 1927
ROCKWALL, TX 75087

LITOVSKY MARIA AND ROBERTO
PO BOX 2004
ROCKWALL, TX 75087

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

DOUPHRATE SHARON K
PO BOX 2561
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

TRUE NORTH PROPERTY OWNER A, LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

SFR V TRANCHE 3 BORROWER LLC
PO BOX 4090
SCOTTSDALE, AZ 85261

DEWEES JAMES R & CLOMA J
PO BOX 609
ROCKWALL, TX 75087

PROMENADE HARBOR OWNERS ASSOC
C/O REAL MANAGE
PO BOX 803555
DALLAS, TX 75380

LAKEVIEW SUMMIT HOMEOWNERS
ASSOCIATION
C/O REAL MANAGE
PO BOX 803555
DALLAS, TX 75380

TRAN KELLY H
PO BOX 894578
MILILANI, HI 76789

RICHARD CARL M AND ROSE M
PO BOX 904
ROCKWALL, TX 75087

DELLINGER TRUST
MARVIN L DELLINGER AND ELAINE S DELLINGER
CO-TRUSTEES
PO BOX 906
SOLANA BEACH, CA 92075

FLORES JAMES & PATRICIA
PO BOX 992
ROCKWALL, TX 75087

SCHILZ LINDA A
18770 VISTA DEL SOL
DALLAS, TX 75287

BUTLER MARILYN F
820 BEAR BRANCH COURT
ROCKWALL, TX 75087

IANNELLI VINCENT
798 BARRYMORE DR
ROCKWALL, TX 75087

August 9, 2023

TO: The Residents of the Shores Subdivision

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Case No. Z2023-038; Amendment to Planned Development District 3 (PD-3)

Property Owners and/or Residents of the Shores Subdivision,

The City of Rockwall has initiated an amendment to Planned Development District 3 (PD-3) for the purpose of consolidating the regulating ordinances contained within this Planned Development District. Currently, Planned Development District 3 (PD-3) -- *which currently regulates the Shores Subdivision* -- consists of over 116 pages of regulations within 11 regulating ordinances, and over 85 development cases. The proposed amendment *does not* change the land uses, development requirements, or the concept plans associated with these ordinances. The proposed amendment will, however, consolidate these ordinances, resolutions, and development cases into a single Planned Development District ordinance. The purpose of making this change is to make the document easier to read and understand for residents and contractors looking to do work in the Shores Subdivision.

WHY AM I GETTING THIS NOTICE?
The Local Government Code for the State of Texas requires notices to be sent to all property owners and occupants effected by a zoning change. The City of Rockwall establishes a 500-foot notification buffer around the subject property as the notice areas. This means that you are receiving this notice because you either live within the Shores Subdivision or within 500-feet of its boundaries. The attached map is a visual representation of the subject property *(i.e. the Shores Subdivision)* and the 500-foot notification buffer surrounding the zoning area.

DOES THIS CHANGE MY PROPERTY'S ZONING?
NO. The proposed amendment to Planned Development District 3 (PD-3) will *not* change your zoning or any development requirements associated with your property or any other properties located within the Shores Subdivision. It will *only* make it easier to find the development requirements associated with property for property owners, contractors, and city staff. Any property that is located within the 500-foot notification area -- *but is not situated within the Shores Subdivision* -- will *not* be affected by the proposed zoning change.

WHEN CAN I LEARN MORE ABOUT THIS AMENDMENT?
The Planning and Zoning Commission will hold a *PUBLIC HEARING* on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a *Public Hearing* on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. Should a resident wish to attend these meetings they will be open to the public. In addition, all meetings will be available to be streamed live and via recording after the meeting through the City's website (*i.e. www.rockwall.com*). If you have specific questions about the amendment you can contact the Rockwall Planning and Zoning Department at (972) 772-6441 or email planning@rockwall.com.

Ryan Miller, AICP
Director of Planning and Zoning

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-038: Amendment to PD-3

Hold a public hearing to discuss and consider a request by the City of Rockwall for the approval of a Zoning Change amending Planned Development District 3 (PD-3) [Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 89-04, 96-35 & 96-23] for the purpose of consolidating the regulating ordinances for a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 3 (PD-3), generally located south of Dalton Road, west of SH-205 [S. Goliad Street], and north of Lake Forest Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM,* and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, September 18, 2023 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2023-038: Amendment to PD-3

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

August 9, 2023

TO: The Residents of the Shores Subdivision

FROM: Ryan Miller, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

SUBJECT: Case No. Z2023-038; Amendment to Planned Development District 3 (PD-3)

Property Owners and/or Residents of the Shores Subdivision,

The City of Rockwall has initiated an amendment to Planned Development District 3 (PD-3) for the purpose of consolidating the regulating ordinances contained within this Planned Development District. Currently, Planned Development District 3 (PD-3) -- *which currently regulates the Shores Subdivision* -- consists of over 116 pages of regulations within 11 regulating ordinances, and over 85 development cases. The proposed amendment *does not* change the land uses, development requirements, or the concept plans associated with these ordinances. The proposed amendment will, however, consolidate these ordinances, resolutions, and development cases into a single Planned Development District ordinance. The purpose of making this change is to make the document easier to read and understand for residents and contractors looking to do work in the Shores Subdivision.

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DOES THIS CHANGE MY PROPERTY'S ZONING?
NO. The proposed amendment to Planned Development District 3 (PD-3) will *not* change your zoning or any development requirements associated with your property or any other properties located within the Shores Subdivision. It will *only* make it easier to find the development requirements associated with property for property owners, contractors, and city staff. Any property that is located within the 500-foot notification area -- *but is not situated within the Shores Subdivision* -- will *not* be affected by the proposed zoning change.

WHEN CAN I LEARN MORE ABOUT THIS AMENDMENT?
The Planning and Zoning Commission will hold a *PUBLIC HEARING* on Tuesday, September 12, 2023 at 6:00 PM, and the City Council will hold a *Public Hearing* on Monday, September 18, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. Should a resident wish to attend these meetings they will be open to the public. In addition, all meetings will be available to be streamed live and via recording after the meeting through the City's website (*i.e. www.rockwall.com*). If you have specific questions about the amendment you can contact the Rockwall Planning and Zoning Department at (972) 772-6441 or email planning@rockwall.com.

Ryan Miller, AICP
Director of Planning and Zoning

PLANNED DEVELOPMENT DISTRICT - 3 - Single Family Dwellings, Cluster Housing, Duplexes, Townhouses, Multiple Family Dwellings, Neighborhood Service and General Retail, Churches, Schools, Park, Community Center and Golf Course. (Symbol designation PD-3-Multiple Use).

Planned Development District permitting uses for Single Family Dwellings, Single Family Cluster Home housing, Duplexes, Townhouses, Multiple Family Dwellings, Neighborhood Service and General Retail, Church, School, Park, Community Center and Golf Course, subject to the approval of the site plan by the Planning and Zoning Commission prior to the issuance of any building permit or certificate of occupancy for any structure or use on the premises. Such site plan shall set forth the areas designated for the basic building areas, yards, setbacks, offstreet parking, points of access, sidewalks, drives, drainage facilities, utility easements, recreational areas and service areas appropriate to the location and function of the development, and shall provide for the dedication and improvement of any street deemed necessary by the Planning and Zoning Commission for access to the property, to adjacent property or for circulation around the site.

The Church and Day School site shall consist of not less than 5.34 acres. The School and Park site shall consist of not less than 14.56 acres. The Community Center and Golf Course shall consist of not less than 81.80 acres. The area for Cluster Housing shall consist of not more than 51.23 acres and not more than 280 dwelling units. The Single Family area with lots of 7,200 to 7,500 square feet in area shall consist of not more than 48.83 acres and for not more than 200 lots. The Single Family area for lot sizes from 7,500 to 10,000 square feet shall consist of not more than 90.09 acres for not more than 280 lots. The Duplex area shall consist of not more than 32.12 acres and not more than 184 dwelling units. The area for Townhouses shall consist of not more than 7.71 acres and not more than 90 dwelling units. The area for Multiple Family Garden Apartments shall consist of not more than 54.35 acres and not more than 1,080 dwelling units. The area for Retail and Neighborhood Service use shall consist of not more than 23.29 acres.

The density, coverage, height, park and offstreet loading standards shall be as set forth on the site plan.

The requisite site plan may be approved in whole or in part provided the elements influencing the development of the entire tract, such as access, parking and circulation are considered by an overall site plan.

ORDINANCE NO. 73-21

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS APPLICABLE TO PLANNED DEVELOPMENT DISTRICT NO. 3; APPROVING THE SITE PLAN FOR PLANNED DEVELOPMENT DISTRICT NO. 3 AND MAKING THE SAME A PART OF THIS ORDINANCE; PRESCRIBING CONDITIONS; PRESCRIBING A PENALTY; AND DECLARING AN EMERGENCY.

WHEREAS, the City Planning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all persons interested and in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance should be amended; now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be, and the same is hereby amended so as to amend the conditions applicable to Planned Development District No. 3, heretofore created, so that the following conditions shall be applicable to Planned Development District No. 3:

(a) That the area covered by Planned Development District No. 3 shall be divided into the following uses, with the following number of acres and limited to the number of dwelling units as hereafter provided, to-wit:

	Acres	Families
Church & Day School	6.19	
School & Park Site	14.56	
Single Family	55.68	152
Single Family	59.2	178
Single Family	48.5	131
Single Family	41.06	123

	Acres	Families
Cluster Homes (8 per acre)	38.10	305
Cluster Homes (6 per acre)	30.46	183
Cluster Homes (6.5 per acre)	9.08	59
Apartments (18 per acre)	29.67	534
Apartments (18 per acre)	19.42	350
General Retail	2.37	
General Retail	2.06	
Neighborhood Svc. & Office	12.12	
Neighborhood Service	6.74	
Inn - Restaurant	4.26	100
Proshop - Marina	6.25	
Golf - Streets - Green Space	53.98	
Total	439.70	2115

(b) That the Development Plan, Site Plan, attached hereto and made a part hereof for all purposes, shall control the development under Planned Development District No. 3, and such Planned Development District shall be developed in accordance with such site plan.

(c) That all development of property covered by this ordinance, being Planned Development District No. 3, shall be in accordance with the approved site plan, and no substantial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for change and amendments to the Comprehensive Zoning Ordinance.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That the above described Planned Development District No. 3 shall be used only in the manner and for the purposes provided for by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended herein in accordance with the site plan herein approved.

SECTION 4. That any person, firm or corporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive

Zoning Ordinance of the City of Rockwall, as heretofore amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars ($200.00) for each offense.

SECTION 5. Whereas, it appears that the above described Planned Development District requires that it be amended in order to permit its proper development and in order to protect the public interest and general welfare of the City of Rockwall, and creates an urgency and an emergency in the preservation of the public health, safety and welfare, and requires that this ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 5th day of February, 1973.

APPROVED:

Harry L. Myers
MAYOR

DULY ENROLLED:

James C. Williams
CITY SECRETARY

APPROVED AS TO FORM:

A. Louis Nichols
ATTORNEY

FOR OFFICE USE ONLY

ORDINANCE NO. 77-19A

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY, AS HERETOFORE AMENDED, BY AMENDING THE REGULATIONS APPLICABLE TO PLANNED DEVELOPMENT DISTRICT NO. 3 : APPROVING THE SITE PLAN FOR PLANNED DEVELOPMENT DISTRICT NO. 3 AND MAKING THE SAME A PART OF THIS ORDINANCE; PRESCRIBING CONDITIONS; PRESCRIBING A PENALTY; AND DECLARING AN EMERGENCY.

WHEREAS, the City Planning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all persons interested and in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance should be amended; now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be, and the same is hereby amended so as to amend the conditions applicable to Planned Development District No. 3, heretofore created, so that the following conditions shall be applicable to Planned Development District No. 3 :

(a) That the area covered by Planned Development District No. 3 shall be divided into the following uses, with the following number of acres as hereafter provided, to-wit:

Use	Acres
Single Family Detached	56.9
Single Family Detached	161.5
Single Family Detached	69.0
Single Family Detached	52.0

Use	Acres
Cluster-Attached (8 per acre)	22.0
Cluster-Attached (8 per acre)	42.1
Multi-Family	20.4
Multi-Family	29.5
Multi-Family	24.0
Retail	11.5
Recreation	6.4
Recreation	12.0
Recreation (Golf Course)	65.9
School - Park Site	13.6
	586.8

(b) That the Development Plan, Site Plan, attached hereto and made a part hereof for all purposes, shall control the development under Planned Development District No. 3, and such Planned Development District shall be developed in accordance with such site plan.

(c) That all development of property covered by this ordinance, being Planned Development District No. 3, shall be in accordance with the approved site plan, and no substantial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for change and amendments to the Comprehensive Zoning Ordinance.

SECTION 2. That all ordinances of the City of Rockwall inconflict with the provisions of this ordinance be, and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of thisordinance shall remain in full force and effect.

SECTION 3. That the above described Planned Development District No. 3 shall be used only in the manner and for the purposes provided forby the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended herein in accordance with the site plan herein approved.

SECTION 4. That any person, firmorcorporation violating any of the provisions or terms of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and upon conviction shall be punished

by a fine not to exceed the sum of Two Hundred Dollars ($200.00) for each offense.

SECTION 5. Whereas, it appears that the above described Planned Development District requires that it be amended in order to permit its proper development and in order to protectthe public interest and general welfare of the City of Rockwall, and cfeates an urgency and an emergency in the preservation of the public health, safety and welfare, and requires that this ordinance shall take effect immediately from and after its passage and publication of the caption of said ordinance, as the law in such cases provides.

DULY PASSED by the City Council of the City of Rockwall, Texas, on the 3rd day of October, 1977.

APPROVED:

MAYOR

DULY ENROLLED:

CITY SECRETARY

APPROVED AS TO FORM:

ATTORNEY

"Shores" PD-3 10-3-77

#8

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land located in the Samuell King Survey, Abstract No. 131; the Thomas Dean Survey, Abstract No. 69; the Nathan Butler Survey, Abstract No. 21; and the Archibald Hanna Survey, Abstract No. 98, said tract being more particularly described as follows:

BEGINNING at the point of intersection of the North line of said King Survey with the West right-of-way of State Highway 205;
THENCE: North 89° 30' West, 1507.7 feet to a point for a corner;
THENCE: North 0° 49' East, 50 feet to a point for a corner;
THENCE: South 89° 43' West, 915.1 feet to a point for a corner;
THENCE: North 0° 44' East, 903.2 feet to a point for a corner;
THENCE: South 89° 22' West, 1451.9 feet to a point for a corner;
THENCE: South 89° 39' West, 765 feet, more or less, to a point on the City of Dallas Take Line for Lake Ray Hubbard;
THENCE: Following said Take Line: South 0° 03' West, 738.9 feet; South 9° 47' West, 355.1 feet; South 1° 47' West, 330.2 feet; South 13° 51' East, 276 feet; South 0° 03' West, 65 feet; South 0° 53' West, 1921.9 feet; North 89° 49' West, 649.6 feet; North 67° 00' West, 515.9 feet; North 81° 50' West, 375.9 feet; South 75° 14' West, 326.3 feet; South 62° 57' West, 367.1 feet; North 89° 49' West, 160.9 feet; South 17° 48' West, 1068.5 feet; South 6° 03' East, 448.3 feet; South 21° 51' East, 675.2 feet; and South 28° 28' East, 607.6 feet to a point in a County Road and the South line of said Butler Survey;
THENCE: South 89° 57' East, 636.1 feet to a point for a corner;
THENCE: South 89° 29' East, 1396.8 feet to a point for a corner;
THENCE: North 0° 26' West, 353.5 feet to a point for a corner;
THENCE: South 89° 36' East, 503.7 feet to a point for a corner;
THENCE: South 1° 17' East, 348.2 feet to a point for a corner;
THENCE: South 89° 56' East, 1253.6 feet to a point for a corner;
THENCE: South 13° 39' West, 185 feet to a point for a corner;
THENCE: South 45° 44' West, 146.1 feet to a point for a corner;
THENCE: South 42° 40' East, 99 feet to a point for a corner;
THENCE: South 56° 04' East 465.3 feet to a point for a corner;
THENCE: South 63° 32' East, 383.3 feet to a point for a corner;
THENCE: North 0° 33' East, 790.6 feet to a point for a corner;
THENCE: North 0° 03' East, 279.4 feet to a point for a corner;
THENCE: North 88° 39' West, 229.1 feet to a point for a corner;
THENCE: North 60° 24' West, 140.3 feet to a point for a corner;
THENCE: North 0° 47' East, 1786.6 feet to a point for a corner;
THENCE: North 1° 13' West, 518.1 feet to a point for a corner;
THENCE: North 89° 07' West, 99.1 feet to a point for a corner;
THENCE: North, 435 feet to a point for a corner;
THENCE: North 40° 08' East, 259.5 feet to a point for a corner;
THENCE: North 1° 40' East, 629.1 feet to a point for a corner;
THENCE: South 84° 39' East, 252.6 feet to a point for a corner;
THENCE: South 77° 52' East, 201.2 feet to a point for a corner;
THENCE: South 76° 30' East, 242.3 feet to a point for a corner;
THENCE: South 54° 42' East, 245.7 feet to a point for a corner;
THENCE: South 62° 04' East, 210.1 feet to a point for a corner;
THENCE: South 64° 26' East, 320.8 feet to a point for a corner;
THENCE: South 82° 40' East, 397.5 feet to a point for a corner;
THENCE: South 80° 07' East, 422.3 feet to a point for a corner;
THENCE: South 80° 08' East, 309 feet to a point for a corner;

THENCE: North 10° 06' West, 236.3 feet to a point for a corner;
THENCE: North 2° 24' East, 550.1 feet to a point for a corner;
THENCE: North 2° 03' East, 507.4 feet to a point for a corner;
THENCE: North 0° 12' East, 451.2 feet to a point on the Westerly right-of-way of State Highway 205;
THENCE: Following said right-of-way line North 7° 06' West a distance of 371 feet to the Place of Beginning and Containing 587 Acres of Land, more or less.

MINIMUM STANDARDS

TRACT	LOT AREA-SQ.FT.	DEPTH	WIDTH
1	7,200	120'	60'
2	9,000	120'	75'
3	8,400	120'	70'
4	9,000	120'	75'
5	4,000	100'	35'
6	4,000	100'	35'
7,8,9	MAXIMUM 18 UNITS PER GROSS AC.		

RECREATION

PERMITTED USES TO INCLUDE:

TRACT 12- CLUB HOUSE AND RELATED USES, TENNIS AND RACKET BALL COURTS, SWIM POOL, INN, AND PARKING

TRACT 11- TENNIS AND RACKET BALL COURTS, SWIM POOL, HANDBALL COURTS, STABLES AND PADDOCKS, CLUB BUILDING, AND PARKING

TRACT	AREA-AC.'S	USE
1	56.9	SINGLE FAMILY DETACHED
2	161.5	SINGLE FAMILY DETACHED
3	69.0	SINGLE FAMILY DETACHED
4	52.0	SINGLE FAMILY DETACHED
5	22.0	CLUSTER-ATTACHED
6	42.1	CLUSTER-ATTACHED
7	20.4	MULTI-FAMILY
8	29.5	MULTI-FAMILY
9	24.0	MULTI-FAMILY
10	11.5	RETAIL
11	6.4	RECREATION
12	12.0	RECREATION
13	65.9	GOLF COURSE
14	13.6	SCHOOL-PARK SITE
	586.8 AC.'S	

ORDINANCE NO. 80-33

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO AMEND THE APPROVED SITE PLAN ON PD-3 PLANNED DEVELOPMENT DISTRICT NUMBER 3; ATTACHING THE APPROVED SITE PLAN AS EXHIBIT "A"; PROVIDING FOR A THOROUGHFARE PHASING PLAN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO HUNDRED DOLLARS ($200.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows, NOW, THEREFORE,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be, and the same is hereby, amended by amending the approved site plan for "PD-3" Planned Development District Number 3. That said amended site plan is attached hereto as Exhibit "A" and made a part hereof for all purposes.

SECTION 2. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3. That Planned Development District Number 3 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the amendment of the approved site plan for Planned Development District Number 3 shall affect only the property shown thereon and said property shall be limited to the uses, density, area, setback and other requirements set forth thereon, subject to the following special conditions:

(a) That the site plan attached hereto as Exhibit "A" and made a part hereof shall control the development of Planned Development District Number 3 and any and all such development shall be in strict accordance with such site plan.

(b) That there is hereby adopted as a special condition for Planned Development District Number 3 a Thoroughfare Phasing Plan, which plan reads as follows, to-wit:

(1) Phases 2 and 3 as shown on Exhibit "A" may be developed without the provision of additional access to the development.

(2) The remaining areas designated as single family, or an equivalent number of housing units, shall proceed for development only upon completion and connection of Lakeshore Drive or Alamo Road which will provide a second means of access to the development.

(3) The remaining housing units designated on the development plan shall be developed only upon completion and connection of Alamo Road or Lakeshore Drive to provide a third means of access to The Shores.

(4) In addition to the requirements of paragraphs (2) and (3), Areas 6 and 7 shall develop only in conjunction with the construction and connection of a street along the west boundary of the area, from Ridge Road West to Quail Run to Highway 205, which connection shall provide a means of access for this area in addition to that provided by Ridge Road West.

(5) The developer will provide a 70' right-of-way for Lakeshore Drive and 44' of pavement for Lakeshore Drive through Phase 2. The construction of Lakeshore Drive shall be to City

specifications and the location thereof shall be subject to approval by the City Council. The developer will provide 100' of right-of-way for Lake Shore Drive prior to tying into the proposed collector street through the designated multi-family area Number 11. (6) Alamo Road shall be constructed to City specifications as a major arterial street from Lake Shore Drive to Highway 205. The width and location of Alamo Road will be determined by the current approved thoroughfare plan of the City of Rockwall for the area at the time of the development.

(c) No substantial change in development of The Shores shall be permitted except after obtaining approval of the change of such development through amendment of this site plan or the Thoroughfare Phasing Plan or other changes in the Comprehensive Zoning Ordinance applicable to Planned Development District Number 3 in the manner required for changes or amendments to the Comprehensive Zoning Ordinance.

(d) All other area requirements for each use not specifically covered on the site plan attached as Exhibit "A" shall be as required in the least restrictive zoning district in the Comprehensive Zoning Ordinance in which such use is allowed.

(e) At the platting stage of any phase of The Shores development, a screening and landscaping plan shall be submitted by the developer for the approval of the Planning and Zoning Commission and the City Council.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be subject to the same penalty as provided for in the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and as amended hereby, and upon conviction shall be punished by a fine not to exceed the sum of Two Hundred Dollars ($200.00) for each offense, and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. This ordinance shall become effective from and after its passage and the publication of the caption as the law in such cases provides.

DULY PASSED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ON THE 1st DAY OF December, 1980.

APPROVED:

Harry F. Myers
MAYOR

ATTEST:

Jesse E. Gilbert
CITY SECRETARY

APPROVED AS TO FORM:

Robert L. Dillard
CITY ATTORNEY

TRACT NO.	ACREAGE	USE	MIN. LOT AREA	MIN. DEPTH	MIN. WIDTH	MAX. UNITS
1	42.1	CLUSTER-ATTACHED	4,000 S.F.	100'	40'	315
2	9.7	RECREATION	SEE	NOTE	1	
3	33.2	SINGLE FAM.-DETACHED	7,200 S.F.	120'	60'	138
4	20.5	SINGLE FAM.-DETACHED	9,000 S.F.	120'	75'	52
5	DELETED					
6	24.0	MULTIPLE				432
7	13.1	PATIO HOMES	5,000 S.F.	100'	50'	79
8	143.3	SINGLE FAM.-DETACHED	9,000 S.F.	120'	75'	257
9	47.0	SINGLE FAM.-DETACHED	12,000 S.F.	130'	90'	120
10	11.5	RETAIL	SEE	NOTE	3	
11	49.9	MULTIPLE				898
12	23.8	SINGLE FAM.-DETACHED	8,400 S.F.	120'	70'	85
13	19.6	CLUSTER-ATTACHED	4,000 S.F.	100'	40'	147
14	52.0	SINGLE FAM.-DETACHED	9,000 S.F.	120'	75'	173
15	4.6	SINGLE FAM.-DETACHED	8,400 S.F.	120'	70'	18
16	13.6	SCHOOL				
17	78.9	GOLF COURSE & FACILITIES	SEE	NOTE	2	

TOTAL ACRES = 586.8 TOTAL UNITS = 2714

NOTES

1) PERMITTED USES TO INCLUDE TENNIS, RACKET, & HANDBALL COURTS, CLUBHOUSE & PARKING, POOL, STABLES & PADDOCKS AND EQUESTRIAN TRAILS. TO BE PRIVATELY OWNED AND MAINTAINED.

2) FACILITIES TO INCLUDE TENNIS & RACKETBALL COURTS, POOL, INN, PARKING, CLUBHOUSE AND RELATED USES

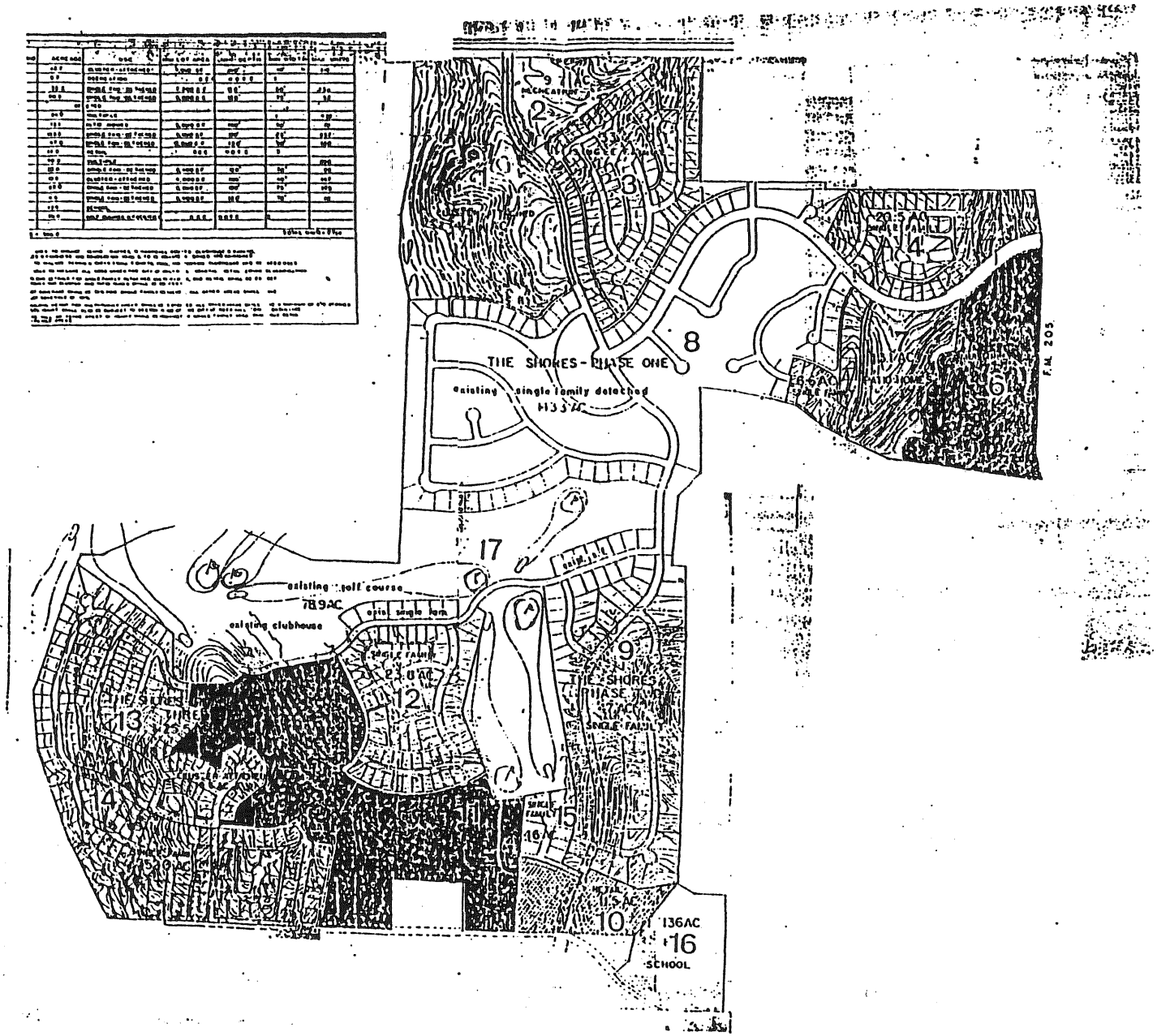
3) PERMITTED USES TO INCLUDE ALL USES UNDER THE CITY OF ROCKWALL GENERAL RETAIL ZONING CLASSIFICATION.

4) MINIMUM BUILDING SETBACK FOR SINGLE FAMILY DETACHED, MULTI-FAMILY, AND RETAIL SHALL BE 25 FEET. MINIMUM SETBACK FOR CLUSTER AND PATIO HOMES SHALL BE 20 FEET.

5) MAXIMUM LOT COVERAGE SHALL BE 35% FOR SINGLE FAMILY DETACHED, ALL OTHER AREAS SHALL HAVE A MAXIMUM LOT COVERAGE OF 40%.

6) MAXIMUM BUILDING HEIGHT FOR MULTI-FAMILY AREAS SHALL BE 3 STORIES, ALL OTHER AREAS SHALL HAVE A MAXIMUM OF 2 1/2 STORIES. THE MAX. BLDG. HEIGHT SHALL ALSO BE SUBJECT TO SECTION 11-102 OF THE CITY OF ROCKWALL ZONING ORDINANCE

7) A SCREENING WALL OR FENCE 6 FEET IN HEIGHT SHALL BE PROVIDED IN SINGLE FAMILY AREA THAT ABUT RETAIL OR MULTI-FAMILY AREAS.


THE SHORES - PHASE ONE
existing single family detached
existing golf course
78.9AC
existing clubhouse
existing single fam
THE SHORES
PHASE TWO
SINGLE FAMILY
136AC
SCHOOL
F.M. 205

ORDINANCE NO. 84-59

FOR OFFICE USE ONLY

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, AND AMENDING ORDINANCE NO. 80-33, BY AMENDING THE PRELIMINARY PLAN FOR PLANNED DEVELOPMENT DISTRICT NO. 3 THE SHORES TO ALLOW THE PLACEMENT OF A RECREATIONAL VEHICLE STORAGE AREA; PROVIDING FOR CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED ONE THOUSAND DOLLARS ($1,000.00); PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Planning Commisison of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinance No. 80-33 of the City of Rockwall should be amended; now, therefore,

BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, and Ordinance No. 80-33 are hereby amended so as to amend the preliminary plan applicable to Planned Development District No. 3, heretofore created, so that a recreational vehicle storage area may be constructed as shown on the site plan labeled "Exhibit A" and attached hereto.

SECTION 2. That the recreational vehicle storage area shall be constructed and maintained according to the following conditions:

1. The storage area and drive shall be located as shown on "Exhibit A".

2. The storage area and drive shall be covered with gravel.

3. The storage area shall be lighted with low intensity bulbs pointed in and down.

4. The developer shall promptly address any complaints of glare from the lighting.

5. The storage area shall be for the use of residents of The Shores only.

6. The storage area shall be used for the storage of motor homes, boats, campers and other recreational vehicles only.

7. The storage area may be used for a period of one year from the date of first use or one year from the date of approval of a revised master preliminary plan, whichever comes first.

8. At the end of this time limit, the storage area and drive shall be returned to a state consistent with the revised master plan.

SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS ($1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 4. If any section, sentence, phrase, or provision of this ordinance or the application of that section, sentence, phrase, or provision to any person, firm, corporation situation, circumstance if for any reason is judged invalid, the adjudication shall not affect any other provision of this ordinance or the application of any other provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section, phrase or provision of the Comprehensive Zoning Ordinance No. 83-23 or Ordinance No. 80-33 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinances without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 6. This ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 3rd day of December, 1984.

APPROVED:

Mayor

ATTEST:

City Secretary

FOR OFFICE USE ONLY

ORDINANCE NO. 86-23

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED SO AS TO AMEND THE PRELIMINARY PLAN FOR PD-3, THE SHORES; PROVIDING FOR A PRIVATE CLUB AS AN ACCESSORY TO A GENERAL RESTAURANT ON THE TRACT MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS ($1,000.00) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Planning and Zoning Commisison of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to approve a change in the preliminary plan for "PD-3" Planned Development District No. 3 to provide for a private club as an accessory to a general restaurant on the tract of land described as Lot 1, Block A, The Shores Clubhouse.

Section 2. That the granting of the change in the preliminary plan for "PD-3", The Shores, for a private club shall be subject to the following conditions:

The private club shall meet all conditions for the issuance of private club permits set by the City Council in Ordinance No. 85-2 and any future regulatory ordinances.

Section 3. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 4. That the tract of land described as Lot 1,Block A shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future.

Section 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS ($1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 8th day of April, 1986.

APPROVED:

Mayor

ATTEST:

City Secretary

1st reading 3/31/86

2nd reading 4/8/86

FOR OFFICE USE ONLY

ORDINANCE NO. 86-39

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NUMBER 80-33 AS HERETOFORE AMENDED SO AS TO GRANT A ZONING CHANGE FROM "AG" AGRICULTURAL DISTRICT CLASSIFICATION TO "PD-3", THE SHORES, TO ADD A TRACT OF LAND CONTAINING 30.35 ACRES, MORE FULLY DESCRIBED HEREIN IN EXHIBIT "A" ATTACHED HERETO, SO AS TO AMEND THE APPROVED SITE PLAN ON PD-3, THE SHORES; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS ($1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall and Ordinance No. 80-33 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and Ordinance No. 80-33, as heretofore amended, be and the same are hereby amended by amending the approved site plan for PD-3, Planned Development District Number 3, on the tract of land containing 30.3536 acres more fully described on Exhibit "A" attached hereto and made a part hereof.

Section 2. That development of Tracts 2, 3, 4, and 5 as designated on Exhibit "B", shall meet the requirements of the area requirements

of "SF-7", Single Family District Classification with the following exceptions:

A. Buffer Zone - One Lot Deep (as designated on Exhibit "B")

Minimum Lot Size----------8,400 sq. ft.
Minimum Unit Size----------1,800 sq. ft.

B. Buffer Zone - Two Lots Deep (as designated on Exhibit "B")

Minimum Lot Size----------8,400 sq. ft.
Minimum Unit Size----------1,500 sq. ft.

C. Remainder of Land in Tracts 2, 3, 4, and 5

Minimum Lot Size----------7,200 sq. ft.
Minimum Unit Size----------1,500 sq. ft.

Section 3. Prior to approval of a development plan on Tracts 2, 3, 4, or 5 as shown on Exhibit "B", a neighborhood park site of three to five acres shall be submitted and approved to be located in Tract 4.

Section 4. That Planned Development District Number 3: The Shores shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 3, The Shores to the above described tract of land is subject to the following special conditions:

A. Prior to the issuance of any building permit in Planned Development District No. 3, The Shores, a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after appropriate recommendation by the Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "C" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to conform to the thoroughfare plan of the City of Rockwall, sidewalks utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.

B. All development of property covered by Planned Development District No. 3: The Shores shall be in accordance with the provisions of this ordinance and the finally approved comprehensive site plan and list of approved uses, and no substanial change in the development shall be permitted except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the Comprehensive Zoning Ordinance

Section 5. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS ($1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section, subsection, sentence, phrase, paragraph, provision of this ordinance or the application of that section, subsection, sentence, phrase, paragraph, or provision to any person, firm, corporation, situation, circumstance is for any reason judged invalid, the adjudication shall not affect any other section, sentence, phrase, word, paragraph, or provision of this ordinance or the application of any other section, subsection, sentence, phrase, paragraph or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section, subsection, sentence, phrase, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 7. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 19th day of May, 1986

APPROVED:

Mayor

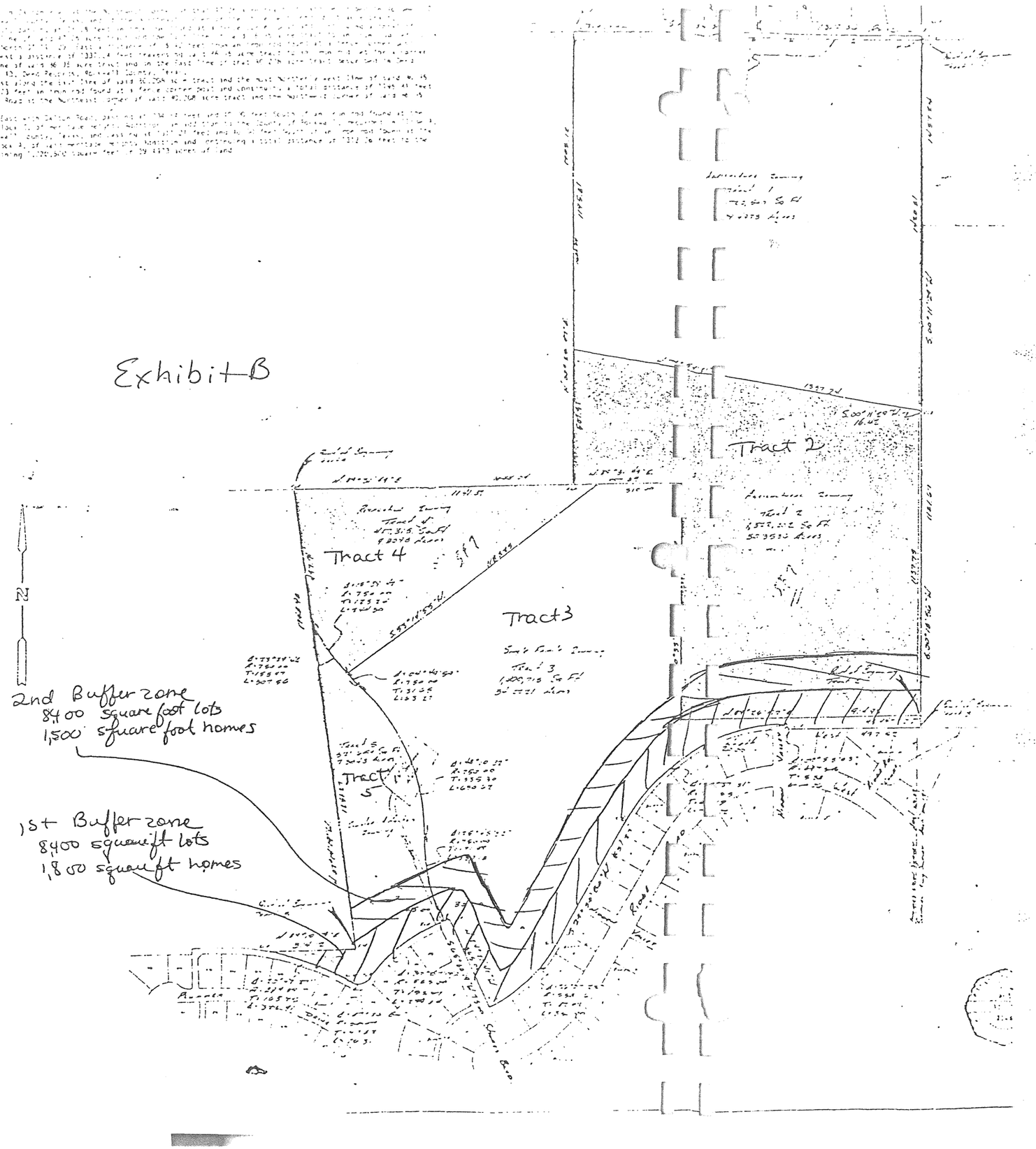
ATTEST:

BY: Jennifer J. Garrett

1st reading 5/5/86

2nd reading 5/19/86

BEGINNING at an iron rod [illegible] Page [illegible], Deed Records, Rockwall County, Texas, and [illegible]
THENCE: South [illegible] 1423.91 feet along the [illegible] corner; said iron rod bears North [illegible]
THENCE: North [illegible] 54' 21" west a distance of [illegible] feet [illegible] on the most Northerly west line of said [illegible] acre tract and on the East line of that [illegible] acre tract [illegible] Recorded in Volume [illegible], Page [illegible], Deed Records, Rockwall County, Texas.
THENCE: North [illegible] 25' [illegible] East along the East line of said [illegible] acre tract and the most Northerly west line of said [illegible] acre tract, passing at [illegible] feet an iron rod found at a fence corner post and continuing a total distance of [illegible] feet to an iron rod set in Dalton Road at the Northeast corner of said [illegible] acre tract and the Northwest corner of said [illegible] acre tract;
THENCE: South [illegible] 35' [illegible] East with Dalton Road, passing at [illegible] feet and [illegible] feet South of an iron rod found at the Southwest corner of lot [illegible], Block [illegible] of [illegible] Page [illegible], Plat Records, Rockwall County, Texas, and passing at [illegible] feet and [illegible] feet South of an iron rod found at the Southeast corner of lot 4, Block 4, of said [illegible] and continuing a total distance of [illegible] feet to the Point Of Beginning and containing [illegible] square feet or [illegible] acres of land.



LOOK @ 86-39

FOR OFFICE USE ONLY

ORDINANCE NO. 86-61

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCE NUMBER 80-33 AS HERETOFORE AMENDED SO AS TO AMEND PD-3, PLANNED DEVELOPMENT DISTRICT NO. 3, THE SHORES, TO PROVIDE FOR A REVISED THOROUGHFARE PHASING PLAN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS ($1,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and Ordinance No. 80-33, as heretofore amended, be and the same are hereby amended by amending Section 2(b) of Ordinance No. 80-33 to hereby read as follows:

"(b) That there hereby is adopted as a special condition for Planned Development District No. 3 a Thoroughfare Phasing Plan, which plan reads as follows, to-wit:

1. Any subsequent platting over the existing Phase 1 up to an additional 200 units shall include a requirement for the design and construction of a northbound left turn lane along SH-205 at its intersection with Ridge Road.

2. Additional platting beyond the above 450 dwelling units shall include escrowing sufficient funds for a traffic signal at Ridge Road and SH-205.

3. Additional platting beyond a total of 700 dwelling units shall require the construction of either Lakeshore Boulevard or Alamo Road to provide a second means of access into the development.

4. Additional platting beyond a total of 1,450 dwelling units shall require the construction of a third means of access

into The Shores with the completion of the road not completed in Section 3.

5. The Multifamily tract located adjacent to SH-205 shall not be included in the above numbers so long as direct access from SH-205 is provided into the development of the tract.

6. The developer will provide and construct the required streets to City standards and specifications based on current adopted plans and specifications."

Section 2. Any person, firm or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of ONE THOUSAND DOLLARS ($1,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 3. If any section, subsection, sentence, phrase, paragraph, provision of this ordinance or the application of that section, subsection, sentence, phrase, paragraph, or provision to any person, firm, corporation, situation, circumstance is for any reason judged invalid, the adjudication shall not affect any other section, sentence, phrase, word, paragraph, or provision of this ordinance or the application of any other section, subsection, sentence, phrase, paragraph or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section, subsection, sentence, phrase, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 5. That this ordinace shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 21st day of July, 1986.

APPROVED:

Mayor

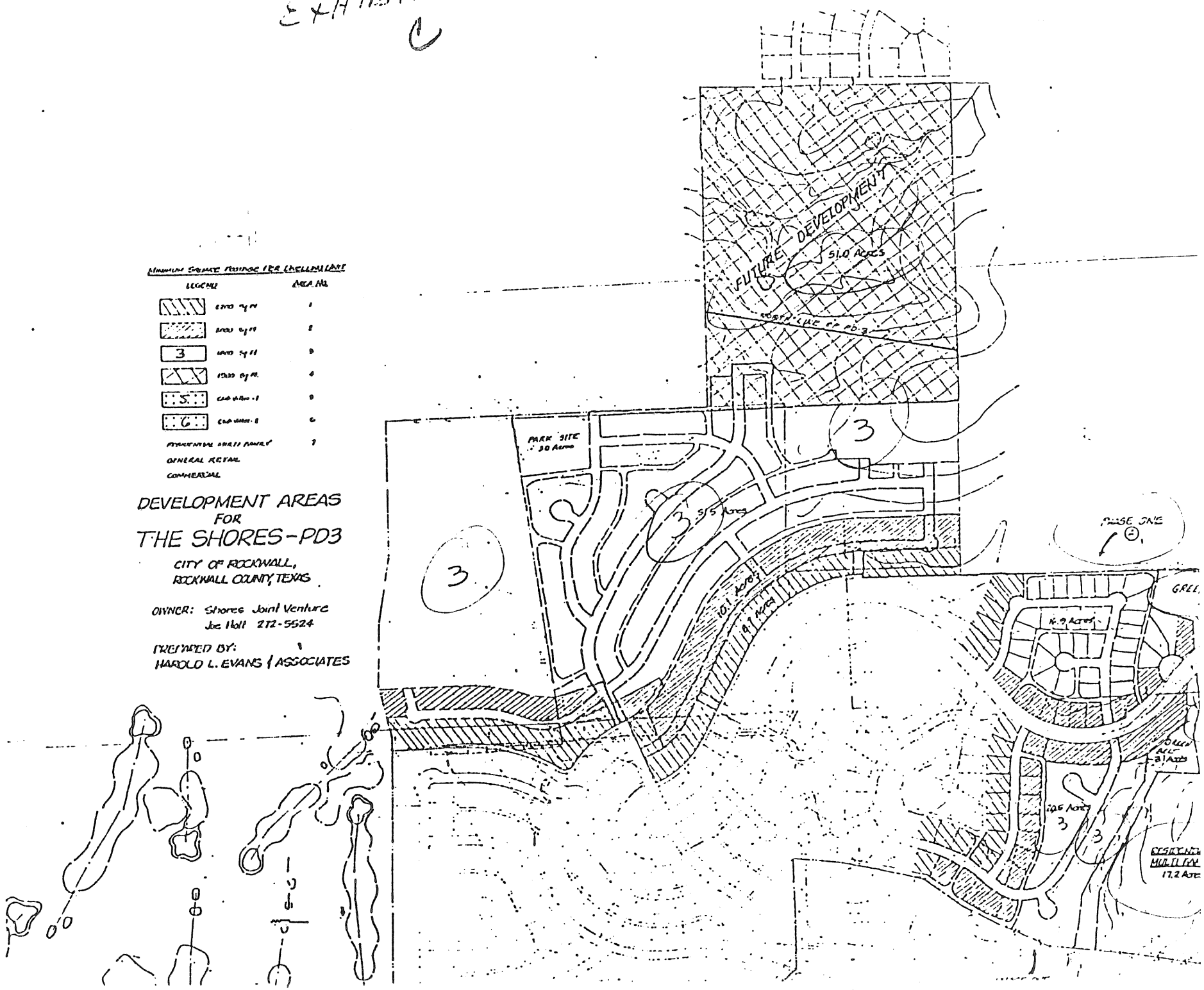
ATTEST:

BY: _____

1st reading 7/7/86

2nd reading 7/21/86

EXHIBIT C



LEGEND

	AREA No.
	1
	2
3	3
	4
5	5
6	6
	7

GENERAL RETAIL

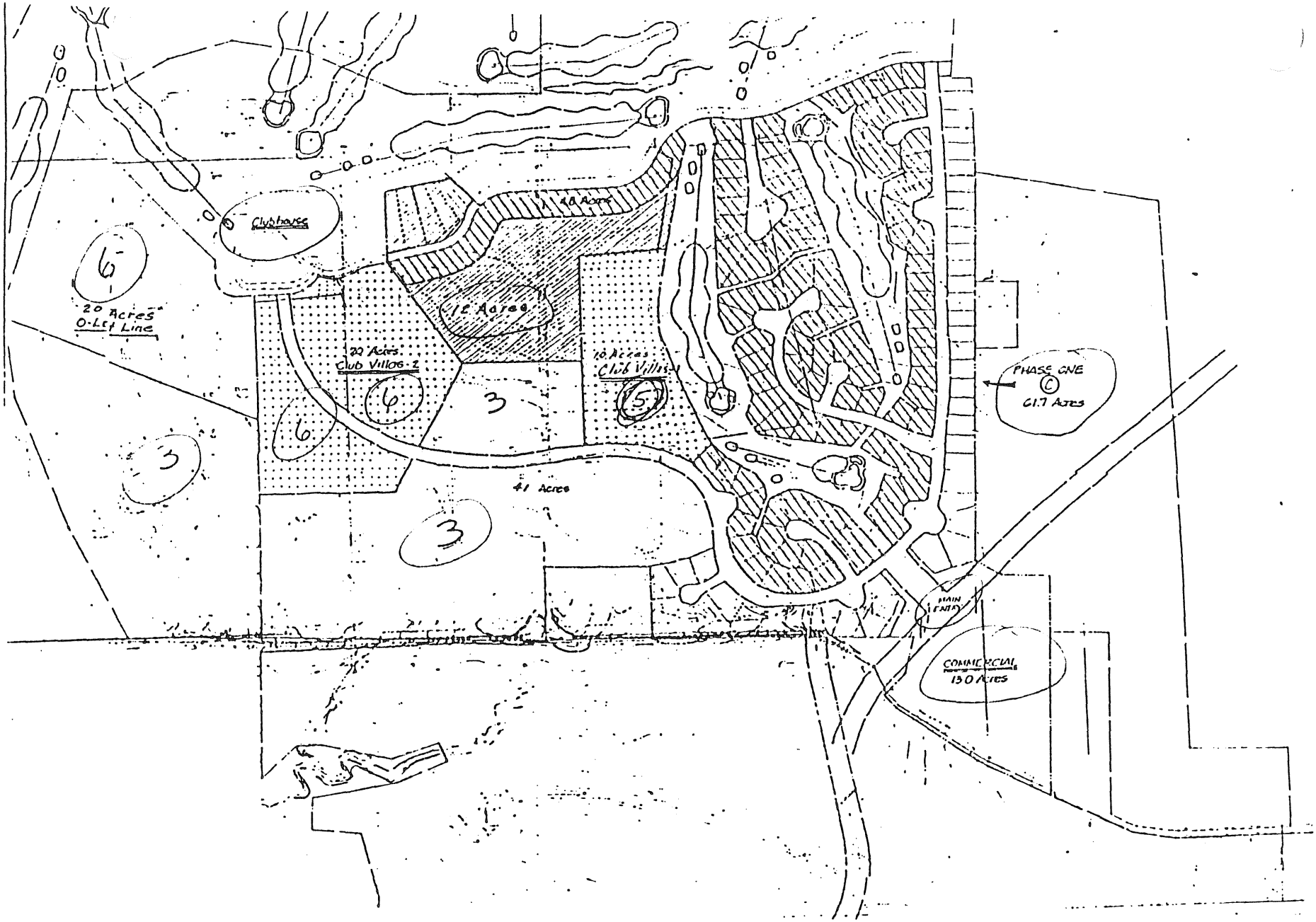
COMMERCIAL

DEVELOPMENT AREAS FOR THE SHORES - PD3

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER: Shores Joint Venture
Joe Hall 272-5524

PREPARED BY:
HAROLD L. EVANS / ASSOCIATES


Clubhouse
10 Acres
12 Acres
20 Acres
Club Villas-2
10 Acres
Club Villas-1
20 Acres
O-Lot Line
41 Acres
PHASE ONE
©
61.7 Acres
MAIN ENTRY
COMMERCIAL
130 Acres
6
3
5

PD-3 Shores

ORDINANCE NO. 89-4

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND ORDINANCE NO. 80-33, AS HERETOFORE AMENDED, SO AS TO AMEND THE APPROVED PRELIMINARY PLAN ON PD-3 PLANNED DEVELOPMENT DISTRICT NUMBER 3; ATTACHING THE APPROVED PRELIMINARY PLAN AS EXHIBIT "B"; ADOPTING REVISED AREA REQUIREMENTS AS SHOWN ON EXHIBIT "C"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, a change in the Preliminary Plan for PD-3, further described in Exhibit "A", has been submitted by The Shores 205 Joint Venture; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall and Ordinance No. 80-33 should be amended as follows,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended be, and the same is hereby, amended by amending the approved Preliminary Plan for "PD-3" Planned Development District Number 3. That said amended Preliminary Plan is attached hereto as Exhibit "B" and made a part hereof for all purposes.

Section 2. That Planned Development District Number 3 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the amendment of the approved Preliminary Plan for Planned Development District Number 3 shall affect only the property shown thereon and said property shall be limited to the uses, density, area, setback and other requirements set forth herein, subject to the following special conditions:

(a) That the preliminary plan attached hereto as Exhibit "B" and made a part hereof shall control the development of Planned Development District Number 3 and any and all such development shall be in strict accordance with such Preliminary Plan.

(b) The 3.1 acre greenbelt shown on Exhibit "B" located south of Ridge Road West between the proposed single family and the multifamily shall be maintained by the owners of the multifamily tract and shall be developed at the time the multifamily tract is developed.

(c) A temporary real estate sales office shall be permitted in the 3.5 acre tract located on the northwest corner of Ridge Road West and SH-205 designated as greenbelt.

(d) Development of areas designated as areas 1-6 on Exhibit "B" shall meet the area requirements as shown on Exhibit "C", attached hereto and made a part hereof.

(e) No substantial change in development of The Shores shall be permitted except after obtaining approval of the change of such development through amendment of this Preliminary Plan in the manner required for changes or amendments to the Comprehensive Zoning Ordinance.

(f) All other area requirements for each use not specifically covered herein or as previously adopted shall be as required in the least restrictive zoning district in the Comprehensive Zoning Ordinance in which such use is allowed.

SECTION 4. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS ($2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 20th day of March, 1989.

APPROVED:

Mayor

ATTEST:

BY Mary Nichols

1st reading 3/6/89

2nd reading 3/20/89

STATE OF TEXAS
COUNTY OF ROCKWALL

Exhibit "A"

BEING a tract of land located in the Samuell King Survey, Abstract No. 131; the Thomas Dean Survey, Abstract No. 69; the Nathan Butler Survey, Abstract No. 21; and the Archibald Hanna Survey, Abstract No. 98, said tract being more particularly described as follows:

BEGINNING at the point of intersection of the North line of said King Survey with the West right-of-way of State Highway 205;

THENCE: North 89° 30' West, 1507.7 feet to a point for a corner;
THENCE: North 0° 49' East, 50 feet to a point for a corner;
THENCE: South 89° 43' West, 915.1 feet to a point for a corner;
THENCE: North 0° 44' East, 903.2 feet to a point for a corner;
THENCE: South 89° 22' West, 1451.9 feet to a point for a corner;
THENCE: South 89° 39' West, 765 feet, more or less, to a point on the City of Dallas Take Line for Lake Ray Hubbard;
THENCE: Following said Take Line: South 0° 03' West, 738.9 feet; South 9° 47' West, 355.1 feet; South 1° 47' West, 330.2 feet; South 13° 51' East, 276 feet; South 0° 03' West, 65 feet; South 0° 53' West, 1921.9 feet; North 89° 49' West, 649.6 feet; North 67° 00' West, 515.9 feet; North 81° 50' West, 375.9 feet; South 75° 14' West, 326.3 feet; South 62° 57' West, 367.1 feet; North 89° 49' West, 160.9 feet; South 17° 48' West, 1068.5 feet; South 6° 03' East, 448.3 feet; South 21° 51' East, 675.2 feet; and South 28° 28' East, 607.6 feet to a point in a County Road and the South line of said Butler Survey;
THENCE: South 89° 57' East, 636.1 feet to a point for a corner;
THENCE: South 89° 29' East, 1396.8 feet to a point for a corner;
THENCE: North 0° 26' West, 353.5 feet to a point for a corner;
THENCE: South 89° 36' East, 503.7 feet to a point for a corner;
THENCE: South 1° 17' East, 348.2 feet to a point for a corner;
THENCE: South 89° 56' East, 1253.6 feet to a point for a corner;
THENCE: South 13° 39' West, 185 feet to a point for a corner;
THENCE: South 45° 44' West, 146.1 feet to a point for a corner;
THENCE: South 42° 40' East, 89 feet to a point for a corner;
THENCE: South 56° 04' East 465.3 feet to a point for a corner;
THENCE: South 63° 32' East, 383.3 feet to a point for a corner;
THENCE: North 0° 33' East, 790.6 feet to a point for a corner;
THENCE: North 0° 03' East, 279.4 feet to a point for a corner;
THENCE: North 88° 39' West, 229.1 feet to a point for a corner;
THENCE: North 60° 24' West, 140.3 feet to a point for a corner;
THENCE: North 0° 47' East, 1786.6 feet to a point for a corner;
THENCE: North 1° 13' West, 518.1 feet to a point for a corner;
THENCE: North 89° 07' West, 99.1 feet to a point for a corner;
THENCE: North, 435 feet to a point for a corner;
THENCE: North 40° 08' East, 259.5 feet to a point for a corner;
THENCE: North 1° 40' East, 629.1 feet to a point for a corner;
THENCE: South 84° 39' East, 252.6 feet to a point for a corner;
THENCE: South 77° 52' East, 201.2 feet to a point for a corner;
THENCE: South 76° 30' East, 242.3 feet to a point for a corner;
THENCE: South 54° 42' East, 245.7 feet to a point for a corner;
THENCE: South 62° 04' East, 210.1 feet to a point for a corner;
THENCE: South 64° 26' East, 320.8 feet to a point for a corner;
THENCE: South 82° 40' East, 397.5 feet to a point for a corner;
THENCE: South 80° 07' East, 422.3 feet to a point for a corner;
THENCE: South 80° 08' East, 309 feet to a point for a corner;

THENCE: North 10° 06' West, 236.3 feet to a point for a corner;
THENCE: North 2° 24' East, 550.1 feet to a point for a corner;
THENCE: North 2° 03' East, 507.4 feet to a point for a corner;
THENCE: North 0° 12' East, 451.2 feet to a point on the Westerly right-of-way of State Highway 205;
THENCE: Following said right-of-way line North 7° 06' West a distance of 371 feet to the Place of Beginning and Containing 587 Acres of Land, more or less.

Exhibit "A"

EGINNING at an iron rod on the East line of the above mentioned 86.95 acre tract, said iron rod bears North 0° 18' 56" a istance of 43.94 feet along the East line of said 86.95 acre tract from the most Northerly East corner of Lot 5, Block M, f The Shores, Phase One, An Addition to the City of Rockwall recorded in Slide A, Page 299, Plat Records, Rockwall County, exas;

HENCE: South 89° 26' 57" West a distance of 914.93 feet to an iron rod set for a corner on the most Southerly West line of aid 86.95 acre tract and on the most Northerly East line of the above mentioned 439.7 acre tract;

HENCE: North 0° 33' 27" East a distance of 893.40 feet along said West line and said East line to an iron rod set at an E11" corner of said 86.95 acre tract and at the Northeast corner of said 439.7 acre tract;

IENCE: South 89° 31' 49" West a distance of 407.85 feet along the North line of said 439.7 acre tract and the most Westerly outh line of said 86.95 acre tract to an iron rod found for a corner at the most Northerly Southwest corner of said 86.95 cre tract and at the Southeast corner of that 80.208 acre tract of land described in Deed Recorded in Volume 105, Page 43, eed Records, Rockwall County, Texas;

IENCE: North 0° 25' 47" East a distance of 507.31 feet along the East line of said 80.208 acre tract and the most Northerly st line of said 86.95 acre tract to an iron rod set for a corner;

IENCE: South 79° 54' 21" East a distance of 1337.24 feet traversing said 86.95 acre tract to an iron rod set for a corner on ie East line of said 86.95 acre tract;

IENCE: South 0° 11' 29" West a distance of 16.42 feet along said East line to an iron rod found for a correr:

IENCE: South 0° 18' 56" West a distance of 1137.73 feet continuing along said East line and containing 1,322,202 square feet

- 30.3536 acres of land.

Exhibit B

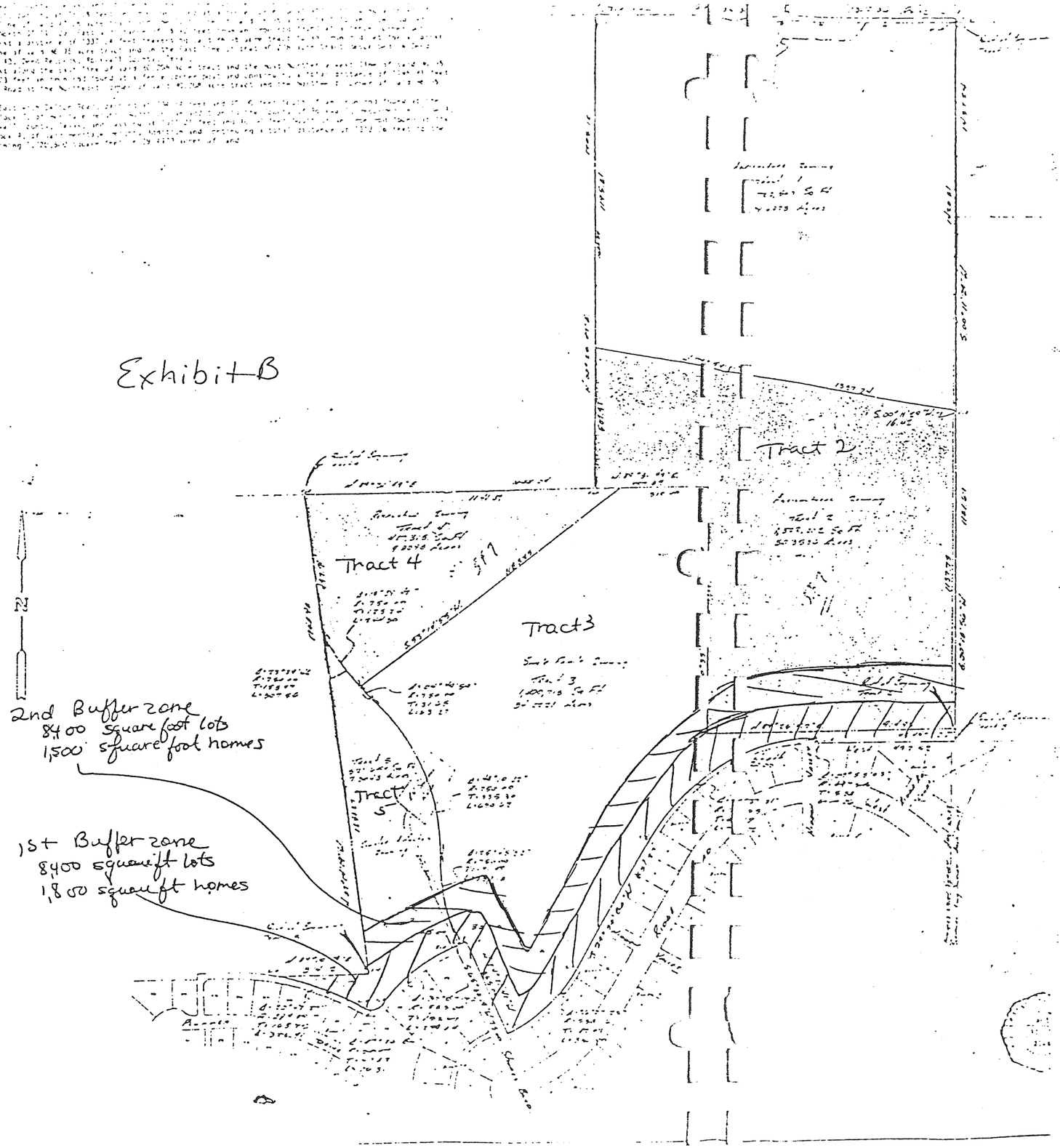

Tract 4
Tract3
Tract 2
Tract 5
2nd Buffer zone
8400 square foot lots
1,500 square foot homes
1st Buffer zone
8400 squareft lots
1,850 squareft homes
N

EXHIBIT "C"

PD 3 - THE SHORES

AREA REQUIREMENTS - AREA - 1

1. Minimum lot area -9000 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 2200 square feet
4. Minimum lot Width - 70 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
   a) Internal lot - 5 feet
   b) Sideyard set back -abutting street - 15 feet
   c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2 (the garage area will not be considered)

PD 3 - THE SHORES

AREA REQUIREMENTS - AREA - 2

1. Minimum lot area -8400 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 2000 square feet
4. Minimum lot Width - 60 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
   a) Internal lot - 6 feet
   b) Sideyard set back -abutting street - 15 feet
   c) Sideyard set back - abutting an arterial - 20 feet
9. Miminum distance between separate buildings om the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2 (the garage area will not be considered)

PD 3 - THE SHORES

AREA REQUIREMENTS - AREA - 3

1. Minimum lot area -7200 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1800 square feet
4. Minimum lot Width - 60 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
   a) Internal lot - 5 feet
   b) Sideyard set back -abutting street - 15 feet
   c) Sideyard set back - abutting an arterial - 20 feet
9. Mininum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2 (the garage area will not be considered)

PD 3 - THE SHORES

AREA REQUIREMENTS - AREA - 4

1. Minimum lot area -7200 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1500 square feet
4. Minimum lot Width - 60 feet at building line
5. Minimum lot depth - 100 feet
6. Minimum depth of front set back - 20 feet
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
   a) Internal lot - 5 feet
   b) Sideyard set back -abutting street - 15 feet
   c) Sideyard set back - abutting an arterial - 20 feet
9. Miminum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 35%
11. Maximum height of structures - 36 feet
12. Minimum number of off street parking spaces per unit - 2 (the garage area will not be considered)

PD 3 - THE SHORES

AREA REQUIREMENTS - CLUB VILLAS - 1 Area - 5

1. Minimum lot area -5000 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1,800 square feet
4. Minimum lot Width - 50 feet at building line
5. Minimum lot depth - 90 feet
6. Minimum depth of front set back - 20 feet plus 1'/ft. of ht. over 25 feet.
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
   a) Internal lot - 0 feet on one side, 10 feet on other side.
   b) Sideyard set back -abutting street - 15 feet
   c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 50%
11. Maximum height of structures - 30 feet
12. Minimum number of off street parking spaces per unit - 2 (the garage area will not be considered)

PD 3 - THE SHORES

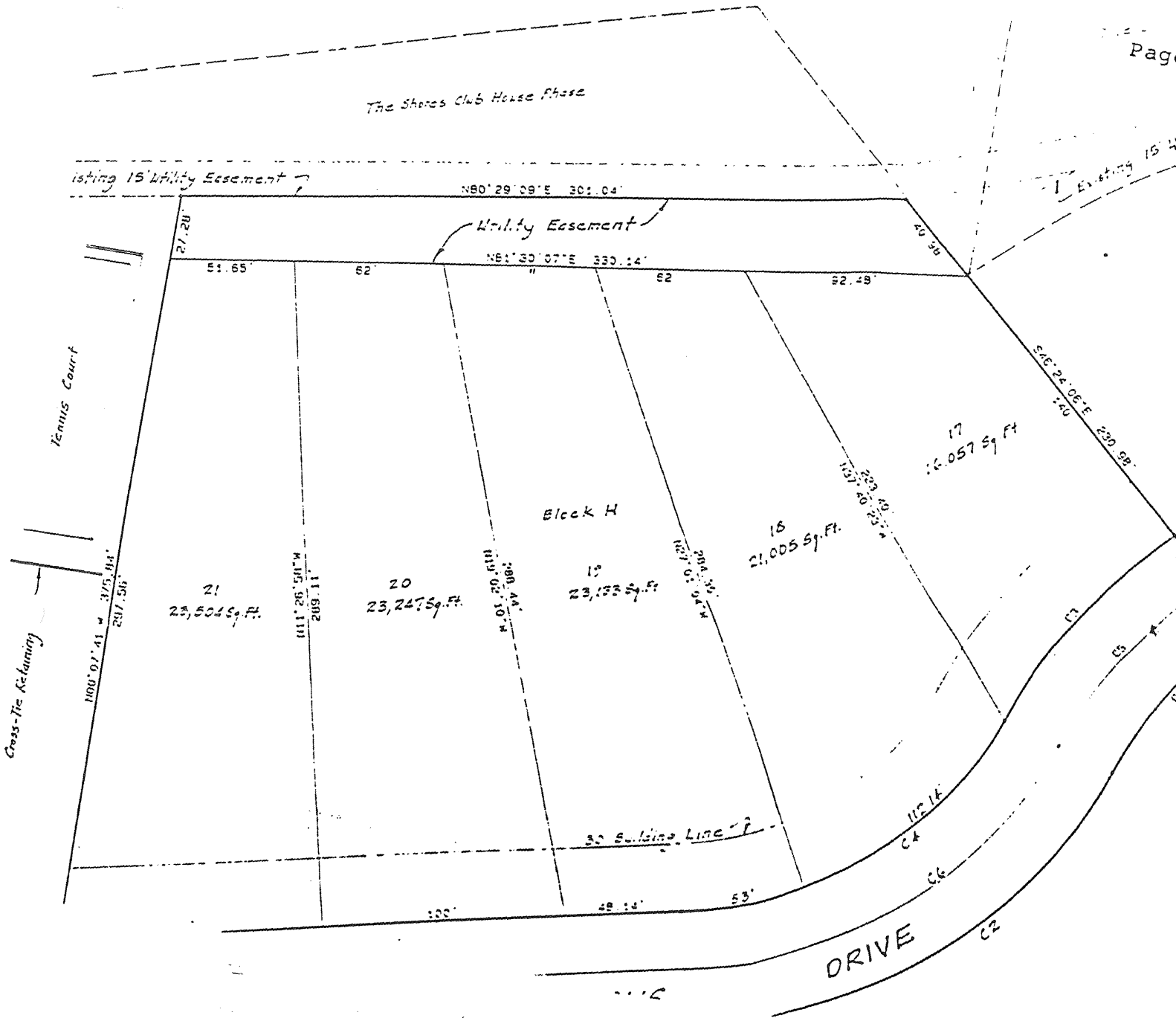
AREA REQUIREMENTS - CLUB VILLAS - 2/Zero Lot Line - Area

1. Minimum lot area -5000 square feet
2. Max. no. of single family dwelling units per lot - 1
3. Minimum square footage per dwelling unit - 1250 square feet
4. Minimum lot Width - 50 feet at building line
5. Minimum lot depth - 90 feet
6. Minimum depth of front set back - 20 feet plus 1'/ft. of ht. over 25 feet.
7. Minimum depth of rear set back - 10 feet
8. Minimum width of side set back -
   a) Internal lot - 0 feet on one side, 10 feet on other side.
   b) Sideyard set back -abutting street - 15 feet
   c) Sideyard set back - abutting an arterial - 20 feet
9. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
10. Maximum building area as a percentage of lot area - 50%
11. Maximum height of structures - 30 feet
12. Minimum number of off street parking spaces per unit - 2 (the garage area will not be considered)

PD 3 - THE SHORES

AREA REQUIREMENTS - CLUB HOUSE TRACT (3.7 Acres North of Champions Drive)

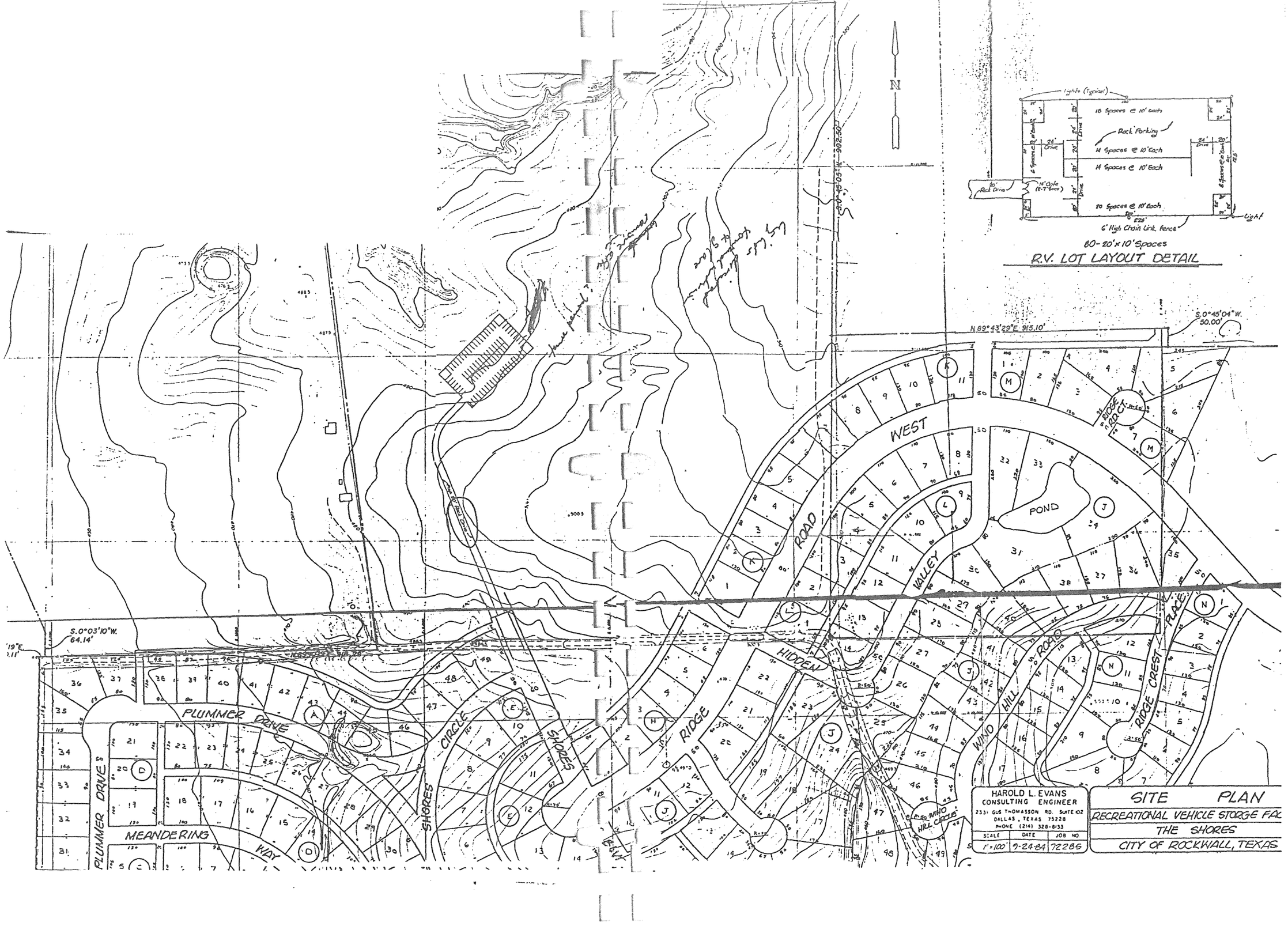
1. Max. no. of single family dwelling units per lot - 1
2. Minimum square footage per dwelling unit
   a) Lot 17, Block A, - 2200 square feet
   b) Lots 18, 19, 20, & 21, Block A, - 2000 square feet
3. The lot width, lot depth and lot area of the 5 lots shall conform to the dimensions as shown on Page 8" of this Exhibit.
4. Minimum depth of front set back - 30 feet
5. Minimum depth of rear set back - 25 feet
6. Minimum width of side set back - 10 feet
7. Minimum distance between separate buildings on the same lot or parcel of land - 10 feet
8. Maximum building area as a percentage of lot area - 35%
9. Maximum height of structures - 30 feet
10. Minimum number of off street parking spaces per unit - 2 (the garage area will not be considered)
11. No Garage shall open on Champions Drive.



The Shores Club House Phase
isting 15' Utility Easement
N80°29'09"E 301.04'
Utility Easement
N81°30'07"E 330.14'
51.65'
62'
62
92.48'
Tennis Court
Cross-Tie Retaining
Block H
21
23,504 Sq.Ft.
20
23,247 Sq.Ft.
19
23,133 Sq.Ft.
18
21,005 Sq.Ft.
17
16,057 Sq.Ft.
30' Building Line
53'
DRIVE
C2
C4
C5
C6

EGINNING at an iron rod on the East line of the above mentioned 86.95 acre tract, said iron rod bears North 0° 18' 56" a istance of 43.94 feet along the East line of said 86.95 acre tract from the most Northerly East corner of Lot 5, Block M, f The Shores, Phase One, An Addition to the City of Rockwall recorded in Slide A, Page 299, Plat Records, Rockwall County, exas;
IENCE: South 89° 26' 57" West a distance of 914.93 feet to an iron rod set for a corner on the most Southerly West line of aid 86.95 acre tract and on the most Northerly East line of the above mentioned 439.7 acre tract;
IENCE: North 0° 33' 27" East a distance of 893.40 feet along said West line and said East line to an iron rod set at an 11" corner of said 86.95 acre tract and at the Northeast corner of said 439.7 acre tract;
ENCE: South 89° 31' 49" West a distance of 407.85 feet along the North line of said 439.7 acre tract and the most Westerly outh line of said 86.95 acre tract to an iron rod found for a corner at the most Northerly Southwest corner of said 86.95 re tract and at the Southeast corner of that 80.208 acre tract of land described in Deed Recorded in Volume 105, Page 43, ed Records, Rockwall County, Texas;
IENCE: North 0° 25' 47" East a distance of 507.31 feet along the East line of said 80.208 acre tract and the most Northerly st line of said 86.95 acre tract to an iron rod set for a corner;
IENCE: South 79° 54' 21" East a distance of 1337.24 feet traversing said 86.95 acre tract to an iron rod set for a corner or e East line of said 86.95 acre tract;
IENCE: South 0° 11' 29" West a distance of 16.42 feet along said East line to an iron rod found for a correr:
IENCE: South 0° 18' 56" West a distance of 1137.73 feet continuing along said East line and containing 1,322,202 square feet

30.3536 acres of land.



HAROLD L. EVANS
CONSULTING ENGINEER
2331 GUS THOMASSON RD. SUITE 102
DALLAS, TEXAS 75228
PHONE (214) 328-8133

SCALE	DATE	JOB NO.
1"=100'	9-24-84	72286

SITE PLAN

RECREATIONAL VEHICLE STORGE FA
THE SHORES
CITY OF ROCKWALL, TEXAS

ORDINANCE NO. 94-35

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE AND ORDINANCES NO. 80-33 AND 89-4 OF THE CITY OF ROCKWALL, TEXAS, AS HERETOFORE AMENDED, SO AS TO GRANT A CHANGE IN LAND USE DESIGNATION FROM AGRICULTURAL, MULTIFAMILY AND GENERAL RETAIL TO SINGLE FAMILY DETACHED LAND USE DESIGNATION AND AMEND THE PRELIMINARY PLAN FOR A PORTION OF PD-3, MORE FULLY DESCRIBED HEREINAFTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR AREA REQUIREMENTS; PROVIDING FOR A DEVELOPMENT PLAN; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000) FOR EACH OFFENSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request for a change in land use designation under PD-3 and zoning change from agricultural, multifamily and general retail to single family detached residential land use designation was submitted by Homeplace Properties on a tract of land more fully described herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance and Ordinances 80-33 and 89-4 of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance and Ordinances No. 80-33 and 89-4 of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended so as to approve a change in the preliminary plan for "PD-18" Planned Development District No. 3, on the property described on Exhibit "A", attached hereto and made a part hereof.

Section 2. That Planned Development District No. 3 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby, provided that the granting of Planned Development District No. 3 to the above described tract of land is subject to the following special conditions:

A. All development of property covered by Planned Development District No. 3, shall be in accordance with the provisions of this ordinance and the finally approved comprehensive development plan and list of approved uses, and no substantial change in the development shall be permitted except after obtaining approval of the changes and amendments in accordance with the provisions of the Comprehensive Zoning Ordinance. All development of the property described on Exhibit "A", attached hereto, shall be substantially in accordance with the Development Plan, attached hereto and made a part hereof as Exhibit "B".

B. The property described on Exhibit "A", attached hereto, shall be used for Single Family Detached residential development and shall be regulated by the area requirements set forth in the SF-10 zoning classification, as currently adopted and as may be amended in the future, except as provided for as follows:

1.	Minimum Lot Size -	7,800 sq. ft. as shown on concept plan 10,000 sq. ft. as shown on concept plan
2.	Minimum dwelling Size -	1,800 sq. ft.
3.	Minimum Lot Depth -	100 ft.
4.	Minimum Lot Width -	60 feet, as measured at the front building line
5.	Minimum Front Yard -	25 ft.
6.	Minimum Rear Yard -	10 ft.
7.	Minimum Side Yard -	
	Internal Lot -	6 ft.
	Adjacent to Street -	15 ft.
8.	Maximum Building Height -	32 ft.
9.	Maximum Building Coverage -	35%
10.	No front entry garages will be permitted	

C. All development of this tract shall be in accordance with and regulated by the approved development plan, attached hereto and made a part hereof.

Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by

a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS ($2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 17th day of October, 1994.

APPROVED:

Mayor

ATTEST:

By:

1st reading October 3, 1994

2nd reading October 17, 1994

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the Samuell King Survey, Abstract No. 131, Rockwall County, Texas, and being a part of that 44.514 acre tract of land described as Parcel 2, Tract 2, in Special Warranty Deed to Shores 205 Joint Venture, recorded in Volume 239, Page 53, Deed Records, Rockwall County, Texas, and all of that tract of land as recorded in Volume 185, Page 230, Deed Records, Rockwall County, Texas, and being more particularly described as follows:
BEGINNING at a 1/2" iron rod set in an existing road (Quail Run Road) on the South line of said 44.514 acre tract, at the intersection of said road with a small branch, said Point bears South 65 degrees 15' 32" East a distance of 209.08 feet and South 83 degrees 28' 53" East a distance of 102.38 feet along said road from the South corner of The Shores Phase Two, an addition to the City of Rockwall recorded in Slide C, Page 102, Plat Records, Rockwall County, Texas;
THENCE: With the meanders of said branch , all to points for a corner, as follows: North 05 degrees 20' 52" East a distance of 169.47 feet; South 81 degrees 52' 30" East a distance of 142.20 feet; North 07 degrees 06' 30" West a distance of 98.88 feet; North 34 degrees 27' 30" West a distance of 89.00 feet; North 48 degrees 07' 30" East a distance of 99.00 feet; North 08 degrees 57' 30" West a distance of 107.38 feet; North 57 degrees 47' 30" East a distance of 123.96 feet; North 01 degree 29' 30" East a distance of 189.00 feet; North 54 degrees 55' 30" East a distance of 163.00 feet; North 38 degrees 27' 30" West a distance of 61.00 feet; North 29 degrees 32' 30" East a distance of 128.00 feet; South 55 degrees 32' 30" East a distance of 39.00 feet; South 01 degree 07' 30" West a distance of 46.00 feet; South 69 degrees 22' 30" East a distance of 14.00 feet; North 59 degrees 37' 30" East a distance of 33.00 feet; North 09 degrees 49' 30" Eat a distance of 121.00 feet; North 49 degrees 27' 30" East a distance of 86.34 feet;
THENCE: North 00 degrees 52' 30" West a distance of 183.33 feet to a 1/2" iron rod found for a corner on the South line of Ridge Road West;
THENCE: North 46 degrees 41' 37" East a distance of 145.67 feet with said South line to a 1/2" iron rod found at the beginning of a curve to the right having a central angle of 32 degrees 30' 00", a radius that bears South 43 degrees 28' 23" East a distance of 560.40 feet;

a 1/2" iron rod fund at the end of said curve;

THENCE: North 79 degrees 01' 37" East, passing at 32.76 feet a 1/2" iron rod found at the Southeast corner of said Ridge Road West and continuing a total distance of 44.89 feet to a 1/2" iron rod set for a corner on the West line of State Highway 205, said point being on a curve to the left having a central angle of 02 degrees 59' 01", and a radius that bears north 78 degrees 40' 24" East a distance of 5605.38 feet;

THENCE: Along said curve and with said West line an arc distance of 291.88 feet to a broken concrete right-of-way monument found at the end of said curve;

THENCE: South 14 degrees 21' 09" East a distance of 407.27 feet continuing with said West line to a 1/2" iron rod found for a corner at a chain link fence corner post;

THENCE: South 76 degrees 42' 59" West a distance of 182.06 feet to a 1/2" iron rod set for a corner on the East line of said 44.514 acre tract and in an abandoned road;

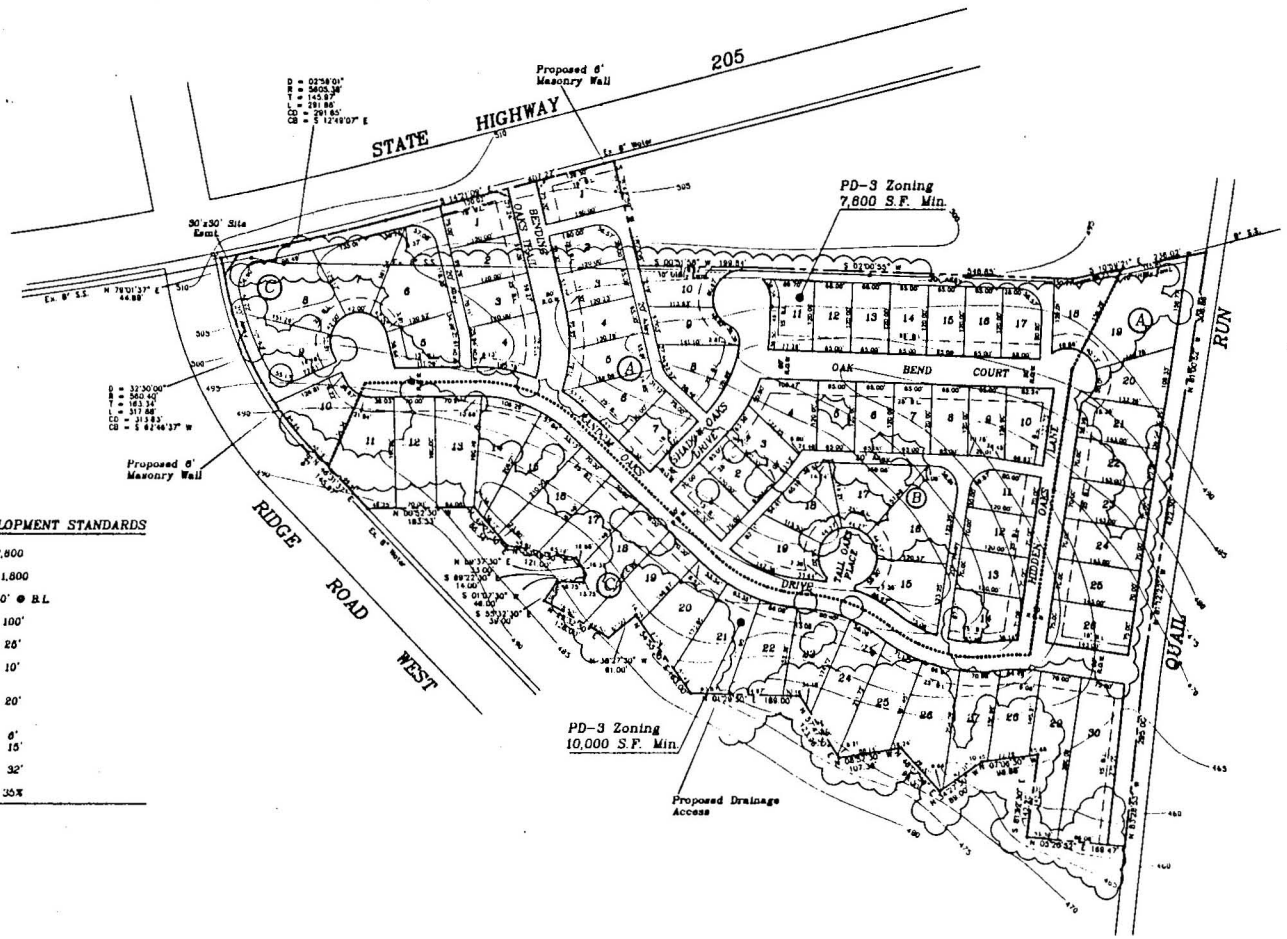
THENCE: Along the East lines of said 44.514 acre tract and with said abandoned road as follows: South 00 degrees 51' 58" West a distance of 199.84 feet to a 1/2" iron rod set for a corner; South 02 degrees 00' 55" West a distance of 548.85 feet to a 1/2" iron rod set for a corner; and South 10 degrees 59' 21" East a distance of 236.02 feet to a 1/2" iron rod found at the Southeast corner of said 44.514 acre tract and in the previously mentioned existing Quail Run Road;

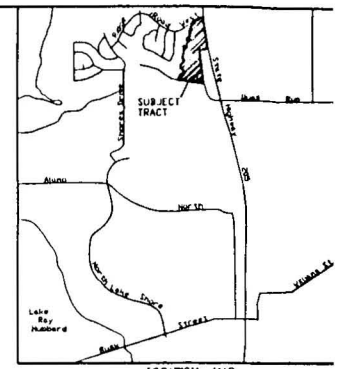
THENCE: With the South lines of said 44.514 acre tract and with said road as follows: North 81 degrees 00' 52" West a distance of 308.86 feet to a 1/2" iron rod found for a corner; North 81 degrees 12' 22" West a distance of 422.30 feet to a 1/2" iron rod found for a corner; and North 83 degrees 28' 53" West a distance of 295.00 feet to the Point of beginning and containing 25.474 acres of land.

The plat hereon is a true, correct and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat. There are no encroachments, conflicts, or protrusions, except as shown.

Harold L. Evans, P.E., Registered Professional Land Surveyor No. 2146







LOCATION MAP

100 50 0 100 200
SCALE FEET

LAND USE DATA

REVISE PD-3 SINGLE FAMILY DEVELOPMENT STANDARDS

MIN. LOT S.F.	7,800
MIN. HOUSE SIZE	1,800
MIN. LOT WIDTH	60' @ B.L.
MIN. LOT DEPTH	100'
MIN. FRONT YARD	25'
MIN. REAR YARD (for Main Structure)	10'
MIN. REAR YARD (for Garage)	20'
MIN. SIDE YARD (adjacent to Street)	6' 15'
MAX. BUILDING HEIGHT	32'
MAX. BUILDING COVERAGE	35%

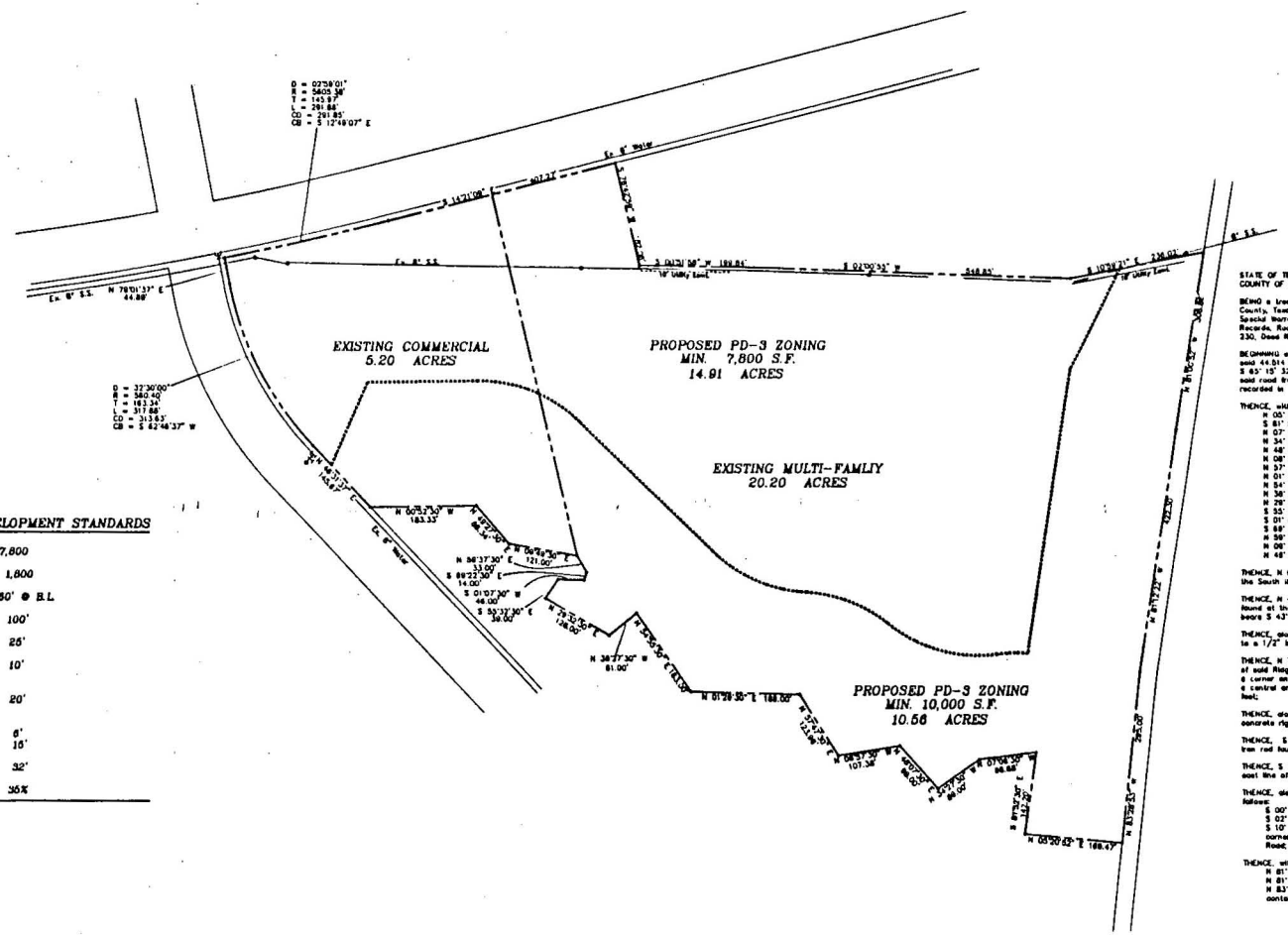
RANDOM OAKS AT THE SHORES
PRELIMINARY LOT SQUARE FOOTAGE

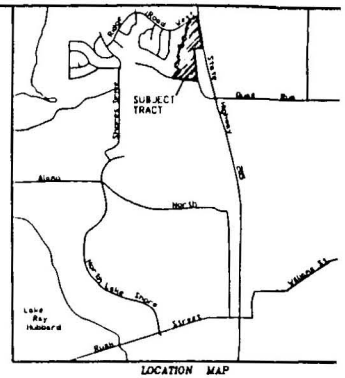
BLOCK A		BLOCK B		BLOCK C	
LOT	SQ. FT.	LOT	SQ. FT.	LOT	SQ.
1	10,682	1	8,400	1	8,134
2	7,816	2	7,800	2	8,311
3	7,800	3	7,848	3	8,312
4	8,071	4	11,009	4	10,277
5	8,441	5	7,800	5	9,382
6	9,882	6	7,800	6	16,973
7	8,000	7	7,800	7	12,977
8	10,300	8	7,800	8	17,758
9	8,548	9	7,804	9	10,843
10	9,201	10	9,811	10	11,784
11	8,166	11	8,056	11	16,814
12	7,800	12	8,400	12	13,500
13	7,800	13	8,400	13	13,772
14	7,800	14	9,811	14	12,732
15	7,800	15	12,304	15	13,403
16	7,800	16	17,281	16	14,144
17	7,816	17	12,177	17	11,186
18	10,437	18	10,905	18	15,750
19	22,381	19	11,022	19	13,945
20	10,010			20	12,309
21	10,010			21	15,340
22	10,010			22	12,701
23	10,010			23	11,886
24	10,020			24	13,638
25	10,010			25	14,113
26	10,725			26	14,842
				27	12,395
				28	10,673
				29	17,512
				30	23,338

~ OWNER ~
HOMEPLACE PROPERTIES
9330 L B J Frwy. ~ Suite 1190 ~ Dallas, Texas 75243

~ ENGINEER ~
TIPTON ENGINEERING, INC.
8330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

PRELIMINARY PLAT
OF
RANDOM OAKS AT THE SHORES
OUT OF THE
SAMUELL KING SURVEY, ABSTRACT NO. 13
IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEX
SCALE 1"=100' ~ DATE 9-2-94 ~ 26.474 ACRES ~ 76 LOTS





100 50 0 100 200
SCALE FEET

LAND USE DATA

REVISE PD-3 SINGLE FAMILY DEVELOPMENT STANDARDS

MIN. LOT S.F.	7,800
MIN. HOUSE SIZE	1,800
MIN. LOT WIDTH	60' @ B.L.
MIN. LOT DEPTH	100'
MIN. FRONT YARD	25'
MIN. REAR YARD (for Main Structure)	10'
MIN. REAR YARD (for Garage)	20'
MIN. SIDE YARD (adjacent to Street)	6' 15'
MAX. BUILDING HEIGHT	32'
MAX. BUILDING COVERAGE	35%

STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the Samuell King Survey, Abstract No. 131, Rockwall County, Texas and being a part of that 44.814 acre tract of land described as Parcel 2, Tract 2 Special Warranty Deed to Shores 208 Joint Venture, recorded in Volume 238, Page 83, Deed Records, Rockwall County, Texas, and all of that tract of land as recorded in Volume 188, Page 230, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set in an existing road (Quail Run Road) on the South line of said 44.814 acre tract, at the intersection of said road with a small branch, said Point bears S 85° 15' 32" W a distance of 208.08 feet and S 63° 28' 03" E a distance of 102.38 feet along said road from the South corner of The Shores Phase Two, an addition to the City of Rockwall recorded in Slide C, Page 102, Plat Records, Rockwall County, Texas;

THENCE, with the meanders of said branch, all to points for a corner, as follows:
- N 05° 29' 53" E, a distance of 168.47 feet;
- S 81° 52' 30" E a distance of 142.20 feet;
- N 07° 08' 30" W a distance of 84.68 feet;
- N 34° 23' 30" W a distance of 88.0 feet;
- N 48° 07' 30" E a distance of 99.00 feet;
- N 08° 37' 30" W a distance of 107.38 feet;
- N 37° 41' 30" E a distance of 123.88 feet;
- N 01° 29' 30" E a distance of 189.00 feet;
- N 84° 53' 30" E a distance of 163.00 feet;
- N 38° 23' 30" W a distance of 61.00 feet;
- N 78° 23' 30" E a distance of 128.00 feet;
- S 55° 32' 30" E a distance of 38.00 feet;
- S 01° 07' 30" W a distance of 46.00 feet;
- S 88° 52' 30" E a distance of 14.00 feet;
- N 38° 37' 30" E a distance of 33.00 feet;
- N 08° 48' 30" E a distance of 121.00 feet;
- N 48° 37' 30" E a distance of 88.34 feet;

THENCE, N 00° 52' 30" W a distance of 183.33 feet to a 1/2" iron rod found for a corner on the South line of Ridge Road West;

THENCE, N 48° 41' 37" E a distance of 143.67 feet with said South line to a 1/2" iron rod found at the beginning of a curve to the right having a central angle of 32° 30' 00" a radius t bears S 43° 28' 23" E a distance of 560.40 feet;

THENCE, along said curve and continuing with said South line an arc distance of 317.88 feet to a 1/2" iron rod found at the end of said curve;

THENCE, N 78° 01' 37" E, passing at 32.76 feet a 1/2" iron rod found at the Southeast corner of said Ridge Road West and continuing a total distance of 44.86 feet to a 1/2" iron rod set a corner on the West line of State Highway 205, said point being on a curve to the left, having a central angle of 02° 58' 01", and a radius that bears N 78° 40' 24" E a distance of 5809. 3 feet;

THENCE, along said curve and with said West line an arc distance of 281.88 feet to a broken concrete right-of-way monument found at the end of said curve;

THENCE, S 14° 21' 06" E a distance of 407.27 feet continuing with said West line to a 1/2" iron rod found for a corner at a chain link fence corner post;

THENCE, S 76° 43' 28" W a distance of 182.08 feet to a 1/2" iron rod set for a corner on the east line of said 44.814 acre tract and in an abandoned road;

THENCE, along the East lines of said 44.814 acre tract and with said abandoned road as follows:
- S 00° 51' 58" W a distance of 189.84 feet to a 1/2" iron rod set for a corner;
- S 02° 00' 55" W a distance of 548.88 feet to a 1/2" iron rod set for a corner;
- S 10° 08' 21" E a distance of 238.02 feet to a 1/2" iron rod found at the Southeast corner of said 44.814 acre tract and in the previously mentioned existing Quail Run Road;

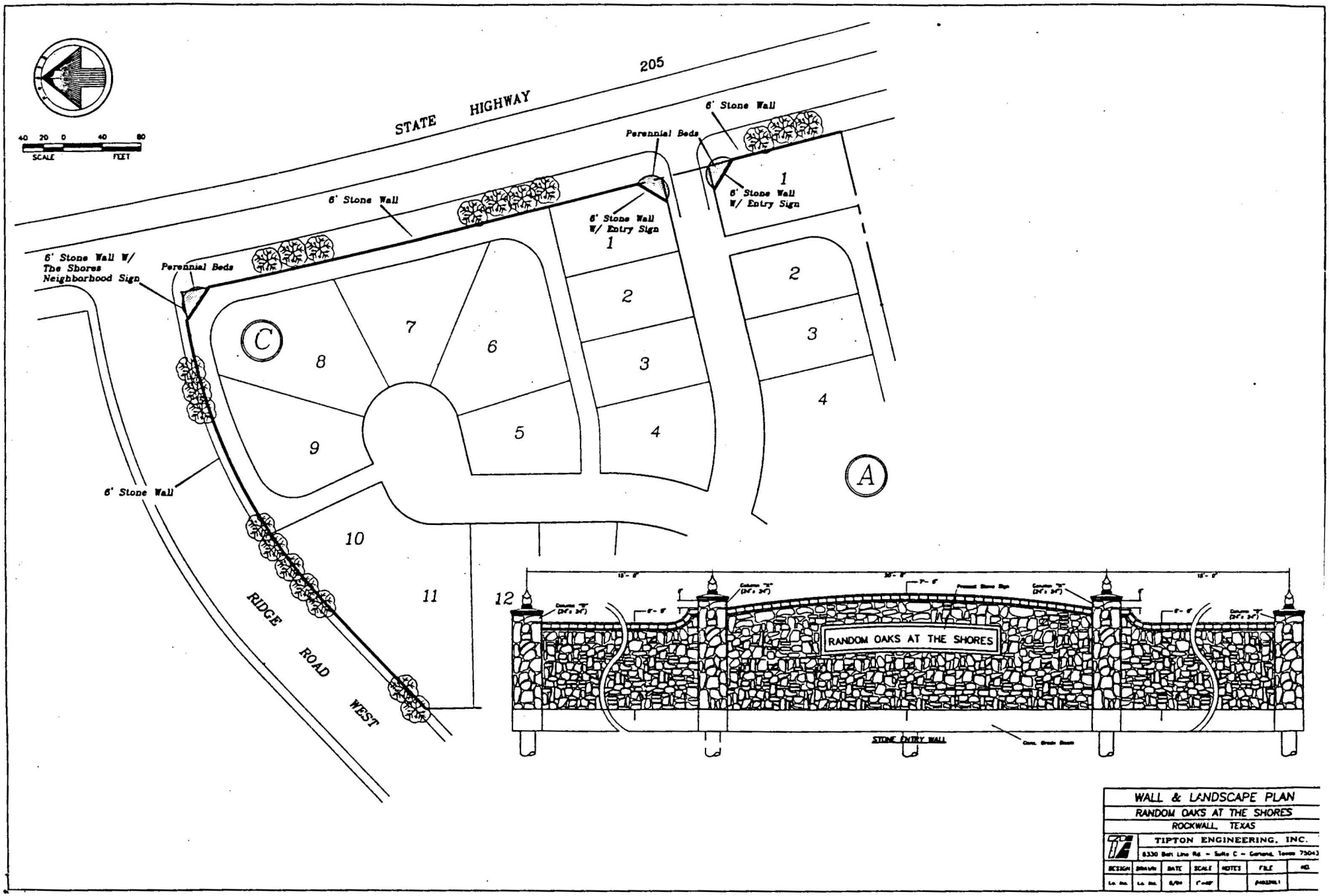
THENCE, with the South lines of said 44.814 acre tract and with said road as follows:
- N 81° 00' 52" W a distance of 308.88 feet to a 1/2" iron rod found for a corner;
- N 81° 12' 22" W a distance of 422.30 feet to a 1/2" iron rod found for a corner;
- N 83° 28' 53" W a distance of 295.00 feet to the POINT OF BEGINNING and containing 25.474 acres of land.

~ OWNER ~
HOMEPLACE PROPERTIES
9330 L.B.J. Frwy. ~ Suite 1190 ~ Dallas, Texas 75243

~ ENGINEER ~
TIPTON ENGINEERING, INC.
8330 Belt Line Rd. ~ Suite C ~ Garland, Texas 75043

ZONING TRACT MAP
OF
RANDOM OAKS AT THE SHORES
OUT OF THE
SAMUELL KING SURVEY, ABSTRACT NO. 13
IN THE
CITY OF ROCKWALL, ROCKWALL COUNTY, TEX

SCALE 1"=100' ~ DATE 9-2-94 ~ 25.474 ACRES



STATE HIGHWAY 205
40 20 0 40 80
SCALE FEET
6' Stone Wall
Perennial Beds
6' Stone Wall W/ Entry Sign
6' Stone Wall W/ Entry Sign
6' Stone Wall
6' Stone Wall W/ The Shores Neighborhood Sign
Perennial Beds
6' Stone Wall
RIDGE ROAD WEST
C
A
1
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10
11
12
RANDOM OAKS AT THE SHORES
STONE ENTRY WALL
WALL & LANDSCAPE PLAN
RANDOM OAKS AT THE SHORES
ROCKWALL, TEXAS
TIPTON ENGINEERING, INC.
8330 Belt Line Rd. - Suite C - Garland, Texas 75043
DESIGN
DRAWN
DATE
SCALE
NOTES
FILE
NO.

ORDINANCE NO. 96-23

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND ORDINANCE NO. 89-4, AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND DESCRIBED HEREIN FROM AGRICULTURAL TO PD-3 AND TO AMEND THE APPROVED PRELIMINARY PLAN FOR PD-3 ATTACHING THE AMENDED PRELIMINARY PLAN; ADOPTING REVISED AREA REQUIREMENTS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in zoning on a tract of land from Agriculture to PD-3, and a change in the Preliminary Plan for portions of PD-3, further described herein, has been initiated by the City of Rockwall; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the state of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance and official zoning map be changed from Agricultural to PD-3 for the area described in Exhibit "A" attached hereto.

SECTION 2. With respect to the tracts shown in Exhibit "B", the Comprehensive Zoning Ordinance, this ordinance, Ordinance 86-61 and Ordinance 84-59 shall be the sole Planned Development ordinances applicable thereto, and any other Planned Development ordinances, including Ordinance 89-4, hereto applicable to such tracts shall be superseded and amended hereby. Items not specifically addressed in this ordinance shall comply with the Zoning Ordinance No. 83.23, Subdivision Ordinance, Engineering Standards of Design, Code of Ordinances, as amended or as may be amended in the future and any other development related ordinances as currently approved or as may be amended or approved in the future.

SECTION 3. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the approved Preliminary Plan for PD-3 for those areas identified in Exhibit "B". That said amended Preliminary Plan is attached hereto as Exhibit "B" and made a part hereof for all purposes.

SECTION 4. That the tracts identified in Exhibit "B" shall be developed and used only in the manner and for the purposes and with the conditions provided in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, and as amended hereby, provided that by granting this amendment to the approved Preliminary Plan for PD-3 this ordinance shall affect only the property shown in Exhibit "B".

SECTION 5. That development of areas in Exhibit "B" shall be in strict conformance to the area requirements as shown in Exhibit "C" attached hereto and made apart hereof.

SECTION 6. No substantial change in development of the areas as shown in Exhibit "B" shall be permitted other than as shown in Exhibit "B"except after obtaining approval of the change of such development through amendment of the Preliminary Plan in the manner required for changes or amendments to the Comprehensive Zoning Ordinance.

SECTION 7. Prior to or in conjunction with any plat submittal, a concept plan must be submitted for the area being developed for review and approval by the Planning and Zoning Commission and City Council. A north concept plan must be submitted when the northern tracts are developed, a south concept plan must be submitted when the southern tracts are developed, and a Ridge Road concept plan must be submitted when the Ridge Road tracts are developed. If the concept plan is submitted in conjunction with the plat, the review and approval or disapproval will occur simultaneously. The concept plan shall include the following items.

A. The north concept plan shall include the following items;

(i) Identify the general location of the 3 acre neighborhood park site in one of the northern tracts including walkway/pathways connecting the park to the adjacent villages in the northern tracts. It is the intent that the walkway/pathway design will be accomplished with the lot layout in Exhibit "D".

B. The south concept plan shall include the following items;

(i) Provide a general location and conceptual design of walkways/pathways in the southern tracts 4 and 5. It is the intent that the walkway/pathway design will be accomplished with the lot layout in Exhibit "D".

(ii) Provide a general location and conceptual design for access to the lake in the southern tract 4. The walkways/pathways required in section (i) will not be required to connect to the lake access.

C. All concept plans shall include the following items;

(i) Identify locations of any proposed restricted access/gated villages, including description of the proposed entry design, type and maintenance provisions for streets and layout of village.

(ii) A proposed street layout for each phase that shall be subject to review and approval in accordance with the City's Subdivision Regulations and Standards. Street layouts and double loaded streets as shown in Exhibit "D" are included herein in concept only provided, however, that the double loaded streets concept in Exhibit "D"shall form the basis for review and approval by the City with respect to double lot street loading.

(iii) Identify location, type and general design of screening along major roads for areas being platted.

(iv) Identify location of village entry features for each village for areas being platted. Such features shall at a minimum include typical entry features as shown on Exhibit "E".

(v) A lot layout demonstrating how average lot sizes required in Exhibit "C" are met.

Section 8. Prior to any final plat approval of the first phase of the development, the owner(s) of the property must execute and file an instrument creating a Homeowners Association for the areas included in Exhibit "B". The Homeowners Association will be responsible for the maintenance of all common areas, screening walls and features, landscape areas; deed restriction enforcement; and all other functions required to maintain the quality of the development for those areas included in Exhibit "B". To ensure compliance with these provisions the property owner will submit the covenants of the document to the City Attorney for review. The property owner will provide an opportunity for the existing homeowners to join this newly created association on terms acceptable to the property owner, but neither the joinder of the existing homeowners nor the documentation of such opportunity shall constitute a condition precedent or requirement in plat approval.

Section 9. Because review of PD-3 as contained herein has been extensive for more than (6) months prior to the adoption of this ordinance, with the result being the Preliminary Plan herein, the City Council deems that the public interest will not be served by review of this PD on the normal two (2) year cycle. The City Council hereby determines that the Preliminary Plan herein established, promotes and protects the health, safety, morals, and general welfare of the City, which merits an exception to the two year PD review cycle, for which is herein made. The City Council further determines that periodic review as required in the Comprehensive Zoning Ordinance, of the Preliminary Plan herein adopted is still necessary to ensure that the desired

objectives are accomplished, but that such review shall not be initiated sooner than eight years from the date of adoption of this ordinance; provided that;

(i) such review may occur if no plat application is filed with the City in any two year period or such longer time as may be provided for in the Comprehensive Zoning Ordinance, for the above mentioned eight years from the date of adoption of this ordinance. In addition, credit for each 2-year period of the above specified eight years will be earned for each subdivision which exceeds 50 lots that is platted and approved unless such lots are 10,000 square feet or larger on the average in the aggregate in which event such credit shall be earned for a subdivision which exceeds 25 lots.

(ii) that such plat application, if filed, pursuant to Chapter 481 of the Government Code shall apply to the particular phase being platted and that any subsequent phases shall not be considered regulated by said application.

Section 10. The Commercial tract six as shown in Exhibit "B" on the south side of North Lakeshore Drive shall comply with the area, use and all other requirements as set forth in the Commercial ("C") zoning district requirements of the Comprehensive Zoning Ordinance as currently adopted or as may hereafter amended.

Section 11. The General Retail tract three as shown in Exhibit "B" on the north side of Ridge Road shall be limited to the uses as shown in Exhibit "G". All other requirements for the development on this tract will be in accordance with the General Retail zoning district of the Comprehensive Zoning Ordinance and the Comprehensive Zoning Ordinance and subject to site plan review by the Planning and Zoning Commission and City Council.

SECTION 12. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS ($2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 13. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 14. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed to the extent of that conflict.

SECTION 15. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.

DULY PASSED AND APPROVED this 24th day of June, 1996

ATTEST:

BY _____

APPROVED:

_____
Mayor

1st reading 6/17/96

2nd reading 6/24/96

60

EXHIBIT "A"

Legal Description

INDEX

1. Tract I - north of Ridge Road including retail tract

2. Tract II, Parcel A - south of Ridge Road

3. Tract II, Parcel B - existing lots in Phase 2, (not applicable to zoning)

4. Tract III, Parcel A - majority of land south of Champions

5. Tract III, Parcel B - piece bounded by Shores Blvd, Masters, N Lakeshore Blvd and Rockwall Height's Ltd. tract.

6. Tract III, Parcel C - surrounded by golf course

7. Tract III, Parcel D - existing lots in Phase 3, (not applicable to zoning)

8. Tract III, Parcel E - 18 acre commercial site

9. Tract IV - bulk of northern tract including 51 acre "ag zoned"

10. Tract V - western portion of northern tract

TRACT I:

BEING a tract of land situated in the Samuel King Survey, Abstract No. 131, Rockwall County, Texas, and being all of that 20.341 acre tract of land described as Tract I in Deed to The Shores Country Club, Inc., recorded in Volume 547, page 101, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the West R.O.W. line of State Hwy. 205, a 100-foot R.O.W., and the Northerly R.O.W. line of Ridge Road West, a 100 foot ROW:

THENCE: Along the Northerly R.O.W. lines of said Ridge Road West as follows: South 79 degrees 01 minutes 37 seconds West a distance of 42.96 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the left having a central angle of 32 degrees 30 minutes 00 seconds, a radius of 660.40 feet, and a chord that bears South 62 degrees 46 minutes 37 seconds West a distance of 369.60 feet;
Along said curve an arc distance of 374.60 feet to a 1/2" iron rod found for a corner;
South 46 degrees 31 minutes 37 seconds West a distance of 230.00 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the right having a central angle of 18 degrees 06 minutes 25 seconds, a radius of 539.45 feet and a chord that bears South 55 degrees 34 minutes 50 seconds West a distance of 169.77 feet;
Along said curve an arc distance of 170.48 feet to a 1/2" iron rod found for a corner; South 25 degrees 22 minutes 01 East a distance of 20.00 feet to a 1/2" iron rod found for a corner at which point Ridge Road West becomes an 80-foot R.O.W., said iron rod being the point of curvature of a circular curve to the right having a central angle of 72 minutes 53 minutes 35 seconds, a radius of 559.45 feet, and a chord that bears North 78 degrees 55 minutes 10 seconds West a distance of 664.71 feet;
Along said curve an arc distance of 711.75 feet to a 1/2" iron rod found for a corner; North 42 degrees 28 minutes 23 seconds West a distance of 275.00 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the left having a central angle of 03 degrees 25 minutes 23 seconds, a radius of 1074.53 feet, and a chord that bears North 44 degrees 11 minutes 09 seconds West a distance of 64.24 feet;
Along said curve an arc distance of 64.25 feet to a 1/2" iron rod found at the Southeast corner of Block M of The Shores Phase One, an addition to the City of Rockwall recorded in Cabinet A, Page 299, Plat Records, Rockwall County, Texas;

THENCE: North 25 degrees 05 minutes 57 seconds East along the East line of Block M, passing at 125.00 feet the Northeast corner of Lot 7 and the Southeast corner of Lot 6, Block M, and continuing a total distance of 401.92 feet to a 1/2" iron rod found at the Northeast corner of Block M and at the Northwest corner of said 20.341 acre tract;

THENCE: North 89 degrees 37 minutes 06 seconds East a distance of

761.97 feet along said North line of said 20.341 acre tract to a 1/2" iron rod found for a corner at a fence corner;

THENCE: North 89 degrees 05 minutes 26 seconds East a distance of 575.95 feet continuing along said North line and a fence line to a 1/2" iron rod found on the West line of State Hwy. 205;

THENCE: South 08 degrees 08 minutes 41 seconds East a distance of 308.41 feet to the POINT OF BEGINNING and containing 20.341 acres of land, more or less.

TRACT II:

TRACT II, PARCEL A:

BEING a tract of land situated in the Samuel King Survey, Abstract No. 131, Rockwall County, Texas, and being the remainder part of that 20.514 acre tract of land described as Tract II in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found on the Southerly R.O.W. line of Ridge Road West, an 80-foot ROW at the Northeast corner of The Shores, Phase Two, an addition to the City of Rockwall recorded in Cabinet C, Page 102, Plat Records, Rockwall County, Texas, said iron rod being on a curve to the left having a central angle of 58 degrees 06 minutes 44 seconds, a radius of 639.45 feet, and a chord that bears North 75 degrees 34 minutes 59 seconds East a distance of 621.12 feet;

THENCE: Along said curve and with said Southerly line an arc distance of 648.56 feet to a 1/2" iron rod found for a corner at the Point of Tangency of said curve;

THENCE: North 46 degrees 31 minutes 37 seconds East a distance of 84.33 feet continuing with said Southerly line to a 1/2" iron rod set for a corner at the Northeast corner of said 20.514 acre tract recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas;

THENCE: South 00 degrees 52 minutes 30 seconds East a distance of 183.33 feet with the East line of said 20.514 acre tract to a 1/2" iron rod set for a corner in a small brancy, a nameless tributary of Squabble Creek;

THENCE: In a Southerly direction with the meanders of said branch and with the Easterly lines of said 20.514 acre tract, all to 1/2" iron rods set for corners, as follows:
South 49 degrees 27 minutes 30 seconds West a distance of 86.34 feet; South 09 degrees 49 minutes 30 seconds West a distance of 121.00 feet;
South 59 degrees 37 minutes 30 seconds West a distance of 33.00 feet;
North 69 degrees 22 minutes 30 seconds West a distance of 14.00 feet;
North 01 degrees 07 minutes 30 seconds East a distance of 46.00

feet;
North 55 degrees 32 minutes 30 seconds West a distance of 39.00 feet;
South 29 degrees 32 minutes 30 seconds West a distance of 128.00 feet;
South 38 degrees 27 minutes 30 seconds East a distance of 61.00 feet;
South 54 degrees 55 minutes 30 seconds West a distance of 163.00 feet;
South 01 degrees 29 minutes 30 seconds West a distance of 189.00 feet;
South 57 degrees 47 minutes 30 seconds West a distance of 123.96 feet;
South 08 degrees 57 minutes 30 seconds East a distance of 107.38 feet;
South 48 degrees 07 minutes 30 seconds West a distance of 99.00 feet;
South 34 degrees 27 minutes 30 seconds East a distance of 89.00 feet;
South 07 degrees 06 minutes 30 seconds East a distance of 98.88 feet;
North 81 degrees 52 minutes 30 seconds West a distance of 142.20 feet
South 05 degrees 20 minutes 52 seconds West a distance of 169.48 feet to a 1/2" iron rod found for a corner in the center of Quail Run Road, a public road;

THENCE: North 83 degrees 28 minutes 53 seconds West a distance of 102.38 feet with said road to a 1/2" iron rod found for a corner;

THENCE: North 65 degrees 15 minutes 32 seconds West a distance of 209.08 feet continuing with said road to a 1/2" iron rod set for a corner on the Southeast line of a 20-foot alley at the South corner of the previously mentioned The Shores, Phase Two;

THENCE: Along the Easterly lines of said The Shores, Phase Two as follows:
North 24 degrees 44 minutes 28 seconds East a distance of 145.00 feet to a 1/2" iron rod found for a corner on the Southwest R.O.W. line of Wind Hill Road, a 50-foot ROW;
South 65 degrees 15 minutes 32 seconds East a distance of 7.50 feet with said Southwest line to a 1/2" iron rod found for a corner at the South R.O.W. corner of said Wind Hill Road;
North 24 degrees 44 minutes 28 seconds East a distance of 50.00 feet to a 1/2" iron rod found for a corner at the East R.O.W. corner of said Wind Hill Road;
North 65 degrees 15 minutes 32 seconds West a distance of 43.64 feet with the Northeast line of said Wind Hill Road to a 1/2" iron rod found for a corner on the Easterly line of a 20-foot alley;

THENCE: Along the Easterly line of said 20-foot alley and continuing along the Easterly lines of said addition as follows:
North 24 degrees 44 minutes 28 seconds East a distance of 113.33 feet to a 1/2" iron rod found at the beginning of a curve to the left having a central angle of 22 degrees 47 minutes 01 seconds, a radius of 465.47 feet, and a chord that bears North 13 degrees 20 minutes 58 seconds East a distance of 183.88 feet;

Along said curve an arc distance of 185.09 feet to a 1/2" iron rod found at the Point of Tangency of said curve;
North 01 degrees 57 minutes 27 seconds East a distance of 363.22 feet to a 1/2" iron rod found at the beginning of a curve to the right having a central angle of 20 degrees 16 minutes 20 seconds, a radius of 140.00 feet, and a chord that bears North 12 degrees 05 minutes 37 seconds East a distance of 49.28 feet;
Along said curve an arc distance of 49.53 feet to a 1/2" iron rod found at the Point of Tangency of said curve;
and North 22 degrees 13 minutes 47 seconds East a distance of 113.88 feet to the POINT OF BEGINNING and containing 10.677 acres of land, more or less.

TRACT II, PARCEL B

All lots in The Shores Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 102 of the Plat Records of Rockwall County, Texas; together with Certificate of Correction recorded in Volume 771, Page 171 of the Deed Records of Rockwall County, Texas. SAVE AND EXCEPT Lots 30 thru 36, Block J, Lots 18 thru 30, Block N and Lots 2 thru 4 and 10, Block O.

TRACT III:

TRACT III, PARCEL A:

A tract of land situated in the Nathan Butler Survey, Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follows:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed To The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, and all of that 51.046 acre tract of land described in Warranty Deed to The Shores Country Club, Inc., recorded in Volume 556, Page 54 and a part of that 19.233 acre tract of land described as Tract One and a part of that 49.323 acre tract of land described as Tract Two in the Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 133, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for a corner at the West corner of Shores Blvd., a 60-foot ROW;

THENCE: South 38 degrees 53 minutes 21 seconds East a distance of 60.00 feet to a 1/2" iron rod found for a corner at the South corner of said Shores Blvd., said point being on a curve to the right having a central angle of 00 degrees 30 minutes 04 seconds, a radius of 670.00 feet, and a chord that bears North 51 degrees 21 minutes 42 seconds East a distance of 5.86 feet;

THENCE: Along said curve and with the Southerly line of said Shores Blvd. an arc distance of 5.86 feet to a 1/2" iron rod found for a corner on the Southwest line of Masters Drive, a 120 foot

R.O.W.;

THENCE: South 33 degrees 15 minutes 00 seconds East a distance of 218.08 feet to a 1/2" iron rod found for a corner on the Northwesterly line of North Lakeshore Drive, a 100-foot ROW, said point being on an intersecting curve to the left having a central angle of 44 degrees 46 minutes 20 seconds, a radius of 650.00 feet, and a chord that bears South 29 degrees 04 minutes 03 seconds West a distance of 495.10 feet;

THENCE: Along said curve and with said Northwesterly line an arc distance of 507.93 feet to a 1/2" iron rod found for a corner at the intersection of said Northwesterly line with the South line of said 166.635 acre tract and on the approximate centerline of a County Road known as Alamo a R.O.W. established by prescription;

THENCE: South 89 degrees 02 minutes 36 seconds West a distance of 735.60 feet with said approximate centerline to a 1/2" iron rod found for a corner;

THENCE: North 02 degrees 09 minutes 30 seconds West a distance of 348.23 feet to a 1/2" iron rod found for a corner;

THENCE: South 89 degrees 31 minutes 49 seconds West along a fence line, passing at 489.80 feet a 1/2" iron rod found at a fence corner post and continuing a total distance of 503.70 feet to a 1/2" iron rod found for a corner in the approximate centerline of a North-South County Road, a R.O.W. established by prescripton;

THENCE: South 01 degrees 18 minutes 26 seconds East a distance of 352.44 feet with said County Road to a 1/2" iron rod found for a corner at the intersection of said County Road with the previously mentioned approximate centerline of Alamo Road and the South line of said 166.635 acre tract;

THENCE: South 89 degrees 02 minutes 36 seconds West a distance of 1389.09 feet with said Alamo Road and said South line to a 1/2" iron rod found for a corner at the Southwest corner of said 166.635 acre tract;

THENCE: North 01 degrees 10 minutes 24 seconds West a distance of 13.71 feet to a 1/2" iron rod found at a fence corner post on the north side of said Alamo Road at the Southeast corner of said 51.046 acre tract;

THENCE: South 89 degrees 09 minutes 10 seconds West a distance of 643.51 feet along a washed out fence line on the North side of said Alamo Road to a concrete monument marked CC 32-1 on the City of Dallas Take Line for Lake Ray Hubbard;

THENCE: Along said Take Line and with the West line of said 51.046 acre tract as follows:
North 29 degrees 21 minutes 29 seconds West a distance of 607.87 feet to a concrete monument found marked CC 32-2;
North 22 degrees 43 minutes 49 seconds West a distance of 675.16 feet to a concrete monument found marked CC 32-3;
North 06 degrees 57 minutes 38 seconds West a distance of 448.54

feet to a concrete monument found marked CC-32-4;
and North 16 degrees 54 minutes 45 seconds East a distance of 1001.32 feet to a 1/2" iron rod found for a corner at the Northwest corner of said 51.046 acre tract and the most Westerly corner of that 49.323 acre tract of land described as Tract 3 in Warranty Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 133, Deed Records, Rockwall County, Texas;

THENCE: South 52 degrees 13 minutes 12 seconds East a distance of 862.15 feet to a 1/2" iron set for a corner;

THENCE: South 12 degrees 27 minutes 33 seconds East a distance of 175.63 feet to a 1/2" iron rod found for a corner on the Southerly West line of The Shores Club House Phase, an addition to the City of Rockwall recorded in Cabinet A, Page 312, Plat Records, Rockwall County, Texas;

THENCE: Along the West and the Southerly lines of said addition, all to 1/2" iron rods found for corners as follows:
South 00 degrees 52 minutes 31 seconds East a distance of 89.44 feet to the beginning of a curve to the left having a central angle of 90 degrees 00 minutes 00 seconds, a radius of 83.00 feet, and a chord that bears South 45 degrees 52 minutes 31 seconds East a distance of 117.38 feet;
Along said curve an arc distance of 130.38 feet;
North 89 degrees 07 minutes 29 seconds East a distance of 267.00 feet to the beginning of a curve to the left having a central angle of 55 degrees 06 minutes 33 seconds, a radius of 192.00 feet and a chord that bears North 61 degrees 34 minutes 13 seconds East a distance of 177.64 feet;
Along said curve an arc distance of 184.67 feet to an intersection curve to the left having a central angle of 50 degrees 13 minutes 22 seconds, a radius of 225.00 feet, and chord that bears North 83 degrees 10 minutes 52 seconds East a distance of 190.97 feet;
Along said curve, passing at an arc distance of 100.08 feet the Northeast corner of said 51.046 acre tract and the Northwest corner of said 166.635 acre tract and continuing a total arc distance of 197.22 feet to the Point of Reverse Curve of a curve to the right having a central angle of 19 degrees 36 minutes 21 seconds, a radius of 175.00 feet, and a chord that bears North 67 degrees 52 minutes 21 seconds East a distance of 59.59 feet;
and Along said curve an arc distance of 59.88 feet;

THENCE: North 77 degrees 40 minutes 32 seconds East, passing at 106.75 feet the Southeast corner of said Addition and the Southwest corner of Champions Drive, a 50-foot ROW, as dedicated by Plat of The Club House Tract, an addition to the City of Rockwall recorded in Cabinet C, Page 58, Plat Records, Rockwall County, Texas, and continuing with the South line of said Champions Drive a total distance of 374.90 feet to a 1/2" iron rod found for a corner at the beginning of a curve to the left having a central angle of 60 degrees 15 minutes 37 seconds, a radius of 207.01 feet, and a chord that bears North 47 degrees 32 minutes 37 seconds East a distance of 207.82 feet;

THENCE: Along the Southerly lines of said Champions Drive, all to 1/2" iron rods found for corners, as follows:

Along said curve an arc distance of 217.72 feet to the Point of Reverse Curve of a curve to the right having central angle of 70 degrees 00 minutes 01 seconds, a radius of 200.00 feet, and a chord that bears North 52 degrees 24 minutes 49 seconds East a distance of 229.43 feet;
Along said curve an arc distance 244.35 feet; North 87 degrees 24 minutes 49 seconds East a distance of 492.55 feet to the beginning of a curve to the left having a central angle of 60 degrees 00 minutes 00 seconds, a radius of 250.00 feet, and a chord that bears North 57 degrees 24 minutes 49 seconds East a distance of 250.00 feet;
Along said curve an arc distance of 261.80 feet;
North 27 degrees 24 minutes 49 seconds East a distance of 42.10 feet to a 1/2" iron rod found at the point of reverse curve to the right having a central angle of 04 degrees 10 minutes 57 seconds, a radius of 300.62 feet and a chord that bears North 29 degrees 30 minutes 18 seconds East a distance of 21.94 feet and along said curve an arc distance of 21.94 feet to a 1/2" iron rod set for a corner;

THENCE: Leaving said Southerly line and traversing said 166.635 acre tract, all to 1/2" iron rods set for corners as follows:
South 63 degrees 04 minutes 43 seconds East a distance of 70.22 feet;
South 09 degrees 35 minutes 43 seconds West a distance of 756.17 feet;
South 21 degrees 23 minutes 22 seconds East a distance of 754.41 feet;
and South 68 degrees 59 minutes 27 seconds East a distance of 598.42 feet to the POINT OF BEGINNING and ontaining 152.484 acres of land, more or less.

TRACT III, PARCEL B:

Being a tract of land situated in the Nathan Butler Survey, Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follow:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found at the Southeast corner of Lot 19, Block B, The Shores Phase Three, an addition to the City of Rockwall recorded in Cabinet C, Page 99, Plat Records, Rockwall County, Texas, said point also being on the West line of a 20-foot wide alley;

THENCE: South 00 degrees 11 minutes 46 seconds East a distance of 192.20 feet to a 1/2" iron rod found for a corner at the beginning of a curve to the right having a central angle of 81 degrees 19 minutes 07 seconds, a radius of 35.00 feet, and a chord that bears South 40 degrees 27 minutes 48 seconds West a distance of 45.61 feet;

THENCE: Along said curve and with the line of said alley an arc

distance of 49.67 feet to a 1/2" iron rod found for the most Southerly Northwest corner of said Alley;

THENCE: South 08 degrees 52 minutes 39 seconds East a distance of 20.00 feet to a 1/2" iron rod found for the most Southerly Southwest corner of said Alley;

THENCE: North 81 degrees 07 minutes 21 seconds East a distance of 47.24 feet with the South line of said Alley to a 1/2" iron rod found for a corner on the Northerly East line of said 166.635 acre tract;

THENCE: South 00 degrees 11 minutes 46 seconds East a distance of 25.29 feet with said East line to a 1/2" iron rod found for a corner on the North line of North Lakeshore Drive, a 100-foot ROW;

THENCE: South 81 degrees 07 minutes 21 seconds West a distance of 266.07 feet with said North line to a 1/2" iron rod found for a corner at the beginning of a curve to the left having a central angle of 19 degrees 04 seconds 34 minutes, a radius of 650.00 feet and a chord that bears South 71 degrees 35 minutes 04 seconds West a distance of 215.41 feet;

THENCE: Along said curve and with said North line an arc distance of 216.41 feet to a 1/2" iron rod found for a corner on the Northeast line of Masters Drive, a 120-foot ROW;

THENCE: North 33 degrees 15 minutes 00 seconds West a distance of 218.08 feet with said Northeast line to a 1/2" iron rod found for a corner on the Southerly line of Shores Blvd., a 60-foot ROW, said point being on an intersecting curve to the right having a central angle of 09 degrees 00 minutes 31 seconds, a radius of 670.00 feet, and a chord that bears North 66 degrees 23 minutes 32 seconds East a distance of 105.24 feet;

THENCE: Along said curve and with said Southerly line an arc distance of 105.35 feet to a 1/2" iron rod found for a corner;

THENCE: North 70 degrees 53 minutes 48 seconds East a distance of 104.08 feet to a 1/2" iron rod found for a corner at the beginning of a curve to the left having a central angle of 39 degrees 26 minutes 20 seconds, a radius of 378.17 feet, and chord that bears North 51 degrees 10 minutes 38 seconds East a distance of 255.20 feet;

THENCE: Along said curve and continuing with the Southeast line of said Shores Blvd. an arc distance of 260.31 feet to a 1/2" iron rod found for a corner at the Southwest corner of the previously mentioned Lot 19;

THENCE: South 75 degrees 25 minutes 30 seconds East a distance of 178.05 feet to the POINT OF BEGINNING and containing 3.099 acres of land, more or less.

TRACT III, PARCEL C:

Being a tract of land situated in the Nathan Butler Survey,

Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follows:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas, and being a part of that 19.233 acre tracat of land described as Tract One in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 133, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for a corner on the West line of Shores Blvd, a 60-foot ROW, at the Southeast corner of Lot 27, Block C, of The Shores Phase Three, an addition to the City of Rockwall recorded in Cabinet C, Page 99, Plat Records, Rockwall County, Texas, said point being on an intersecting curve to the right having a central angle of 63 degrees 48 minutes 50 seconds, a radius of 318.17 and a chord that bears South 38 degrees 59 minutes 23 seconds West a distance of 336.33 feet;

THENCE: Along said curve and with said West and the Northerly line an arc distance of 354.37 feet to a 1/2" iron rod set for a corner;

THENCE: South 70 degrees 53 minutes 48 seconds West a distance of 104.08 feet to a 1/2" iron rod set for a corner;

THENCE: Leaving said West line and traversing said 165.635 acre tract and said 19.233 acre tract, all to 1/2" iron rods set for corners as follows:
North 31 degrees 50 minutes 05 seconds East a distance of 161.69 feet;
North 81 degrees 56 minutes 12 seconds West a distance of 454.83 feet;
North 28 degrees 54 minutes 30 seconds East a distance of 114.68 feet;
North 14 degrees 08 minutes 32 seconds West a distance of 91.45 feet;
North 21 degrees 03 minutes 16 seconds West a distance of 438.30 feet;
North 02 degrees 35 minutes 55 seconds West a distance of 735.80 feet;
North 10 degrees 24 minutes 53 seconds East a distance of 94.77 feet and North 17 degrees 20 minutes 00 seconds West a distance of 90.36 feet to a 1/2" iron rod set for a corner on the South line of Champions Drive, a 50 foot R.O.W., said point being on an intersecting curve to the right having a central angle of 14 degrees 13 minutes 23 seconds, a radius of 300.62 feet and a chord that bears South 89 degrees 41 minutes 52 seconds East a distance of 74.43 feet;

THENCE: Along said curve and said South line an arc distance of 74.63 feet to a 1/2" iron rod set at the point of reverse curve to the left having a central angle of 26 degrees 28 minutes 47 seconds, a radius of 584.81 feet and a chord that bears North 84 degrees 10 minutes 26 seconds East a distance of 267.88 feet;

THENCE: Along said curve and said south line an arc distance of 270.27 feet to a 1/2" iron rod set for a corner;

THENCE: Leaving said South line and traversing said 165.635 acre tract and said 19.233 acre tract, all to 1/2" iron rods set for corners, as follows:
South 52 degrees 50 minutes 37 seconds East a distance of 24.20 feet;
South 02 degrees 52 minutes 30 seconds West a distance of 63.57 feet;
South 22 degrees 25 minutes 01 seconds East a distance of 624.65 feet;
South 20 degrees 42 minutes 14 seconds East a distance of 739.29 feet;
South 64 degrees 25 minutes 47 seconds East a distance of 113.41 feet to a 1/2" iron rod found at the Southwest corner of said Lot 27;
and South 67 degrees 49 minutes 50 seconds East along the south line of said Lot 27 a distance of 130.00 feet to the POINT OF BEGINNING and containing 21.706 acres of land, more or less.

TRACT III, PARCEL D:

ALL Lots in THE SHORES PHASE THREE, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 99 of the Plat Records of Rockwall County, Texas. SAVE AND EXCEPT Lot 3, Block A, Lots 8, 9, 15, 17, 18 and 19, Block B and Lots 1, 4, 5 thru 7, 10, 13, 14, 16, 17, 18, 19, 20 thru 27, Block C of The Shores Phase Three, an Addition to the City of Rockwall, Rockwall County, Texas.

TRACT III, PARCEL E:

Being a tract of land situated in the Nathan Butler Survey, Abstract No. 21 and the A. Hanna Survey, Abstract No. 98, Rockwall County, Texas, and being more particularly described as follows:

BEING a part of that 166.635 acre tract of land described as Tract III, in Deed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the South line of North Lakeshore Drive, a 100-foot ROW with the Northerly East line of said 166.635 acre tract;

THENCE: South 00 degrees 11 minutes 46 seconds East a distance of 129.42 feet to a 1/2" iron rod found for a corner at a fence corner post;

THENCE: South 61 degrees 25 minutes 55 seconds East a distance of 141.06 feet along an old fence line to a fence corner post for a corner at the Northeast base of which is a 1/2" iron rod set;

THENCE: South 89 degrees 31 minutes 24 seconds East a distance of 229.10 feet along a fence line to a 1/2" iron rod found for a corner on the South side of a fence corner post;

THENCE: South 00 degrees 49 minutes 23 seconds East a distance of 279.38 feet along a fence line to a 1/2" iron rod found for a corner at a fence corner post;

THENCE: South 00 degrees 19 minutes 31 seconds East along a fence line passing a fence corner post at a distance of 768.4 feet and continuing a total distance of 790.63 feet to a 1/2" iron rod set for a corner in the approximate centerline of a County Road known as Alamo, a R.O.W. established by prescripton; said point being the Southeast corner of said 166.635 acre tract;

THENCE: Along the approximate center of said Road and the South lines of said 166.635 acre tract, all to 1/2" iron rods set for corners as follows:
North 64 degrees 24 minutes 42 seconds West a distance of 383.27 feet;
North 56 degrees 56 minutes 29 seconds West a distance of 465.30 feet;
and North 43 degrees 32 minutes 27 seconds West a distance of 88.95 feet to a 1/2" iron rod set for a corner at the intersection of said Road and a branch, an unnamed tributary to an unnamed tributary of Lake Ray Hubbard;

THENCE: Up said branch in a Northeasterly direction as follows:
North 44 degrees 51 minutes 38 seconds East a distance of 145.74 feet to a 1/2" iron rod found for a corner;
and North 12 degrees 46 minutes 04 seconds East a distance of 188.42 feet to a 1/2" iron rod found for a corner on the Eastward extension of the approximate centerline of the previously mentioned Alamo Road;

THENCE: South 89 degrees 02 minutes 36 seconds West a distance of 416.96 feet to a 1/2" iron rod found for a corner at the intersection of said extended centerline with the Southeasterly line of the previously mentioned North Lakeshore Drive, said point being on an intersecting curve to the right having a central angle of 73 degrees 02 minutes 30 seconds, a radius of 550.00 feet and a chord that bears North 44 degrees 06 minutes 36 seconds East a distance of 654.63 feet;

THENCE: Along said curve and with said Southerly line an arc distance of 701.15 feet to a 1/2" iron rod found for a corner;

THENCE: North 81 degrees 07 minutes 21 seconds East a distance of 250.80 feet continuing with the Southerly line of North Lakeshore Drive to the Point of Beginning and containing 18.306 acres of land, more or less.

TRACT IV:

BEING a tract of land situated in the Thomas Dean Survey, Abstract No. 69, and the Samuel King Survey, Abstract No. 131, Rockwall County, Texas, and being all of that 121.267 acre tract of land described as Tract IV conveyed to The Shores Country Club, Inc., as recorded in Volume 547, Page 101, Deed Records, Rockwall

County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the Southeast corner of said 121.267 acre tract and on the Northerly line of Lot 5, Block M, of the Shores, Phase One, an Addition to the City of Rockwall, recorded in Slide A, Page 299, Plat Records, Rockwall County, Texas;

THENCE: North 90 degrees 00 minutes 00 seconds West a distance of 497.52 feet along the North line of Block M to a 1/2" iron rod found at the point of curvature of a circular curve to the left having a central angle of 00 degrees 53 minutes 03 seconds, a radius of 697.55 feet, and a chord that bears South 89 degrees 33 minutes 29 seconds West a distance of 10.76 feet;

THENCE: Along said curve an arc distance of 10.76 feet to a 1/2" iron rod found for a corner on the East line of Hidden Valley, a 50 foot wide right-of-way;

THENCE: North 00 degrees 00 minutes 00 seconds East 20.00 feet along said East line to a 1/2" iron rod found for a corner at the Northeast corner of Hidden Valley, said iron rod being on a circular curve to the left having a central angle of 59 degrees 37 minutes 31 seconds, a radius of 717.55 feet, and a chord that bears South 59 degrees 19 minutes 40 seconds West a distance of 713.48 feet;

THENCE: Along the North end of Hidden Valley and then the North and Northwest lines of a 20 foot wide alley and the Northwest lines of said Addition as follows:
Along said curve an arc distance of 746.72 feet to a 1/2" iron rod found for a corner;
South 29 degrees 30 minutes 56 seconds West a distance of 531.27 feet to a 1/2" iron rod found for a corner at the point of curvature of a circular curve to the right having a central angle of 36 degrees 07 minutes 23 seconds, a radius of 558.16 feet, and a chord that bears South 47 degrees 34 minutes 38 seconds West a distance of 346.10 feet;
Along said curve an arc distance of 351.90 feet to a 1/2" iron rod found for a corner on the Northeast line of Shores Blvd., a 60 foot wide right-of-way;

THENCE: North 24 degrees 21 minutes 41 seconds West a distance of 365.00 feet along said Northeast line to a 1/2" iron rod found for a corner at the North corner of Shores Blvd.;

THENCE: Along the Northerly end of Shores Blvd. and then the northerly lines of a 20 foot wide alley and the northerly lines of said Addition as follows:
South 65 degrees 38 minutes 19 seconds West a distance of 75.00 feet to a 1/2" iron rod found for a corner at the point of curvature of a circular curve to the left having a central angle of 30 degrees 57 minutes 14 seconds, a radius of 555.00 feet, and a chord that bears South 50 degrees 09 minutes 42 seconds West a distance of 296.20 feet;
Along said curve an arc distance of 299.84 feet to a 1/2" iron rod found for a corner at the point of reverse curvature of a circular

curve to the right having a central angle of 87 degrees 26 minutes 54 seconds, a radius of 50.00 feet, and a chord that bears South 78 degrees 24 minutes 32 seconds West a distance of 69.12 feet; Along said curve an arc distance of 76.31 feet to a 1/2" iron rod found for a corner at the point of reverse curvature of a circular curve to the left having a central angle of 20 degrees 47 minutes 27 seconds, a radius of 889.89 feet, and a chord that bears North 68 degrees 15 minutes 44 seconds West a distance of 321.14 feet; Along said curve an arc distance of 322.91 feet to a 1/2" iron rod found for a corner on the most Southerly North line of said 121.267 acre tract and on the South line of that 31.973 acre tract of land conveyed to The Shores Country Club, Inc., as recorded in Volume 556, Page 54, of the Deed Records, Rockwall County, Texas;

THENCE: North 89 degrees 10 minutes 19 seconds East a distance of 314.12 feet along said line to a 1/2" iron rod found for a corner at the Southeast corner of said 31.973 acre tract and a corner of said 121.267 acre tract;

THENCE: North 07 degrees 14 minutes 19 seconds West along the East line of said 31.973 acre tract and the most Southerly West line of said 121.267 acre tract 1748.98 feet to a 1/2" iron rod found for the Northeast corner of said 31.973 acre tract and the most Westerly Northwest corner of said 121.267 acre tract and on the South line of that 67.296 acre tract conveyed to Coper Hill Corp., as recorded in Volume 878, Page 248 of the Deed Records of Rockwall County, Texas;

THENCE: North 89 degrees 31 minutes 49 seconds East a distance of 1044.04 feet along the South line of said 67.296 acre tract and the most Westerly North line of said 121.267 acre tract to a 1/2" iron rod found for the Southeast corner of said 67.296 acre tract and an "ell" corner of said 121.267 acre tract;

THENCE: North 00 degrees 25 minutes 47 seconds East along the East line of said 67.296 acre tract and the East line of the David Hodgdon tract described in deed recorded in Volume 132, Page 605, Deed Records, Rockwall County, Texas, and along the most Northerly West line of said 121.267 acre tract, passing at 1688.04 feet a 1/2" iron rod found at a fence corner post and continuing a total distance of 1703.12 feet to a 1/2" iron rod set in the center of Dalton Road at the Northeast corner of said Hodgdon tract and the Northwest corner of said 121.267 acre tract;

THENCE: South 89 degrees 35 minutes 31 minutes East with Dalton Road, passing at 334.54 feet and 40.00 feet South of a 1/2" iron rod found at the Southwest corner of Lot 1, Block C, of Heritage Heights Addition, an addition to the County of Rockwall, recorded in Slide A, Page 112, Plat Records, Rockwall County, Texas, and passing at 1311.21 feet and 40.00 feet South of a 1/2" iron rod found at the Southeast corner of Lot 4, Block A, of said Heritage Heights Addition and continuing a total distance of 1312.36 feet to a 1/2" iron rod set at the Northeast corner of said 121.267 acre tract;

THENCE: South 0 degrees 11 minutes 29 seconds West passing at 21.28 feet a 1/2" iron rod found at a fence corner post and

continuing a total distance of 1437.24 feet along the East line of said 121.267 acre tract to a 1/2" iron rod found for a corner;

THENCE: South 00 degrees 18 minutes 56 seconds West a distance of 1181.67 feet continuing along the East line of said 121.267 acre tract to the POINT OF BEGINNING and containing 121.267 acres of land, more or less.

TRACT V:

BEING a tract of land situated in the Thomas Dean Survey, Abstract No. 69, Rockwall County, Texas, and being all of that 31.973 acre tract of land known as Tract I conveyed to The Shores Country Club, Inc., by Deed recorded in Volume 556, Page 54, Deed Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for the Southeast corner of said Tract I and the most Southerly "ell" corner of that 121.267 acre tract of land described as Tract IV conveyed to The Shores Country Club, Inc., recorded in Volume 547, Page 101, Deed Records, Rockwall County, Texas;

THENCE: South 89 degrees 10 minutes 19 seconds West a distance of 314.12 feet with the South line of said Tract I and the most Westerly line of said Tract IV to a 1/2" iron rod found for a corner on the North line of a 20 foot alley and the North line of The Shores, Phase One, an addition to the City of Rockwall recorded in Slide A, Page 299, Plat Records, Rockwall County, Texas, said iron rod being on a curve to the left having a central angle of 12 degrees 10 minutes 13 seconds, a radius of 889.89 feet, and a chord that bears North 84 degrees 44 minutes 33 seconds West a distance of 188.67 feet;

THENCE: Along the North lines of said Alley and said Addition as follows:
Along said curve an arc distance of 189.02 feet to a 1/2" iron rod set for a corner;
South 89 degrees 10 minutes 19 seconds West a distance of 107.69 feet to a 1/2" iron rod set for a corner;
and South 00 degrees 49 minutes 41 seconds East a distance of 20.00 feet to a cross cut in concrete for a corner at the Northeast of Lot 34, Block A, of said Addition;

THENCE: South 89 degrees 10 minutes 19 seconds West a distance of 288.72 feet continuing with the North line of said Addition to a 1/2" iron rod set for the Northwest corner of said Addition and the Southwest corner of said Tract I, said iron rod being on the City of Dallas Take Line for Lake Ray Hubbard;

THENCE: Along said Take Line and the West lines of said Tract I as follows:
North 0 degrees 14 minutes 23 seconds East, passing at 15.71 feet a concrete monument found marked CC56-1 and continuing a total distance of 59.92 feet to a concrete monument marked CC56-2 found for a corner;

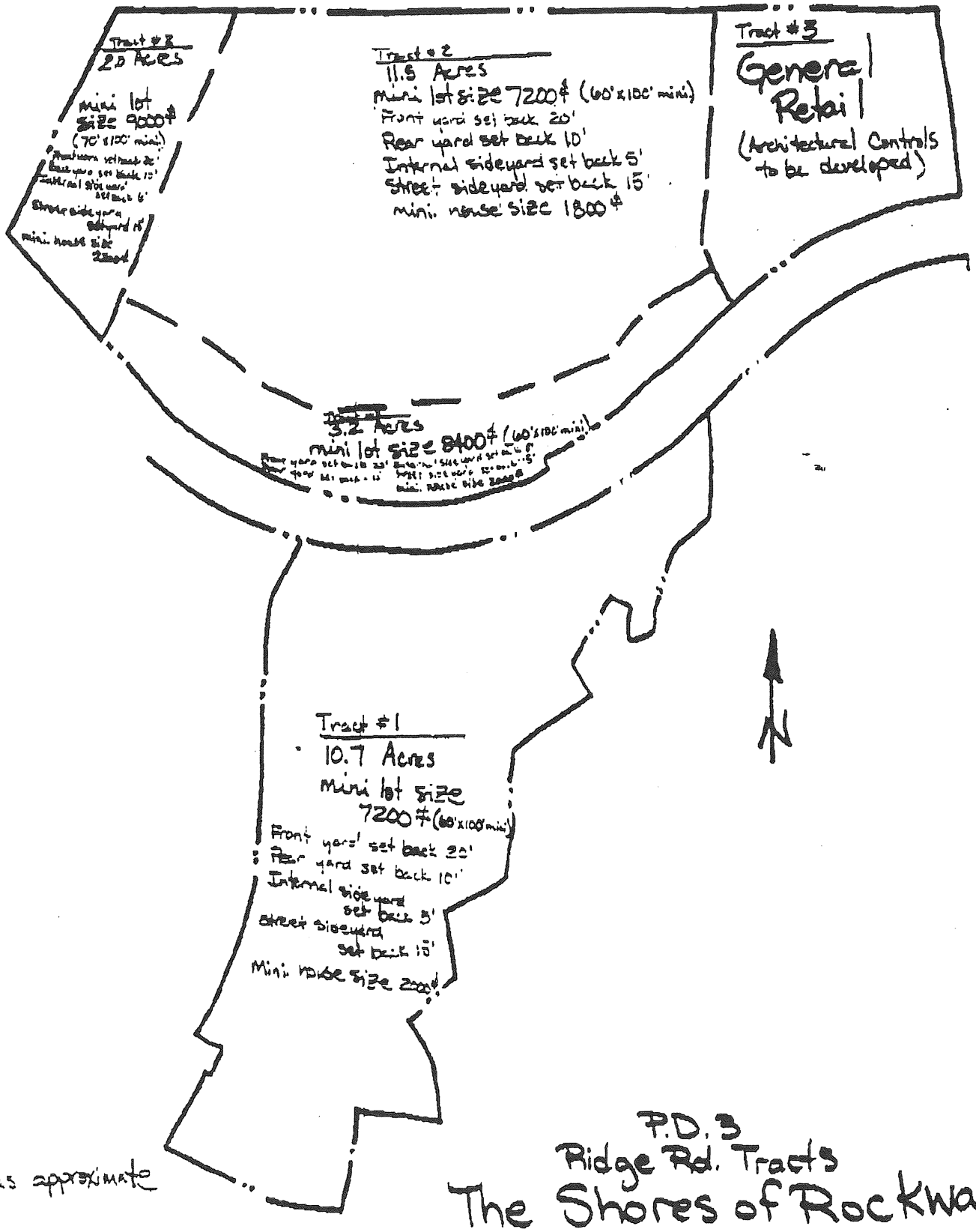
North 13 degrees 25 minutes 24 seconds West a distance of 275.70 feet to a concrete monument marked CC56-3 found for a corner; North 02 degrees 09 minutes 47 seconds East a distance of 330.23 feet to a concrete monument marked CC56-4 found for a corner; North 9 degrees 57 minutes 50 seconds East a distance of 354.66 feet to a concrete monument marked CC56-5 found for a corner; and North 00 degrees 23 minutes 13 seconds East a distance of 738.36 feet to a concrete monument marked CC56-6 and CC58-1 found at a fence corner for the northwest corner of said Tract I;

THENCE: North 89 degrees 48 minutes 06 seconds East a distance of 662.61 feet with the North line of said Tract I to a 1/2" iron rod found for the Northeast corner of said tract and the most Westerly Northwest corner of the previously mentioned 121.267 acre Tract IV;

THENCE: South 07 degrees 14 minutes 19 seconds East a distance of 1748.98 feet with the East line of said Tract I and the West line of said Tract IV to the POINT OF BEGINNING and containing 31.973 acres of land, more or less.

EXHIBIT "B"

Tract Maps Showing Acreage, Locations of Tracts, Etc. (4 Maps)

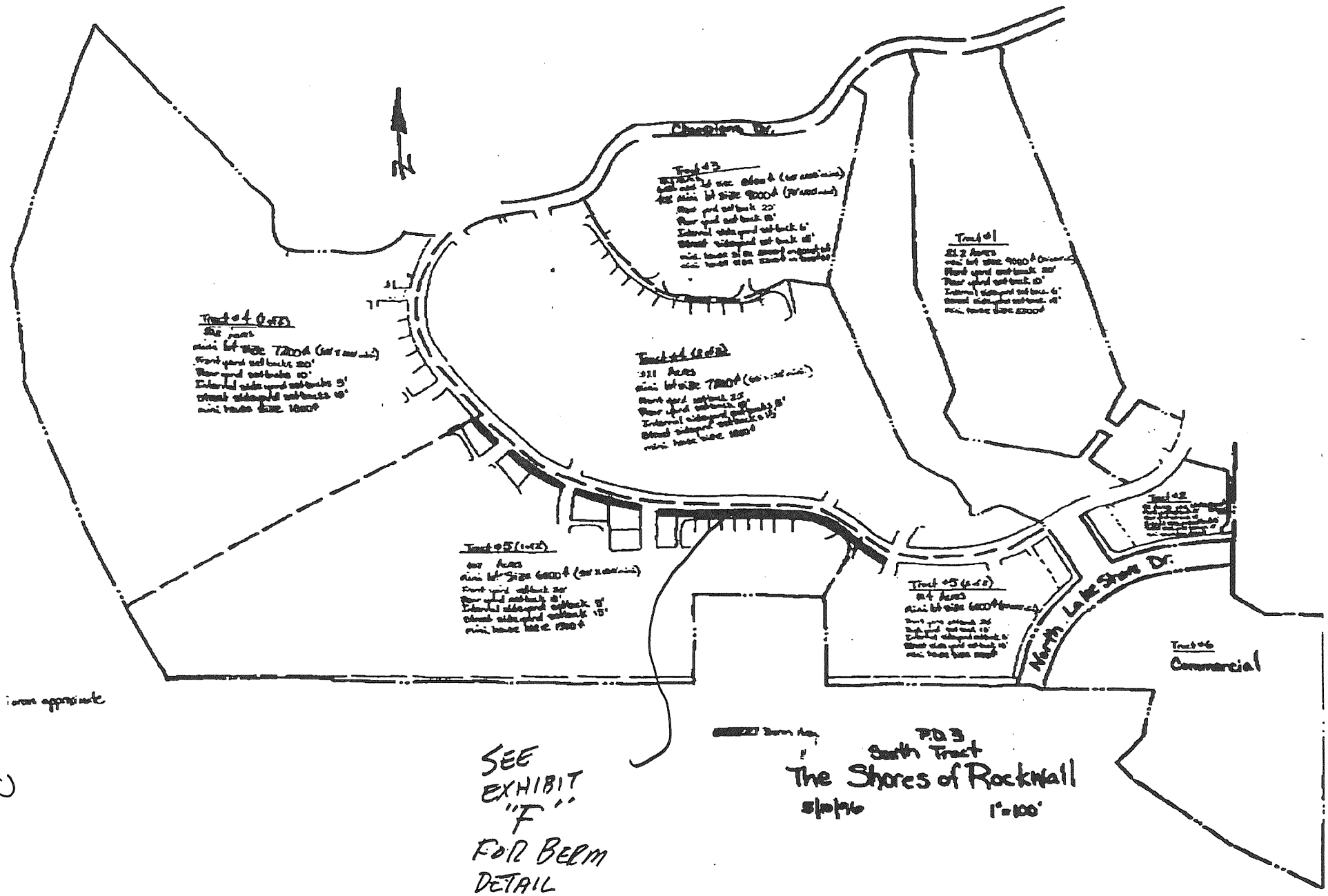


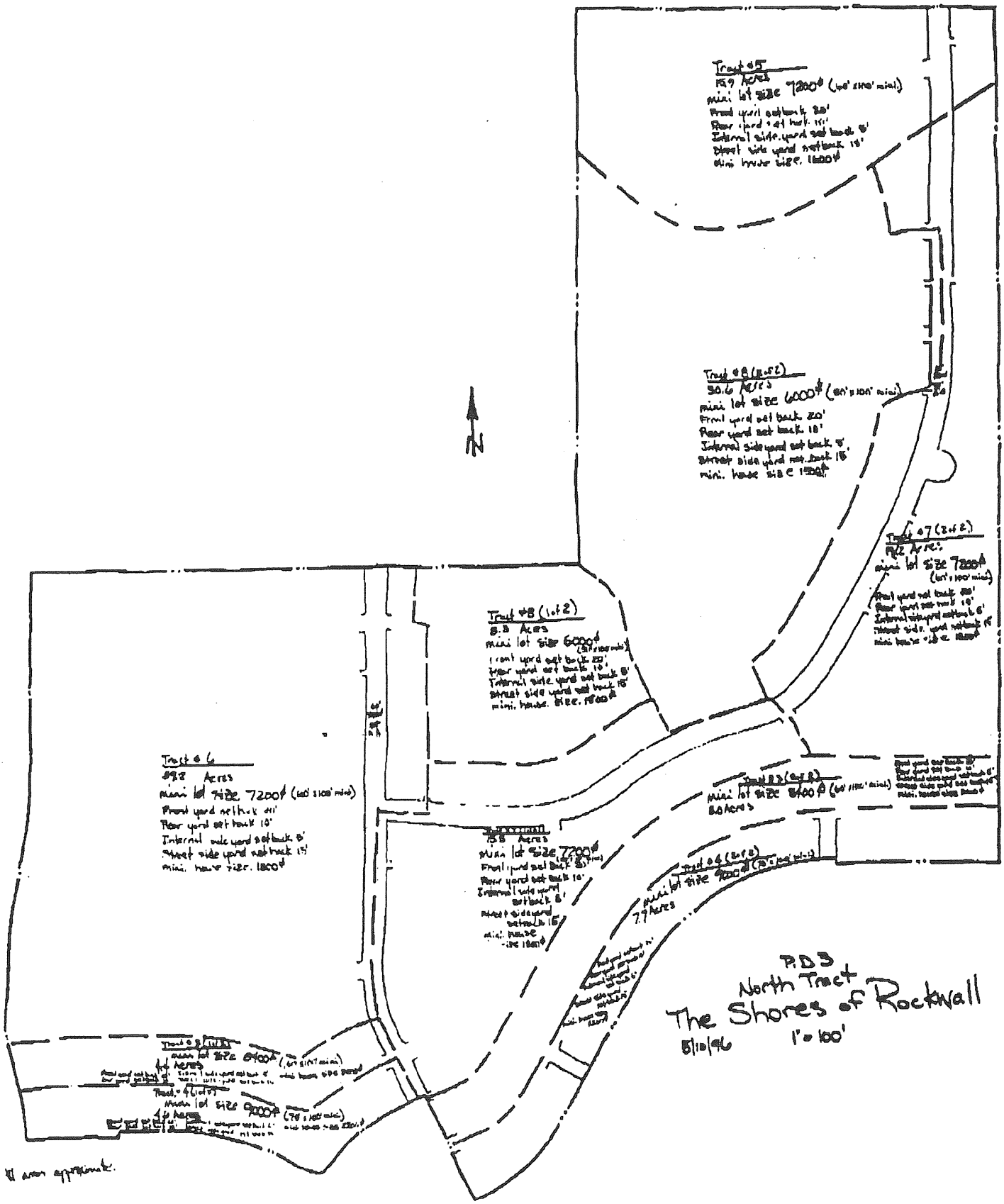
All areas approximate

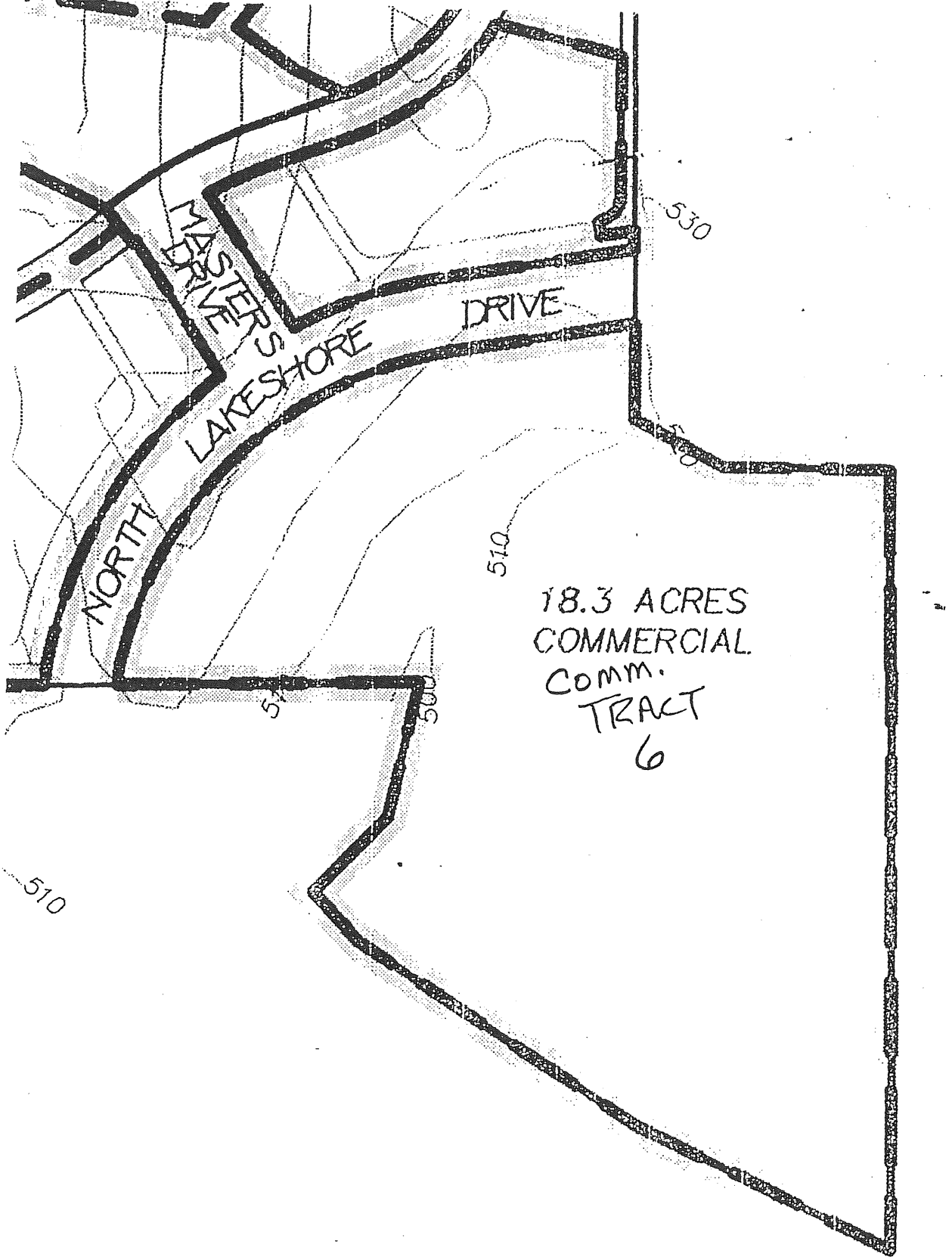
P.D. 3
Ridge Rd. Tracts
The Shores of Rockwall
1" = 100' 5/10/96

Pg 1 of 4

23


Champions Dr.
Tract #3
Tract #1
Tract #4
Tract #5
Tract #2
Tract #6
Commercial
North Lake Shore Dr.
P.O.3
South Tract
The Shores of Rockwall
5/10/96
1"=100'
SEE EXHIBIT "F" FOR BERM DETAIL


Tract #5
15.9 Acres
mini lot size 7200# (60' x 120' mini.)
Front yard setback 20'
Rear yard set back 15'
Internal side yard set back 6'
Street side yard setback 15'
mini house size 1800#
Tract #8 (1 of 2)
30.6 Acres
mini lot size 6000# (50' x 100' mini.)
Front yard set back 20'
Rear yard set back 10'
Internal side yard set back 6'
Street side yard set back 15'
mini. house size 1500#
Tract #7 (2 of 2)
Tract #8 (1 of 2)
8.3 Acres
mini lot size 6000#
Front yard set back 20'
Rear yard set back 10'
Internal side yard set back 6'
Street side yard set back 15'
mini. house size 1500#
Tract #6
8.2 Acres
mini lot size 7200# (60' x 100' mini.)
Front yard setback 20'
Rear yard set back 10'
Internal side yard setback 6'
Street side yard setback 15'
mini. house size 1800#
Tract #3 (2 of 2)
mini lot size 6400# (50' x 120' mini.)
8.0 Acres
7.7 Acres
mini lot size 9000#
P.D.3
North Tract
The Shores of Rockwall
5/10/96
1" = 100'
All areas approximate.


MASTERS
DRIVE
N
LAKESHORE
DRIVE
NORTH
530
520
510
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510
18.3 ACRES
COMMERCIAL
Comm.
TRACT
6

EXHIBIT "C"

Revised Area Requirements (17 pages)

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #1(10.7 +/- Acres)
Ridge Road Tract

Minimum Lot Area	7,200 Sq. ft.
Average Minimum Lot Area for Tract 1	8,500 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	2,000 Sq. ft.
Minimum Lot Frontage	60 Feet on a Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #2 (3.2+/- Acres)
Ridge Road Tract

Minimum Lot Area	8,400 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	2,000 Sq. ft.
Minimum Lot Frontage	60 Feet on a Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #2 (11.8 +/- Acres)
Ridge Road Tract

Minimum Lot Area	7,200 Sq. ft.
Average Minimum Lot Size for Tract 2	8,500 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,800 Sq. ft.
Minimum Lot Frontage	60 Feet on A Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #2 (2.0 +/- Acres)
Ridge Road Tract

Minimum Lot Area	9,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	2,200 Sq. ft.
Minimum Lot Frontage	70 Feet
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	6 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #4 (1 of 2) (50.2 +/- Acres)
South Tract

Minimum Lot Area	7,200 Sq. ft.
Average Minimum Lot Area for Tract 4	8,500 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,800 Sq. ft.
Minimum Lot Frontage	60 ft on a Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #4 (2 of 2) (37.1 +/- Acres)
South Tract

Minimum Lot Area	7,200 Sq. ft.
Average Minimum Lot Area for Tract 4	8,500 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,800 Sq. ft.
Minimum Lot Frontage	60 Ft on a Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #5 (1 of 2) (40.7 +/- Acres)
South Tract

Minimum Lot Area	6,000 Sq. ft.
Average Minimum Lot Area for Tract 5	7,200 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,500 Sq. ft.
Minimum Lot Frontage	50 ft on a Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	50%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #5 (2 of 2) (10.4 +/- Acres)
South Tract

Minimum Lot Area	6,000 Sq. ft.
Average Minimum Lot Area for Tract 5	7,200 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,500 Sq. ft.
Minimum Lot Frontage	50 ft on a Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	50%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #3 (1 of 2) (4.4 +/- Acres)
Tract #3 (2 of 2) 8.0 +/- Acres)
North Tract

Minimum Lot Area	8,400 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	2,000 Sq. ft.
Minimum Lot Frontage	60 ft on a Public Street
Minimum Lot Depth	100 Ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #4 (1 of 2) (4.6 +/- Acres)
Tract #4(2 of 2) (7.7 +/- Acres)
North Tract

Minimum Lot Area	9,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	2,200 Sq. ft.
Minimum Lot Frontage	70 ft on a Public Street
Minimum Lot Depth	100 ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #5 (15.9 +/- Acres)
North Tract

Minimum Lot Area	7,200 Sq. ft.
Average Minimum Lot Area for Tract 5	10,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,600 Sq. ft.
Minimum Lot Frontage	60 ft on a Public Street
Minimum Lot Depth	100 Ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #6 (39.2 +/- Acres)
North Tract

Minimum Lot Area	7,200 Sq. ft.
Average Min. Lot Area for Tracts 6 &7 (2 Tracts)	8,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,800 Sq. ft.
Minimum Lot Frontage	60 ft on a Public Street
Minimum Lot Depth	100 Feet
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

40

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #7 (1 of 2) (15.8 +/- Acres)
Tract #7 (2 of 2) (19.2 +/- Acres)
North Tract

Minimum Lot Area	7,200 Sq. ft.
Average Min. Lot Area for Tract 6 and 7(2 Tracts)	8,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,800 Sq. ft.
Minimum Lot Frontage	60 Feet on A Public Street
Minimum Lot Depth	100 ft
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #8 (1 of 2) (8.3 +/- Acres)
North Tract

Minimum Lot Area	6,000 Sq. ft.
Average Minimum Lot Area for Tract 8	7,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,500 Sq. ft.
Minimum Lot Frontage	50 ft on a Public Street
Minimum Lot Depth	100 Ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	50%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO. _____

EXHIBIT "C"

AREA REQUIREMENTS

PD-3 (The Shores)

Tract #8 (2 of 2) (30.6 +/- Acres)
North Tract

Minimum Lot Area	6,000 Sq. ft.
Average Minimum Lot Area for Tract 8	7,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	1,500 Sq. ft.
Minimum Lot Frontage	50 ft on a Public Street
Minimum Lot Depth	100 Ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	50%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-7 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO._____

EXHIBIT "C"
AREA REQUIREMENTS
PD-3 (The Shores)

Tract # 1 (21.2 +/- Acres)
Tract # 2 (3.1 +/- Acres)
SOUTH TRACT

Minimum Lot Area	9,000 Sq. ft.
Average Minimum Lot Area for Tracts 1 & 2	10,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	2,200 Sq. ft.
Minimum Lot Frontage	70 ft on a Pubic Street
Minimum Lot Depth	100 Ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	6 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

ORDINANCE NO._____
EXHIBIT "C"
AREA REQUIREMENTS
PD-3 (The Shores)

Tract # 3 (13.1 +/- Acres)
SOUTH TRACT

Minimum Lot Area 60% of Tract 3	8,400 Sq. ft.
Minimum Lot Area 40% of Tract 3	9,000 Sq. ft.
Average Minimum Lot Area for Tract 3	10,000 Sq. ft.
Single Family Dwelling Unit Per Lot	1
Minimum Floor Area per Dwelling Unit	2,000 Sq. ft. (8,400 Sq. ft) 2,200 Sq. ft. (9,000 Sq.ft)
Minimum Lot Frontage (8400) (9000)	60 ft on a Public Street 70 ft on a Pubic Street
Minimum Lot Depth	100 Ft.
Minimum Front Set Back	20 ft.
Minimum Rear Set Back	10 ft.
Minimum Side Yard (internal lot)	5 ft.
Minimum Side Yard (adjacent to a side street)	15 ft.
Minimum Building Separation	10 ft.
Maximum Building Coverage	45%
Maximum Building Height	35 ft.
Minimum Off-Street Parking (excluding garage)	2 sps./ unit
Minimum Garage Space	2 vehicles

All other area requirements of SF-10 Single Family zoning classification not specifically addressed above are hereby incorporated as area requirements

Exhibit "G"
Uses For General Retail Tract 3

Permitted Uses:

1. Any retail businesses, personal services, professional service, or business service conducted within a completely enclosed building, except the following: lumberyards or contractor yards, farm equipment or other heavy equipment sales or service, farm products warehousing and storage or stockyards, general warehousing or storage.

2. Banks, including drive through facilities.

3. Planned shopping centers of less than 10 acres and neighborhood convenience centers.

4. Office buildings.

5. Paved parking lots, not including commercial parking lots.

6. Other uses similar to the above.

7. Telephone, telegraph, television, radio or similar media stations, centers, studios, but not including public microwave, radio, and television towers.

8. Institutional uses.

9. Municipally owned or controlled facilities, utilities, and uses.

10. Restaurants, including accessory outdoor seating, without drive-in or drive-through facilities.

11. Retail outlets where gasoline products are sold as an accessory use limited to 2 dispensers which can service no more than 4 vehicles at one time.

12. An accessory use customarily related to a principal use authorized in this district.

13. Temporary indoor and outdoor fund raising events sponsored by nonprofit organizations with permit and approval of the Building Official.

14. Temporary on-site construction offices limited to the period of construction upon approval of the Building Official.

Conditional Uses: (Require Conditional Use Permits)

1. A mobile home on an unsubdivided tract of five acres or more used as a construction office.

2. Automotive repair, as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building.

3. Funeral Homes.

4. Non-open bay car wash.

5. Facilities for railroads or those utilities holding a franchise under the City of Rockwall not allowed as permitted uses.

6. Semi-public uses.

7. Commercial amusements, as defined herein, including amusement parks, circus or carnival grounds, recreation developments, or tents for other amusements, in accordance with all other applicable ordinances, and more than 300 feet from residentially zoned land unless such setback is reduced or waived by the Planning and Zoning Commission and City Council. Temporary uses not exceeding 14 days meeting all other requirements of the City may be permitted by the Building Official. (Ord. 88-32)

8. Drive-through window as an accessory to a restaurant.

9. Private club as an accessory to a general restaurant.

10. New buildings with over 5,000 square feet of floor area, or additions of over 40% of existing floor area or over 5,000 square feet with combustible structural construction materials.

11. Buildings with less than 90% masonry exterior walls.

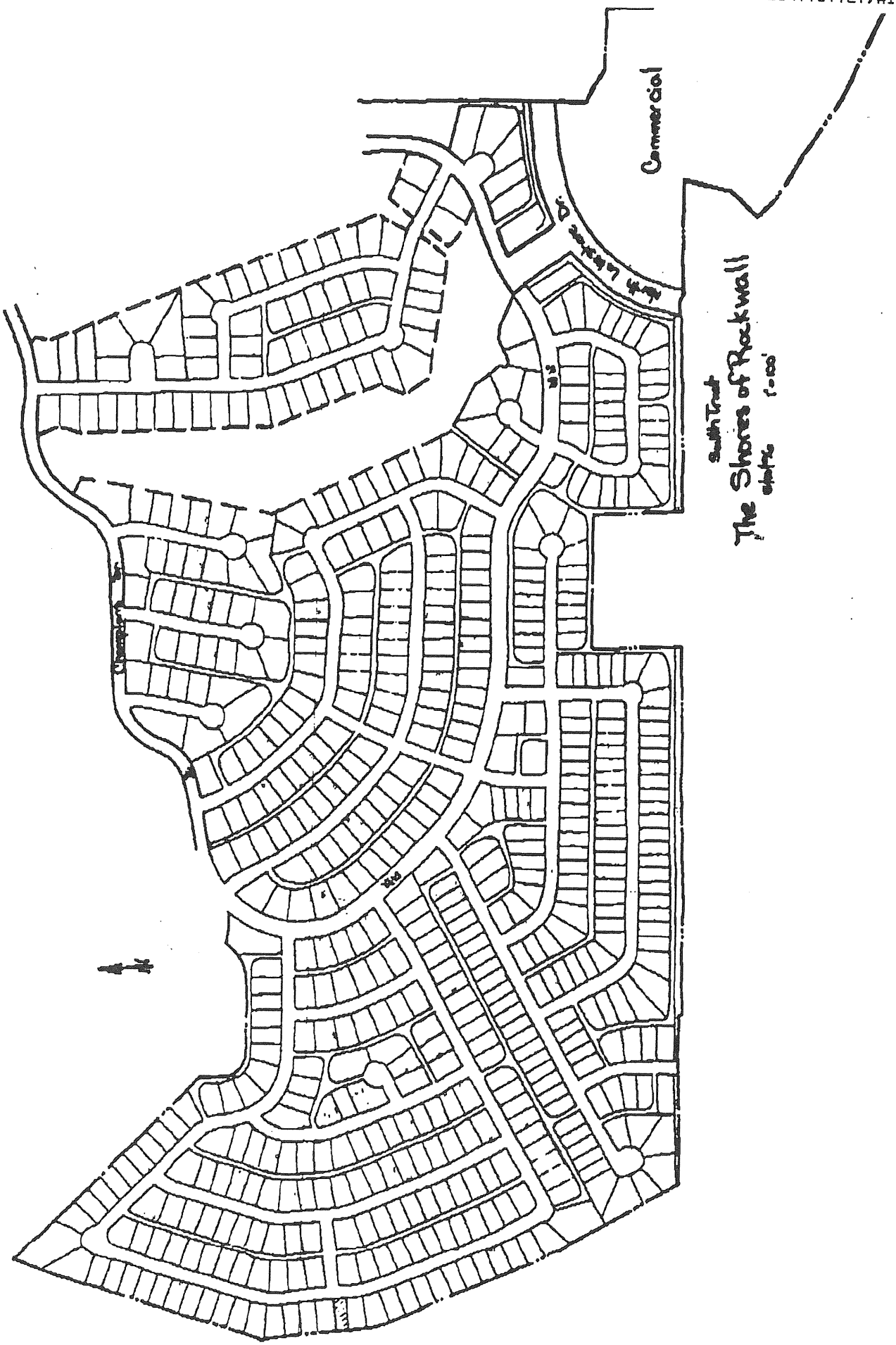
12. Any structure over 36 feet in height.

13. Veterinary clinics for treatment of small animals, with no outdoor pens or runs. (Ord. 90-5)

14. Temporary concrete batching plant limited to the period of construction, upon approval of location and operation by the Building Official.

EXHIBIT "D"

Street Layouts (3 Maps)


Commercial
South Trust
The Shores of Rockwall
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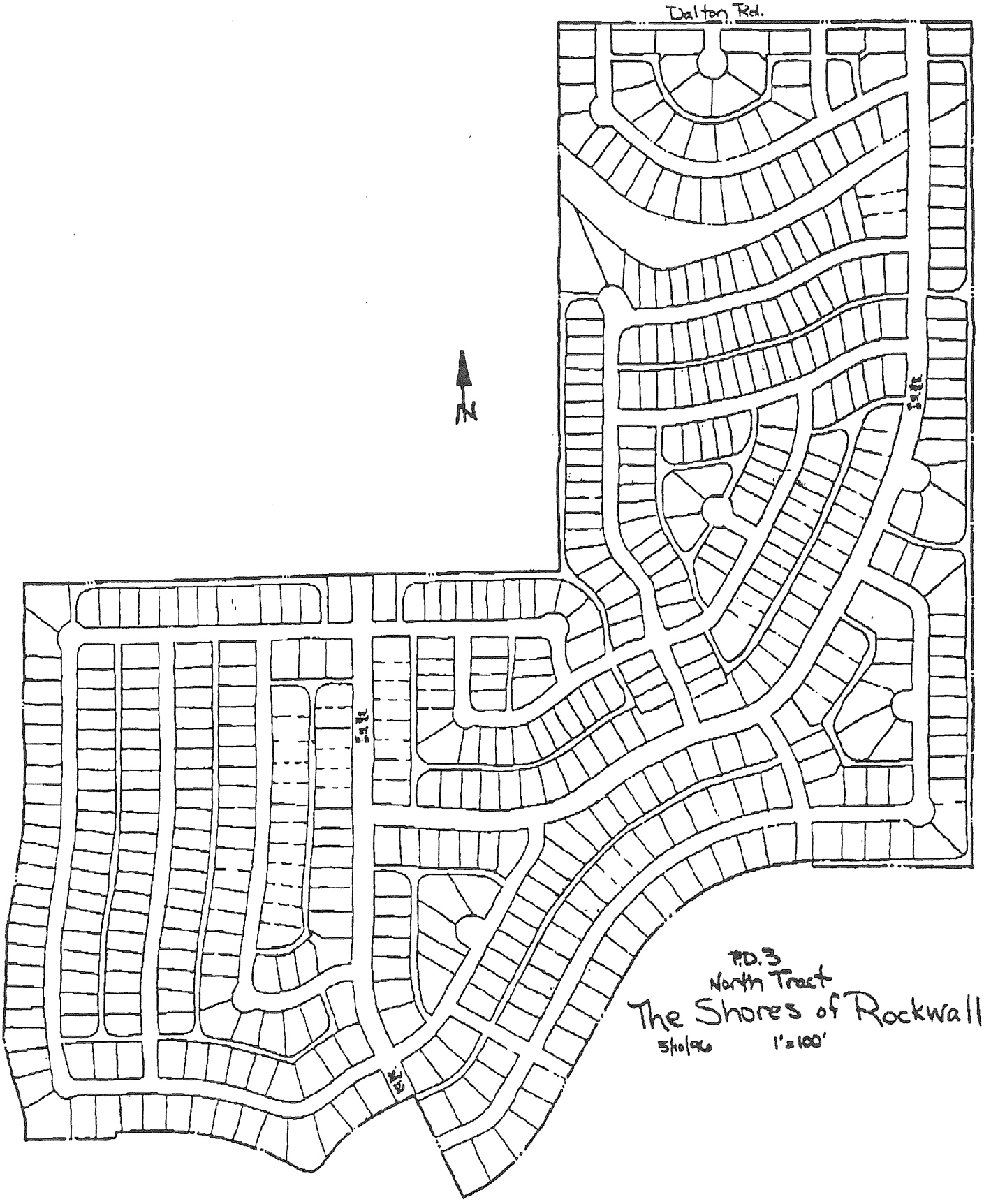
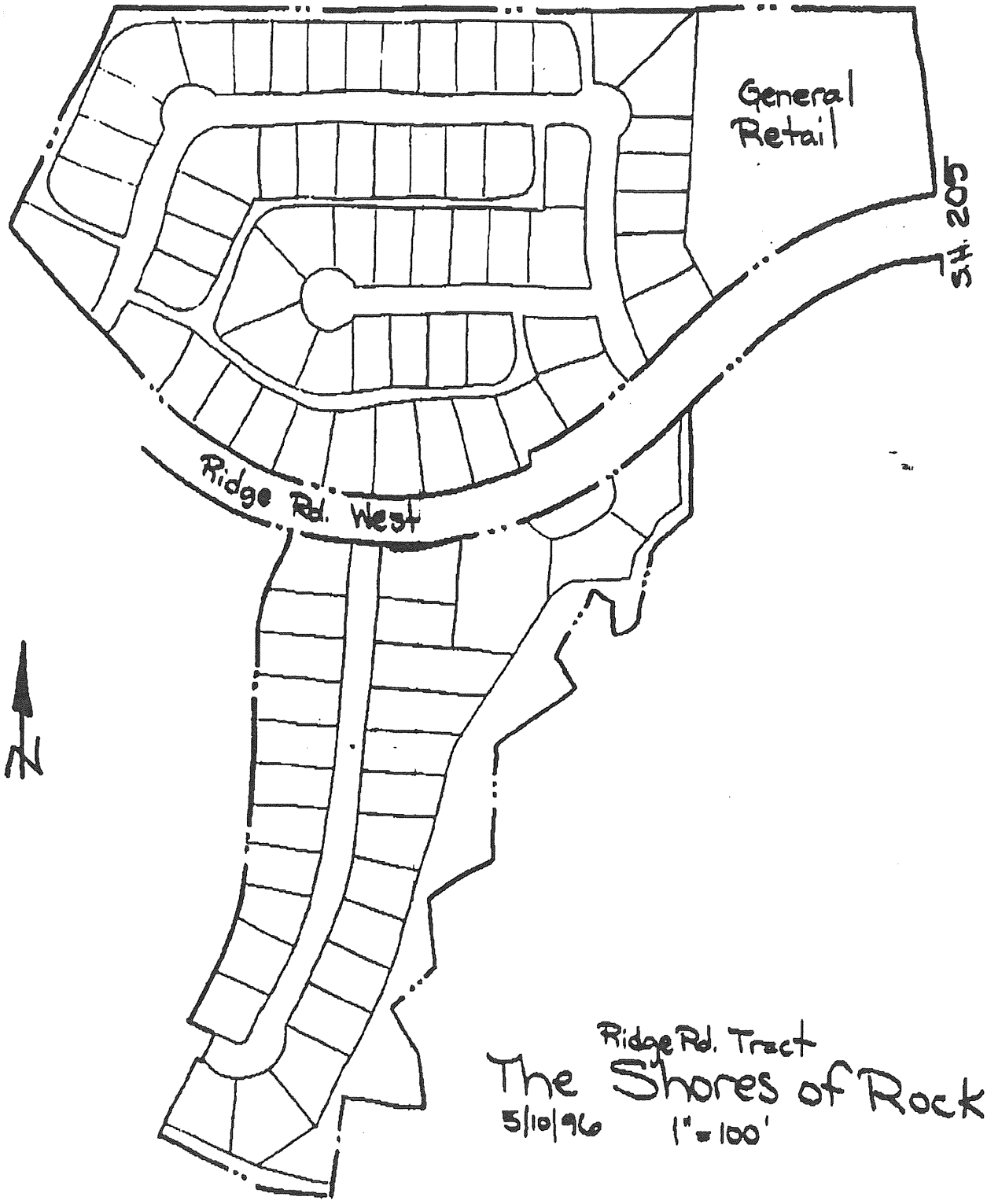

Dalton Rd.
N
P.D.3
North Tract
The Shores of Rockwall
5/10/96
1"=100'



Ridge Rd. Tract

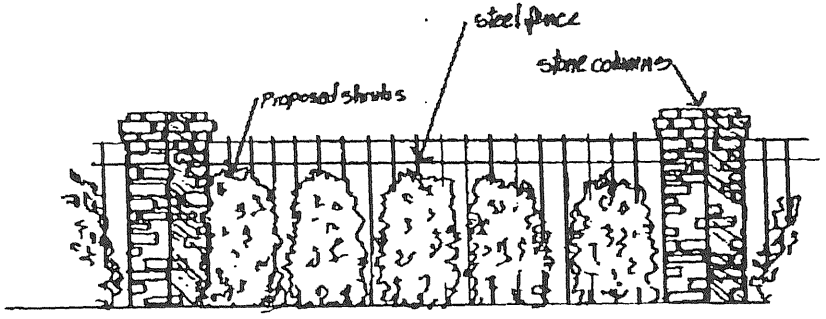
The Shores of Rockwall

5/10/96 1" = 100'

EXHIBIT "E"

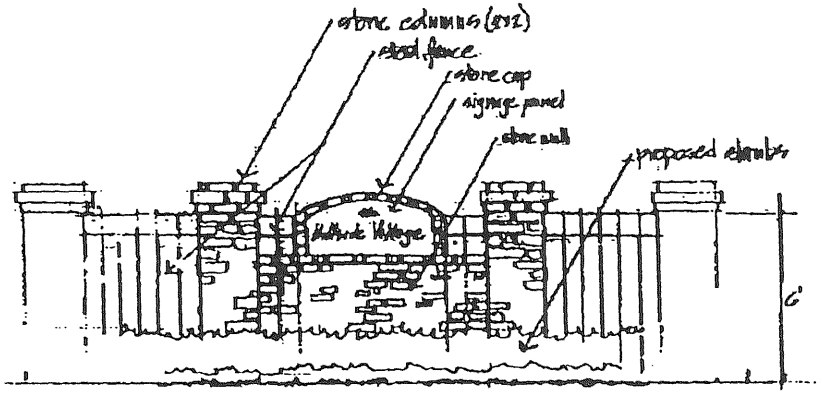
Village Entry Features

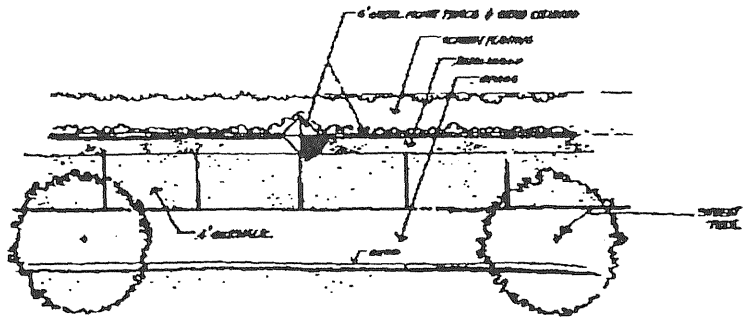
2147717727:#24 → SENT BY:WYNNE JACKSON INC ; 6-13-96 4:58PM ;



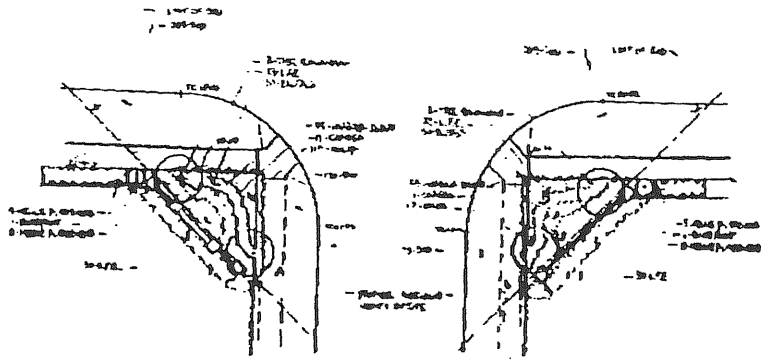
Elevation

TYPICAL STREETSCAPE TREATMENT





TYPICAL STREETSCAPE TREATMENT



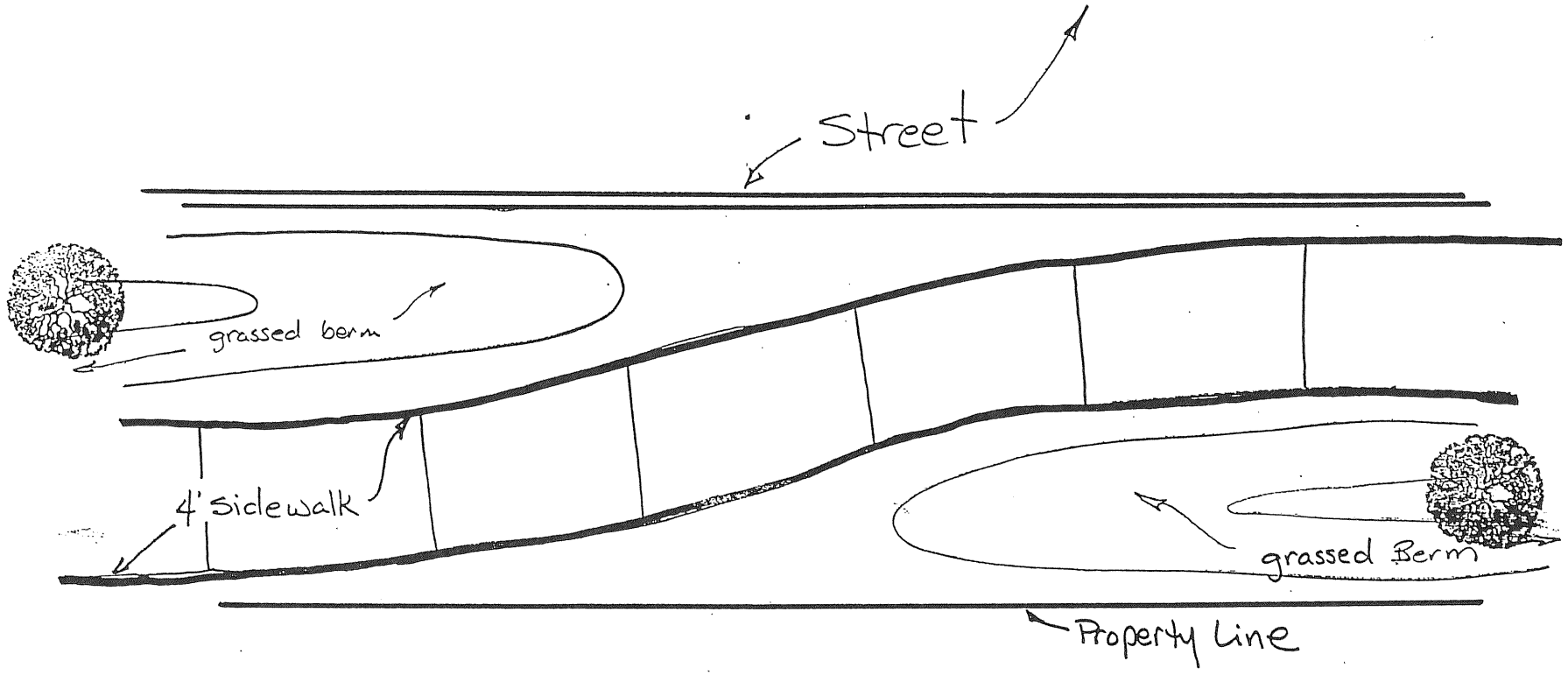
Typical Village Entry Features

THE SHORES OF ROCKWALL

Rockwall, Texas

EXHIBIT "F"

Berm Detail For Southern Section Tract 5



Bermed Parkway
The Shores of Rockwall

Exhibit "G"
Uses For General Retail Tract 3

Permitted Uses:

1. Any retail businesses, personal services, professional service, or business service conducted within a completely enclosed building, except the following: lumberyards or contractor yards, farm equipment or other heavy equipment sales or service, farm products warehousing and storage or stockyards, general warehousing or storage.

2. Banks, including drive through facilities.

3. Planned shopping centers of less than 10 acres and neighborhood convenience centers.

4. Office buildings.

5. Paved parking lots, not including commercial parking lots.

6. Other uses similar to the above.

7. Telephone, telegraph, television, radio or similar media stations, centers, studios, but not including public microwave, radio, and television towers.

8. Institutional uses.

9. Municipally owned or controlled facilities, utilities, and uses.

10. Restaurants, including accessory outdoor seating, without drive-in or drive-through facilities.

11. Retail outlets where gasoline products are sold as an accessory use limited to 2 dispensers which can service no more than 4 vehicles at one time.

12. An accessory use customarily related to a principal use authorized in this district.

13. Temporary indoor and outdoor fund raising events sponsored by nonprofit organizations with permit and approval of the Building Official.

14. Temporary on-site construction offices limited to the period of construction upon approval of the Building Official.

Conditional Uses: (Require Conditional Use Permits)

1. A mobile home on an unsubdivided tract of five acres or more used as a construction office.

2. Automotive repair, as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building.

3. Funeral Homes.

4. Non-open bay car wash.

5. Facilities for railroads or those utilities holding a franchise under the City of Rockwall not allowed as permitted uses.

6. Semi-public uses.

7. Commercial amusements, as defined herein, including amusement parks, circus or carnival grounds, recreation developments, or tents for other amusements, in accordance with all other applicable ordinances, and more than 300 feet from residentially zoned land unless such setback is reduced or waived by the Planning and Zoning Commission and City Council. Temporary uses not exceeding 14 days meeting all other requirements of the City may be permitted by the Building Official. (Ord. 88-32)

8. Drive-through window as an accessory to a restaurant.

9. Private club as an accessory to a general restaurant.

10. New buildings with over 5,000 square feet of floor area, or additions of over 40% of existing floor area or over 5,000 square feet with combustible structural construction materials.

11. Buildings with less than 90% masonry exterior walls.

12. Any structure over 36 feet in height.

13. Veterinary clinics for treatment of small animals, with no outdoor pens or runs. (Ord. 90-5)

14. Temporary concrete batching plant limited to the period of construction, upon approval of location and operation by the Building Official.

CITY OF ROCKWALL

ORDINANCE NO. 11-44

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR AN "URBAN FARM" WITHIN (PD-3) PLANNED DEVELOPMENT NO. 3 DISTRICT, ON A 13.3-ACRE TRACT OF LAND KNOWN AS TRACT 11-3, ABSTRACT 21, N. BUTLER SURVEY AND TRACT 11-3, ABSTRACT 98, A. HANNA SURVEY, AND MORE SPECIFICALLY SHOWN IN EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a Specific Use Permit for an "Urban Farm" within the (PD-3) Planned Development No. 3 district has been requested by Chris and Jill Blase for a proposed blueberry and pumpkin farm on a 13.3-acre tract of land known as Tract 11-3, Abstract 21, N. Butler Survey and Tract 11-3, Abstract 98, A. Hanna Survey , and more specifically described in Exhibit "A"; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Unified Development Code of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit for an "Urban Farm" within the (PD-3) Planned Development No. 3 district, for a proposed blueberry and pumpkin farm on a 13.3-acre tract of land known as Tract 11-3, Abstract 21, N. Butler Survey and Tract 11-3, Abstract 98, A. Hanna Survey , and more specifically described in Exhibit "A"; and

Section 2. That the Specific Use Permit shall be subject to the conditions set forth in **Ordinance No. 96-23** (i.e. PD-3) and ***Article V, Section 4.5, Commercial District*** of the City of Rockwall Unified Development Code (Ord. No. 04-38), as heretofore amended and as may be amended in the future, and shall be subject to the additional following additions:

1. The urban farm use shall comply with the definitions and standards of "urban agriculture - urban farm" set out in Article IV of the Unified Development Code, except as otherwise noted in this ordinance.

2. The urban farm shall comply with the site plan attached hereto as Exhibit "A."

3. A parking plan shall be submitted and approved by staff prior to public use of the farm.

4. Retail sales and all other public use of the farm shall be limited to 7am and 7pm; however, permission for special events outside of these times (e.g. Halloween-themed "Haunted Forest" hayride) may be granted on a case-by-case basis by the City Manager and/or his/her designee.

5. Animals shall not be kept on the premises on a permanent basis, and the petting zoo shall operate only in conjunction with the seasonal sales of farm products. Furthermore, the petting zoo may also be operate in conjunction with "one-day" special events (e.g. children's birthday party) outside of the typical period(s) for seasonal sales of farm products, in which case the animals shall not be kept overnight.

6. Other activities such as hayrides and farm train shall be operated in the areas shown on the site plan.

7. One (1) temporary, 4-ft x 8-ft wooden sign shall be allowed in conjunction with the seasonal sales of farm products.

8. The SUP shall allow for one, 16'x20' building as shown on the site plan (Exhibit A). Any additional building(s) shall require an amendment to the SUP, and may require compliance with other development-related ordinances of the City of Rockwall including, but not limited to, the following:

    a. Platting of the property, including the dedication of the remainder of East Fork Drive.

    b. Construction and/or escrow of proportionate share of East Fork Drive, sidewalks, utility lines, etc.

    c. Adherence to all engineering and fire department requirements such as paving, drainage/detention, fire lane(s) and hydrant(s), etc.

9. The City Council reserves the right to future review of this Specific Use Permit for compliance with all conditions of approval and any other changed conditions that may occur on this property that would affect the Specific Use Permit as granted.

Section 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

Section 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

Section 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS ($2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 6. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code No. 04-38 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 7. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 7th day of November, 2011.

David Sweet, Mayor

ATTEST:

Kristy Ashbery, City Secretary

CITY OF ROCKWALL TEXAS
SEAL

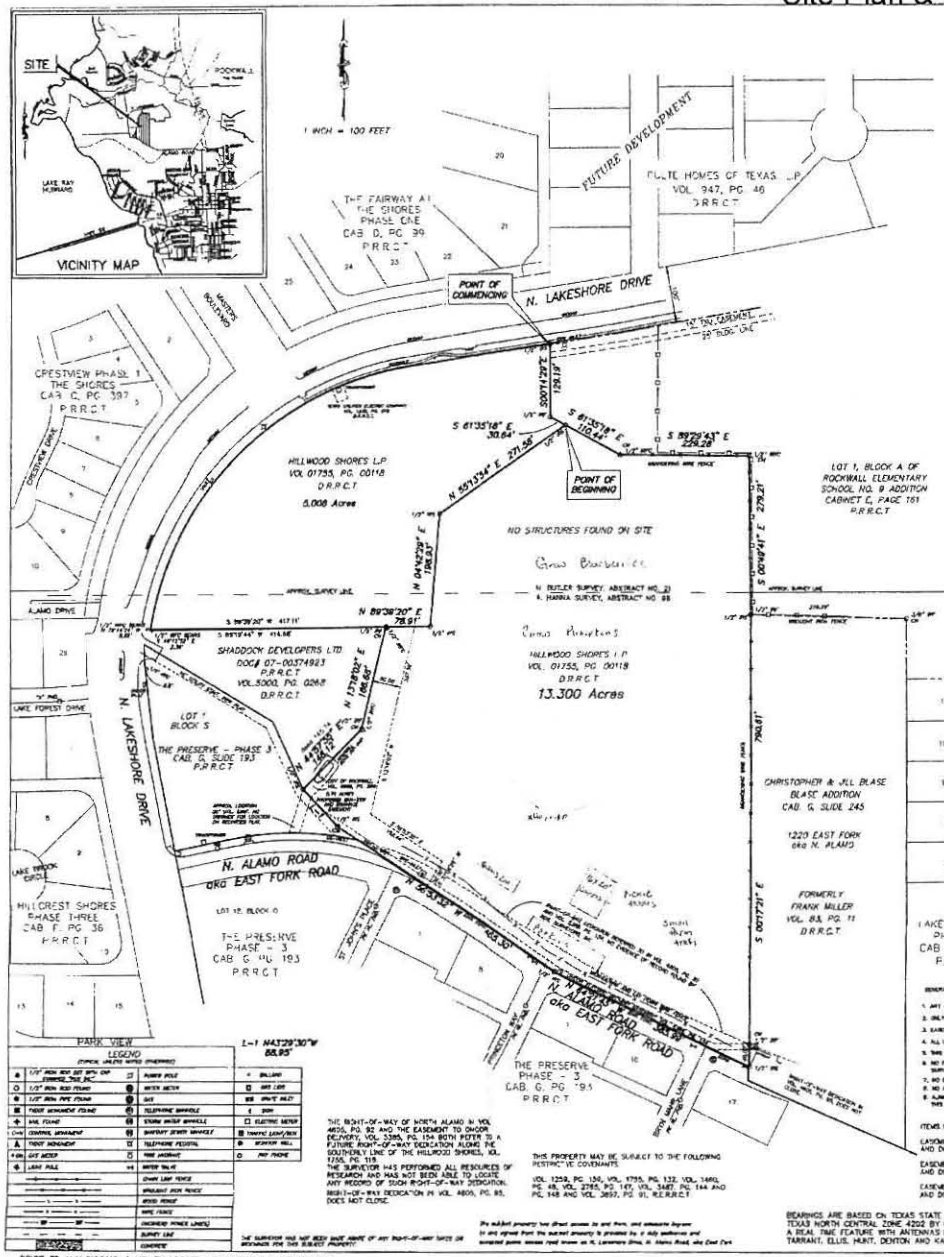
APPROVED AS TO FORM:

Pete Eckert, City Attorney

1st Reading: 10-17-11

2nd Reading: 11-07-11

EXHIBIT "A" Ord. # 11-44
Blase Family Farm
Site Plan & Legal Description



PROPERTY DESCRIPTION
13.300 ACRES

BEING A 13.300 ACRE TRACT OF LAND SITUATED IN THE NATHAN BUTLER SURVEY, ABSTRACT NO. 21, AND THE A. HANNA SURVEY ABSTRACT NO 98, IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF A THAT CERTAIN 18.310 ACRE TRACT OF LAND DESCRIBED AS TRACT 2 IN DEED "D HILLWOOD SHORES, LP.; RECORDED IN VOLUME 1755, PAGE 118, DEED RECORDS ROCKWALL COUNTY, TEXAS (D.R.R.C.T.). SAID 13.300 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET FOR THE EASTERLY NORTHEAST CORNER OF SAID TRACT 2, BEING IN THE SOUTH RIGHT-OF-WAY LINE OF LAKESHORE DRIVE, RECORDED IN CABINET C, PAGE 88, PLAT RECORDS ROCKWALL COUNTY TEXAS (P.R.R.C.T.), ALSO BEING IN THE COMMON WEST LINE OF THE FINAL PLAT OF ROCKWALL ELEMENTARY SCHOOL NO. 9, AN ADDITON TO THE CITY OF ROCKWALL RECORDED IN CABINET E, PAGE 181, P.R.R.C.T.;

THENCE, S 00°14'29" E, ALONG THE EAST LINE OF SAID TRACT 2, AND THE COMMON WEST LINE OF SAID ROCKWALL ELEMENTARY SCHOOL, A DISTANCE OF 129.19 FEET TO A 1/ 2 INCH CAPPED IRON ROD FOUND;

THENCE S 61°35'18" E, ALONG A NORTHERLY LINE OF SAID TRACT 2, AND A SOUTHERLY LINE OF SAID ROCKWALL ELEMENTARY SCHOOL TRACT, A DISTANCE OF 30.64 FEET TO A 1/ 2 INCH CAPPED IRON ROD WITH CAP STAMPED "RDS, INC" SET, BEING THE POINT OF BEGINNING OF THE TRACT HEREON DESCRIBED AS FOLLOWS;

THENCE S 61°35'18" E, ALONG A NORTHERLY LINE OF SAID TRACT 2, AND A SOUTHERLY LINE OF SAID ROCKWALL ELEMENTARY SCHOOL TRACT, A DISTANCE OF 110.44 FEET TO A 1/ 2 INCH CAPPED IRON ROD FOUND FOR CORNER, FROM WHICH A 1/ 2 INCH IRON ROD FOUND BEARS N 80°37'10"E, 0.39 FEET;

THENCE S 89°29'43" E, ALONG A NORTH LINE OF SAID TRACT 2, AND A COMMON SOUTH LINE OF SAID ROCKWALL ELEMENTARY SCHOOL TRACT, A DISTANCE OF 229.28 FEET TO A 1/ 2 INCH CAPPED IRON ROD FOUND;

THENCE ALONG THE EAST LINE OF SAID TRACT 2, AND THE COMMON WEST LINE OF SAID ROCKWALL ELEMENTARY SCHOOL TRACT, AND ALONG THE WEST LINE OF A TRACT OF LAND AS CONVEYED TO CHRISTOPHER AND JILL BLASE AS RECORDED CABINET G, SLIDE 245, P.R.R.C.T., THE FOLLOWING COURSES AND DISTANCES;

S 00°49'41" E, A DISTANCE OF 279.21 FEET TO A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET, FROM WHICH A 1/ 2 INCH CAPPED IRON ROD FOUND BEARS N 89°00'28" E, 0.90 FEET;

S 00°17'21" E, A DISTANCE OF 790.81 FEET TO A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET, IN THE APPROXIMATE CENTERLINE OF ALAMO ROAD (A PRESCRIPTIVE RIGHT-OF-WAY), AKA, EAST FORK, FROM WHICH A 1/ 2 INCH CAPPED IRON ROD FOUND BEARS N 00°17'21" W, 40.00 FEET;

THENCE ALONG THE SOUTH LINE OF SAID TRACT 2, THE FOLLOWING COURSES AND DISTANCES:

N 64°21'45" W, A DISTANCE OF 385.99 FEET TO A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET FOR CORNER;

N 56°53'02" W, A DISTANCE OF 465.30 FEET TO A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET FOR CORNER,

N 43°29'30" W, A DISTANCE OF 88.95 FEET TO A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET, BEING THE MOST SOUTHERLY CORNER OF THAT CERTAIN TRACT OF LAND AS CONVEYED TO SHADDOCK DEVELOPERS AS RECORDED IN DOC. NO. 07-00374923 AND VOLUME 5000, PAGE 0268, SAID DEED RECORDS ALSO BEING IN THE NORTHERLY LINE OF LOT 1, BLOCK S OF THE PRESERVE, PHASE 3, AN ADDITON TO THE CITY OF ROCKWALL, AS RECORDED IN CABINET G, PAGE 193, SAID PLAT RECORDS;

THENCE N 44°57'55" E, ALONG THE COMMON LINE OF SAID SHADDOCK TRACT AND TRACT 2, A DISTANCE OF 146.12 FEET TO A 1/2" IRON ROD FOUND FROM WHICH A 1/ 2 IRON ROD WITH CAP BEARS S 47°27'41" E, 2.97 FEET;

THENCE N 13°18'02" E, A DISTANCE OF 188.68 FEET TO A 1/2" IRON ROD FOUND, FROM WHICH A 1/ 2 INCH IRON ROD FOUND BEARS S 47°26'35" E, 3.12 FEET, SAID IRON ROD BEING THE MOST NORTHEASTERLY CORNER OF SAID SHADDOCK TRACT AND BEING AT AN ELL CORNER OF SAID TRACT 2;

THENCE N 89°39'20" E, A DISTANCE OF 78.91 FEET TO A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET;

THENCE N 04°42'29" E, A DISTANCE OF 198.93 FEET TO A 1/ 2 INCH IRON ROD WITH CAP STAMPED "RDS, INC." SET,

THENCE N 55°13'54" E, A DISTANCE OF 271.58 FEET TO POINT OF BEGINNING, AND CONTAINING 13.300 ACRES OF LAND, MORE OR LESS.

TO: RANGER TITLE COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY, THE AMERICAN NATIONAL BANK OF TEXAS.

SURVEYORS CERTIFICATE

I, the undersigned, do hereby certify that I have prepared this map and the field notes shown hereon from an on the ground survey of the land, and this map is a true, correct and accurate representation of the evidence as found at the time of the survey; that the corner monuments shown hereon were found and/or placed under my personal supervision. Except as shown, there are no visible and apparent easements or other matters, rights-of-way, encroachments, conflicts or protrusions to the best of my knowledge. This survey is subject to any unrecorded easements or rights-of-way not visible on the ground, and to all zoning ordinances and regulations and other municipal ordinances that may apply. This survey shows the location of streets and roads visibly providing access to and from the subject property. Further, this professional service substantially complies with Texas Society of Professional Surveyors - Standards and Specifications for a Category 1A, Condition I, Land Title Survey.

Dated this 18th day of APRIL, 2011

Ronald D. Smith
Registered Professional Land Surveyor No. 4944

RANGER TITLE COMPANY
G.F. NO. R110546R

PROJECT NO	11-117RS	DATE	REVISED TO SHOW 13.300 AND 5.008 ACRES
DRAWN BY	RDS/JDS	05-09-11	
APPROVED BY	RDS		
DATE	04-18-2011		

BOUNDARY SURVEY
13.300 ACRES OF LAND LOCATED IN THE
N. BUTLER SURVEY, ABSTRACT NO. 21
A. HANNAH SURVEY, ABSTRACT NO. 98
ROCKWALL, ROCKWALL COUNTY, TEXAS

RONALD D. SMITH, SURVEYING
P.O. BOX 1879 • FORNEY, TEXAS 75126
(972) 564-9840 FAX (972) 564-9857

11-117 RS

PRIOR TO ANY DIGGING, A UTILITY LOCATE COMPANY SHALL BE NOTIFIED.

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 3 (PD-3) AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CONSOLIDATE THE REGULATING ORDINANCES OF THE PLANNED DEVELOPMENT DISTRICT, BEING A 639.264-ACRE TRACT OF LAND SITUATED WITHIN THE T. DEAN SURVEY, ABSTRACT NO. 69; S. KING SURVEY, ABSTRACT NO. 131; N. BUTLER SURVEY, ABSTRACT NO. 21; AND, A. HANNA SURVEY, ABSTRACT NO. 98, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has initiated an amendment to the Planned Development District 3 (PD-3) for the purpose of consolidating the regulating ordinances [*Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 86-61, 89-04, 94-35, & 96-23*].

WHEREAS, Planned Development District 3 (PD-3) is a 639.264-acre tract of land situated within the T. Dean Survey, Abstract No. 69; S. King Survey, Abstract No. 131; N. Butler Survey, Abstract No. 21; and, A. Hanna Survey, Abstract No. 98, City of Rockwall, Rockwall County, Texas and which is more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 3 (PD-3) [*Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 86-61, 89-04, 94-35, 96-23 & 11-44*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No.'s 72-02, 77-19A, 80-33, 84-59, 86-23, 86-39, 86-61, 89-04, 94-35, & 96-23*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

DRAFT 08-29-2023

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. The Homeowner's Association (HOA) shall be responsible for the maintenance of all common areas, screening walls and features, landscape areas, deed restriction enforcement, and all other functions required to maintain the quality of the development.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* ($2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF OCTOBER, 2023.

_____
Trace Johannesen, *Mayor*

ATTEST:

_____
Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

DRAFT ORDINANCE 08.29.23

Frank J. Garza, *City Attorney*

1st Reading: *September 18, 2023*

2nd Reading: *October 2, 2023*

DRAFT ORDINANCE 08.29.2023

Exhibit 'A':
Legal Description

BEING 639.264 acres of land situated in Abstract 69, T. Dean Survey; Abstract 131, S. King Survey; Abstract 21, N. Butler Survey; and Abstract 98, A. Hanna Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the North Right of Way of North Lakeshore Dr. at the City of Rockwall Geodetic Control Monument #13. (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,590,432.919, N 7,032,885.954 Feet) bearing North 10°-01'-31" East, a distance of 4,838.978 feet to the POINT OF BEGINNING;

BEGINNING at a Southwestern corner of Abstract 71, W. T. Deweese Survey, Tract 5, also known as 3051 North Goliad Street, (NAD83 Texas State Plane GPS Coordinate (Grid): E 2,591,205.473, N 7,037,644.958 Feet);

1 ***THENCE*** South 88°-09'-30" East, a distance of 174.421 feet to a point;
2 ***THENCE*** South 89°-18'-00" East, along the Northern boundary of the Creekside Village Phase 2 Addition, a distance of 807.443 feet to a point;
3 ***THENCE*** North 89°-50'-27" East, a distance of 574.25 feet to a point in the Right of Way of State Highway 205 (North Goliad Street) also being a beginning of a curve;
4 ***THENCE*** along said curve to the left having an angle of 07°-09'-14" and a radius of 8,822.954 feet with a chord distance of 1,100.909 feet and a chord bearing of South 11°-10'-59" East, for a corner;
5 ***THENCE*** South 78°-44'-38" West, along the Southeastern boundary of the Random Oaks Addition, a distance of 131.806 feet to a point;
6 ***THENCE*** South 77°-32'-26" West, continuing along said boundary a distance of 104.85 feet for a corner;
7 ***THENCE*** South 02°-01'-44" West, a distance of 199.631 feet to a point;
8 ***THENCE*** South 03°-01'-38" West, a distance of 549.228 feet to a point;
9 ***THENCE*** South 09°-42'-57" East, a distance of 234.514 for a corner;
10 ***THENCE*** North 80°-11'-17" West, along the Southern boundary of the Random Oaks Addition, a distance of 730.471 feet to a point;
11 ***THENCE*** North 82°-37'-24" West, a distance of 185.747 feet to the beginning of a curve;
12 ***THENCE*** along said curve to the left having an angle of 04°-07'-30" and a radius of 2,056.937 feet with a chord distance of 148.058 feet and a chord bearing of North 84°-08'-37" West, to the beginning of a reverse curve;
13 ***THENCE*** along said curve to the right having an angle of 19°-31'-59" and a radius of 513.44 feet with a chord distance of 174.193 feet and a chord bearing of North 72°-20'-57" West, a point;
14 ***THENCE*** North 62°-41'-51" West, a distance of 96.467 feet to a point;
15 ***THENCE*** North 23°-56'-24" East, a distance of 10.376 feet to the beginning of a curve;
16 ***THENCE*** along said curve to the right having an angle of 04°-10'-41" and a radius of 4,343.413 feet with a chord distance of 316.73 feet and a chord bearing of North 62°-52'-52" West, to the beginning of a curve;
17 ***THENCE*** along said curve to the right having an angle of 00°-26'-05" and a radius of 32,477.593 feet with a chord distance of 246.45 feet and a chord bearing of North 54°-34'-4" West, to the beginning of a curve;
18 ***THENCE*** along said curve to the left having an angle of 06°-44'-13" and a radius of 5,575.459 feet with a chord distance of 655.568 feet and a chord bearing of North 79°-07'-52" West, a point;
19 ***THENCE*** North 87°-52'-21" West, a distance of 39.207 feet for a corner;
20 ***THENCE*** South 00°-40'-53" East, along the Eastern boundary of The Shores Addition, a distance of 342.584 feet to a point;
21 ***THENCE*** South 00°-59'-46" West, a distance of 254.457 feet to a point;
22 ***THENCE*** South 00°-03'-57" West, a distance of 9.989 feet for a corner;
23 ***THENCE*** South 45°-28'-05" West, a distance of 202.51 feet for a corner;
24 ***THENCE*** South 04°-46'-24" West, a distance of 519.313 feet for a corner;
25 ***THENCE*** North 89°-44'-36" East, a distance of 96.721 feet for a corner;
26 ***THENCE*** South 01°-21'-55" East, along the Eastern boundary of The Shores Phase 3 Addition, a distance of 433.694 feet to a point;
27 ***THENCE*** South 00°-53'-02" West, a distance of 1,723.961 feet to a point;

DRAFT 05.25.2023

Exhibit 'A':
Legal Description

THENCE South 82°-27'-37" West, a distance of 6.603 feet for a corner;
THENCE South 01°-15'-03" West, a distance of 121.92 feet to a point;
THENCE South 42°-45'-29" East, a distance of 55.379 feet to a point;
THENCE South 60°-28'-27" East, a distance of 110.47 feet to a point;
THENCE South 88°-22'-52" East, a distance of 229.342 feet for a corner;
THENCE South 00°-56'-40" West, continue around the area known as the Blase Family Farm, a distance of 800.823 feet for a corner;
THENCE North 89°-08'-02" West, a distance of 100.012 feet for a corner;
THENCE South 00°-51'-58" West, a distance of 120.015 feet for a corner;
THENCE South 89°-08'-02" East, a distance of 100.012 feet for a corner;
THENCE South 00°-51'-58" West, a distance of 108.014 feet to a point;
THENCE South 00°-51'-58" West, continuing a distance of 45.768 feet to a point in the Right of Way of East Fork Road for a corner;
THENCE North 63°-36'-29" West, a distance of 141.47 feet to a point;
THENCE North 61°-55'-58" West, a distance of 245.277 feet to a point;
THENCE North 55°-50'-09" West, a distance of 465.358 feet to a point;
THENCE North 42°-26'-08" West, a distance of 88.961 feet for a corner;
THENCE North 46°-41'-33" East, a distance of 148.35 feet to a point;
THENCE North 14°-28'-50" East, a distance of 186.703 feet for a corner;
THENCE North 89°-15'-27" West, a distance of 436.763 feet to a point;
THENCE North 74°-56'-00" West, crossing North Lakeshore Drive, a distance of 83.869 feet to a point;
THENCE North 89°-25'-39" West, along the Southern boundary of the Crestview Phase 1 Addition, a distance of 737.795 feet for a corner;
THENCE North 01°-10'-48" West, a distance of 312.433 feet for a corner;
THENCE North 89°-14'-21" West, a distance of 503.944 feet for a corner;
THENCE South 00°-23'-22" East, a distance of 318.21 feet for a corner;
THENCE North 89°-19'-25" West, along the Southern boundary of the Crestview Phase 3 Addition, a distance of 181.831 feet to a point;
THENCE South 80°-24'-05" West, a distance of 15.253 feet to a point;
THENCE North 89°-47'-20" West, a distance of 565.495 feet to a point;
THENCE North 73°-29'-07" West, a distance of 15.698 feet to a point;
THENCE South 87°-34'-56" West, a distance of 80.08 feet to a point;
THENCE North 89°-30'-59" West, a distance of 570.754 feet for a corner;
THENCE South 00°-12'-51" West, a distance of 15.459 feet for a corner;
THENCE North 89°-46'-14" West, a distance of 309.468 feet to a point;
THENCE South 89°-34'-27" West, a distance of 296.789 for a corner;
THENCE North 06°-17'-47" East, along the City of Dallas Take Line of Lake Ray Hubbard and adjacent residential lots, a distance of 2.096 feet to a point;
THENCE North 27°-55'-11" West, continuing along said Take Line, a distance of 322.756 feet to a point;
THENCE North 28°-28'-37" West, a distance of 276.945 feet to a point;
THENCE North 21°-37'-19" West, a distance of 678.581 feet to a point;
THENCE North 05°-55'-34" West, a distance of 449.668 feet to a point;
THENCE North 17°-42'-55" East, a distance of 980.368 feet to a point;
THENCE North 19°-36'-38" East, a distance of 21.013 feet to a point;
THENCE North 53°-26'-39" East, crossing the Rockwall Golf and Athletic Club Golf Course, a distance of 679.516 feet to a point;
THENCE South 84°-07'-20" East, a distance of 603.751 feet to a point;
THENCE South 71°-02'-28" East, a distance of 770.226 feet to a point;
THENCE South 88°-36'-41" East, a distance of 445.095 feet for a corner;
THENCE North 01°-07'-35" East, along the Western boundary of The Shores Addition, a distance of 1,687.816 feet to a point;
THENCE North 01°-41'-23" East, a distance of 195.033 feet to a point;
THENCE North 00°-17'-09" East, a distance of 60.183 feet to a point;
THENCE North 12°-28'-00" West, a distance of 165.262 feet to a point;

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THENCE North 13°-24'-39" West, a distance of 112.025 feet to a point;
THENCE North 02°-20'-39" East, a distance of 330.71 feet to the beginning of a curve;
THENCE along said point being the beginning of a curve to the left having an angle of 05°-05'-40" and a radius of 1,829.031 feet with a chord distance of 162.577 feet and a chord bearing of North 11°-21'-39" East, a point;
THENCE North 10°-06'-17" East, a distance of 190.56 feet to a point;
THENCE North 00°-43'-21" East, a distance of 737.697 feet for a corner;
THENCE North 89°-55'-30" East, along the Northern boundary of the Shores Phase 4B Addition, a distance of 644.247 feet to a point;
THENCE North 89°-42'-06" East, along the Northern boundary of the City of Rockwall Shores Park, a distance of 1,060.108 feet for a corner;
THENCE North 00°-46'-08" East, a distance of 223.527 feet to a point;
THENCE North 03°-16'-35" East, a distance of 50.034 feet to a point;
THENCE North 00°-24'-45" East, along the Western boundary of the Shores Phase 5 Addition, a distance of 443.593 feet to a point;
THENCE North 01°-29'-10" West, continuing along said boundary, a distance of 65.666 feet to a point;
THENCE North 00°-37'-36" East, a distance of 900.321 feet to a point;
THENCE North 03°-37'-13" East, to a point in the Right of Way of Dalton Road, a distance of 16.021 feet for a corner;
THENCE South 89°-40'-13" East, a distance of 1,314.588 feet for a corner;
THENCE South 00°-32'-35" West, a distance of 26.441 feet to a point;
THENCE South 00°-32'-35" West, continuing along the Eastern boundary of the Shores North Phase 6 Addition, a distance of 1,143.321 feet to a point;
THENCE South 00°-28'-51" West, continuing along said boundary, a distance of 1,453.759 feet, to the ***POINT OF BEGINNING AND CONTAINING*** 639.264 acres of land (27,846,211.88 square feet) more or less.

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Exhibit 'B':
Survey



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Exhibit 'C':
Concept Plan

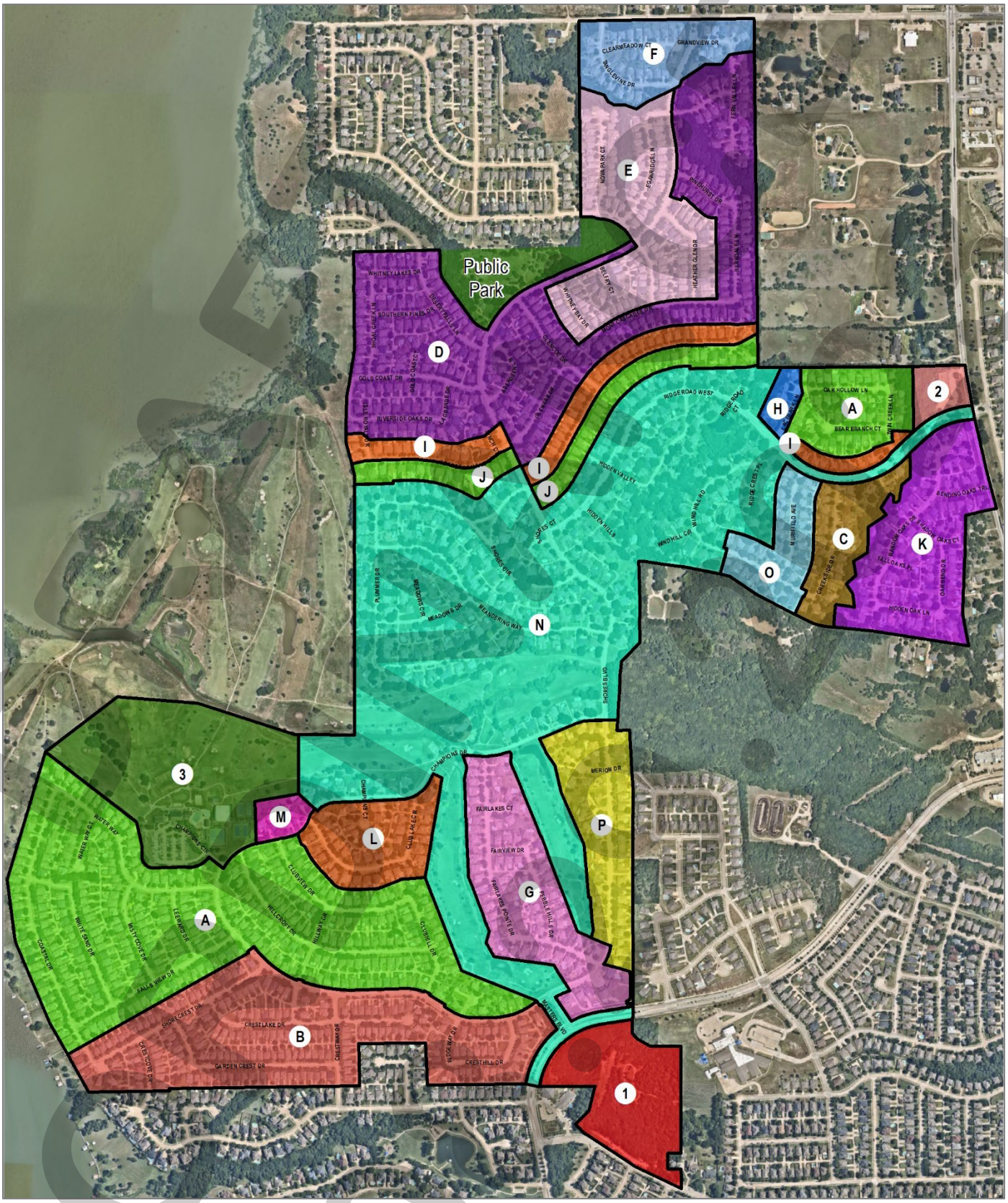

Exhibit 'D':
Density and Development Standards

(1) *NON-RESIDENTIAL*.

(A) *TRACT 1*. (*Unplatted*)

(1) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Commercial (C) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(2) *Density and Development Standards*. The development of *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Commercial (C) District as required by Subsection 04.05, *Commercial (C) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(B) *TRACT 2*. (*The Shops at Ridge Creek Subdivision*)

(1) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract 2 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the General (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following amendments shall apply to *Tract 2*:

(A) The following land uses shall be permitted *by-right*:

- Any retail business, personal services, professional services, or business service conducted within a completely enclosed building, except the following: [1] lumber yards, [2] contractor yards, [3] farm equipment, [4] heavy equipment sales or service, [5] farm products warehousing or storage, [6] stockyards, and/or [7] general warehousing or storage.
- Banks (*with or without drive-through facilities*).
- Planned Shopping Centers of less than ten (10) acres and neighborhood convenience centers.
- Office Buildings.
- Paved Parking Lots (*not including commercial parking lots*).
- Other uses similar to the above.
- Telephone, telegraph, television, radio or similar media stations, centers, studios, but not including public microwave, radio, and television towers.
- Institutional Uses.
- Municipally owned or controlled facilities, utilities, and uses.
- Restaurants, including accessory outdoor seating, without drive-in or drive-through facilities.
- Retail outlets where gasoline products are sold as an accessory use limited to two (2) dispensers which can service no more than four (4) vehicles at a time.
- An accessory use customarily related to a principal use authorized in this zoning district.
- Temporary indoor and outdoor fund-raising events sponsored by nonprofit organizations with permit and approval from the Building Official.
- Temporary on-site construction offices limited to the period of construction upon approval of the Building Official.

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(B) The following land uses shall be permitted by Specific Use Permit (SUP):

- A mobile home on an un-subdivided tract of five (5) acres or more used as a construction office.
- Automotive repair, as an accessory to a retail use, provided all work is conducted wholly within a completely enclosed building.
- Funeral Homes.
- Non-Open Bay Carwash.
- Facilities for railroads or those utilities holding a franchise under the City of Rockwall not allowed as permitted uses.
- Semi-Public Uses.
- Commercial amusements, as defined herein, including amusements parks, circus or carnival grounds, recreation developments, or tents for amusements, in accordance with all other applicable ordinances, and more than 300-feet from residentially zoned land unless such setback is reduced or waived by the Planning and Zoning Commission and City Council. Temporary uses not exceeding 14-days meeting all other requirements of the City may be permitted by the Building Official.
- Drive-through window as an accessory to a restaurant.
- Private club as an accessory to a general restaurant.
- New buildings with over 5,000 SF of floor area, or additions of over 40% of existing floor area or over 5,000 SF with combustible structural construction materials.
- Buildings with less than 90% masonry exterior walls.
- Any structure over 36-feet in height.
- Veterinary clinics for treatment of small animals, with no outdoor pens or runs.
- Temporary concrete batching plant limited to the period of construction, upon approval of location and operation by the Building Official.

(2) *Density and Development Standards*. The development of *Tract 2 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(C) *TRACT 3*. (*A portion of The Shores Club House Subdivision*)

(1) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the General Retail (GR) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, only the following land uses shall be permitted within *Tract 3*:

(A) Community Center and Golf Course with pertinent accessory land uses (*i.e. swimming pool, restaurant, tennis courts, pickleball courts, pro-shop, etc.*)

(2) *Density and Development Standards*. The development of *Tract 1 -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a General Retail (GR) District as required by Subsection 04.04, *General Retail (GR) District*, of Article

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05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(2) *RESIDENTIAL.*

(A) *TRACTS A, B, C, D, E, & F*.

(1) *Tracts*. The tracts in this section correspond with the following phases of the Shores Subdivision:

(A) *Tract A*. Hillside at the Shores, Phases 1-5 & a portion of Creekside Village, Phase 2.
(B) *Tract B*. Crestview at the Shores, Phases 1-3.
(C) *Tract C*. Creekside at the Shores.
(D) *Tract D*. The Shores North, Phase 4B and portions of The Shores North, Phases 2A & 4A.
(E) *Tract E*. The Shores North, Phases 3A, 3B, & 5.
(F) *Tract F*. A portion of The Shores North, Phase 6.

(2) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tracts A, B, C, D, E, & F -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) *Density and Development Standards*. The development of *Tracts A, B, C, D, E, & F -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 7 (SF-7) District as required by Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tracts A, B, C, D, E, & F* shall conform to the standards depicted in *Table 1*, which are as follows:

TABLE 1: *LOT DIMENSIONAL REQUIREMEN TS*

Lot Type (see Concept Plan) ►	A	B	C	D	E	F
MINIMUM LOT AREA	7,200 SF	6,000 SF	7,200 SF	7,200 SF	6,000 SF	7,200 SF
AVERAGE LOT AREA FOR TRACT	8,500 SF	7,200 SF	8,500 SF	8,000 SF	7,000 SF	10,000 SF
SINGLE-FAMILY DWELLING UNITS PER LOT	1	1	1	1	1	1
MINIMUM FLOOR AREA PER DWELLING UNIT	1,800 SF	1,500 SF	2,000 SF	1,800 SF	1,500 SF	1,600 SF
MINIMUM LOT FRONTAGE [1]	60'	50'	60'	60'	50'	60'
MINIMUM LOT DEPTH	100'	100'	100'	100'	100'	100'
MINIMUM FRONT YARD SETBACK	20'	20'	20'	20'	20'	20'
MINIMUM REAR YARD SETBACK	10'	10'	10'	10'	10'	10'
MINIMUM SIDE YARD SETBACK	5'	5'	5'	5'	5'	5'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET	15'	15'	15'	15'	15'	15'
MINIMUM BUILDING SEPERATION	10'	10'	10'	10'	10'	10'
MAXIMUM BUILDING COVERAGE	45%	50%	45%	45%	50%	45%
MAXIMUM BUILDING HEIGHT	35'	35	35'	35'	35'	35'
MINIMUM OFF-STREET PARKING (SPACES/UNIT) [2]	2	2	2	2	2	2
MINIMUM GARAGE SPACE (VEHICLES SPACES)	2	2	2	2	2	2

GENERAL NOTES:
[1]: Lot frontage shall be measured on a public street.
[2]: Excluding the required garage spaces.

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(B) *TRACTS G, H, I, & J.*

(1) *Tracts*. The tracts in this section correspond with the following phases of the Shores Subdivision:

(A) *Tract G*. Fairway Pointe at the Shores, Phases 1 & 2.
(B) *Tract H*. A portion of Creekside Village, Phase 2.
(C) *Tract I*. A portion of Creekside Village, Phase 2 and potions of The Shores North, Phases 2A, 2B, & 4A.
(D) *Tract J*. A portion of The Shores North, Phase 2A, 2B, & 4A.

(2) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tracts G, H, I, & J -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) *Density and Development Standards*. The development of *Tracts G, H, I, & J -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tracts G, H, I, & J* shall conform to the standards depicted in *Table 2*, which are as follows:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	G	H	I	J
MINIMUM LOT AREA	9,000 SF	9,000 SF	8,400 SF	9,000 SF
AVERAGE LOT AREA FOR TRACT	10,000 SF	N/A	N/A	N/A
SINGLE-FAMILY DWELLING UNITS PER LOT	1	1	1	1
MINIMUM FLOOR AREA PER DWELLING UNIT	2,200 SF	2,200 SF	2,000 SF	2,200 SF
MINIMUM LOT FRONTAGE [1]	70'	70'	60'	70'
MINIMUM LOT DEPTH	100'	100'	100'	100'
MINIMUM FRONT YARD SETBACK	20'	20'	20'	20'
MINIMUM REAR YARD SETBACK	10'	10'	10'	10'
MINIMUM SIDE YARD SETBACK	6'	6'	5'	5'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET	15'	15'	15'	15'
MINIMUM BUILDING SEPERATION	10'	10'	10'	10'
MAXIMUM BUILDING COVERAGE	45%	45%	45%	45%
MAXIMUM BUILDING HEIGHT	35'	35'	35'	35'
MINIMUM OFF-STREET PARKING (SPACES/UNIT) [2]	2	2	2	2
MINIMUM GARAGE SPACE (VEHICLES SPACES)	2	2	2	2

GENERAL NOTES:
[1]: Lot frontage shall be measured on a public street.
[2]: Excluding the required garage spaces.

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(C) *TRACT K*. (*Random Oaks at the Shores Subdivision*)

(1) *Concept Plan*. All development of *Tract K* shall conform with the *Concept Plan* depicted in *Figure 1*.

FIGURE 1. CONCEPT PLAN FOR TRACT K



(2) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract K -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) *Density and Development Standards*. The development of *Tract K -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tract K* shall conform to the standards depicted in *Table 3*, which are as follows:

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TABLE 3: *LOT DIMENSIONAL REQUIREMENTS*

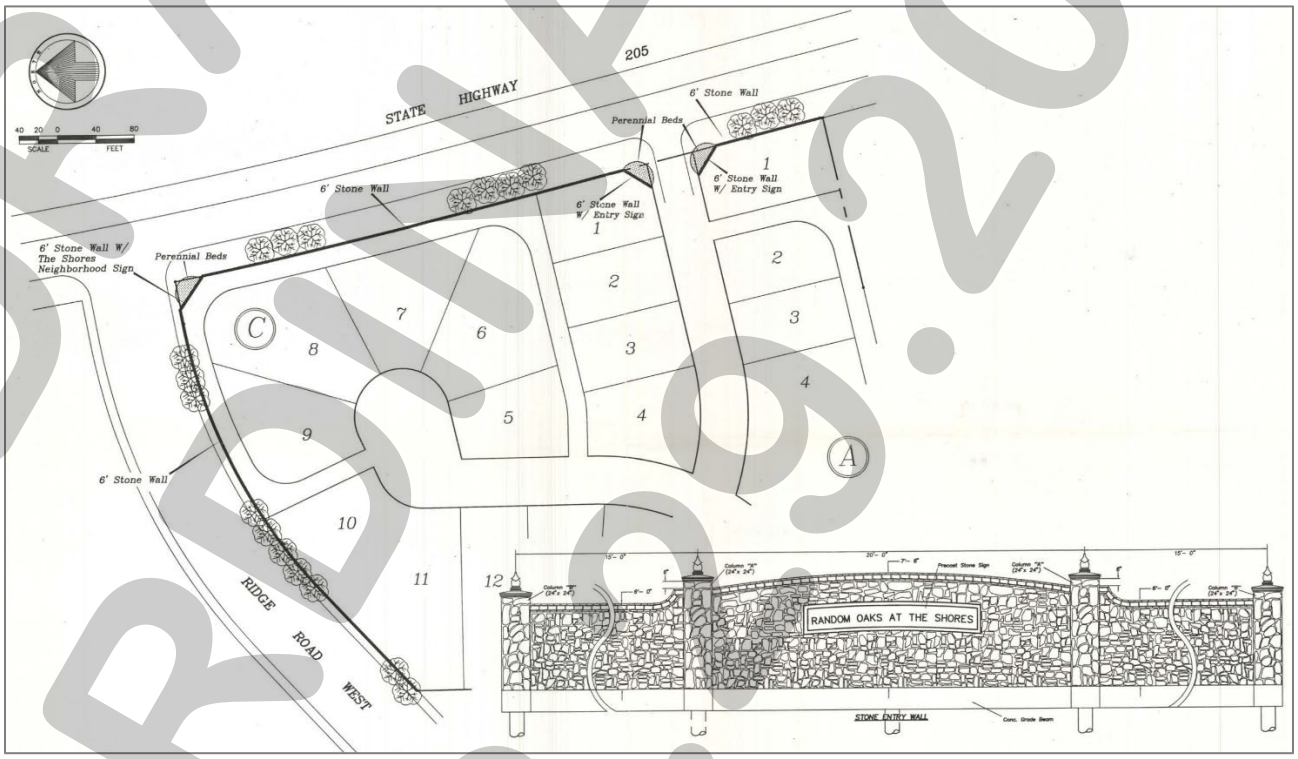
Lot Type (see Concept Plan) ►	**K**
MINIMUM LOT AREA [1]	7,800 SF & 10,000 SF
MINIMUM FLOOR AREA PER DWELLING UNIT	1,800 SF
MINIMUM LOT FRONTAGE [2]	100'
MINIMUM LOT DEPTH	60'
MINIMUM FRONT YARD SETBACK	25'
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK	6'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET	15'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM BUILDING HEIGHT	32'

GENERAL NOTES:
[1]: As shown in the concept plan for *Tract K* above.
[2]: As measured at the front building line.

(4) *Garage Orientation*. *Front-Entry Garages* shall be prohibited.

(5) *Landscaping and Entry Monumentation Signage*. The proposed development shall incorporate landscaping and entry monumentation signage that conforms to the *Landscaping and Entry Monumentation Signage* exhibit depicted in *Figure 2*.

FIGURE 2. *LANDSCAPE AND ENTRY MONUMENTATION SIGNAGE*



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(D) *TRACT L*. (*Fairway Pointe at the Shores, Phase 3*)

(1) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract L -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(2) *Density and Development Standards*. The development of *Tract L -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tract L* shall conform to the standards depicted in *Table 4*, which are as follows:

TABLE 4: *LOT DIMENSIONAL REQUIREMENTS*

Lot Type (see Concept Plan) ►		**L**
MINIMUM LOT AREA	*60% OF THE LOTS*	8,400 SF
	40% OF THE LOTS	9,000 SF
AVERAGE LOT AREA FOR TRACT		10,000 SF
SINGLE-FAMILY DWELLING UNIT PER LOT		1
MINIMUM FLOOR AREA PER DWELLING UNIT	*8,400 SF LOTS*	2,000 SF
	9,000 SF LOTS	2,200 SF
MINIMUM LOT FRONTAGE [1]	*8,400 SF LOTS*	60'
	9,000 SF LOTS	70'
MINIMUM LOT DEPTH		100'
MINIMUM FRONT YARD SETBACK		20'
MINIMUM REAR YARD SETBACK		10'
MINIMUM SIDE YARD SETBACK		5'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET		15'
MINIMUM BUILDING SEPERATION		10'
MAXIMUM BUILDING COVERAGE		45%
MAXIMUM BUILDING HEIGHT		35'
MINIMUM OFF-STREET PARKING (SPACES/UNIT) [2]		2
MINIMUM GARAGE SPACE (VEHICLES SPACES)		2

GENERAL NOTES:
[1]: Lot frontage shall be measured on a public street.
[2]: Excluding the required garage spaces.

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(E) *TRACT M*. (*A portion of The Shores Club House Subdivision*)

(1) *Concept Plan*. All development of *Tract M* shall conform with the *Concept Plan* depicted in *Figure 3*.

FIGURE 3. CONCEPT PLAN FOR TRACT M



(2) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract M -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 7 (SF-7) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) *Density and Development Standards*. The development of *Tract M -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 7 (SF-7) District as required by Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future. In addition, all lots in *Tract M* shall conform to the standards depicted in *Table 5*, which are as follows:

TABLE 5: LOT DIMENSIONAL REQUIREMENTS

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Exhibit 'D':
Density and Development Standards

Lot Type (see Concept Plan) ►		**M**
MINIMUM LOT AREA [1]		*SEE (1) BELOW*
SINGLE-FAMILY DWELLING UNITS PER LOT		1
MINIMUM FLOOR AREA PER DWELLING UNIT	*LOT 17, BLOCK H*	2,200 SF
	LOTS 18-21, BLOCK H	2,000 SF
MINIMUM LOT FRONTAGE [1]		*SEE (1) BELOW*
MINIMUM LOT DEPTH [1]		*SEE (1) BELOW*
MINIMUM FRONT YARD SETBACK		30'
MINIMUM REAR YARD SETBACK		25'
MINIMUM SIDE YARD SETBACK		10'
MINIMUM BUILDING SEPERATION		10'
MAXIMUM BUILDING COVERAGE		35%
MAXIMUM BUILDING HEIGHT		30'
MINIMUM OFF-STREET PARKING (SPACES/UNIT) [2]		2

GENERAL NOTES:
[1]: As shown in the concept plan for *Tract J* above.
[2]: Excluding the required garage spaces.

(4) *Garage Orientation*. No *Garage* shall open onto Champions Drive.

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(F) *TRACT N*. (*The Shores, Phase 1*)

(1) *Concept Plan*. All development of *Tract N* shall conform with the *Concept Plan* depicted in *Figure 4*.

FIGURE 4. CONCEPT PLAN FOR TRACT N



(2) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract N -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) *Density and Development Standards*. The development of *Tract N -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract N* shall conform to the standards depicted in *Table 6*, which are as follows:

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Exhibit 'D':
Density and Development Standards

TABLE 6: *LOT DIMENSIONAL REQUIREMENTS*

Lot Type (see Concept Plan) ►	**N**
MINIMUM LOT AREA	9,000 SF
SINGLE-FAMILY DWELLING UNITS PER LOT	1
MINIMUM LOT FRONTAGE [1]	75'
MINIMUM LOT DEPTH	120'
MINIMUM FRONT YARD SETBACK [1]	25'
MINIMUM REAR YARD SETBACK [2]	10'
MINIMUM SIDE YARD SETBACK [3]	6'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET	*SEE (1) BELOW*
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM BUILDING HEIGHT [4]	*2½ STORIES*

GENERAL NOTES:

[1]: (*OR*) As depicted on the approved subdivision plat that was filed with Rockwall County on March 9, 1978.

[2]: Section 9-701 of the 1972 City of Rockwall Zoning Ordinance [*Single-Family 3 (SF-3) District*].

[3]: Section 9-601 of the 1972 City of Rockwall Zoning Ordinance [*Single-Family 3 (SF-3) District*].

[4]: *Section 11-102 of the 1972 City of Rockwall Zoning Ordinance*: In the districts where the height of buildings is restricted to two and one-half (2½) or three (3) stories, cooling towers, roof gables, chimneys and vent stacks may extend for an additional height not to exceed 40-feet above the average grade line of the building. Water stand pipes and tanks, church steeples, domes and spires and school buildings and institutional buildings may be erected to exceed three (3) stories in height, provided that one (1) additional foot shall be added to the width and depth of front, side and rear yards for each foot that such structures exceed three (3} stories.

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(G) *TRACT O*. (*The Shores, Phase 2*)

(1) *Concept Plan*. All development of *Tract O* shall conform with the *Concept Plan* depicted in *Figure 5*.

FIGURE 5. CONCEPT PLAN FOR TRACT O



(2) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract O -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) *Density and Development Standards*. The development of *Tract O -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract O* shall conform to the standards depicted in *Table 7*, which are as follows:

TABLE 7: LOT DIMENSIONAL REQUIREMENTS

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Exhibit 'D':
Density and Development Standards

Lot Type (see Concept Plan) ►	**O**
MINIMUM LOT AREA [1]	9,000 SF
SINGLE-FAMILY DWELLING UNIT PER LOT	1
MINIMUM FLOOR AREA PER DWELLING UNIT	2,000 SF
MINIMUM LOT FRONTAGE [1] & [2]	75'
MINIMUM LOT DEPTH	120'
MINIMUM FRONT YARD SETBACK [1]	25'
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK	6'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET [1]	15'
MINIMUM BUILDING SEPERATION	10'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM BUILDING HEIGHT	*2½ STORIES*
MINIMUM OFF-STREET PARKING (SPACES/UNIT) [3]	2
MINIMUM GARAGE SPACE (VEHICLES SPACES)	2

GENERAL NOTES:
[1]: (*OR*) As depicted on the approved subdivision plat that was filed with Rockwall County on February 22, 1991.
[2]: Lot frontage shall be measured on a public street.
[3]: Excluding the required garage spaces.

DRAFT ORDINANCE 08.29.2023

(H) *TRACT P*. (*The Shores, Phase 3*)

(1) *Concept Plan*. All development of *Tract P* shall conform with the *Concept Plan* depicted in *Figure 6*.

FIGURE 6. CONCEPT PLAN FOR TRACT P



(2) *Permitted Land Uses*. Unless specifically provided by this Planned Development District ordinance, *Tract P -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the land uses permitted within the Single-Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(3) *Density and Development Standards*. The development of *Tract P -- as depicted in Exhibit 'C' of this ordinance* -- shall be subject to the density and dimensional standards stipulated for properties in a Single-Family 10 (SF-10) District as required by Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, all lots in *Tract P* shall conform to the standards depicted in *Table 8*, which are as follows:

TABLE 8: LOT DIMENSIONAL REQUIREMENTS

DRAFT
09/05/2023

Exhibit 'D':
Density and Development Standards

Lot Type (see Concept Plan) ►	**P**
MINIMUM LOT AREA [1]	8,400 SF
SINGLE-FAMILY DWELLING UNIT PER LOT	1
MINIMUM FLOOR AREA PER DWELLING UNIT	2,000 SF
MINIMUM LOT FRONTAGE [1] & [2]	75'
MINIMUM LOT DEPTH	120'
MINIMUM FRONT YARD SETBACK [1]	25'
MINIMUM REAR YARD SETBACK	10'
MINIMUM SIDE YARD SETBACK	6'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET [1]	15'
MINIMUM BUILDING SEPERATION	10'
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM BUILDING HEIGHT	*2½ STORIES*
MINIMUM OFF-STREET PARKING (SPACES/UNIT) [3]	2
MINIMUM GARAGE SPACE (VEHICLES SPACES)	2

GENERAL NOTES:
[1]: (*OR*) As depicted on the approved subdivision plat that was filed with Rockwall County on February 22, 1991.
[2]: Lot frontage shall be measured on a public street.
[3]: Excluding the required garage spaces.

DRAFT ORDINANCE 08.29.2023

CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Ryan Miller, *Director of Planning and Zoning*
DATE:	August 29, 2023
SUBJECT:	Z2023-039; *Amendment to Subsection 06.16, Lake Ray Hubbard Takeline Overlay (TL OV) District, of Article 05, District Development Standards, of the UDC to Allow Homeowner's Associations (HOA's) the Ability to Lease the Lake Ray Hubbard Takeline*

On August 7, 2023, the City Council directed staff to amend Subsection 06.16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) to add language that would allow certain Homeowner's Associations (HOA's) the ability to lease non-leasable areas adjacent to their jurisdictional boundaries. The purpose of this proposal is to allow certain Homeowner's Associations (HOA's) the ability to make improvements in the takeline area in exchange for the necessary erosion control improvements needed to prevent or fix erosion on non-leasable areas without subjugating the City to the maintenance of these structures moving forward. In researching this amendment, staff identified four (4) Homeowner's Associations (HOA's) that could be eligible to lease areas of the takeline that are currently unleasable. These include: [*1*] the Chandler's Landing Subdivision (*i.e. adjacent to Blocks B & C, Chandler's Landing, Phase 17*), [*2*] the Signal Ridge Subdivision (*i.e. adjacent to Signal Ridge, Phase 4*), [*3*] the Water's Edge Subdivision at Lake Ray Hubbard (*aka Villas De Portofino*), and [*4*] the Lakeside Village Subdivision. If approved, the amendment prepared by staff -- *contained in the attached packet* -- would create the following requirements for the lease of the takeline for these Homeowner's Associations (HOA's):

(1) A site plan would be required to be approved by the Planning and Zoning Commission that will be incorporated into the *Sublease Agreement*. This site plan will show all proposed improvements within the leased takeline area -- *which are required to be located within Activity Areas* -- and the required seawalls necessary to make these improvements.
(2) All *Activity Areas* are permitted to be a maximum of 50-feet by 50-feet in size and be spaced a minimum of 200-feet apart.
(3) Seawalls are required to be installed a minimum of 100-feet on either side of an *Activity Area*.
(4) *Fixed Piers* and *Dock Decks* are required to be spaced a minimum of 200-feet apart along the leased area.
(5) *Boathouses* are prohibited to be constructed in the takeline in these leased areas.
(6) The Homeowner's Association (HOA) would be required to assume the responsibility for any existing improvements in the leased area.
(7) Fees for a new lease, annual renewal of a lease, and reinstatement of an expired lease are the same as the fees established for a standard takeline sublease agreement.

In addition to the proposed amendment, staff has included an updated *Sublease Agreement* that allows Homeowner's Associations (HOA's) to sublease the takeline area. Staff should note that the City Attorney has reviewed the proposed text amendment and *Sublease Agreement*, and has provided staff with comments that have been incorporated into these documents. In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)* -- staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. The schedule for this text amendment is as follows:

Planning and Zoning Commission Work Session: August 29, 2023
Planning and Zoning Commission Public Hearing: September 12, 2023
City Council Public Hearing/First Reading: September 18, 2023
City Council Second Reading: October 2, 2023

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section

02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on *August 29, 2023*.

CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Mayor and City Council
CC:	Mary Smith, *City Manager* Joey Boyd, *Assistant City Manager*
FROM:	Ryan Miller, *Director of Planning and Zoning*
DATE:	August 7, 2023
SUBJECT:	*Text Amendment to Article 05, District Development Standards, of the UDC to Allow Homeowner's Associations (HOA's) the Ability to Lease the Lake Ray Hubbard Takeline*

On January 4, 2020, the City Council adopted changes to the *Lake Ray Hubbard Takeline Overlay (TL OV) District* [*Case No. Z2020-041*] for the purpose of [*1*] providing clearer requirements with regard to the land uses, building materials, and construction standards permitted within the takeline, [*2*] providing a process that incentivizes property owners to construct erosion control measures (*i.e. seawalls*) by allowing additional land uses when such measures are provided, and [*3*] providing for a process to try and facilitate more property owners to pursue takeline leases. Prior to the adoption of these changes, staff met with several citizens who owned property that backed up to areas of the takeline that were *not* leasable. These citizens were interested in creating a process that would allow Homeowner's Associations (HOA's) the ability to lease these areas of the takeline; however, this was ultimately not pursued in the changes that were brought forward to the City Council in January 2020. More recently, several residents of the Lakeside Village Subdivision have met with staff to express concern about erosion that is occurring along the banks of the takeline adjacent to this subdivision. Specifically, these residents were inquiring about constructing seawalls to correct the erosion issues. The problem that City staff encounter in considering this, is tied to the issue of allowing private property owners to make improvements on public land, and the fact that these improvements -- *after construction* -- would become the City's responsibility to maintain (*i.e. since these areas of the takeline were not leasable there is no way to tie the improvements in the takeline to the private property owner's property after construction*). To facilitate a solution to this issue, staff is proposing to amend the *Lake Ray Hubbard Takeline Overlay (TL OV) District* to allow Homeowner's Associations (HOA's) the ability to lease non-leasable areas adjacent to their jurisdictional boundaries. This would allow these property owners the ability to work with the Homeowner's Associations (HOA's) to make the necessary erosion control improvements without subjugating the City to the maintenance of these structures moving forward.

In researching this proposal, staff identified four (4) Homeowner's Associations (HOA's) that could be eligible to lease areas of the takeline that are currently unleasable. These include: [*1*] the Chandler's Landing Subdivision (*i.e. adjacent to Blocks B & C, Chandler's Landing, Phase 17*), [*2*] the Signal Ridge Subdivision (*i.e. adjacent to Signal Ridge, Phase 4*), [*3*] the Water's Edge Subdivision at Lake Ray Hubbard (*aka Villas De Portofino*), and [*4*] the Lakeside Village Subdivision. If approved, the amendment prepared by staff -- *contained in the attached packet* -- would create the following requirements for the lease of the takeline for these Homeowner's Associations (HOA's):

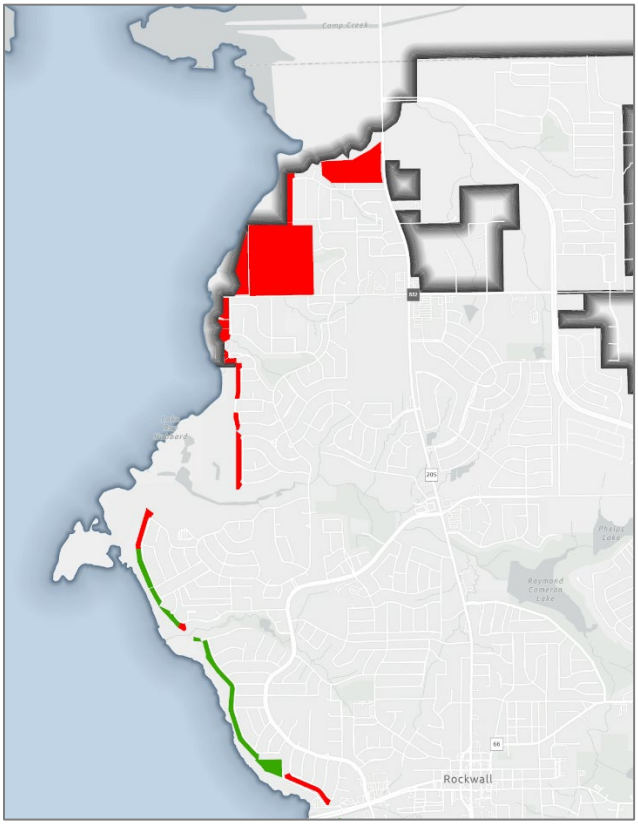
(1) A site plan would be required to be approved by the Planning and Zoning Commission that will be incorporated into the *Sublease Agreement*. This site plan will show all proposed improvements within the leased takeline area -- *which are required to be located within Activity Areas* -- and the required seawalls necessary to make these improvements.
(2) All *Activity Areas* are permitted to be a maximum of 50-feet by 50-feet in size and be spaced a minimum of 200-feet apart.
(3) Seawalls are required to be installed a minimum of 100-feet on either side of an *Activity Area*.
(4) *Fixed Piers* and *Dock Decks* are required to be spaced a minimum of 200-feet apart along the leased area.
(5) *Boathouses* are prohibited to be constructed in the takeline in these leased areas.
(6) The Homeowner's Association (HOA) would be required to assume the responsibility for any existing improvements in the leased area.
(7) Fees for a new lease, annual renewal of a lease, and reinstatement of an expired lease are the same as the fees established for a standard takeline sublease agreement.

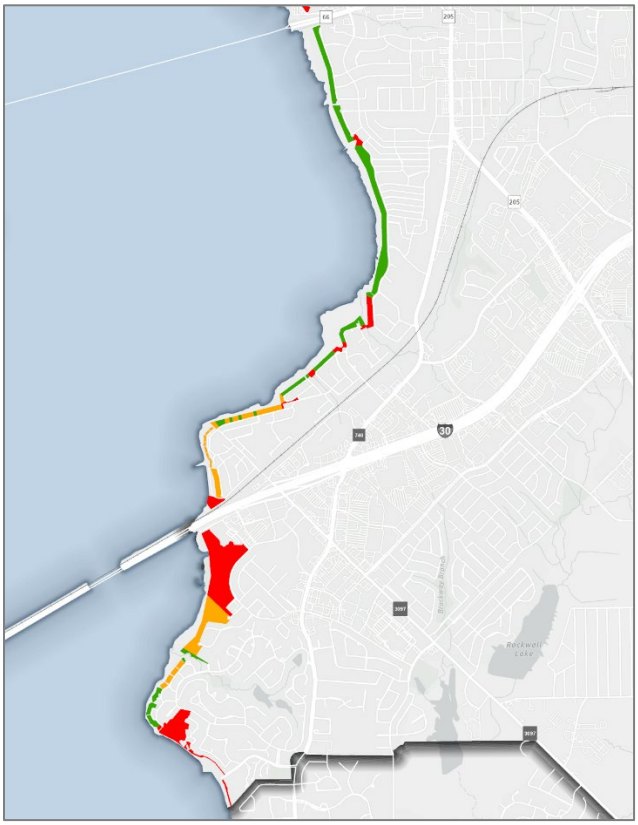
In addition to the proposed amendment, staff has included an updated *Sublease Agreement* that allows Homeowner's Associations (HOA's) to sublease the takeline area. Staff should note that the City Attorney has reviewed the proposed text amendment and *Sublease Agreement*, and has provided staff with comments that have been incorporated into these documents. Should the City Council choose to direct staff to proceed with this text amendment, the proposed amendment would be subject to the following schedule:

Planning and Zoning Commission Work Session: August 29, 2023
Planning and Zoning Commission Public Hearing: September 12, 2023
City Council Public Hearing/First Reading: September 18, 2023
City Council Second Reading: October 2, 2023

Should the City Council have any questions concerning the proposed text amendment, staff will be available at the meeting on *August 7, 2023*.

FIGURE 32: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP





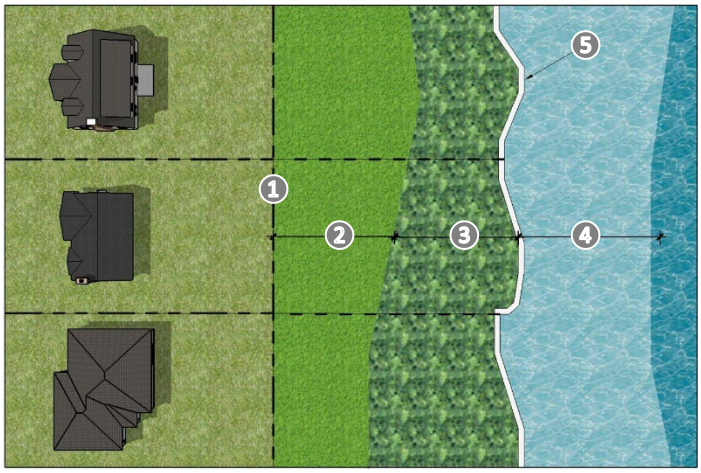
RED: NON-LEASEABLE PROPERTY
GREEN: LEASABLE PROPERTY
ORANGE: HOA LEASABLE AREA

SUBSECTION 06.16: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

(A) *Purpose*. The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended to serve as an implementation tool for the Lake Ray Hubbard Master Plan (*adopted by the City of Dallas*), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (*i.e. Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality.

(B) *Boundaries*. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas *Takeline* as shown on the boundary map for Lake Ray Hubbard (*i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure ~~26~~32, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-feet sea level elevation. In addition, *Figure ~~27~~33: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 33: ELEVATION CONTOUR ZONES



❶: REAR PROPERTY LINE/TAKE LINE; ❷: 438.0 ELEVATION ZONE; ❸: 435.5 ELEVATION ZONE; ❹: 425.5 ELEVATION ZONE; ❺: SEAWALL;

(C) *Applicability*.

(1) *Applicable Lots*. The standards set forth within Subsection 06.~~15~~16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac or Homeowner's Association (HOA) that are eligible to lease. The properties and Homeowner's Associations (HOA's) that are eligible to lease the takeline area are depicted in *Figure*

~~26~~32: *Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.

(2) *Exceptions for Lots Not Meeting the Applicability Standards*. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(C)(1) above.

(D) *Definitions*. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (~~J~~K), *Specifications for Permitted Land Uses*. In addition, the following terms shall be defined as follows:

(1) *Catwalk*. The narrow walkway of a dock providing people access to moored watercraft.

(2) *Centerline*. An established line that is equidistant from the surface or sides of something (*e.g. parcel boundaries*).

(3) *Cleat*. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

(4) *Dredging*. The process of deepening a waterway for the sale and efficient movement of watercraft by the removal of dirt either by digging or by suction.

(5) *Habitable Structure*. A structure fit for human habitation usually containing amenities (*e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall *not* be habitable structures and may not contain such amenities.

(6) *Lake*. Refers to Lake Ray Hubbard.

(7) *Lake Area*. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (*i.e. property at or below an elevation of 435.5-feet mean sea level*).

(8) *Leased Area*. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.

(9) *Lift*. A temporary means of elevating a watercraft out of the water by use of a hoist.

(10) *Locker Box*. A secured chest fixed onto a dock used for storage of watercraft equipment.

(11) *Moor*. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.

(12) *Mooring*. A place where a watercraft can be tied up and secured while in the water (*e.g. a slip*) for not more than 156-consecutive hours.

(13) *Power Source Station*. Used as a power supply for lighting a dock just below watercraft level.

(14) *Shoreline*. Refers to the line along the shore of the lake, established by the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(15) *Slip*. A watercraft's berth between two (2) piers or between finger piers.

(16) *Take or Takeline Area*. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(17) *Treated Wood*. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.

(18) *View Clear Zone*. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.

(19) *View Corridor*. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (*see Figure 28: Visual Measurements for View Corridors of Subsection (E)*).

(20) *View Preservation Angle*. The angle determined as the line extending from the center point -- *or 30-foot point depending on lot size* -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (*see Figure 28: Visual Measurements for View Corridors*).

(21) *Watercraft (or Boat)*. A craft for water transport. Examples of watercrafts are as follows:

(a) *Motorized Boat*. A boat propelled by an internal combustion engine.

(b) *Sail Boat*. A boat with a mast and sail propelled by the wind.

(E) *Visual Measurements for View Corridors*.

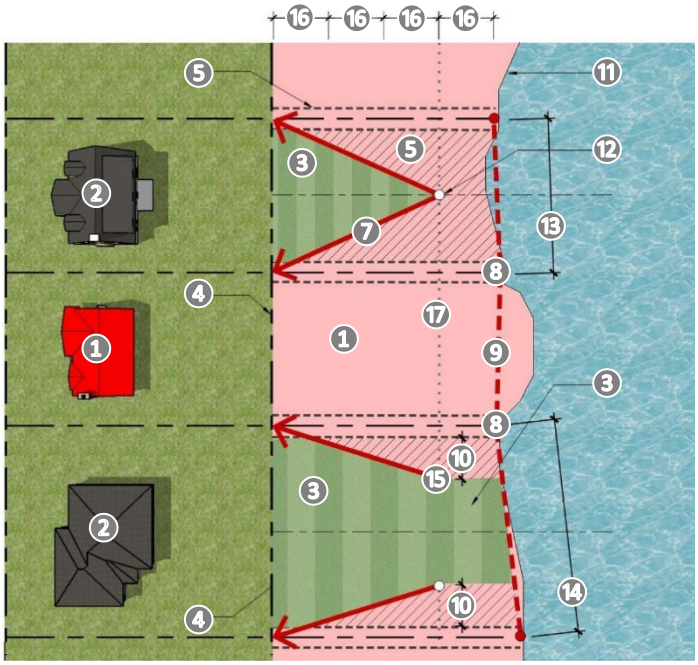
(1) *View Corridors*. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e. 435.5-feet mean sea level*), and connecting these two (2) points in a straight line (*see Figure ~~28~~34: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:

(a) *Lots That Have Less Than 100-Feet of Shoreline Frontage*. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) center point from the shoreline frontage line

along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

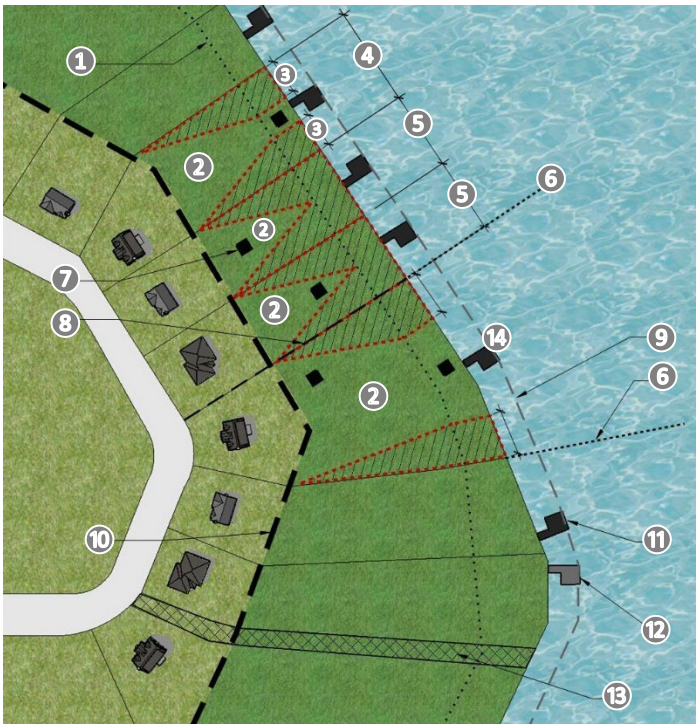
(b) *Lots That Have More 100-Feet or More Shoreline Frontage*. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

FIGURE 34: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



❶: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (*PINK AREA*); ❷: NEIGHBORING PROPERTY; ❸: NEIGHBORING PROPERTY'S BUILDABLE AREA (*GREEN LINED AREA*); ❹: REAR PROPERTY LINE/TAKELINE; ❺: VIEW CLEAR ZONE (*LINED AREA*); ❻: LEASE AREA SIDE YARD SETBACK; ❼: VIEW PRESERVATION ANGLE; ❽: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; ❾: SHORELINE FRONTAGE LINE (*ESTABLISHED BY CONNECTING THE TWO [2] ❽ POINTS IN A STRAIGHT LINE*); ❿: 30-FOOT ; ⓫: SHORELINE; ⓬: CENTER POINT AT THE QUARTER DISTANCE LINE; ⓭: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⓮: A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; ⓯: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⓰: 25% OF THE TAKELINE AREA; ⓱: QUARTER DISTANCE LINE.

FIGURE 35 EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



❶: QUARTER DISTANCE LINE; ❷: BUILDABLE AREA; ❸: 30-FEET; ❹: A LOT WITH A SHORELINE FRONTAGE LINE 100-FEET OR MORE; ❺: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FEET; ❻: LEASE AREA'S PROJECTED SIDE YARD; ❼: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; ❽: LEASE AREA'S SIDE YARD; ❾: 40-FOOT BUILDING LINE; ❿: REAR PROPERTY LINE/TAKELINE ; ⓫: EXISTING BOATHOUSE; ⓬: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; ⓭: DRAINAGE EASEMENT; ⓮: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) *General Requirements*. The following general requirements shall apply for all property in the takeline area.

(1) *Number of Permitted Structures*. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (~~J~~K), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

(a) *438.0 Elevation Zone*: Two (2) structures shall be permitted in the *438.0 Elevation Zone*.

(b) *435.5 Elevation Zone*. One (1) structure shall be permitted in the *435.5 Elevation Zone*.

(2) *General Location of Permitted Structures*. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (~~J~~K), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

(a) *438.0 Elevation Zone*: Structures in the *438.0 Elevation Zone* should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (~~J~~K), *Specifications for Permitted Land Uses*.

(b) *435.5 Elevation Zone*: Structures in the *435.5 Elevation Zone* should be generally centered in the lease area -- *equal distance from both leased side yard boundary lines* -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (~~J~~K), *Specifications for Permitted Land Uses*.

(c) *425.5 Elevation Zone*: Structures located in the *425.5 Elevation Zone* should be generally centered along the shoreline -- *equal distance from both the leased side yard boundary lines* -- behind the primary structure of the leasing property.

(d) *Administrative Exception for the 435.5 & 425.5 Elevation Zone*. In cases where it is [*1*] not feasible to construct a structure in the center of the lease area or along the shoreline, [*2*] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [*3*] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.

(3) *Building Materials*. The permitted building materials shall be as stipulated in Subsection (~~J~~K), *Specifications for Permitted Land Uses*, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (*e.g. sand, fill, pea gravel*) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.

(4) *Trees*. In order to plant or remove a tree in the takeline area, a *Treescape Plan* showing the exact location, size (*i.e. trunk diameter and height*), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:

(a) *Planting Trees*. Trees are permitted to be planted within the *438.0 Elevation Zone* pending they are [*1*] not a variety specifically listed in the prohibited tree list contained in Section 03, *Tree Planting Guidelines and Requirements*, of Appendix C, *Landscaping Guidelines and Requirements*, and [*2*] they are not located within the view clear zone outlined Subsection (E), *Visual Measurements*. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.

(b) *Removing Trees*. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.

(5) *Temporary Structures on Lease Property in the Takeline Area*. Temporary structures (*e.g. portable residential barbecue grills and ranges, trampolines, etc.*) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(~~J~~K)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses* of the Municipal Code of Ordinances.

(G) *Residential Sublease Agreement*. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. The area to be leased by a single-family property owner shall be directly contiguous to the boundaries of the property and are only permitted in the areas depicted in *GREEN* on Figure 32, *Lake Ray Hubbard Takeline (TL OV) District Map*. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of Section 01, *Penalties*, of Article 12, *Enforcement*, of the Unified Development Code (UDC). The following shall be the costs associated with a *Residential Sublease Agreement*:

Lease	Fees
New Lease (*i.e. New Never Leased by Current Owner*) [2]	$200.00
Annual Renewal of a Lease	$100.00
Change of Ownership of a Valid Lease	$50.00
Reinstatement of an Expired Lease (*i.e. Same Property Owner*) [3]	$500.00

NOTES:

[1]: To be subject to these new fees, a lease entered into after *January 1, 2021* will be required (*i.e. the effective date of the amendment adopting these fees*).

[2]: A lease is considered to be new under the following circumstances: [*1*] the property has never had a valid lease agreement, or [*2*] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.

[3]: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

(H) *Homeowner's Association (HOA) Sublease Agreement*. A *Homeowner's Association (HOA) Sublease Agreement* is an agreement between a Homeowner's Association (HOA) and the City of Rockwall that grants the HOA certain rights to the exclusive use of the takeline area for their members. The area to be leased by the Homeowner's Association (HOA) shall be directly contiguous to the boundaries of the HOA and are only permitted in the areas depicted in *ORANGE* on Figure 32, *Lake Ray Hubbard Takeline [TL OV] District Map*. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Homeowner's Association (HOA) Sublease Agreement.* A Homeowner's Association (HOA) in violation of this section shall be subject to the requirements of Section 01, *Penalties*, of Article 12, *Enforcement*, of the Unified Development Code (UDC). The requirements for a *Homeowner's Association (HOA) Sublease Agreement* are as follows:

(1) *Site Plan*. Prior to the execution of a *Homeowner's Association (HOA) Sublease Agreement*, the Homeowner's Association (HOA) shall submit a *Site Plan* to the Director of Planning and Zoning in accordance with the procedures outlined in Subsection 01.02, *Submission of an Application*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). The *Site Plan* shall show all of the *Activity Areas* [*see Subsection (H)(2) below*], the proposed improvements for these areas, the required seawalls, fixed piers and/or dock decks, private walkways, and any landscaping for the leased area. The Planning and Zoning Commission shall review the *Site Plan* in accordance with the procedures contained in Section 03, *Site Plans*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon approval of a *Site Plan*, the approved *Site Plan* shall be incorporated into the *Homeowner's Association (HOA) Sublease Agreement*. Should the Homeowner's Association (HOA) choose to amend the *Site Plan*, the *Site Plan* shall be amended in accordance with the procedures of Subsection 03.06, *Amended Site Plan*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon approval of an amendment to the *Site Plan*, a new *Homeowner's Association (HOA) Sublease Agreement* shall be drafted containing the *Amended Site Plan* and superseding the original *Homeowner's Association (HOA) Sublease Agreement*.

(2) *Activity Areas*. In lieu of the requirements of Subsections (F)(1), *Number of Permitted Structures*, and (F)(2), *General Location of Permitted Structures*, -- *and as part of the required Site Plan outlined in Subsection (H)(1) above* -- the Homeowner's Association (HOA) shall identify *Activity Areas* where improvements can/will be made within the leased area. Improvements outside of the *Activity Areas* -- *with the exception of landscaping and private walkways* -- shall be prohibited for the purpose of preserving the view corridors of the existing residential properties. The *Activity Areas* shall generally adhere to the following requirements:

(a) *Size*. *Activity Areas* should not be larger than 50-feet by 50-feet, unless otherwise approved by the Planning and Zoning Commission. In reviewing the *Activity Areas,* the Planning and Zoning Commission shall consider how the proposed size affects the view corridors of the adjacent residential properties.

(b) *Location*. *Activity Areas* shall be spaced so that they are a minimum of 200-feet apart, and be setback a minimum of 25-feet from the rear or side yard property line of any residential property. In addition, the *Activity Areas* shall be located in a manner that will create the least amount of impact to the adjacent property owners and their view corridors.

(c) *Seawalls*. Prior to the construction of an *Activity Area*, a seawall, conforming to Subsection (K), *Specifications for Permitted Land Uses*, and extending 100-feet on either side of the *Activity Area*, shall be required to be constructed.

(3) *Fixed Piers and Dock Decks*. Fixed piers and dock decks, conforming to Subsection (K), *Specifications for Permitted Land Uses* and spaced a minimum of 200-feet apart, are permitted along the leased area; however, a seawall, conforming to Subsection (K), *Specifications for Permitted Land Uses* and extending 100-feet on either side of the fixed pier or dock deck, shall be required with the proposed improvements.

(4) *Prohibited Land Uses*. Boathouses, as defined in Subsection (K), *Specifications for Permitted Land Uses*, shall be prohibited in the leased area associated with any *Homeowner's Association (HOA) Sublease Agreement*; however, in the event a boathouse existed in the leased area prior to the execution of the *Homeowner's Association (HOA) Sublease Agreement*, the HOA shall assume responsibility for the existing improvement in accordance with Subsection (H)(5) below.

(5) *Existing Improvements*. As part of the *Homeowner's Association (HOA) Sublease Agreement*, the HOA shall be required to assume responsibility for any existing improvements and the maintenance of these improvements in the leased area.

(6) *Fees*. The following shall be the costs associated with a *Homeowner's Association (HOA) Sublease Agreement*:

Lease	Fees
New Lease (*i.e. New Never Leased by HOA*) [1]	$200.00
Annual Renewal of a Lease	$100.00
Reinstatement of an Expired Lease (*i.e. Same HOA*) [2]	$500.00

NOTES:

[1]: A lease is considered to be new if the property has never had a valid lease agreement or if a site plan has been amended in accordance with the procedures of Subsection (H)(1).

[2]: A lease is considered to be a reinstatement when it lapses or expires, and then the Homeowner's Association (HOA) requests a new lease.

~~(H)~~(I) *Permitted Uses*. All of the uses permitted within the *Lake Ray Hubbard Takline Overlay (TL OV) District* shall adhere to all other

applicable codes and the permitting requirements of the City of Rockwall. For a list of permitted land uses see Subsection (~~I~~L), *Specifications for Permitted Land Uses*, or Subsection 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*.

~~(I)~~(J) *Specific Use Permits (SUPs)*. A Specific Use Permit (SUP) may be requested for: [*1*] any use that is not listed in Subsection (~~J~~K), *Specifications for Permitted Land Uses* or [*2*] any structure that does not adhere to the requirements stipulated for that use or structure as required by Subsection (~~J~~K), *Specifications for Permitted Land Uses*; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (~~J~~K), *Specifications for Permitted Land Uses*, or Subsection (F), *General Requirements*, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), *Visual Measurements*. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (~~J~~K), *Specifications for Permitted Land Uses*, (*e.g. jet ski lift*) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [*1*] impacts adjacent properties, and [*2*] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

~~(J)~~(K) *Specifications for Permitted Land Uses*. See Subsection 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, for a summary of the development standards for each of the following conditional uses.

(1) *Barbecue Pit*.

(a) *Definition*. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (*for Fire Pit see Subsection 06.15(~~J~~K)(9)*).

(b) *Prerequisites*. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *barbecue pit* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).

(e) *Construction Standards*.

(1) *Building Materials*. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.

(2) *Height*. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.

(3) *Size*. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.

(f) *Setback Requirements*. A *barbecue pit* must adhere to the following setbacks:

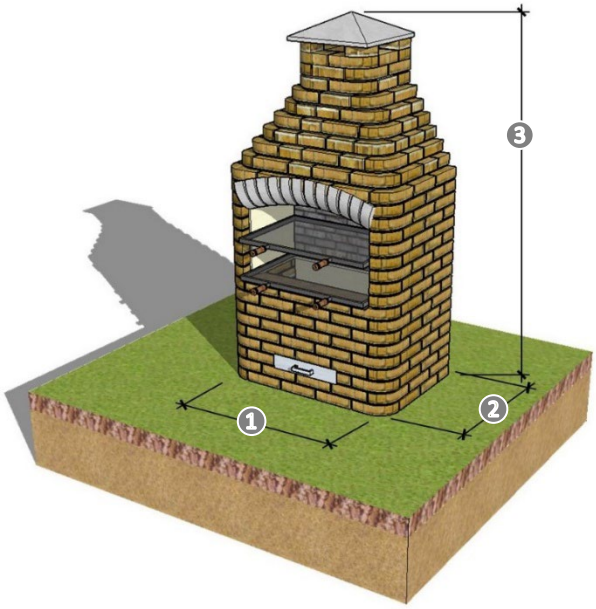
(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *barbecue pit* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.



❶: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH; ❷: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH; ❸: A MAXIMUM OF SIX (6) FEET;

(2) *Boathouse*.

(a) *Definition*. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.

(b) *Prerequisites*. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.

(c) *Conditional Use Standards*. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store

sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) *Elevation Zone*. A *boathouse* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

(e) *Construction Standards*.

(1) *Building Materials*. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials*) -- *products equivalent to Trex brand are preferred* -- for decking, galvanized metal/iron/steel or aluminum (*with a minimum color rating of AAMA 2604*) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellant sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.

(2) *Height*. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.

(3) *Size*. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).

(4) *Roof*. A *boathouse* will have a hip roof with either: [*1*] one (1) cupola with a hip roof centered at the top of the main hip roof, or [*2*] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.

(5) *Lighting*. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.

(6) *Additional Construction Standards*.

(a) *Deck Ladder*. A deck ladder is permitted to be constructed inside a *boathouse*.

(b) *Storage Unit*. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.

(c) *Boat or Watercraft Lift(s)*. A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.

(d) *Pilings*. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(e) *Catwalks*. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(f) *Safety Reflectors*. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(7) *Location*. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a boathouse should generally be located in line with the primary structure on the leasing property (*i.e. generally centered on the lot*). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.

(f) *Setback Requirements*. A *boathouse* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-feet
(2) *Leased Side Yard Setback*: 10-feet
(3) *Maximum Distance from Seawall*: 40-feet

(g) *Additional Requirements*.

(1) *Dredging*. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

(2) *Compliance with Applicable Codes*. A *boathouse* must comply with all other applicable City of Rockwall codes.

(3) *Address*. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

(4) *Easement Protection*. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) *Visual Representation*.

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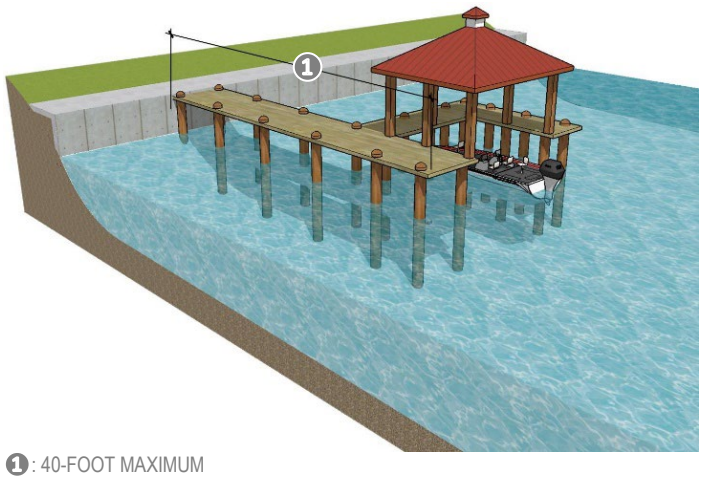
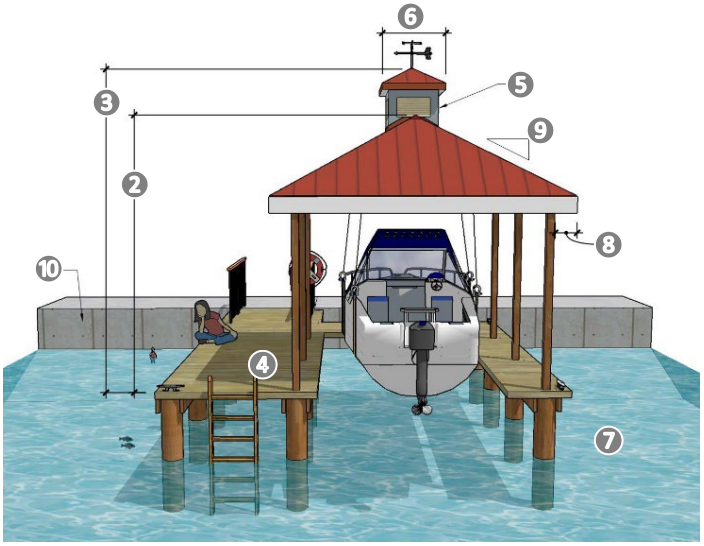


❶: 40-FOOT MAXIMUM



❶: 40-FOOT MAXIMUM; ❷: 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; ❸: 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; ❹: CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); ❺: CUPOLA; ❻: THREE (3) FEET BY FOUR (4) FEET; ❼: 435.5-FOOT NORMAL POOL ELEVATION; ❽: 1.5-FOOT MAXIMUM OVERHANG; ❾: 2:1 ROOF PITCH (HIP ROOF ONLY); ❿: SEAWALL

(3) *Covered Patio*.

(a) *Definition*. A *covered patio* is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.

(b) *Prerequisites*. A *covered patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *covered patio* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *covered patio* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) *Construction Standards*.

(1) *Building Materials*. A *covered patio* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

(2) *Height*. A *covered patio* shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.

(3) *Size*. A *covered patio* shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

(4) *Roof*. A *covered patio* will have a hip or gable roof with either: [*1*] one (1) cupola with a hip roof centered at the top of the main hip roof, or [*2*] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All *covered patios* should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.

(5) *Location*. A *covered patio* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Covered patios* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *covered patio* must adhere to the following setbacks:

(1) *Takeline Setback*: 6-Feet (*from the Concrete Cap of the Seawall*)
(2) *Leased Side Yard Setback*: 20-Feet

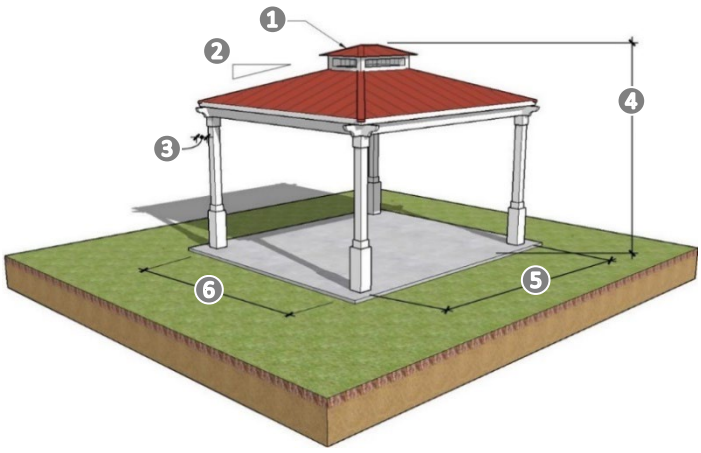
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *covered patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *covered patio* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *covered patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: CUPOLA OR CLERESTORY; ❷: 4:1 MINIMUM ROOF PITCH; ❸: 18-INCHES MAXIMUM OVERHANG; ❹: 15-FEET MAXIMUM HEIGHT; ❺: 20-FEET MAXIMUM; ❻: 12-FEET MAXIMUM;

(4) *Deck*.

(a) *Definition*. A *deck* is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.

(b) *Prerequisites*. A *deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *deck* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted (*see Dock Deck in Subsection 06.15(~~JK~~)(5)*).

(d) *Conditional Use Standards*. A *deck* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) *Construction Standards*.

(1) *Building Materials*. A *deck* must be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Handrails incorporated into a *deck* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are *not* permitted in the *435.5 Elevation Zone*.

(2) *Height*. A *deck* shall not exceed a maximum height of 24-inches above grade.

(3) *Size*. A *deck* shall not exceed a maximum area of 1,000 SF.

(4) *Location*. A *deck* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Decks* shall not be placed in the view clear zone of a neighbor's view corridor.

(5) *Foundation*. A *deck* shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed *deck*.

(f) *Setback Requirements*. A *deck* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

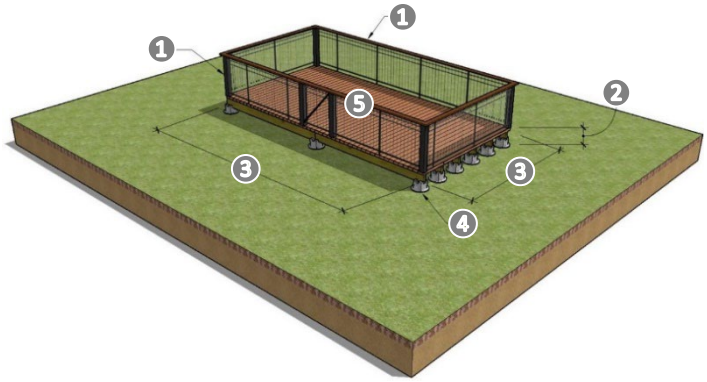
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *deck* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: WROUGHT IRON OR DECORATIVE METAL; ❷: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; ❸: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; ❹: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; ❺: COMPOSITE DECKING MATERIALS.

(5) *Dock Deck*.

(a) *Definition*. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.

(b) *Prerequisites*. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.

(c) *Elevation Zone*. A *dock deck* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

(d) *Conditional Use Standards*. Items that can be securely attached to the edge of a *dock deck* include the following: [*1*] a personal watercraft swing lift, [*2*] benches, [*3*] dock deck lighting that is either embedded in or on a pole, [*4*] locker box, and/or [*5*] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more that 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(e) *Construction Standards*.

(1) *Building Materials*. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a dock deck shall be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall *not* be used.

(2) *Height*. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.

(3) *Size*. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (*i.e. 80 SF*) and a maximum of 12-feet by 30-feet (*i.e. 360 SF*). *Dock*

decks shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).

(4) *Lighting*. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.

(5) *Additional Construction Standards*.

(a) *Pilings*. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(b) *Catwalks*. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(c) *Safety Reflectors*. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) *Location*. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.

(f) *Setback Requirements*. A *dock deck* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-feet
(2) *Leased Side Yard Setback*: 10-feet
(3) *Maximum Distance from Seawall*: 40-feet

(g) *Additional Requirements*.

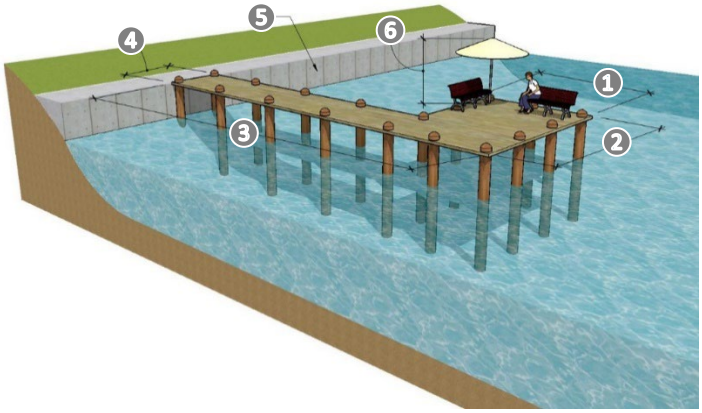
(1) *Dredging*. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

(2) *Compliance with Applicable Codes*. A *dock deck* must comply with all other applicable City of Rockwall codes.

(3) *Address*. All *dock decks* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

(4) *Easement Protection*. No *dock deck* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) *Visual Representation*.



❶: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; ❷: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; ❸: 40-FOOT MAXIMUM; ❹: SIX (6) FOOT MAXIMUM; ❺: SEAWALL; ❻: EIGHT (8) FOOT MAXIMUM;

(6) *Fence*.

(a) *Definition*. A *fence* is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.

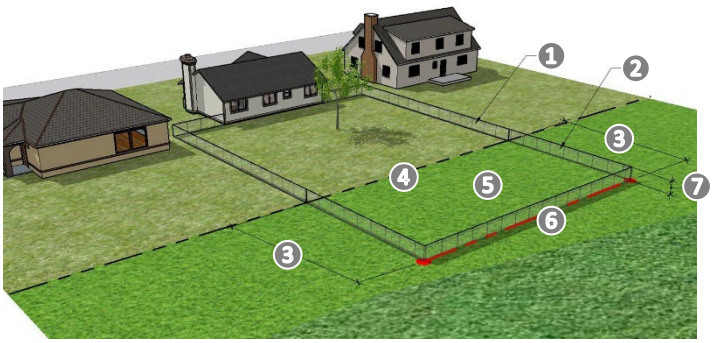
(b) *Prerequisites*. A *fence* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *fence* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *fence* shall only be allowed to enclose an area beginning at the *Takeline* corners (*i.e. the rear property line corners of the property leasing the*

take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (*see example below*).



❶: EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; ❷: WROUGHT IRON OR BLACK TUBLAR STEEL FENCE; ❸: MAXIMUM OF 45-FEET ALONG THE LEASE LINE OF THE TAKELINE; ❹: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; ❺: 438.0 ELEVATION ZONE; ❻: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; ❼: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) *Construction Standards*.

(1) *Building Materials*. A *fence* shall *only* be constructed of wrought iron or black tubular steel.

(2) *Height*. A *fence* shall not exceed a maximum height of 48-inches from grade.

(3) *Location*. A *fence* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *fence* must adhere to the following setbacks:

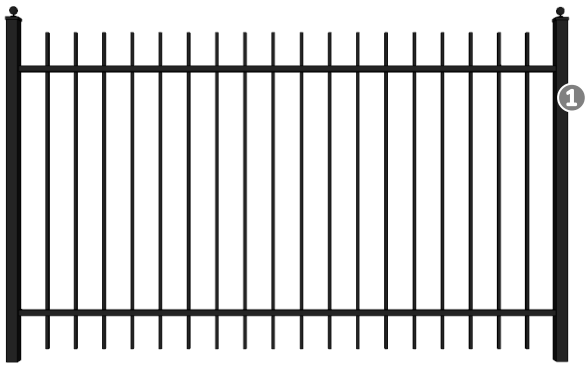
(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *fence* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *fence* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.



❶: FOUR (4) FOOT WROUGHT IRON FENCE

(7) *Flagpole*.

(a) *Definition*. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.

(b) *Prerequisites*. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *flagpole* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.

(e) *Construction Standards*.

(1) *Building Materials*. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.

(2) *Height*. A *flagpole* shall not exceed a maximum height of 20-feet from grade.

(3) *Size*. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.

(4) *Location*. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *flagpole* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

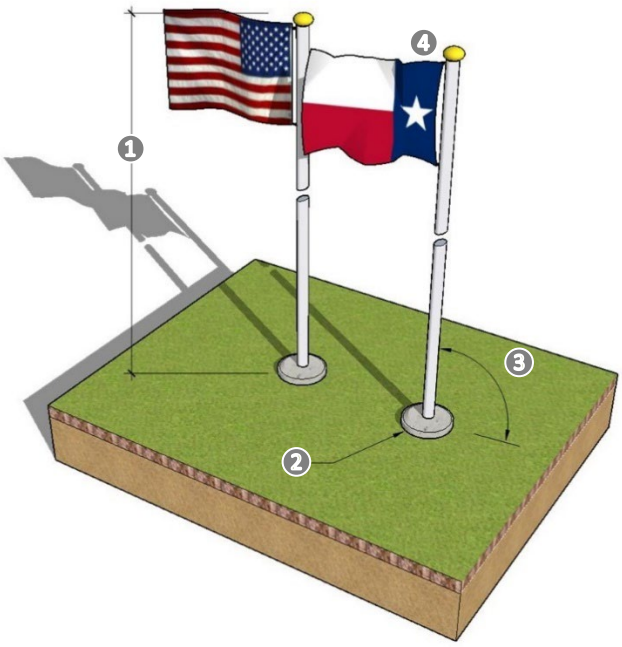
(1) *Earth Work*. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *flagpole* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *flagpole* shall not be located in an area where it would block public safety

personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: MAXIMUM OF 20-FEET FROM GRADE; ❷: AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCEHS AND A MAXIMUM OF EIGHT (8) INCHES; ❸: MAINTAINED TO BE 90-DEGREES FROM GRADE; ❹: FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) *Fixed Pier*.

(a) *Definition*. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.

(b) *Prerequisites*. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *fixed pier* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

(d) *Conditional Use Standards*. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (*see Subsection 06.15(~~JK~~)(8)(h)*). Items that can be securely attached to the edge of a *dock deck* include the following: [*1*] a personal watercraft swing lift, [*2*] benches, [*3*] cleats, [*4*] dock lighting, [*5*] locker box, and/or [*6*] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.

(e) *Construction Standards*.

(1) *Building Materials*. The catwalk and any benches built on these structures shall utilize only composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *fixed pier* shall be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.

(2) *Height*. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.

(3) *Size*. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).

(4) *Lighting*. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a

maximum height of eight (8) feet can be placed at the end of a *fixed pier*.

(5) *Additional Construction Standards*.

(a) *Pilings*. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(b) *Catwalks*. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-feet mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(c) *Safety Reflectors*. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) *Location*. View corridor restrictions do not apply to *fixed piers*.

(f) *Setback Requirements*. A *fixed pier* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-feet
(2) *Leased Side Yard Setback*: 10-feet
(3) *Maximum Distance from Seawall*: 40-feet

(g) *Additional Requirements*.

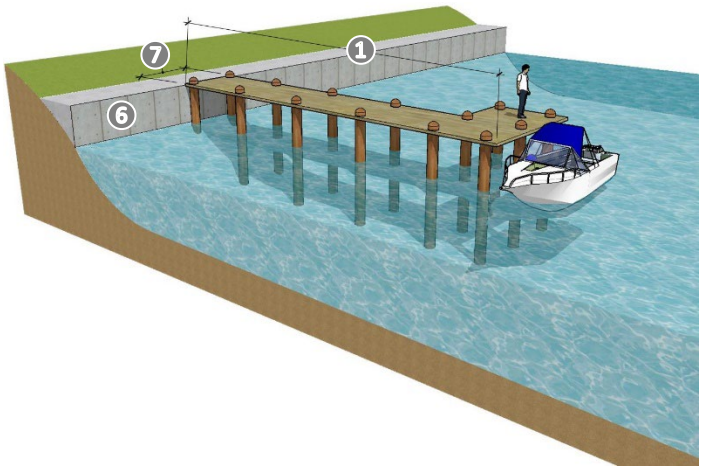
(1) *Dredging*. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

(2) *Compliance with Applicable Codes*. A *fixed pier* must comply with all other applicable City of Rockwall codes.

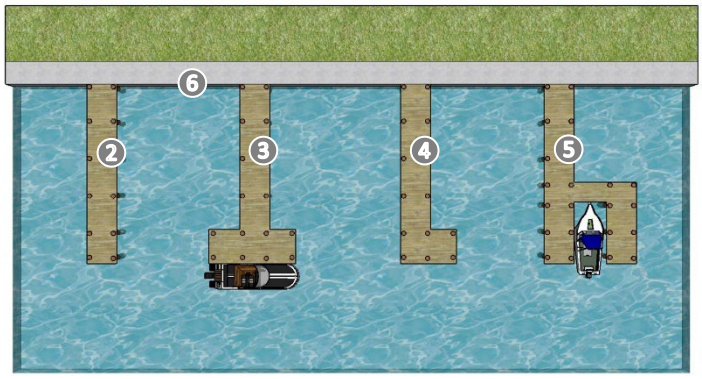
(3) *Address*. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

(4) *Easement Protection*. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) *Visual Representation*.



❶: 40-FOOT MAXIMUM; ❷: PIER IN AN 'I' SHAPE; ❸: PIER IN 'T' SHAPE; ❹: PIER IN A 'L' SHAPE; ❺: PIER IN A 'U' SHAPE; ❻: SEAWALL; ❼: SIX (6) FOOT MAXIMUM



(9) *Fire Pit*.

(a) *Definition*. A *fire pit* is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.

(b) *Prerequisites*. A *fire pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *fire pit* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *fire pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).

(e) *Construction Standards*.

(1) *Building Materials*. The surround (*i.e. the area used to contain the fire*) for a *fire pit* must be constructed utilizing a combination of natural stone, brick, and/or concrete.

(2) *Height*. A *fire pit* shall not exceed a maximum of 36-inches in height.

(3) *Size*. A *fire pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *fire pit* should not exceed a maximum size of five (5) feet in length by five (5) feet in width.

(f) *Setback Requirements*. A *fire pit* must adhere to the following setbacks:

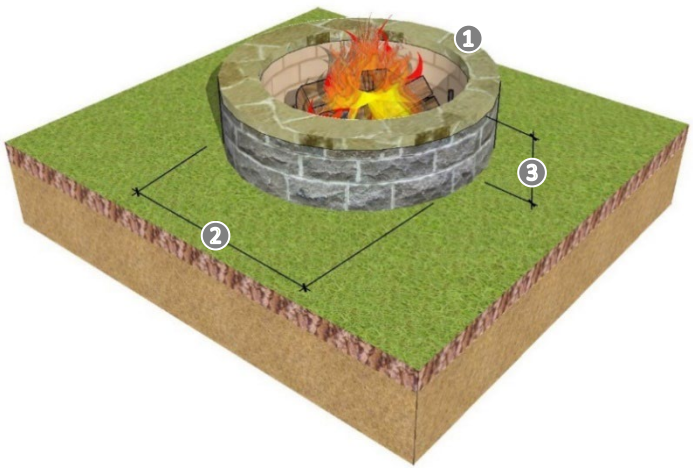
(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *fire pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *fire pit* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.



❶: NATURAL STONE, BRICK, AND/OR CONCRETE; ❷: MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ❸: MAXIMUM HIEGHT OF 36-INCHES OR THREE (3) FEET.

(10) *Gazebo*.

(a) *Definition*. A *gazebo* is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.

(b) *Prerequisites*. A *gazebo* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *gazebo* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *gazebo* shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.

(e) *Construction Standards*.

(1) *Building Materials*. A *gazebo* built in the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The side trellis of the *gazebo* may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A *gazebo* built in the *435.5 Elevation Zone* shall only be built out of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A *gazebo* will be constructed using steel reinforced concrete piers.

(2) *Height*. A *gazebo* shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the *gazebo* shall be measured from grade to the vertex of the *gazebo's* main roof or clerestory/cupola roof. In either case a *gazebo* shall not be larger than one (1) story or incorporate a balcony.

(3) *Size*. A *gazebo* shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.

(4) *Roof*. The roof of the *gazebo* shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the *gazebo* can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.

(5) *Location*. A *gazebo* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Gazebos* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *gazebo* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

(g) *Additional Requirements.*

(1) *Earth Work*. Earth work required for the construction of a *gazebo* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *gazebo* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *gazebo* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation.*



1: CUPOLA OR CLERESTORY; 2: 2:1 MINIMUM ROOF PITCH; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 18-FEET MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FEET WITHOUT A CUPOLA OR CLERESTORY; 5: 12-FEET MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) *Landing and Stairs*.

(a) *Definition*. A *landing* is the area of a floor near the top or bottom step of a stair. A *stair* is a set of steps leading from one floor of an area to another.

(b) *Prerequisites*. A *landing and stairs* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 or 425.5 Elevation Zones* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *landing and stairs* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Permitted (*if a Seawall has been constructed*).

NOTE: A *landing and stairs* located in the *425.5 Elevation Zone* is permitted beside the lake but not upon or over the lake.

(d) *Conditional Use Standards*. A *landing and stairs* shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.

(e) *Construction Standards*.

(1) *Building Materials*. A *landing and stairs* shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.

(2) *Height*. A *landing and stairs* shall not exceed the height of the adjacent retaining wall.

(3) *Size*. A *landing and stairs* shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.

(4) *Location*. A *landing and stairs* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *landing and stairs* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 5-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *landing and stairs* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *landing and stairs* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.

PERSPECTIVE VIEW.



TOP VIEW.



❶: MINIMUM OF EIGHT (8) FOOT BY EIGHT (8) FOOT LANDING; ❷: VARIABLE LENGTH STAIRCASE; ❸: WROUGHT IRON OR BLACK TUBLAR STEEL; ❹: NATURAL STONE, BRICK, OR CONCRETE MATCHING THE RETAINING WALL; ❺: VARIABLE HEIGHT BUT A MINIMUM OF THREE (3) FEET; ❻: MAXIMUM OF SIX (6) FEET.

(12) *Landscaping and Retaining Walls*.

(a) *Definition*. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.

(b) *Prerequisites*. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. *Landscaping and retaining walls* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

NOTE: Remedial *landscaping* in the *425.5 Zone* is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

(d) *Conditional Use Standards*. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of Article 08, *Landscaping and Fence Standards*, of the Unified Development Code (UDC). For information regarding planting or removing trees see Subsection (F)(4) above.

(e) *Construction Standards*.

(1) *Building Materials*. *Retaining walls* shall be finished in native stone and will only be allowed in the *438.0 Elevation Zone* and the *435.5 Elevation Zone*. The use of mulch is prohibited in all zones with the exception of the *438.0 Elevation Zone*. The use of railroad ties, treated wood, pea gravel -- *with the exception of using it as a base* --, and brick shall be prohibited.

(2) *Height*. *Retaining walls* as part of landscaping will be limited to less than three (3) feet.

(3) *Location*. *Landscaping and retaining walls* shall not hinder the view clear zone of an adjacent neighbor's view corridor. *Landscaping* shall not exceed six (6) feet in height in the view clear zone.

(f) *Setback Requirements*. *Retaining walls* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *landscaping and retaining walls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. *Landscaping and retaining walls* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. *Landscaping and retaining walls* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) *Municipal Utilities*.

(a) *Definition*. *Municipal utilities* represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

(b) *Elevation Zone*. *Municipal utilities* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Permitted.

(c) *Conditional Use Standards*. All *municipal utilities'* infrastructure is permitted within the take area. *Municipal utilities* shall be placed underground.

(d) *Setback Requirements*. *Municipal utilities* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(e) *Additional Requirements*.

(1) *Compliance with Applicable Codes*. *Municipal utilities* must comply with all other applicable City of Rockwall codes.

(14) *Outdoor Lighting*.

(a) *Definition*. *Outdoor lighting* is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.

(b) *Prerequisites*. *Outdoor lighting* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. *Outdoor lighting* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

NOTE: Catwalk lighting in the *425.5 Elevation Zone* is the only permitted *outdoor lighting* allowed below the *438.0 Elevation Zone*.

(d) *Conditional Use Standards*. Systems and structures associated with *outdoor lighting* include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are *not* allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.

(e) *Photometric Plan*. A photometric plan describing compliance with the provisions of Article 07, *Performance Standards*, of the Unified Development Code (UDC) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for *outdoor lighting*. This plan shall be prepared by an appropriate lighting professional (*e.g. lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

(f) *Construction Standards*.

(1) *Building Materials*. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.

(2) *Height*. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the *438.0 Elevation Zone* should be no taller than one-third (*1/3*) the distance to a neighboring property and should not exceed 12-feet.

(3) *Location*. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.

(g) *Setback Requirements*. *Outdoor lighting* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

(h) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.

(3) *Municipal or Government Installed Lighting*. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (*e.g. rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) *Patio*.

(a) *Definition*. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.

(b) *Prerequisites*. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *patio* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) *Construction Standards*.

(1) *Building Materials*. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are *not* permitted in the *435.5 Elevation Zone*.

(2) *Height*. A *patio* shall not exceed a maximum height of 12-inches above grade.

(3) *Size*. A *patio* shall not exceed a maximum area of 1,000 SF.

(4) *Location*. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *patio* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

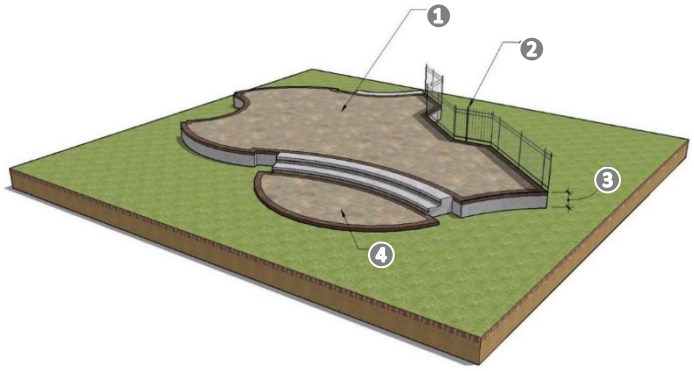
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *patio* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: NATURAL STONE; ❷: WROUGHT IRON OR BLACK TUBLAR STEEL; ❸: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ❹: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) *Pergola*.

(a) *Definition*. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.

(b) *Prerequisites*. A *pergola* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *pergola* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *pergola* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) *Construction Standards*.

(1) *Building Materials*. A *pergola* constructed within the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A *pergola* constructed within the 435.5 Elevation Zone must be constructed using composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

(2) *Height*. A *pergola* shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.

(3) *Size*. A *pergola* shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

(4) *Roof*. The roof of the *pergola* shall not have an overhang greater than 18-inches.

(5) *Location*. A *pergola* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Pergolas* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A pergola must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

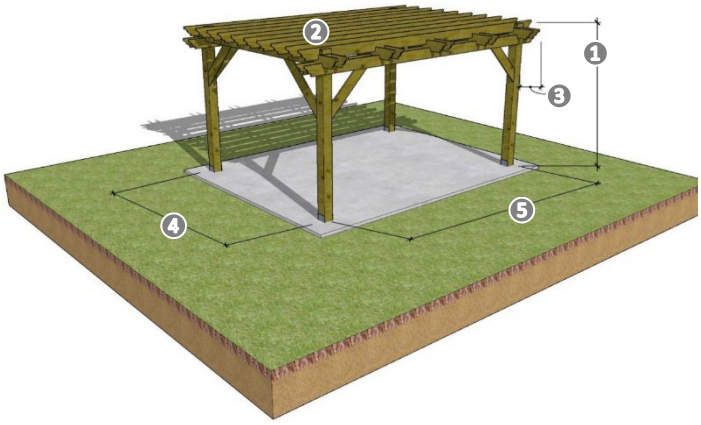
(g) *Additional Requirements.*

(1) *Earth Work*. Earth work required for the construction of a *pergola* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *pergola* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *pergola* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation.*



❶: 12-FOOT MAXIMUM HEIGHT; ❷: OPEN ROOF OF GIRDERS OR RAFTERS; ❸: 1.5-FOOT MAXIMUM OVERHANG; ❹: 12-FOOT MAXIMUM; ❺: 20-FOOT MAXIMUM; ❻: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(17) *Picnic Table*.

(a) *Definition*. A *picnic table* is a permanent outdoor structure used for outdoor dining.

(b) *Prerequisites*. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *picnic table* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (*i.e. no roof covering*) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.

(e) *Construction Standards*.

(1) *Building Materials*. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.

(2) *Height*. A *picnic table* shall not exceed a maximum of 36-inches in height.

(3) *Size*. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.

(4) *Location*. A *picnic table* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic tables* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *picnic table* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

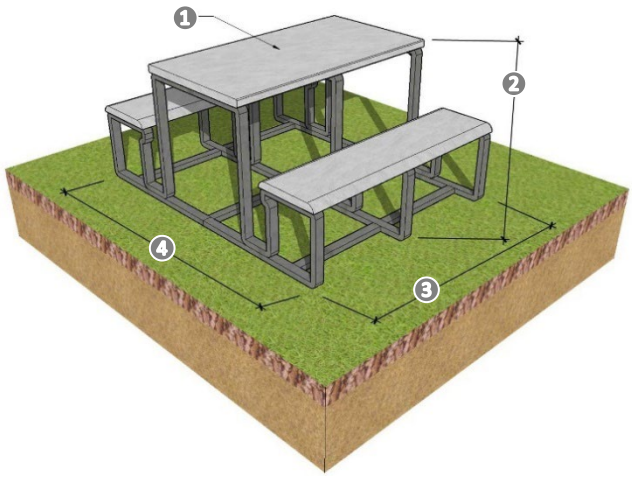
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *picnic table* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; ❷: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; ❸: EIGHT (8) FOOT MAXIMUM; ❹: TEN (10) FOOT MAXIMUM.

(18) *Private Play Structure*.

(a) *Definition*. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.

(b) *Prerequisites*. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *private play structure* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *private play structure* can consist of arched ladders, vertical ladders, horizontal

ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall *not* be permitted.

(e) *Construction Standards*.

(1) *Building Materials*. A *private play structure* shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a *private play structure* should blend and incorporate the same hues and tones of the surrounding landscaping.

(2) *Height*. A *private play structure* shall not exceed a maximum of eight (8) feet in height.

(3) *Size*. All *private play structures* will be situated in a collected area that is a maximum of 1,000 SF in area.

(4) *Location*. *Private play structures* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *private play structures* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *private play structures* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *private play structure* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *private play structure* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.

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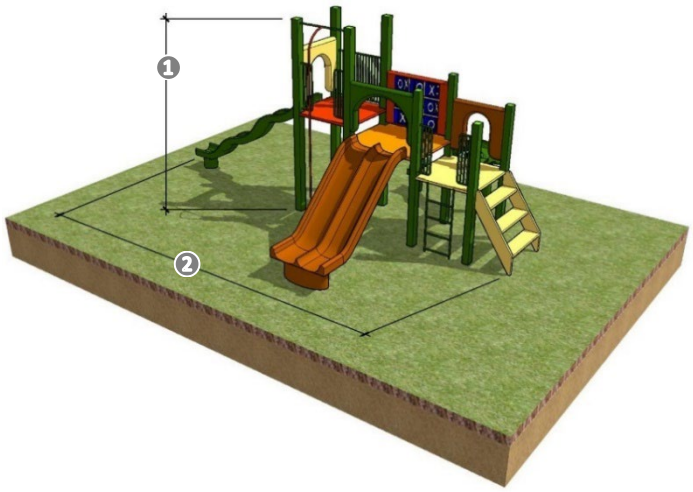


❶: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ❷: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ❸: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) *Private Utilities*.

(a) *Definition*. *Private utilities* are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.

(b) *Prerequisites*. *Private utilities* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. *Private utilities* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. *Private utilities* are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. *No* overhead private utility lines are permitted in the lease area. *Private utilities* containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.

(e) *Construction Standards*.

(1) *Building Materials*. *Private utilities* shall *only* be constructed out of materials permitted by the City's Engineering Department.

(2) *Location*. *Private utilities* within 20-feet of the normal pool elevation shoreline (*i.e. 435.5*) shall be built to handle load factors associated with emergency and service vehicles. *Private utilities* containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.

(f) *Setback Requirements*. *Private utilities* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *private utility* must comply with all other applicable City of Rockwall codes.

(3) *Damage to the System*. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) *Private Walkways*.

(a) *Definition*. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.

(b) *Prerequisites*. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. *Private walkways* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. *Private walkways* with steps are permitted (*see Landing and Stairs in Subsection 06.15(J)(11)*).

(e) *Construction Standards*.

(1) *Building Materials*. *Private walkways* shall be constructed using native stone, brick, concrete and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, or asphalt.

(2) *Height*. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.

(3) *Size*. *Private walkways* shall be no greater than 48-inches in width.

(4) *Location*. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) *Setback Requirements*. *Private walkways* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 10-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *private walkway* must comply with all other applicable City of Rockwall codes.

(3) *Damage to the System*. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) *Seawall*.

(a) *Definition*. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.

(b) *Prerequisites*. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *seawall* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

NOTE: Seawalls are *only* permitted along the shoreline.

(d) *Construction Standards*.

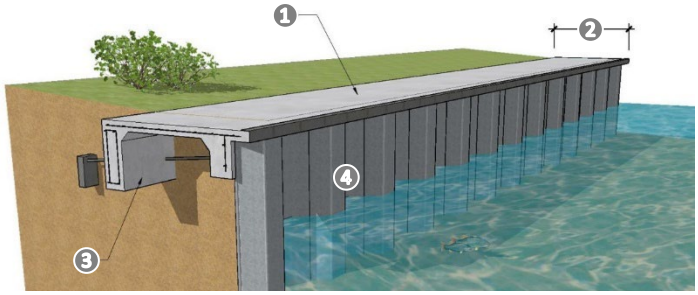
(1) *Concrete Cap*. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

(e) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *seawalls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *seawall* must comply with all other applicable City of Rockwall codes.

(f) *Visual Representation*.



❶: CONCRETE WALKWAY; ❷: SIX (6) FOOT MINIMUM; ❸: 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; ❹: RETAINING WALL.

(22) *Sprinkler/Irrigation System*.

(a) *Definition*. A *sprinkler/irrigation system* is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.

(b) *Prerequisites*. A *sprinkler/irrigation system* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *sprinkler/irrigation system* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

(d) *Conditional Use Standards*. A *sprinkler/irrigation system* must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.

(e) *Construction Standards*.

(1) *Building Materials*. A *sprinkler/irrigation system* shall *only* be constructed utilizing *Schedule 40 PVC* pipe.

(2) *Height*. The heads of a *sprinkler/irrigation system* used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.

(3) *Location*. A *sprinkler/irrigation system* shall be allowed up to one (1) foot of the normal pool elevation shoreline (*i.e. 435.5*) provided no part of the system could potentially result in lake siltation erosion.

(f) *Setback Requirements*. A *sprinkler/irrigation system* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.

(3) *Damage to the System*. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

SUBSECTION 06.16: VARIANCES TO THE GENERAL OVERLAY DISTRICT STANDARDS

See Subsection 09.02, *Variances to the General Overlay Districts Standards*, of Article 11, *Development Applications and Review Procedures*.

SECTION 07 | DISTRICT DEVELOPMENT STANDARDS

See next page.

THE STATE OF TEXAS §
CITY OF ROCKWALL §

HOMEOWNER'S ASSOCIATION (HOA) SUBLEASE AGREEMENT

This Sublease Agreement (hereinafter referred to as the "Sublease") is made and entered into this ___ day of _____ by and between the City of Rockwall, Texas, a political subdivision of the State of Texas herein called "Sublessor," and the _____ Homeowner's Association (HOA), herein called "Sublessee."

RECITALS

(A) On or about the 16th day of January, 2001, Sublessor (as lessee) and the City of Dallas, Texas (as Lessor) entered into an Interlocal Agreement and Lease (hereinafter defined and described as the "Base Lease") covering the lease of the Lake Ray Hubbard take line area, which encompasses the Leased Area as hereinafter defined. Said Interlocal Agreement and Lease is incorporated herein by reference and said Lease shall expire on January 16, 2041.

(B) Sublessor is a municipal corporation, which has leased from the City of Dallas the land adjacent to Lake Ray Hubbard, which encompasses the perimeter boundary of Dallas' property at the lake for the purposes as set out in the Base Lease.

(C) Sublessor desires to sublease to Sublessee the leased area adjacent to Sublessee's jurisdictional boundary being depicted and described by the hereto attached *Exhibit 'A'* survey of the sublease property, during the term hereof, so as to permit use and enjoyment of same by said Sublessee.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are mutually acknowledged, the parties hereby agree as follows:

ARTICLE 1. DEFINITIONS

(A) **"Interlocal Agreement"** means the Base Lease, or Master Lease, covering the lease of the Lake Ray Hubbard take line area by the City of Dallas to the City of Rockwall, dated January 16, 2001, which encompasses the Leased Area as defined herein.

(B) **"Lake"** means Lake Ray Hubbard.

(C) **"Take Line"** means the perimeter boundary of Dallas' property at the Lake.

(D) **"Take Area"** means the land owned by Dallas between the Take Line and the normal Lake pool elevation (435.5 mean sea level).

(E) **"Lake Area"** means the City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the Lake at normal Lake pool elevation (property at or below elevation 435.5 mean sea level).

(F) **"Lake Ray Hubbard Overlay District Ordinance"** means Subsection 06.16 of the City of Rockwall Unified Development Code, known as the Lake Ray Hubbard Take line Overlay District.

(G) **"Leased Area"** means the Take Area that is within the City Limits of Rockwall, or where the Take Line is directly adjacent to the City Limits of Rockwall.

(H) **"Maintenance Responsibilities"** shall mean keeping the erosion control structure(s) in good condition throughout the term hereof so that such structures remain capable of proper protection against erosion.

(I) **"Subleased Premises"** means the area hereby subleased and more particularly described in Article 3 herein.

(J) "**HOA Area**" means the Leased Area where the Take Line is adjacent to the boundaries of the Homeowner's Association (HOA) and where no commercial activity exists, or is proposed to exist, on Dallas property. If commercial activity occurs in a HOA Area, that portion of the Leased Area will be considered a Commercial Area.

(K) "**Sublessee**" means a person or entity subleasing Dallas property in the Leased Area from City of Rockwall. Sublessee shall be an adjacent property owner.

(L) **"Shoreline**" means the line along the shore of the Lake, established by the normal Lake pool elevation (435.5 mean sea level).

(M) **"New Immediate Action Area"** means any section of the Leased Area where any of the following has occurred:

(1) The shoreline is within 30 feet or less of the Take Line;
(2) A public hazard exists or can be expected to be created by erosion within a short period of time;
(3) Structures are at risk of structural damage due to erosion; or,
(4) Existing adjacent erosion protection is impeded if erosion is allowed to continue.

(N) **"Critical Areas"** mean areas determined to be immediate action erosion control areas, as defined in the 1987 "Lake Ray Hubbard Erosion Control Study" by Bernard Johnson Incorporated (*the Bernard Johnson Report*), a copy of which is available for review at the City of Rockwall Parks and Recreation Department.

ARTICLE 2. PURPOSE AND INTENT

The purpose of this sublease agreement is to permit the use of property along the take area of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth procedures for the development of said property and establishing an appeal process for the terms of Lake Ray Hubbard Overlay District Ordinance adopted by the City of Rockwall. The zoning overlay district has its basis in and is intended to serve as one implementation tool for the Lake Ray Hubbard Master Plan, adopted by the City of Dallas; the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the Lake Cities Coalition (Garland, Rockwall, and Rowlett, Texas) and the City of Dallas, Texas; and the Comprehensive Plan for the City of Rockwall, adopted on December 17, 2001. The adoption of the zoning district is intended to provide a means for the protection of water quality, water supply, and the preservation of the natural environment and to enhance the quality of the Lake Ray Hubbard shoreline through regulation of manmade facilities. For those properties that take part in the City of Rockwall Residential Sublease Agreement the overlay zoning ordinance is to be used in conjunction and in addition to the erosion control and engineering standards as well as other development related ordinances, such as but not limited to, landscaping ordinance, tree preservation ordinance and outdoor lighting.

ARTICLE 3. SUBLEASED AREA

(A) Sublessor, for and in consideration of the rents, covenants and promises herein contained to be kept, performed and observed by Sublessee has subleased to Sublessee, for and in consideration of the covenants and agreements herein does hereby accept from Sublessor, the Subleased Area as more specifically described by the hereto attached *Exhibit 'A'* (survey of the Take Area) and subsequent to the terms and conditions as hereafter described. Sublessee acknowledges that it has inspected the Subleased Area to their satisfaction and accepts the Subleased Area "As Is" and with all faults and defects, whether known or unknown to either Sublessor or Sublessee and without representation or warranty of any kind from Sublessor as to the status or condition thereof.

(B) All structure and/or improvements that exist in the Take Area at the time this agreement is executed shall be the responsibility of the Sublessee, and shall be maintained in accordance with the requirements of the City of Rockwall.

(C) All structures and/or improvements in the Take Area **shall require a building permit** issued by the City of Rockwall consistent with applicable ordinances and regulations of Takeline Area Overlay District allowed uses, and shall be constructed in accordance with the approved site plan depicted in *Exhibit 'B'* of this sublease agreement.

(D) Sublessee acknowledges that the decision to lease the Subleased Area is based solely upon the Sublessee's comprehensive inspection of the Subleased Area and not upon any warranty or representation of Sublessor, or of Sublessor's employees, agents or representatives with regard thereto. Without limiting the foregoing, **THERE IS NO WARRANTY, EXPRESSED OR IMPLIED, OF SUITABILITY, MERCHANT ABILITY, HABITABILITY, OR FITNESS FOR ANY PARTICULAR PURPOSE GIVEN IN CONNECTION WITH THIS LEASE.**

(E) **IT IS UNDERSTOOD BY BOTH THE CITY OF ROCKWALL AND SUBLESSEE THAT THE WATER LEVEL IN THE LAKE WILL NOT REMAIN CONSTANT AND THAT ALL LAND IN THE SUBLEASED PREMISES IS SUBJECT TO FLOODING. THE PARTIES AGREE THAT NEITHER THE CITY OF DALLAS NOR THE CITY OF ROCKWALL SHALL BE RESPONSIBLE FOR DAMAGES TO ANY STRUCTURES, FACILITIES, LANDSCAPING, OR OTHER PROPERTY DAMAGE ON THE SUBLEASED AREA DUE TO WIND, WATER, EROSION, FLUCTUATING WATER LEVELS, OR FLOATING DEBRIS.**

ARTICLE 4. SUBLEASE TERM

(A) Subject to the terms and conditions of this Sublease, the demise set forth in Article 3 above shall be for the Sublease Term, which shall **expire on January 16, 2041,** unless otherwise terminated. *HOA Area subleases cannot be further subleased*.

(B) This sublease shall terminate and become null and void no later than **January 16, 2041**, unless extended by the parties hereto in writing subject to the provisions of the Base Lease or the Master Lease by and between the City of Dallas and the City of Rockwall. Any holding over or use and occupancy by Sublessee after the termination of this Sublease shall not constitute a renewal hereof or give Sublessee any rights hereunder in or to the Subleased Area upon termination. Upon termination of this Sublease, all improvements to the Subleased Area (whether or not constructed by Sublessee) shall be and become the property of Sublessor or its successors in interest; provided, however, Sublessee shall be entitled to remove from the Subleased Area removable equipment, provided that such removal can be accomplished without unreasonable injury to the Subleased Area or the removing improvements on the Subleased Premises.

(C) This Sublease shall be terminated or canceled by the City of Rockwall in the event that the Interlocal Agreement between the City of Rockwall and the City of Dallas is terminated or canceled by agreement or operation of law. Sublessee shall be entitled to no compensation of any kind from the City of Rockwall or the City of Dallas if this Agreement is so canceled or terminated.

(D) The annual sublease payment shall not exceed the estimated annual expenses of the City of Rockwall in administering all subleases and sublease areas, pursuant to the base lease, divided by the number of properties within the boundaries of the City of Rockwall within the Takeline area, and subleases or legally available for sublease.

(E) Sublessee shall have the right to terminate this sublease if, at any time during this sublease, a material and substantial change in circumstances existing at the time of this sublease should occur. For the purpose of this paragraph, a "material and substantial change in circumstances" shall include but not be limited to a collective increase in the sublease payment of more than 100% over any ten (10) year period or less, or the elimination by the City Council of an authorized use for which the sublessee has in place.

(F) Sublessor shall have the right to terminate this sublease if, at any time during this sublease, Sublessee breaches any provision of the sublease and fails to remedy the breach in accordance with Article VI. Sublessor shall not terminate sublease if Sublessee cures such breach within the cure period in Article VI.

ARTICLE 5. SUBLEASE PAYMENT

(A) In accordance with Section III (**C**) of the Base Lease, Sublessee shall pay an initial payment of **$200.00** to Sublessor and an annual payment of **$100.00** due annually based on contract date. Said payment may be adjusted annually by the City during the term of the Sublease by majority vote of the City Council of the City of Rockwall.

(B) Failure of sublessee to pay the annual payment as provided for in Section A shall be considered as an event of default. If Sublessee fails to pay the annual payment within thirty (30) days of receipt of notice, Sublessor may terminate this lease and take possession of any improvements on the leased premises subject to *Article 6*, *Section N* herein.

ARTICLE 6. USE OF SUBLEASED AREA

(A) Sublessee agrees to use and maintain the Subleased Area in accordance with all City codes and regulations established by Sublessor for the Take Line area. Any violation of such regulations shall be considered a breach by Sublessee of this Agreement, for which Sublessor shall be entitled to take appropriate action if such violation is not cured. Sublessee specifically recognizes that the City of Dallas, as a third-party beneficiary, has the right to enforce the terms of this Agreement in the event of the Sublessee' breach of any of the terms contained herein.

(B) Structures or appurtenances that shall be **prohibited** within the Subleased Area, without prior approval by Sublessor and the City of Dallas are as follows but not limited to:

(1) Propane tanks.
(2) Storage of gasoline, oils, diesel, or similar types of compounds.
(3) Storage of pesticides, herbicides, fungicides, or preservatives.

(4) Use of pesticides, herbicides, fungicides, or preservatives that are not approved by the Texas Commission on Environmental Quality or US Environmental Protection Agency for use around water supplies, and on a listing approved provided by Dallas.
(5) Storage of any hazardous materials, regardless of its nature.
(6) Septic tanks and lateral lines (with the exception of city utilities).
(7) Toilets.
(8) Habitable structures.
(9) Diving boards and slides over and/or into the lake.
(10) Pets living quarters, livestock, maintenance of livestock or any such structure that houses or shelters livestock and/or pets, including but not limited to cattle, horses, swine, poultry.
(11) Water wells.
(12) Chemically preserved wood (e.g. railroad ties and telephone poles) in the water.

(C) Prohibited activities on the lake and shore area:

(1) Shoreline (bank of the lake) will not be tapered, cut, smoothed, or altered in any way without a permit.

(2) Leased shore area will not be excavated, channeled, cut, bored, dug, filled, smoothed, or altered in any manner unless specifically permitted.

(3) Wheeled vehicles and all other motorized equipment are prohibited from operating on the lake bottom unless specifically authorized.

(4) The construction of sandy beaches on the lake bottom at the shoreline are prohibited.

(5) Removal of vegetation from the lake bottom at the shoreline is prohibited unless specifically authorized.

(6) Railroad ties on the shoreline and Take Area are prohibited.

(7) No dumping on the shoreline (bank of the lake) and take area of brush, leaves, bricks, logs, concrete rubble, asphalt rubble, soil, sand, gravel, rock, or any other material.

(8) Garbage cans and waste receptacles are prohibited anywhere in the leased area.

(9) No signage in the leased area unless specifically authorized.

(10) No business activity will be performed from within the leased area.

(11) No storage of personal items on the Take Area and shoreline unless specifically authorized by the City of Rockwall. Personal items includes but is not limited to boats, jet skis, rafts, watercraft, boat trailers, vehicles, campers, RVs, wood piles, lawn equipment, appliances, storage facilities, construction material, and storage of miscellaneous materials.

(12) Drawing lake water for personal usage such as for irrigation is prohibited without a permit issued by Dallas Water Utilities.

Additional Requirements:

(1) All tree removals will comply with the City of Rockwall Tree Preservation Ordinance.

(2) A permit is required for any and all types of lake dredging and lake bottom earthwork.

(3) Sublessee will immediately remove personal items littering the lake, particularly after a storm.

(4) No permit is required for minor repair or general maintenance of an authorized existing erosion control structure unless the repair or general maintenance will include different material than what was originally approved. A permit is required for modifications and alterations to existing erosion control structures.

(5) All boats on the shoreline must comply with the mooring time limit as specified in the Rockwall Takeline Overlay District Zoning Ordinance.

(6) Boats will in no way pollute lake waters from, but not limited to; bilge discharges, septic waste, fueling, cleaning, maintenance, and painting.

(7) Sublessee must first install an approved method of erosion control before the construction of lake structures. Lake structures will not be permitted without the placement of erosion control the entire length of the subleased shoreline.

(D) Sublessee agrees that he/she will not make nor allow to be made, any unlawful, improper or offensive use of the premises, which would be injurious to any person or property, or which would violate the laws of the United States or the State of Texas, or any ordinance(s) of the City of Rockwall or the City of Dallas that may pertain to the demised premises. In the event of a conflict between the respective ordinances and/or the provisions of the lease the most restrictive shall apply. Sublessee shall be subject to the terms and penalties associated with ordinance and regulations violations in addition to the provisions of this Sublease.

(E) The City of Rockwall and the City of Dallas retain the right to make regular or special inspections of the Subleased Premises to ensure that it is being maintained and used in accordance with the terms of this Sublease and the Base Lease and that all terms of this Sublease and the Base Lease are being upheld. The City of Rockwall will provide written notice of a breach or violation, or noncompliance with the terms of this Sublease or the Base Lease to Sublessee. Sublessee will have ten (10) days to correct and/or abate all violations, unless otherwise agreed by the City of Rockwall. If Sublessee has commenced and is pursuing the cure of the same, then after first advising the City Council of Rockwall or its designated representatives of Sublessee's effort to cure, Sublessee may utilize an additional ten (10) days, if approved by the City of Rockwall. Failure to correct all violations in the allotted time constitutes a material breach of this Sublease.

(F) In the event of the default after the expiration of the applicable notice and cure periods (except for the non-payment of agreed sublease), the City of Rockwall shall be entitled in addition to any other penalties or fines to assess and receive from Sublessee as liquidated damages the sum of $500.00 per day for each day the breach remains uncured.

(G) Failure by the City to provide the ten (10) day notice described above shall not constitute a waiver of any breach of this Sublease. Waiver of any breach of any provision of this Sublease shall not be considered as a waiver of any subsequent breach of the same or any other provision of the Sublease.

(H) The City of Rockwall has adopted the Takeline Area Overlay District Zoning Ordinance and policies for the construction of structures and/or other improvements in the Subleased Premises. A detailed site plan for construction of structures in accordance with the Take Area Zoning Ordinance adopted June 21, 2004, must be approved by the City of Rockwall and the City of Dallas prior to construction. If improvements or structures have been constructed in the Takeline area or the shoreline prior to the execution of this Sublease, all existing noncompliance items or encroachments that are not approved must be abated prior to the execution of this sublease agreement. No structures or improvements that are in noncompliance or are encroaching will be grandfathered.

(I) Sublessee recognizes and consents to the City of Rockwall and the City of Dallas having the right of ingress and egress to the Subleased premises for any operational or maintenance purposes upon twenty-four (24) hours advance notification to Sublessee; except that no advance notice will be required in case of an emergency or possible health and/or safety hazards.

(J) Sublessee understands that pursuant to the Base Lease Dallas will make a reasonable effort to repair any damage resulting from Dallas accessing the Take Area for utility maintenance and/or public safety vehicles, and will restore the damaged property as nearly as possible to its condition prior to the damage created by the City of Dallas accessing the Take Area; however, if the damage is located within a dedicated easement the requirements of that easement shall govern and no additional obligations are assumed by the City of Rockwall or the City of Dallas as a result of the execution of this Sublease. Likewise, the City of Rockwall will make a reasonable effort to repair any damage resulting from the City of Rockwall accessing the Take Area for utility maintenance and/or public safety vehicles, and will restore the damaged property as nearly as possible to its condition prior to the damage created by the City of Rockwall accessing the Takeline Area however, if the damage is located within a dedicated easement the requirements of that easement shall govern and no additional obligations are assumed by the City of Rockwall or the City of Dallas as a result of the execution of this Sublease.

(K) Sublessee recognizes that the City of Rockwall may require easements in the future in the Subleased Area. Sublessee hereby agrees to approve future easements with the understanding that the Sublessor will make all reasonable efforts to avoid damage to existing improvements. If damage results from the use of a future easement, Sublessor will restore the damaged property as nearly as possible to its condition prior to the damage created by the Sublessor.

(L) Sublessee recognizes that Sublessor has established specific setbacks, reservation of future easements or other development requirements unique to this Sublease. Such specific requirements are set forth in the Take Area Zoning Ordinance adopted June 21, 2004. Sublessee agrees to abide by all requirements during the term of the Sublease.

(M) Sublessee recognizes that prior to placement of any structures and/or personal items, improvements, including, but not limited to: landscaping, construction or subgrade alterations on the Subleased Premises a construction alteration permit must first be obtained from the City of Rockwall. Such construction alteration permit will be in addition to any other permit or approval required by the City of Dallas. Time limits for completion of construction will be established at the issuance of the construction alteration permit. No construction will be considered complete and/or approved until a final inspection is conducted by the City of Rockwall and/or the City of Dallas or their appointed representatives.

(N) If this lease is terminated for any reason stated within this agreement any structures and/or any improvements must be removed within 30 days.

ARTICLE 7. EROSION PROTECTION

(A) For all subleases, the City of Rockwall will require sublessee of HOA Areas to either completely install, or pay for the installation of, Shoreline erosion protection in accordance with Section VI of the Base Lease or Master Lease in Critical Areas, whenever such Critical Areas may arise (as defined in Section VI (A) Base Lease), before execution of the sublease. Erosion protection required under the sublease must be completed no later than twelve (12) months from the date of execution of the sublease, but prior to, or concurrent with, a sublessee's commencement of construction of any improvements. If a Critical Area arises after execution of the sublease, the City of Dallas or the City of Rockwall are not responsible for any erosion control measures required and the

sublessee shall not look to the City of Dallas or the City of Rockwall for action. If any part of the subleased area becomes a Critical Area after execution of the sublease, the sublessee of a residential area may, at sublessee's option, install erosion protection in accordance with this sublease agreement and Base Lease. Erosion protection required under the sublease must be completed prior to a sublessee's commencement of construction of any improvements of any kind on the leased area, subject to the City of Rockwall's permitting process.

(B) In areas determined to be Critical Areas or New Immediate Action Areas, as defined above (collectively referred to as "Critical Areas"), the Sublessee will be responsible for installation and maintenance of erosion control. Such required erosion protection must be completed no later than twelve (12) months from the date of execution of this Sublease, but prior to, or concurrent with, the Sublessee's commencement of construction of any improvement. If the City of Dallas has installed or performed maintenance or erosion control in any Critical Area, the Sublessee will reimburse the City of Dallas for the cost of installation and maintenance from the date of execution of the Base Lease to the later of, the date of execution of the Sublessee's sublease with the City of Rockwall, or the date of installation of the erosion control. If Dallas installed or performed maintenance or erosion control in any area that is not a Critical Area, the Sublessee will reimburse Dallas for the cost of installation and maintenance from the date of execution of the Base Lease to the date of execution of the Sublessee's sublease with the City of Rockwall (*i.e.* there will be no retroactive reimbursement obligations of the Sublessee in a non-Critical Area; the full extent of the erosion reimbursement obligations of the Sublessee in a non-Critical Area will be known at the time of execution of the sublease). Reimbursements can be paid in a lump sum or over a term to be determined by Dallas. Term payments will include interest charges and the term will not exceed the life of the asset. Sublessee shall assume maintenance responsibility for existing or proposed erosion control.

(C) Sublessee may install erosion control subject to the written approval of the City of Dallas and the City of Rockwall. Sublessee will be responsible for maintenance of the installed erosion control in the same manner as set out above.

(D) The City of Dallas and the City of Rockwall will establish a listing of types of erosion control approved for use around the Lake, based on the Bernard Johnson Report or engineering data or criteria list. The list may be expanded jointly by Dallas and the City of Rockwall should new and approved technology become available for such erosion control. If the City of Dallas or the City of Rockwall installs erosion control, it can install any type listed in the Bernard Johnson Report, or on the updated/approved listing, as it deems economically and/or environmentally feasible.

(E) The Sublessee may reclaim lost Shoreline with the approval of the City of Rockwall and prior written approval of the City of Dallas, as determined on a case-by-case basis. Any reclamation or cut and fill in the Lake or at the Shoreline shall not reduce the usable water storage capacity or flood storage capacity of the Lake, as determined by the City of Dallas. Sublessee, or the parties performing the reclamation, will be responsible for obtaining all related permits for the reclamation, such as the U.S. Army Corps of Engineer permits.

(F) No activities will be allowed which will increase the erosion of the Shoreline property, including any alteration of vegetation or property, as determined by the City of Dallas as described by the Bernard Johnson report.

(G) Erosion control installations must comply with all local, state, and federal laws, regulations and requirements and shall be designed by a licensed professional engineer *and installed by a competent contractor with demonstrated experience in the installation of that system.*

(H) Sublessee agrees to allow abutting Sublessee(s) to connect to the erosion protection mechanism so installed, so as not to create gaps between abutting properties in said erosion protection.

ARTICLE 8. HOLD HARMLESS

Sublessee hereby agrees to defend, indemnify and hold the City of Dallas and City of Rockwall, their respective officers, agents and employees, fully harmless from any claims, lawsuits or expenses for personal injury (including death), property damage or other harm for which damages may be recovered under law, suffered by any person or persons (including but not limited to Sublessee), that may arise out of or be occasioned by Sublessee's fault or negligence in the use, occupancy, maintenance or operation of the Subleased Premises for any purpose, or that arises out of or is occasioned by erosion control improvements installed, used or maintained by Sublessee, or by Sublessee's failure to install erosion control devices as required under the Sublease, **REGARDLESS OF WHETHER OR NOT THE NEGLIGENCE OR FAULT OF THE CITY OF DALLAS OR THE CITY OF ROCKWALL IN OPERATING OR MAINTAINING THE LAKE AREA, OR ORIGINALLY INSTALLING OR MAINTAINING ANY EXISTING EROSION CONTROL IMPROVEMENTS ASSUMED BY SUBLESSEE, OR IN DETERMINING WHAT EROSION CONTROL IMPROVEMENTS WERE APPROPRIATE, CONTRIBUTED TO THE DAMAGE OR INJURY.**

ARTICLE 9. COVENANT RUNNING WITH THE LAND

(A) This Sublessee cannot be further subleased by Sublessee. Sublessee agrees to notify in writing, Sublessor of any change in ownership of the property within five (5) days prior to closing but no later than ten (10) days of closing. This covenant shall be considered as a covenant running with the land and shall be filed for record in the deed records of Rockwall County, Texas.

(B) It is the understanding of the parties that this Sublease contains the entire understanding of the Sublessor and Sublessee and that any change, alteration, or modification of this Sublease shall only be effective if in writing approved by both parties.

(C) Sublessee further asserts that the Homeowner's Association (HOA) has received a summary of the Base Lease and the Takeline Area Overlay District Zoning Ordinance which is incorporated herein by reference and that he/she has read said Base Lease and understands its terms and provisions.

(D) Sublessee will endeavor to provide Sublessor with a certificate that extends coverage under Sublessee's Homeowners Insurance Policy to the leased premises.

ARTICLE 10. SEVERABILITY

In case any one or more of the provisions contained in this Sublease shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provision thereof and this Sublease shall be considered as if such invalid, illegal, unenforceable provision had never been contained in this Sublease.

ARTICLE 11. MISCELLANEOUS

(A) This sublease, its exhibits, addenda, and riders are the entire agreement of the parties concerning the sublease of the Subleased Area by Sublessor to Sublessee. There are no representations, warranties, agreements, or promises pertaining to the Subleased Area or the sublease of the Subleased Area by Sublessor to Sublessee, and Sublessee is not relying on any statements or representations of any agent of the Sublessor, that are not in this Sublease and any exhibits, addenda, and riders. This Sublease may be amended only by an instrument in writing signed by Sublessor and Sublessee.

(B) *Alternative Dispute Resolution*. The parties agree that, prior to instituting any lawsuit or other proceeding arising from a dispute under this agreement, the parties shall first attempt to resolve the dispute by taking the steps

described in this Section. First, the dissatisfied party shall deliver to the other party a written notice substantially describing the nature of the dispute, which notice shall request a written response to be delivered to the dissatisfied party not less than five (5) days after receipt of the notice of dispute. Second, if those persons cannot or do not resolve the dispute, then the parties shall each appoint a person within each respective party, who shall then promptly meet, in person, in an effort to resolve the dispute. Third, if the dispute is not resolved after such effort, the Sublessor and Sublessee agree to mediate in good faith before filing a suit for damages.

(C) *Governing Law; Venue*. This Agreement and all of the transactions contemplated herein shall be governed by and construed in accordance with the laws of the State of Texas. The provisions and obligations of this Agreement are performable in Rockwall County, Texas such that exclusive venue for any action arising out of this Agreement shall be in Rockwall County, Texas.

(D) *Exhibits*. All exhibits to this Agreement are incorporated herein by reference for all purposes wherever reference is made to the same.

(E) *Notices*. Any notice or other communication required or permitted to be given under this Agreement shall be in writing and shall be deemed to have been duly given if (i) delivered to the party at the address set forth below, (ii) deposited in the U.S. Mail, registered or certified, return receipt requested, to the address set forth below, or (iii) given to a recognized and reputable overnight delivery service, to the address set forth below:

IF TO SUBLESSEE:

City of Rockwall
City Manager
385 S. Goliad
Rockwall, TX 75987

WITH COPY TO:

City of Dallas
ATTN:
ADDRESS

IF TO SUBLESSEE

NAME OF HOA
ADDRESS

EXECUTED this the ___ day of _____, 2021.

SUBLESSOR:

CITY OF ROCKWALL

_____

CITY MANAGER OF THE CITY
OF ROCKWALL, TEXAS

ACKNOWLEDGMENT

THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the, undersigned, a Notary Public in and for said County and State, on this day personally appeared _____, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ___ day of _____, 202_.

_____

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

_____

MY COMMISSION EXPIRES

SUBLESSEE:

_____

HOMEOWNER'S ASSOCIATION REPRESENTATIVE

_____

HOMEOWNER'S ASSOCIATION

_____

ADDRESS

_____

PHONE NUMBER

_____

EMAIL ADDRESS

_____

SIGNATURE

ACKNOWLEDGMENT

THE STATE OF TEXAS §
COUNTY OF DALLAS/ROCKWALL §

BEFORE ME, the, undersigned, a Notary Public in and for said County and State, on this day personally appeared _____, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ___ day of _____, 202_.

_____

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS

_____

MY COMMISSION EXPIRES

EXHIBIT 'A': SURVEY OF SUBLEASED AREA

EXHIBIT 'B': APPROVED SITE PLAN

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING ARTICLE 05, *DISTRICT DEVELOPMENT STANDARDS*, AS DEPCITED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [*Ordinance No. 20-02*] has been initiated by the City Council of the City of Rockwall to amend Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] to allow certain Homeowner's Associations (HOA's) the ability to lease the *Lake Ray Hubbard Takeline*; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

SECTION 1. That Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars ($2,000.00*) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 20-02*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF OCTOBER, 2023.

_____

Trace Johannesen, *Mayor*

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ATTEST:

_____
Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____
Frank J. Garza, *City Attorney*

1st Reading: *September 18, 2023*

2nd Reading: *October 2, 2023*

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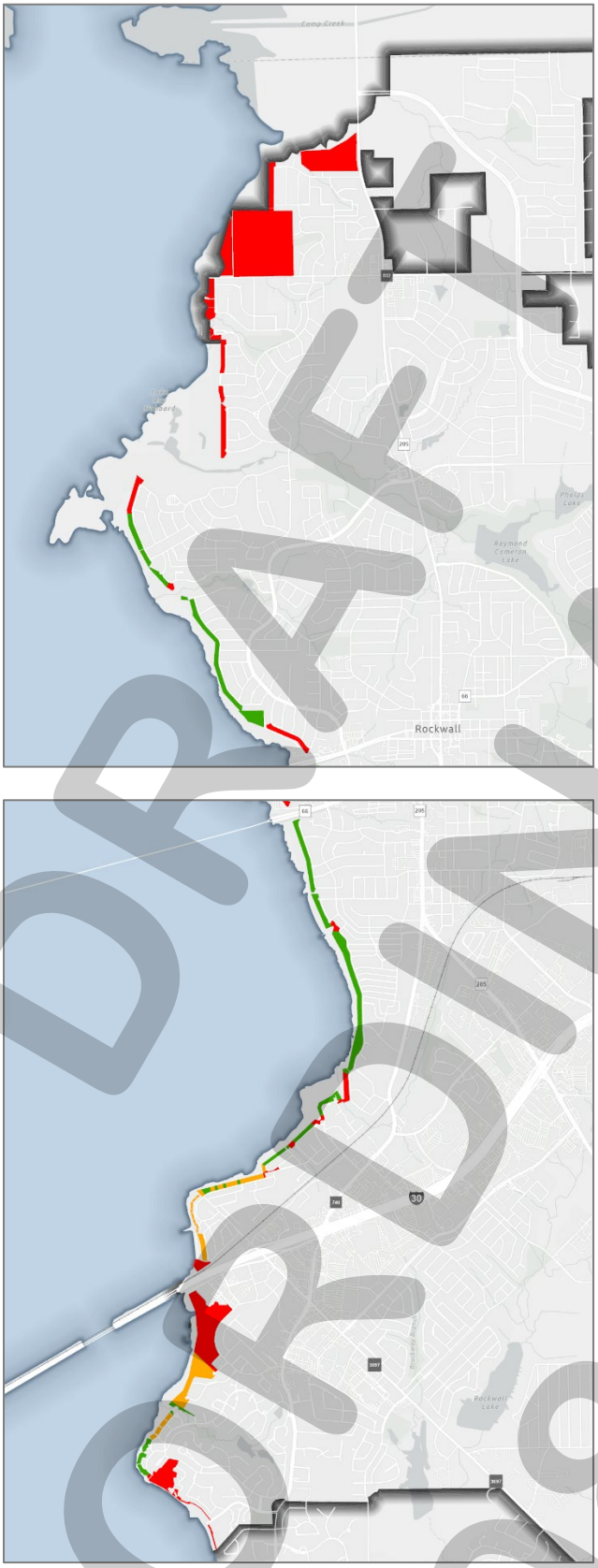
FIGURE 32: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT MAP



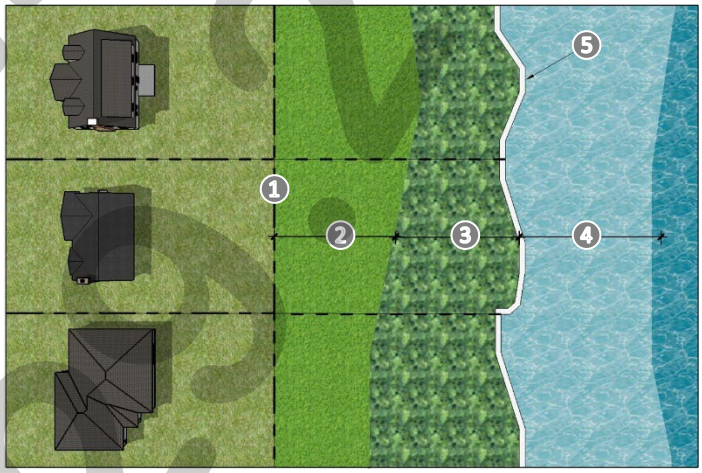
RED: NON-LEASEABLE PROPERTY
GREEN: LEASABLE PROPERTY
ORANGE: HOA LEASABLE AREA

SUBSECTION 06.16: LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT

(A) *Purpose*. The purpose of the *Lake Ray Hubbard Takeline Overlay (TL OV) District* is to permit the development of property along the shoreline of Lake Ray Hubbard under certain regulatory conditions governing permitted uses and development standards, setting forth the procedures for the development of said property, and establishing an appeal process for the development standards of the district. This zoning district has its basis in and is intended to serve as an implementation tool for the Lake Ray Hubbard Master Plan (*adopted by the City of Dallas*), the Lake Ray Hubbard Interlocal Agreement as approved by those municipalities comprising the *Lake Cities Coalition* (*i.e. Garland, Rockwall, and Rowlett*) and the City of Dallas, and the OURHometown Vision 2040 Comprehensive Plan. The adoption of this zoning district is intended to provide a means for the protection of water quality.

(B) *Boundaries*. The Lake Ray Hubbard Takeline (TL OV) District includes all property that is located between the City of Dallas *Takeline* as shown on the boundary map for Lake Ray Hubbard (*i.e. File 612D-1 on file in the City of Dallas Records Vault and depicted below in Figure ~~26~~32, Lake Ray Hubbard Takeline [TL OV] District Map*) and the meandering of the contour line 435.5-feet sea level elevation. In addition, *Figure ~~27~~33: Elevation Contours*, shows the elevation zones used to delineate where certain land uses are permitted.

FIGURE 33: ELEVATION CONTOUR ZONES



❶: REAR PROPERTY LINE/TAKE LINE; ❷: 438.0 ELEVATION ZONE; ❸: 435.5 ELEVATION ZONE; ❹: 425.5 ELEVATION ZONE; ❺: SEAWALL;

(C) *Applicability*.

(1) *Applicable Lots*. The standards set forth within Subsection 06.~~15~~16, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, shall apply only to those lots within the takeline that are zoned and used for detached, single-family residential land uses, and that either have a minimum lot width of 45-feet when measured at the front building line or a minimum width of 35-feet at the front building line when located on a curved street or cul-de-sac or Homeowner's Association (HOA) that are eligible to lease. The properties and Homeowner's Associations (HOA's) that are eligible to lease the takeline area are depicted in *Figure*

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~~26~~32: *Lake Ray Hubbard Takeline Overlay (TL OV) District Map* above.

(2) *Exceptions for Lots Not Meeting the Applicability Standards*. The City Council shall have the authority to consider special exceptions to the eligibility standards set forth within this section that apply to those lots within the Lake Ray Hubbard Takeline Overlay (TL OV) District that are zoned and used for detached, attached, or zero-lot-line single-family residential land uses and meet the minimum lot width requirements as prescribed in Subsection 06.15(C)(1) above.

(D) *Definitions*. The terms used in this section shall be as defined in this Unified Development Code (UDC), the Lake Ray Hubbard Interlocal Agreement, and the sublease agreements prepared by the City of Rockwall. For specific land use definitions refer to Subsection (~~J~~K), *Specifications for Permitted Land Uses*. In addition, the following terms shall be defined as follows:

(1) *Catwalk*. The narrow walkway of a dock providing people access to moored watercraft.

(2) *Centerline*. An established line that is equidistant from the surface or sides of something (*e.g. parcel boundaries*).

(3) *Cleat*. A metal fitting with two (2) projecting pieces used to wrap a rope around to secure a watercraft in position.

(4) *Dredging*. The process of deepening a waterway for the sale and efficient movement of watercraft by the removal of dirt either by digging or by suction.

(5) *Habitable Structure*. A structure fit for human habitation usually containing amenities (*e.g. fireplace, furniture, plumbing, bathing facilities, and cooking facilities*). Structures allowed by this section shall *not* be habitable structures and may not contain such amenities.

(6) *Lake*. Refers to Lake Ray Hubbard.

(7) *Lake Area*. The City of Dallas property, known as Lake Ray Hubbard, that is normally submerged by the lake at a normal lake pool elevation (*i.e. property at or below an elevation of 435.5-feet mean sea level*).

(8) *Leased Area*. Means the take area that is within the corporate limits of the City of Rockwall, or where the takeline is directly adjacent to the corporate limits of the City of Rockwall.

(9) *Lift*. A temporary means of elevating a watercraft out of the water by use of a hoist.

(10) *Locker Box*. A secured chest fixed onto a dock used for storage of watercraft equipment.

(11) *Moor*. Securing a watercraft to a fixed object such as a fixed cleat on a seawall while the watercraft is still in the water.

(12) *Mooring*. A place where a watercraft can be tied up and secured while in the water (*e.g. a slip*) for not more than 156-consecutive hours.

(13) *Power Source Station*. Used as a power supply for lighting a dock just below watercraft level.

(14) *Shoreline*. Refers to the line along the shore of the lake, established by the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(15) *Slip*. A watercraft's berth between two (2) piers or between finger piers.

(16) *Take or Takeline Area*. Refers to the land owned by Dallas between the takeline and the normal lake pool elevations (*i.e. 435.5-feet mean sea level*).

(17) *Treated Wood*. Wood treated by the impregnation or application of chemical solutions or chemical mixtures for the purpose of retarding or preventing deterioration or destruction cause by insects, fungi, bacteria, or other wood destroying organisms.

(18) *View Clear Zone*. The area within the view preservation angle where no new structures or plantings shall exceed six (6) feet above the existing grade to maintain neighboring views.

(19) *View Corridor*. A sight passage recognized as holding an intangible asset for a property owner and for a community due to the unique visual qualities of distant terrain, woodlands, wetlands, grasslands, skylines, and manmade lakes expressed through a view preservation angle from either a generally recognized center point or various center points along a road corridor or public view area (*see Figure 28: Visual Measurements for View Corridors of Subsection (E)*).

(20) *View Preservation Angle*. The angle determined as the line extending from the center point -- *or 30-foot point depending on lot size* -- along the quarter distance line of the leased area extending back toward the opposite corner where the takeline area crosses the lease area's side yard (*see Figure 28: Visual Measurements for View Corridors*).

(21) *Watercraft (or Boat)*. A craft for water transport. Examples of watercrafts are as follows:

(a) *Motorized Boat*. A boat propelled by an internal combustion engine.

(b) *Sail Boat*. A boat with a mast and sail propelled by the wind.

(E) *Visual Measurements for View Corridors*.

(1) *View Corridors*. View clear zones are established to protect a property owner's views of the lake and to maintain the aesthetic value of the lake's shoreline. The view clear zones for the takeline areas are established by the shoreline frontage of the takeline lease area. This measurement is determined by projecting the lease areas side yards to the normal pool elevation (*i.e. 435.5-feet mean sea level*), and connecting these two (2) points in a straight line (*see Figure ~~28~~34: Visual Measurements for View Corridors*). Based on this linear measurement, the view clear zones are determined by the following:

(a) *Lots That Have Less Than 100-Feet of Shoreline Frontage*. The view corridor for lots that have less than 100-feet of shoreline frontage is defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) center point from the shoreline frontage line

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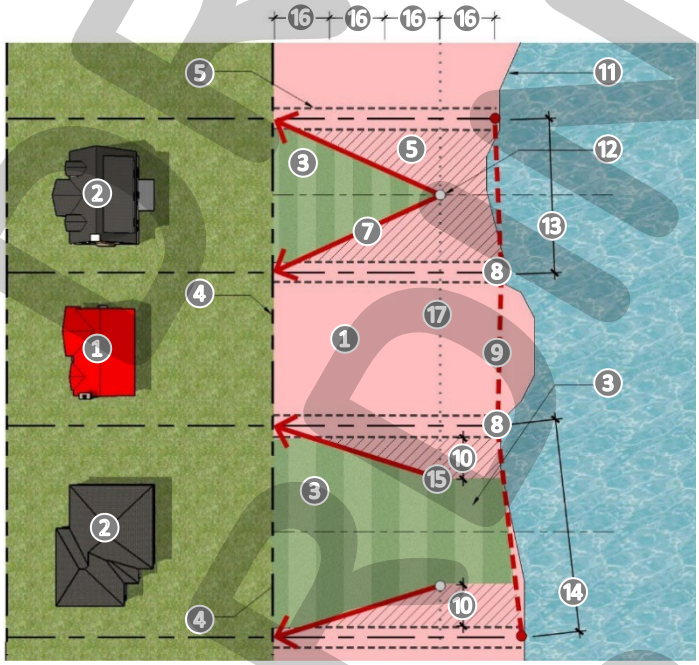
along the centerline of the leasing property owner's side yard with the angle running from the quarter distance center point to the opposite corners where the takeline area crosses the lease area's side yard. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

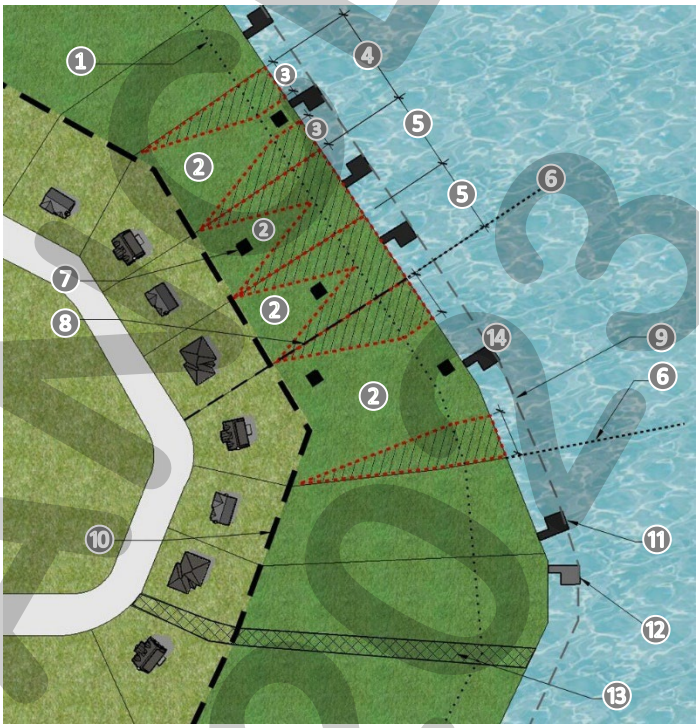
(b) *Lots That Have More 100-Feet or More Shoreline Frontage*. The view corridor for lots that have 100-feet or more shoreline frontage are defined by the view preservation angle determined as the quarter distance (*i.e. 25%*) line projected from the shoreline frontage line extending from the leasing property owner's side yard 30-feet along the quarter distance line and running from this point to the opposite corners where the takeline area crosses the lease area's side yard, and in a straight line from the 30-foot point on the quarter distance line to the shoreline frontage line. Those areas that fall inside of the view clear zones will be restricted from any type of new improvements or plantings exceeding six (6) feet in height with the exception of boat-related uses, which will be allowed by an administrative exception in accordance with Subsection (F)(2)(d).

FIGURE 34: VISUAL MEASUREMENTS FOR VIEW CORRIDORS



❶: SUBJECT PROPERTY'S AND ITS VIEW CORRIDOR (*PINK AREA*); ❷: NEIGHBORING PROPERTY; ❸: NEIGHBORING PROPERTY'S BUILDABLE AREA (*GREEN LINED AREA*); ❹: REAR PROPERTY LINE/TAKELINE; ❺: VIEW CLEAR ZONE (*LINED AREA*); ❻: LEASE AREA SIDE YARD SETBACK; ❼: VIEW PRESERVATION ANGLE; ❽: THE INTERSECTION OF THE 435.5 ELEVATION LINE AND THE LEASE AREA'S SIDE YARD; ❾: SHORELINE FRONTAGE LINE (*ESTABLISHED BY CONNECTING THE TWO [2] ❽ POINTS IN A STRAIGHT LINE*); ❿: 30-FOOT ; ⓫: SHORELINE; ⓬: CENTER POINT AT THE QUARTER DISTANCE LINE; ⓭: A LOT WITH A SHORELINE FRONTAGE LESS THAN 100-FEET; ⓮: A LOT WITH A SHORELINE FRONTAGE 100-FEET OR MORE; ⓯: 30-FOOT POINT ON THE QUARTER DISTANCE LINE; ⓰: 25% OF THE TAKELINE AREA; ⓱: QUARTER DISTANCE LINE.

FIGURE 35 EXAMPLES OF VISUAL MEASUREMENTS FOR VIEW CORRIDORS AND STRUCTURE PLACEMENT



❶: QUARTER DISTANCE LINE; ❷: BUILDABLE AREA; ❸: 30-FEET; ❹: A LOT WITH A SHORELINE FRONTAGE LINE 100-FEET OR MORE; ❺: A LOT WITH A SHORELINE FRONTAGE LINE LESS THAN 100-FEET; ❻: LEASE AREA'S PROJECTED SIDE YARD; ❼: STRUCTURE BUILT IN THE 438.0 ELEVATION ZONE; ❽: LEASE AREA'S SIDE YARD; ❾: 40-FOOT BUILDING LINE; ❿: REAR PROPERTY LINE/TAKELINE ; ⓫: EXISTING BOATHOUSE; ⓬: BOATHOUSE LOCATION APPROVED ADMINISTRATIVELY BECAUSE OF DRAINAGE EASEMENT AND CLUSTERED WITH AN EXISTING BOATHOUSE; ⓭: DRAINAGE EASEMENT; ⓮: BOATHOUSE AND STRUCTURE IN THE 435.5 ELEVATION ZONE GENERALLY CENTERED IN THE LEASE AREA BEHIND THE PRIMARY STRUCTURE.

(F) *General Requirements*. The following general requirements shall apply for all property in the takeline area.

(1) *Number of Permitted Structures*. The following is the maximum number of structures that shall be permitted in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (~~J~~K), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

(a) *438.0 Elevation Zone*: Two (2) structures shall be permitted in the *438.0 Elevation Zone*.

(b) *435.5 Elevation Zone*. One (1) structure shall be permitted in the *435.5 Elevation Zone*.

(2) *General Location of Permitted Structures*. The following requirements relate to where structures should be generally located in each elevation zone (*NOTE: in this case a structure is defined as any of the permitted uses specified in Subsection (~~J~~K), Specifications for Permitted Land Uses that exceeds six [6] feet in height*):

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(a) *438.0 Elevation Zone*: Structures in the *438.0 Elevation Zone* should be located outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (~~J~~K), *Specifications for Permitted Land Uses*.

(b) *435.5 Elevation Zone*: Structures in the *435.5 Elevation Zone* should be generally centered in the lease area -- *equal distance from both leased side yard boundary lines* -- behind the primary structure on the leasing property and outside of the view clear zones unless specifically permitted to be in the view clear zone by Subsection (~~J~~K), *Specifications for Permitted Land Uses*.

(c) *425.5 Elevation Zone*: Structures located in the *425.5 Elevation Zone* should be generally centered along the shoreline -- *equal distance from both the leased side yard boundary lines* -- behind the primary structure of the leasing property.

(d) *Administrative Exception for the 435.5 & 425.5 Elevation Zone*. In cases where it is [*1*] not feasible to construct a structure in the center of the lease area or along the shoreline, [*2*] will increase the view corridor or benefit the surrounding properties by not centering a structure in the lease area, or [*3*] where centering the structure will create an undue hardship to the property owner leasing the lease area, the Director of Planning and Zoning or his/her designee may approve an administrative exception to allow an alternate location that is not generally centered in the lease area as long as the location for the proposed structure is outside of the view clear zone. In approving these requests, the Director of Planning and Zoning or his/her designee shall consider the impact of the proposed structure on the adjacent property owners.

(3) *Building Materials*. The permitted building materials shall be as stipulated in Subsection (~~J~~K), *Specifications for Permitted Land Uses*, and as permitted by the City Council through a Specific Use Permit (SUP); however, the use of canvas, cloth, or like materials shall be prohibited within the takeline area. In addition, loose ground materials (*e.g. sand, fill, pea gravel*) that could be used for trails, paths, play areas, active sports activities, or as exposed landscape bedding material are prohibited.

(4) *Trees*. In order to plant or remove a tree in the takeline area, a *Treescape Plan* showing the exact location, size (*i.e. trunk diameter and height*), and common name of the tree to be planted or removed will be required to be submitted to the Parks and Recreation Department. A permit to plant or remove a tree may be approved administratively by the Director of Parks and Recreation or his/her designee, or forwarded to the Parks and Recreation Board for approval. In reviewing a request to plant or remove a tree, the following criteria shall apply:

(a) *Planting Trees*. Trees are permitted to be planted within the *438.0 Elevation Zone* pending they are [*1*] not a variety specifically listed in the prohibited tree list contained in Section 03, *Tree Planting Guidelines and Requirements*, of Appendix C, *Landscaping Guidelines and Requirements*, and [*2*] they are not located within the view clear zone outlined Subsection (E), *Visual Measurements*. The Director of Parks and Recreation or his/her designee may grant an exception to allow a tree to be planted in the view clear zone where it is determined that the tree will not decrease the visibility of the lake or shoreline for the adjacent properties. In making this determination, the Director of Parks and Recreation shall consider the size of the proposed tree at maturity.

(b) *Removing Trees*. Trees are permitted to be removed only if they are determined to be damaged or diseased, or if they create a hazardous or dangerous condition that could endanger the public health, safety or welfare of the general public.

(5) *Temporary Structures on Lease Property in the Takeline Area*. Temporary structures (*e.g. portable residential barbecue grills and ranges, trampolines, etc.*) are permitted to be brought out into the takeline area providing that they are not allowed to remain in any part of the takeline area for more than 72 consecutive hours unless completely enclosed within a fenced area constructed in accordance with Subsection 06.15(~~J~~K)(6). For temporary structures on unleased property in the takeline area see Article III, *Offenses Regarding the Use of the Lake Ray Hubbard Takeline*, of Chapter 22, *Miscellaneous Offenses* of the Municipal Code of Ordinances.

(G) *Residential Sublease Agreement*. A *Residential Sublease Agreement* is an agreement between a property owner and the City of Rockwall that grants the property owner certain rights to the exclusive use of the takeline area. A *Residential Sublease Agreement* shall be required to build certain structures within the takeline area. The area to be leased by a single-family property owner shall be directly contiguous to the boundaries of the property and are only permitted in the areas depicted in *GREEN* on Figure 32, *Lake Ray Hubbard Takeline (TL OV) District Map*. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Residential Sublease Agreement*. An owner in violation of this section shall be subject to the requirements of Section 01, *Penalties*, of Article 12, *Enforcement*, of the Unified Development Code (UDC). The following shall be the costs associated with a *Residential Sublease Agreement*:

Lease	Fees
New Lease (*i.e. New Never Leased by Current Owner*) [2]	$200.00
Annual Renewal of a Lease	$100.00
Change of Ownership of a Valid Lease	$50.00
Reinstatement of an Expired Lease (*i.e. Same Property Owner*) [3]	$500.00

NOTES:

[1]: To be subject to these new fees, a lease entered into after *January 1, 2021* will be required (*i.e. the effective date of the amendment adopting these fees*).

[2]: A lease is considered to be new under the following circumstances: [*1*] the property has never had a valid lease agreement, or [*2*] the property had a valid lease under different ownership but that lease agreement expired prior to the current owner taking possession of the property.

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[3]: A lease is considered to be a reinstatement when it lapses or expires under the current ownership, and then the same owner requests a new lease.

(H) *Homeowner's Association (HOA) Sublease Agreement*. A *Homeowner's Association (HOA) Sublease Agreement* is an agreement between a Homeowner's Association (HOA) and the City of Rockwall that grants the HOA certain rights to the exclusive use of the takeline area for their members. The area to be leased by the Homeowner's Association (HOA) shall be directly contiguous to the boundaries of the HOA and are only permitted in the areas depicted in *ORANGE* on Figure 32, *Lake Ray Hubbard Takeline [TL OV] District Map*. It shall be a violation of the zoning code to build or maintain a structure in the takeline area without a valid *Homeowner's Association (HOA) Sublease Agreement.* A Homeowner's Association (HOA) in violation of this section shall be subject to the requirements of Section 01, *Penalties*, of Article 12, *Enforcement*, of the Unified Development Code (UDC). The requirements for a *Homeowner's Association (HOA) Sublease Agreement* are as follows:

(1) *Site Plan*. Prior to the execution of a *Homeowner's Association (HOA) Sublease Agreement*, the Homeowner's Association (HOA) shall submit a *Site Plan* to the Director of Planning and Zoning in accordance with the procedures outlined in Subsection 01.02, *Submission of an Application*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). The *Site Plan* shall show all of the *Activity Areas* [*see Subsection (H)(2) below*], the proposed improvements for these areas, the required seawalls, fixed piers and/or dock decks, private walkways, and any landscaping for the leased area. The Planning and Zoning Commission shall review the *Site Plan* in accordance with the procedures contained in Section 03, *Site Plans*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon approval of a *Site Plan*, the approved *Site Plan* shall be incorporated into the *Homeowner's Association (HOA) Sublease Agreement*. Should the Homeowner's Association (HOA) choose to amend the *Site Plan*, the *Site Plan* shall be amended in accordance with the procedures of Subsection 03.06, *Amended Site Plan*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Upon approval of an amendment to the *Site Plan*, a new *Homeowner's Association (HOA) Sublease Agreement* shall be drafted containing the *Amended Site Plan* and superseding the original *Homeowner's Association (HOA) Sublease Agreement*.

(2) *Activity Areas*. In lieu of the requirements of Subsections (F)(1), *Number of Permitted Structures*, and (F)(2), *General Location of Permitted Structures*, -- *and as part of the required Site Plan outlined in Subsection (H)(1) above* -- the Homeowner's Association (HOA) shall identify *Activity Areas* where improvements can/will be made within the leased area. Improvements outside of the *Activity Areas* -- *with the exception of landscaping and private walkways* -- shall be prohibited for the purpose of preserving the view corridors of the existing residential properties. The *Activity Areas* shall generally adhere to the following requirements:

(a) *Size*. *Activity Areas* should not be larger than 50-feet by 50-feet, unless otherwise approved by the Planning and Zoning Commission. In reviewing the *Activity Areas,* the Planning and Zoning Commission shall consider how the proposed size affects the view corridors of the adjacent residential properties.

(b) *Location*. *Activity Areas* shall be spaced so that they are a minimum of 200-feet apart, and be setback a minimum of 25-feet from the rear or side yard property line of any residential property. In addition, the *Activity Areas* shall be located in a manner that will create the least amount of impact to the adjacent property owners and their view corridors.

(c) *Seawalls*. Prior to the construction of an *Activity Area*, a seawall, conforming to Subsection (K), *Specifications for Permitted Land Uses*, and extending 100-feet on either side of the *Activity Area*, shall be required to be constructed.

(3) *Fixed Piers and Dock Decks*. Fixed piers and dock decks, conforming to Subsection (K), *Specifications for Permitted Land Uses* and spaced a minimum of 200-feet apart, are permitted along the leased area; however, a seawall, conforming to Subsection (K), *Specifications for Permitted Land Uses* and extending 100-feet on either side of the fixed pier or dock deck, shall be required with the proposed improvements.

(4) *Prohibited Land Uses*. Boathouses, as defined in Subsection (K), *Specifications for Permitted Land Uses*, shall be prohibited in the leased area associated with any *Homeowner's Association (HOA) Sublease Agreement*; however, in the event a boathouse existed in the leased area prior to the execution of the *Homeowner's Association (HOA) Sublease Agreement*, the HOA shall assume responsibility for the existing improvement in accordance with Subsection (H)(5) below.

(5) *Existing Improvements*. As part of the *Homeowner's Association (HOA) Sublease Agreement*, the HOA shall be required to assume responsibility for any existing improvements and the maintenance of these improvements in the leased area.

(6) *Fees*. The following shall be the costs associated with a *Homeowner's Association (HOA) Sublease Agreement*:

Lease	Fees
New Lease (*i.e. New Never Leased by HOA*) [1]	$200.00
Annual Renewal of a Lease	$100.00
Reinstatement of an Expired Lease (*i.e. Same HOA*) [2]	$500.00

NOTES:

[1]: A lease is considered to be new if the property has never had a valid lease agreement or if a site plan has been amended in accordance with the procedures of Subsection (H)(1).

[2]: A lease is considered to be a reinstatement when it lapses or expires, and then the Homeowner's Association (HOA) requests a new lease.

~~(H)~~(I) *Permitted Uses*. All of the uses permitted within the *Lake Ray Hubbard Takline Overlay (TL OV) District* shall adhere to all other

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applicable codes and the permitting requirements of the City of Rockwall. For a list of permitted land uses see Subsection (~~I~~L), *Specifications for Permitted Land Uses*, or Subsection 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*.

~~(I)~~(J) *Specific Use Permits (SUPs)*. A Specific Use Permit (SUP) may be requested for: [*1*] any use that is not listed in Subsection (~~J~~K), *Specifications for Permitted Land Uses* or [2] any structure that does not adhere to the requirements stipulated for that use or structure as required by Subsection (~~J~~K), *Specifications for Permitted Land Uses*; however, a request for a Specific Use Permit (SUP) cannot be requested if a dimensional, material, size, or location standard stipulated in Subsection (~~J~~K), *Specifications for Permitted Land Uses*, or Subsection (F), *General Requirements*, is expressly prohibited. In addition, no requests can be made that violate the view corridor requirements stipulated in Subsection (E), *Visual Measurements*. A Specific Use Permit (SUP) may be requested for water related land uses that are not specifically addressed in Subsection (~~J~~K), *Specifications for Permitted Land Uses*, (*e.g. jet ski lift*) pending the applicant provides a letter of consent from the City of Dallas prior to making the application. In considering a Specific Use Permit (SUP) request, the City Council shall consider how the proposed request [*1*] impacts adjacent properties, and [2] adheres to the intent of the Lake Ray Hubbard Takeline Overlay (TL OV) District.

~~(J)~~(K) *Specifications for Permitted Land Uses*. See Subsection 07.05, *Lake Ray Hubbard Takeline Overlay (TL OV) District Development Standards*, for a summary of the development standards for each of the following conditional uses.

(1) *Barbecue Pit*.

(a) *Definition*. A *barbecue pit* is a permanent fireplace structure over which meat, poultry and other foods are roasted (*for Fire Pit see Subsection 06.15(~~J~~K)(9)*).

(b) *Prerequisites*. A *barbecue pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *barbecue pit* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *barbecue pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).

(e) *Construction Standards*.

(1) *Building Materials*. A *barbecue pit* must be constructed utilizing a combination of natural stone, brick, concrete, and/or iron grating.

(2) *Height*. A *barbecue pit* shall not exceed a maximum of six (6) feet in height.

(3) *Size*. A *barbecue pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *barbecue pit* should not exceed a maximum size of eight (8) feet in length by three (3) feet in width.

(f) *Setback Requirements*. A *barbecue pit* must adhere to the following setbacks:

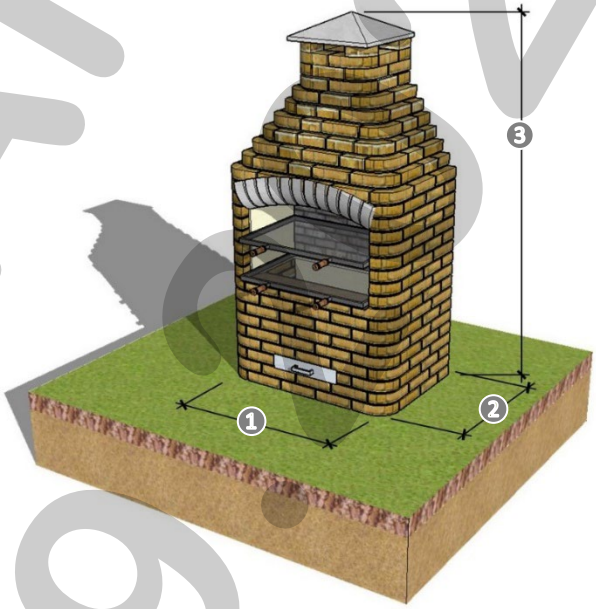
(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *barbecue pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *barbecue pit* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.



❶: A MINIMUM AND MAXIMUM OF THREE (3) FEET IN LENGTH; ❷: A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET IN WIDTH; ❸: A MAXIMUM OF SIX (6) FEET;

(2) *Boathouse*.

(a) *Definition*. A *boathouse* is a roofed structure affixed to the end of an adjoining *fixed pier*, with a main waterside opening, containing an operating boatlift, and which is built to house and protect a watercraft and boat related equipment.

(b) *Prerequisites*. A *boathouse* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed a *fixed pier*.

(c) *Conditional Use Standards*. *Boathouses* are used for storing boats that have a fuel efficiency rating greater than 95%; however, boathouses may also be used to store

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sailboats. *Boathouses* will not be used for storing any other type of items except boats and boat-related equipment. In addition, *Boathouses* shall not be used as a habitable dwelling structure, or shelter for domestic or wild animals. All *boathouses* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *boathouse* shall not be designed to prevent public access to an area of water. Accessories placed on the flat surface of a *boathouse* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(d) *Elevation Zone*. A *boathouse* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

(e) *Construction Standards*.

(1) *Building Materials*. All *boathouse* constructed below the 437.0-foot mean sea level contour shall use only pilings and materials approved by the City of Rockwall and the City of Dallas. *Boathouses* shall be constructed utilizing composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with high-tech plastic materials*) -- *products equivalent to Trex brand are preferred* -- for decking, galvanized metal/iron/steel or aluminum (*with a minimum color rating of AAMA 2604*) for the support posts, all aforementioned materials and cedar or iron wood for the roof beams, and standing seam metal for the roof with a pre-finished color. Support posts may be wrapped in composite material. Water repellant sealants shall not be used to treat any cedar or ironwood used for roof beams. All fasteners binding materials together must be made out of stainless steel.

(2) *Height*. A *boathouse* shall be a minimum of 16-feet and a maximum of 21-feet in height as measured from the top of the fixed pier's catwalk to the vertex of the *boathouse's* cupola; however, in no case should a *boathouse* exceed one (1) story in height.

(3) *Size*. The footprint of the exterior sides of a *boathouse* will measure a minimum of eight (8) feet in width by 30-feet in length and a maximum of 12-feet in width and 30-feet in length. *Boathouses* shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).

(4) *Roof*. A *boathouse* will have a hip roof with either: [*1*] one (1) cupola with a hip roof centered at the top of the main hip roof, or [*2*] two (2) cupolas each with hip roofs at either end of the top of the main hip roof. Cupolas will be designed to allow updraft air and winds to vent outward, and shall measure three (3) feet by four (4) feet. All *boathouse* roofs shall be built with a minimum of a 2:1 roof pitch and will not have an overhang greater than 18-inches. *Boathouses* shall not incorporate a deck or platform.

(5) *Lighting*. Interior lighting for a *boathouse* will be directed downward from the ceiling of the structure and at the stored watercraft. Exterior lighting for a *boathouse* will be directed downwards toward the fixed pier with light fixtures incorporated either into the roof's overhang or the structure's columns. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public.

(6) *Additional Construction Standards*.

(a) *Deck Ladder*. A deck ladder is permitted to be constructed inside a *boathouse*.

(b) *Storage Unit*. A *boathouse* can incorporate one (1) storage unit measuring 72-inches in length by 20-inches in depth by 20-inches in height. Storage units shall be placed on the outer dockside, and shall only be used for storing boat-related equipment. The storage of fossil fuels and/or hazardous materials is prohibited.

(c) *Boat or Watercraft Lift(s)*. A *boathouse* must incorporate either one (1) regular boat lift or two (2) personal watercraft boat lifts. All boat or watercraft lifts must be able to hoist a watercraft above the 438.0-foot mean sea level contour, and be maintained in good operating condition. All watercrafts must be stored under the roof of the *boathouse*.

(d) *Pilings*. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(e) *Catwalks*. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(f) *Safety Reflectors*. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

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(7) *Location*. All *boathouses* are required to be located in the water of the *Lake*. View corridor restrictions do not apply to *boathouses*; however, a boathouse should generally be located in line with the primary structure on the leasing property (*i.e. generally centered on the lot*). *Boathouses* shall not be designed to prevent or restrict public access to any portion of water within the *Lake*.

(f) *Setback Requirements*. A *boathouse* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-feet
(2) *Leased Side Yard Setback*: 10-feet
(3) *Maximum Distance from Seawall*: 40-feet

(g) *Additional Requirements*.

(1) *Dredging*. Dredging of the lake area is allowed for the berthing of a motorized boat into a *boathouse* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

(2) *Compliance with Applicable Codes*. A *boathouse* must comply with all other applicable City of Rockwall codes.

(3) *Address*. All *boathouses* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

(4) *Easement Protection*. No *boathouse* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) *Visual Representation*.

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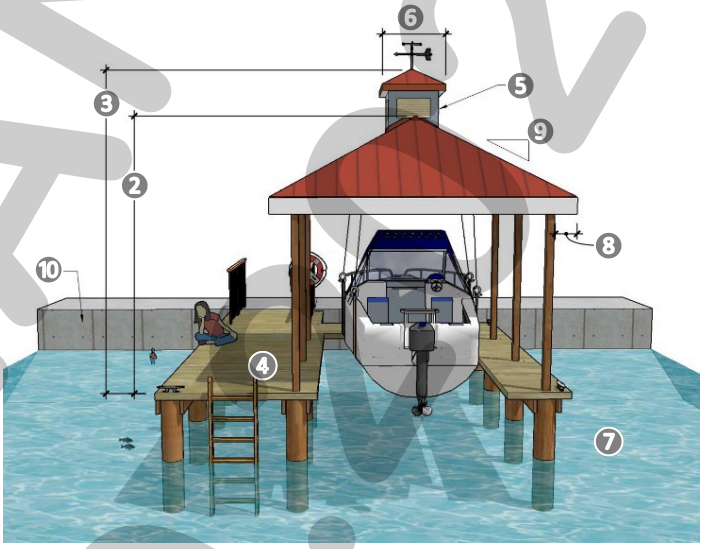
❶: 40-FOOT MAXIMUM



❶: 40-FOOT MAXIMUM; ❷: 13-FOOT MINIMUM TO 18-FOOT MAXIMUM; ❸: 16-FOOT MINIMUM TO 21-FOOT MAXIMUM; ❹: CATWALK (UNDERSTRUCTURE TO BE ABOVE THE 437.0-FOOT ELEVATION); ❺: CUPOLA; ❻: THREE (3) FEET BY FOUR (4) FEET; ❼: 435.5-FOOT NORMAL POOL ELEVATION; ❽: 1.5-FOOT MAXIMUM OVERHANG; ❾: 2:1 ROOF PITCH (HIP ROOF ONLY); ❿: SEAWALL

(3) *Covered Patio*.

(a) *Definition*. A *covered patio* is a standalone structure that provides shade and/or rain coverage for a patio or deck. Covered patios have a solid roof.

(b) *Prerequisites*. A *covered patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *covered patio* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

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(d) *Conditional Use Standards*. A *covered patio* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) *Construction Standards*.

(1) *Building Materials*. A *covered patio* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The roof of the structure should generally match the color of the roof on the primary structure, and be constructed using clay tiles, standing seam metal, slate shingles, concrete shingles, or ceramic shingles. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

(2) *Height*. A *covered patio* shall not exceed a maximum height of 15-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the mid-point of the pitched roof.

(3) *Size*. A *covered patio* shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

(4) *Roof*. A *covered patio* will have a hip or gable roof with either: [*1*] one (1) cupola with a hip roof centered at the top of the main hip roof, or [*2*] a clerestory built into the center of the main hip roof. Cupolas and clerestories will be designed to allow updraft air and winds to vent outward, and shall be proportional to the main roof. All *covered patios* should be built with a minimum of a 4:1 roof pitch. The roof shall not have an overhang greater than 18-inches.

(5) *Location*. A *covered patio* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Covered patios* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *covered patio* must adhere to the following setbacks:

(1) *Takeline Setback*: 6-Feet (*from the Concrete Cap of the Seawall*)
(2) *Leased Side Yard Setback*: 20-Feet

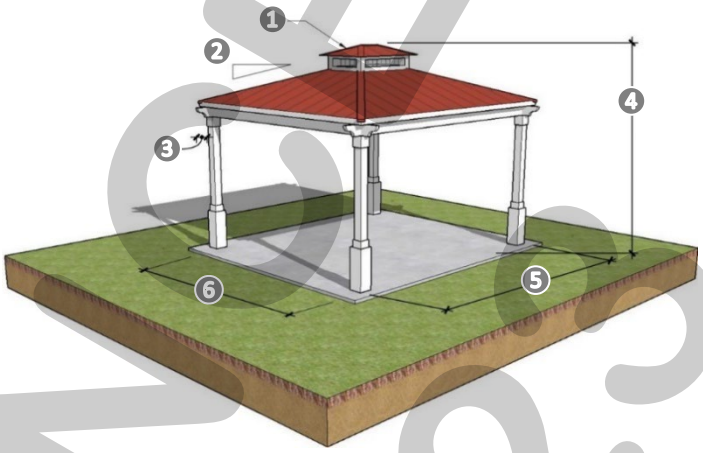
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *covered patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *covered patio* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *covered patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: CUPOLA OR CLERESTORY; ❷: 4:1 MINIMUM ROOF PITCH; ❸: 18-INCHES MAXIMUM OVERHANG; ❹: 15-FEET MAXIMUM HEIGHT; ❺: 20-FEET MAXIMUM; ❻: 12-FEET MAXIMUM;

(4) *Deck*.

(a) *Definition*. A *deck* is a roofless structure anchored to the ground that consists of planks running in a horizontal pattern and creating a flat surface area.

(b) *Prerequisites*. A *deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *deck* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted (*see Dock Deck in Subsection 06.15(~~JK~~)(5)*).

(d) *Conditional Use Standards*. A *deck* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

(e) *Construction Standards*.

(1) *Building Materials*. A *deck* must be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Handrails incorporated into a *deck* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are *not* permitted in the *435.5 Elevation Zone*.

(2) *Height*. A *deck* shall not exceed a maximum height of 24-inches above grade.

(3) *Size*. A *deck* shall not exceed a maximum area of 1,000 SF.

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(4) *Location*. A *deck* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Decks* shall not be placed in the view clear zone of a neighbor's view corridor.

(5) *Foundation*. A *deck* shall be anchored into the ground using concrete posts and footings as a foundation appropriate for the load and size of the proposed *deck*.

(f) *Setback Requirements*. A *deck* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

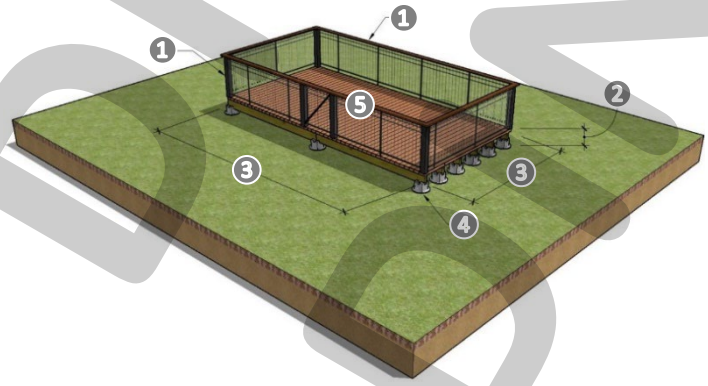
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *deck* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *deck* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *deck* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: WROUGHT IRON OR DECORATIVE METAL; ❷: MAXIMUM OF 24-INCHES OR TWO (2) FEET ABOVE GRADE; ❸: (L) X (W) SHALL NOT BE GREATER THAN 1,000 SF; ❹: CONCRETE POSTS AND FOOTINGS FOR FOUNDATION; ❺: COMPOSITE DECKING MATERIALS.

(5) *Dock Deck*.

(a) *Definition*. A *dock deck* is a flat floor surface area built over the water adjoining the end of a *fixed pier*.

(b) *Prerequisites*. A *dock deck* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, has constructed a *seawall* along the entire length of the shoreline within the leased area, and has constructed *fixed pier*.

(c) *Elevation Zone*. A *dock deck* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

(d) *Conditional Use Standards*. Items that can be securely attached to the edge of a *dock deck* include the following: [*1*] a personal watercraft swing lift, [*2*] benches, [*3*] dock deck lighting that is either embedded in or on a pole, [*4*] locker box, and/or [*5*] power source station. A table may also be placed on the edge or in the center of a *dock deck*. A watercraft is only allowed to moor at any portion of a *dock deck* for no more that 156-consecutive hours during any given week. All *dock decks* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *dock deck* shall not be designed to prevent public access to an area of water. *Dock decks* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a *dock deck* or catwalk must be placed in an orderly manner that allows for the safe movement of people.

(e) *Construction Standards*.

(1) *Building Materials*. The catwalk and/or *dock deck* and any benches built on these structures shall utilize only composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a dock deck shall be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Dock decks* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Dock decks* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *dock decks* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall *not* be used.

(2) *Height*. No pole structures incorporated into a *dock deck* shall be higher than eight (8) feet above the flat floor surface with no more than four (4) pole structures allowed.

(3) *Size*. The footprint of the exterior sides of a *dock deck* adjoining a fixed pier shall be a minimum of eight (8) feet by ten (10) feet (*i.e. 80 SF*) and a maximum of 12-feet by 30-feet (*i.e. 360 SF*). *Dock*

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decks shall not extend more that 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).

(4) *Lighting*. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of a *dock deck* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a maximum height of eight (8) feet can be placed along the periphery of a *dock deck*.

(5) *Additional Construction Standards*.

(a) *Pilings*. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(b) *Catwalks*. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(c) *Safety Reflectors*. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) *Location*. View corridor restrictions do not apply to *dock decks*. *Dock decks* shall not be allowed on land.

(f) *Setback Requirements*. A *dock deck* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-feet
(2) *Leased Side Yard Setback*: 10-feet
(3) *Maximum Distance from Seawall*: 40-feet

(g) *Additional Requirements*.

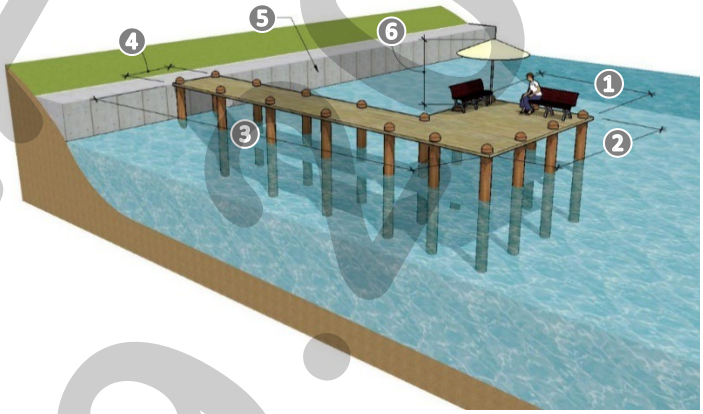
(1) *Dredging*. Dredging of the lake area is allowed for the berthing of a motorized boat into a *dock deck* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

(2) *Compliance with Applicable Codes*. A *dock deck* must comply with all other applicable City of Rockwall codes.

(3) *Address*. All *dock decks* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

(4) *Easement Protection*. No *dock deck* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) *Visual Representation*.



❶: MINIMUM OF TEN (10) FEET AND A MAXIMUM OF 30-FEET; ❷: MINIMUM OF EIGHT (8) FEET AND A MAXIMUM OF 12-FEET; ❸: 40-FOOT MAXIMUM; ❹: SIX (6) FOOT MAXIMUM; ❺: SEAWALL; ❻: EIGHT (8) FOOT MAXIMUM;

(6) *Fence*.

(a) *Definition*. A *fence* is a barrier, railing, or other upright structure, enclosing a specific area to mark a boundary or control access.

(b) *Prerequisites*. A *fence* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *fence* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *fence* shall only be allowed to enclose an area beginning at the *Takeline* corners (*i.e. the rear property line corners of the property leasing the*

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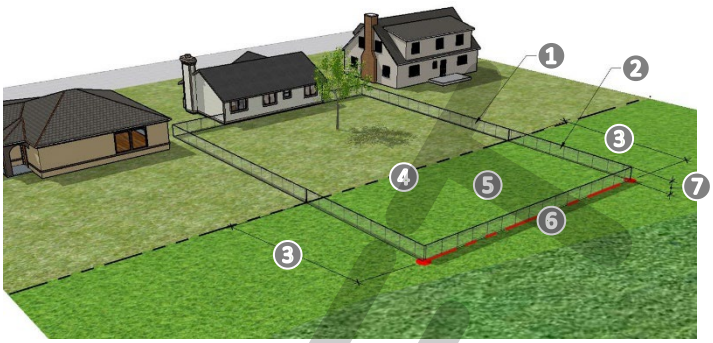
take area), extending 45-feet along the lease line, and connecting the two (2) points in a straight line (*see example below*).



❶: EXISTING RESIDENTIAL FENCE ON THE LEASING PROPERTY; ❷: WROUGHT IRON OR BLACK TUBLAR STEEL FENCE; ❸: MAXIMUM OF 45-FEET ALONG THE LEASE LINE OF THE TAKELINE; ❹: REAR PROPERTY LINE/BEGINNING OF THE TAKELINE; ❺: 438.0 ELEVATION ZONE; ❻: THE STRAIGHT-LINE CONNECTION BETWEEN THE TWO (2), 45-FOOT POINTS; ❼: MAXIMUM OF 48-INCHES OR FOUR (4) FEET.

(e) *Construction Standards*.

(1) *Building Materials*. A *fence* shall *only* be constructed of wrought iron or black tubular steel.

(2) *Height*. A *fence* shall not exceed a maximum height of 48-inches from grade.

(3) *Location*. A *fence* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *fence* must adhere to the following setbacks:

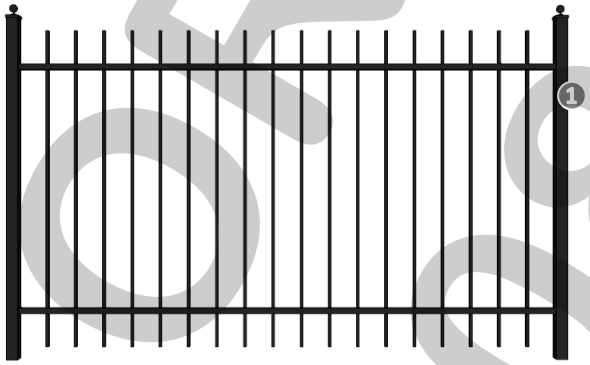
(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *fence* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *fence* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.



❶: FOUR (4) FOOT WROUGHT IRON FENCE

(7) *Flagpole*.

(a) *Definition*. A *flagpole* is an upright pole or staff, constructed at a 90-degree angle to the finished grade, which is used to raise a flag.

(b) *Prerequisites*. A *flagpole* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *flagpole* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A maximum of two (2) *flagpoles*, with one (1) flag on each pole shall be permitted within a lease area. The United States of America and State of Texas flags measuring a maximum of six (6) feet by four (4) feet will be the only flags permitted to be flown along the takeline. Lighting in association with a flagpole shall be prohibited.

(e) *Construction Standards*.

(1) *Building Materials*. A *flagpole* shall *only* be constructed of either stainless steel or aluminum.

(2) *Height*. A *flagpole* shall not exceed a maximum height of 20-feet from grade.

(3) *Size*. At the ground base a *flagpole* shall measure a minimum size of five (5) inches and a maximum size of eight (8) inches.

(4) *Location*. A *flagpole* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Flagpoles* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *flagpole* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *flagpole* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *flagpole* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *flagpole* shall not be located in an area where it would block public safety

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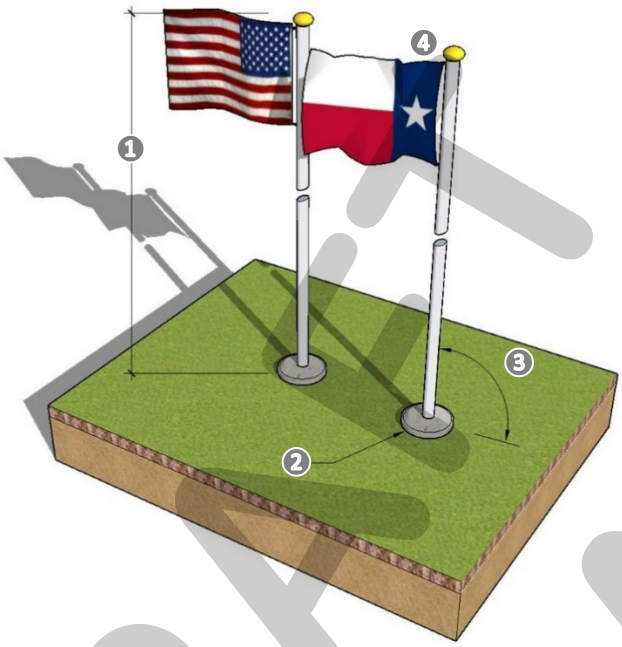
personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: MAXIMUM OF 20-FEET FROM GRADE; ❷: AT THE BASE THE FLAGPOLE CAN BE A MINIMUM OF FIVE (5) INCEHS AND A MAXIMUM OF EIGHT (8) INCHES; ❸: MAINTAINED TO BE 90-DEGREES FROM GRADE; ❹: FLAGPOLES ARE PERMITTED ONE (1) FLAG A MAXIMUM OF FOUR (4) FEET BY SIX (6) FEET;

(8) *Fixed Pier*.

(a) *Definition*. A *fixed pier* is a structure with a catwalk that extends from the shoreline out into the body of water with the structure being used to moor and land watercraft.

(b) *Prerequisites*. A *fixed pier* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall, and has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *fixed pier* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

(d) *Conditional Use Standards*. Each eligible property adjacent to the takeline will be permitted one (1) fixed pier with an adjoining dock deck and/or boathouse. *Fixed piers* can be designed to be in an 'I', 'T', 'L' or 'U' shape (*see Subsection 06.15(~~J~~K)(8)(h)*). Items that can be securely attached to the edge of a *dock deck* include the following: [*1*] a personal watercraft swing lift, [*2*] benches, [*3*] cleats, [*4*] dock lighting, [*5*] locker box, and/or [*6*] power source station. A watercraft is only allowed to moor at any portion of a *fixed pier* for no more that 156-consecutive hours during any given week. All *fixed pier* shall be designed to discourage swimming, be durable, and have a base foundation construction of approved piling piers placed to a depth decided by a structural engineer; however, a *fixed pier* shall not be designed to prevent public access to an area of water. *Fixed piers* shall also be designed to be clearly visible during all seasons of the year and fluctuations in pool elevation of the *Lake*. Accessories placed on the flat surface of a catwalk of a *fixed pier* must be placed in an orderly manner that allows for the safe movement of people.

(e) *Construction Standards*.

(1) *Building Materials*. The catwalk and any benches built on these structures shall utilize only composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*). Any railings built on a *fixed pier* shall be constructed of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or steel tubing railings. *Fixed piers* above 437.0 feet mean sea level are required to be constructed of metal pilings, concrete pilings, or plastic PVC pilings. *Fixed piers* constructed below 437.0 feet mean sea level must use only pilings and materials approved by the City of Dallas as specified in the City of Dallas' *Construction Permit Application Lake Structures Lake Ray Hubbard*. All pilings shall be engineered and approved to handle the pressures, stresses, and loads applicable to lakefront conditions. The exterior color of all *fixed piers* shall be a neutral or earth tone color and be subject to approval by the Planning and Zoning Department at the time of building permit. All fasteners binding materials together must be made of stainless steel. Water repellant sealants shall not be used.

(2) *Height*. No pole structures incorporated into a *fixed pier* shall be higher than eight (8) feet above the flat floor surface with no more than two (2) pole structures allowed.

(3) *Size*. The catwalk of a *fixed pier* will be a maximum of six (6) feet in width, as measured at a 90-degree angle to the main *fixed pier's* length, and will not enclose any portion of the water to allow the free movement of water underneath. *Fixed piers* shall not extend more than 40-linear feet into the water as measured from the normal pool elevation of the shoreline (*i.e. 435.5*).

(4) *Lighting*. Lighting shall not hinder an adjacent property owner's lake views, negatively impact surrounding residents with unwanted brightness or glare, or interfere with the safety of the traveling public. Safety lighting may be placed onto the interior edges of the flat floor surface of the catwalk of a *fixed pier* at ten (10) foot increments, with the cover housing the lighting source no higher than six (6) inches. Two (2) light post structures with a

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maximum height of eight (8) feet can be placed at the end of a *fixed pier*.

(5) *Additional Construction Standards*.

(a) *Pilings*. The approved pilings used to support a boathouse must be built up to at least 17-inches above the normal pool elevation of 435.5-feet mean sea level. Vertical rub rails are required on all concrete piers and pilings.

(b) *Catwalks*. The catwalk of a *fixed pier* will be allowed within nine (9) feet of the normal pool elevation of 435.5-feet mean sea level. The flat floor surface or catwalk for all structures must be no more and no less than 18-inches above the normal pool elevation of 435.5-feet mean sea level.

(c) *Safety Reflectors*. All structures shall be designed with safety reflectors to be clearly visible on three (3) sides on the main waterside end of the end of the structure. Safety reflectors are required on either side of the main waterside end and the two (2) sides at a minimum increment of ten (10) feet starting at the structure's main waterside end and working back to the shoreline. Safety reflectors will be white, blue, or red and no less than three (3) inches in diameter or square in size, kept clean, firmly attached to the structure, and maintained in good condition.

(6) *Location*. View corridor restrictions do not apply to *fixed piers*.

(f) *Setback Requirements*. A *fixed pier* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-feet
(2) *Leased Side Yard Setback*: 10-feet
(3) *Maximum Distance from Seawall*: 40-feet

(g) *Additional Requirements*.

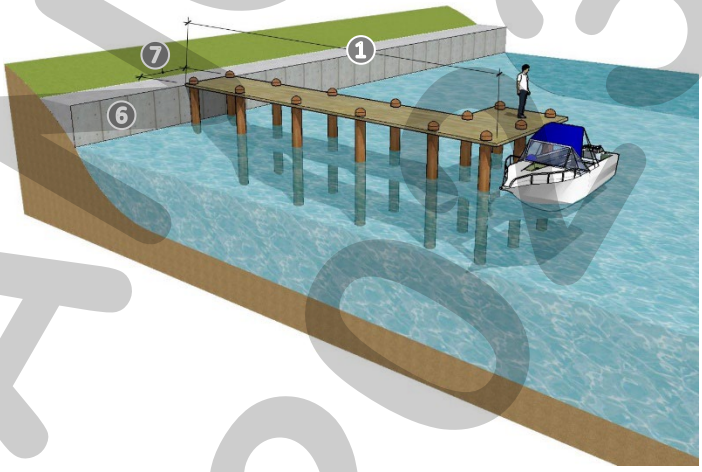
(1) *Dredging*. Dredging of the lake area is allowed for the berthing of a motorized boat into a *fixed pier* provided that the dredging does not exacerbate shoreline erosion, lake siltation, water quality degradation, wetlands instability, or the integrity of any built structure, and the dredged channel is maintained for boating maneuverability to a depth of 425.0-feet mean sea level and a width area allowable for safe boating maneuverability. Property authorization to dredge must be obtained from the City of Rockwall, City of Dallas, US Army Corps of Engineers, and the Texas Parks and Wildlife Department. Disposal of dredging materials must be handled by a licensed establishment, properly treated and disposed of at an offsite location or disposed onsite only as part of land reclamation working under the City of Dallas guidelines and supervision.

(2) *Compliance with Applicable Codes*. A *fixed pier* must comply with all other applicable City of Rockwall codes.

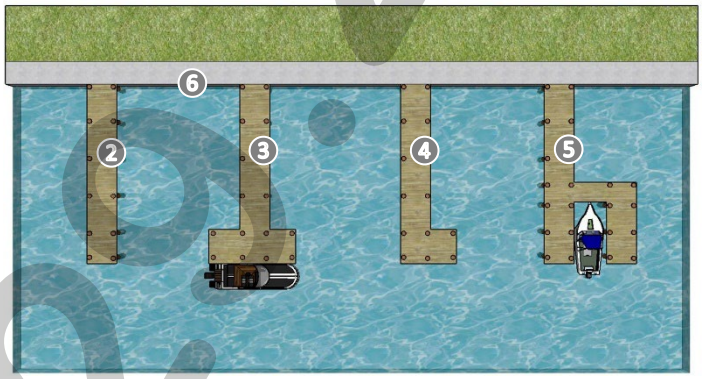
(3) *Address*. All *fixed pier* shall have a residential street address sign with six (6) inch black letters on a white background displayed outwards towards the main body of the *Lake* to be recognizable for waterside public safety and emergency personnel.

(4) *Easement Protection*. No *fixed pier* shall encroach into an existing or identified future easement, right-of-way, access road, or path.

(h) *Visual Representation*.



❶: 40-FOOT MAXIMUM; ❷: PIER IN AN 'I' SHAPE; ❸: PIER IN 'T' SHAPE; ❹: PIER IN A 'L' SHAPE; ❺: PIER IN A 'U' SHAPE; ❻: SEAWALL; ❼: SIX (6) FOOT MAXIMUM



(9) *Fire Pit*.

(a) *Definition*. A *fire pit* is a permanent fireplace that is dug into the ground or is in a freestanding structure in which a contained fire is made.

(b) *Prerequisites*. A *fire pit* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *fire pit* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

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(d) *Conditional Use Standards*. A *fire pit* can only be fueled by charcoal and wood products, and shall not be fueled by any permanently buried gas products (*i.e. natural gas or propane*).

(e) *Construction Standards*.

(1) *Building Materials*. The surround (*i.e. the area used to contain the fire*) for a *fire pit* must be constructed utilizing a combination of natural stone, brick, and/or concrete.

(2) *Height*. A *fire pit* shall not exceed a maximum of 36-inches in height.

(3) *Size*. A *fire pit* shall not be smaller than a minimum size of three (3) feet in length by three (3) feet in width; however, a *fire pit* should not exceed a maximum size of five (5) feet in length by five (5) feet in width.

(f) *Setback Requirements*. A *fire pit* must adhere to the following setbacks:

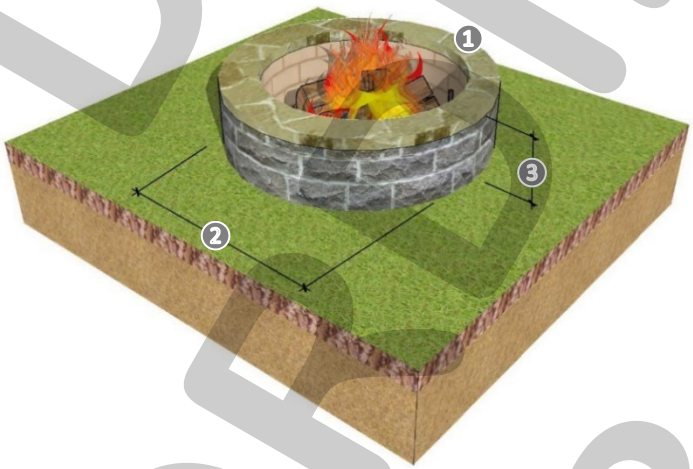
(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *fire pit* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *fire pit* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.



❶: NATURAL STONE, BRICK, AND/OR CONCRETE; ❷: MINIMUM SIZE OF THREE (3) FEET BY THREE (3) FEET AND A MAXIMUM SIZE OF FIVE (5) FEET BY FIVE (5) FEET; ❸: MAXIMUM HIEGHT OF 36-INCHES OR THREE (3) FEET.

(10) *Gazebo*.

(a) *Definition*. A *gazebo* is a permanent stand-alone structure with a roof and trellis structure open on all sides with places for sitting.

(b) *Prerequisites*. A *gazebo* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *gazebo* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *gazebo* shall not be used as a habitable dwelling structure, storage facility, deck, or shelter for domestic or wild animals.

(e) *Construction Standards*.

(1) *Building Materials*. A *gazebo* built in the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. The side trellis of the *gazebo* may be built using wood; however, canvas, cloth, or mesh attachments to the structure shall be prohibited. A *gazebo* built in the *435.5 Elevation Zone* shall only be built out of composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A *gazebo* will be constructed using steel reinforced concrete piers.

(2) *Height*. A *gazebo* shall not exceed a maximum height of 15-feet without a clerestory and 18-feet with a clerestory/cupola. The height of the *gazebo* shall be measured from grade to the vertex of the *gazebo's* main roof or clerestory/cupola roof. In either case a *gazebo* shall not be larger than one (1) story or incorporate a balcony.

(3) *Size*. A *gazebo* shall not exceed a maximum size of 12-feet by 12-feet or 144 SF.

(4) *Roof*. The roof of the *gazebo* shall be a hipped roof, gable roof, or hip and/or gable roof with or without a clerestory/cupola, and have a slope of 2:1. The roof shall not have an overhang greater than 18-inches. In addition, the roof of the *gazebo* can match the roof of the primary structure on the leasing property; otherwise, the roof shall be built out of a prefinished standing seam galvanized metal roof. If a clerestory/cupola is incorporated it shall be centered at the top of the main hip roof.

(5) *Location*. A *gazebo* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Gazebos* shall not be placed in the view clear zone of a neighbor's view corridor.

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(f) *Setback Requirements*. A *gazebo* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

(g) *Additional Requirements.*

(1) *Earth Work*. Earth work required for the construction of a *gazebo* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *gazebo* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *gazebo* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation.*



1: CUPOLA OR CLERESTORY; 2: 2:1 MINIMUM ROOF PITCH; 3: 1.5-FOOT MAXIMUM OVERHANG; 4: 18-FEET MAXIMUM HEIGHT WITH A CUPOLA OR CLERESTORY AND 15-FEET WITHOUT A CUPOLA OR CLERESTORY; 5: 12-FEET MAXIMUM; 6: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(11) *Landing and Stairs*.

(a) *Definition*. A *landing* is the area of a floor near the top or bottom step of a stair. A *stair* is a set of steps leading from one floor of an area to another.

(b) *Prerequisites*. A *landing and stairs* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 or 425.5 Elevation Zones* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *landing and stairs* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Permitted (*if a Seawall has been constructed*).

NOTE: A *landing and stairs* located in the *425.5 Elevation Zone* is permitted beside the lake but not upon or over the lake.

(d) *Conditional Use Standards*. A *landing and stairs* shall be allowed to be constructed in conjunction with a retaining wall if the retaining wall exceeds three (3) feet in height measured from the adjacent grade to the top of the wall.

(e) *Construction Standards*.

(1) *Building Materials*. A *landing and stairs* shall be constructed of wrought iron or black tubular steel, natural stone, brick, and/or concrete.

(2) *Height*. A *landing and stairs* shall not exceed the height of the adjacent retaining wall.

(3) *Size*. A *landing and stairs* shall be limited to eight (8) feet by eight (8) feet measured at the top of the adjacent retaining wall and the staircase shall be parallel to the retaining wall with a maximum width of a six (6) foot projection from the wall.

(4) *Location*. A *landing and stairs* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *landing and stairs* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 5-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *landing and stairs* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *landing and stairs* must comply with all other applicable City of Rockwall codes.

(h) *Visual Representation*.

PERSPECTIVE VIEW.



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TOP VIEW.



❶: MINIMUM OF EIGHT (8) FOOT BY EIGHT (8) FOOT LANDING; ❷: VARIABLE LENGTH STAIRCASE; ❸: WROUGHT IRON OR BLACK TUBLAR STEEL; ❹: NATURAL STONE, BRICK, OR CONCRETE MATCHING THE RETAINING WALL; ❺: VARIABLE HEIGHT BUT A MINIMUM OF THREE (3) FEET; ❻: MAXIMUM OF SIX (6) FEET.

(12) *Landscaping and Retaining Walls*.

(a) *Definition*. *Landscaping* is the minor modification or altering of the surrounding takeline area terrain and shoreline with trees, shrubs, ground cover, and native stone or interlocking retaining walls.

(b) *Prerequisites*. *Landscaping and retaining walls* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. *Landscaping and retaining walls* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

NOTE: Remedial *landscaping* in the *425.5 Zone* is permitted when the intent is to maintain the integrity of the shoreline. This will require the approval of the Director of Parks and Recreation.

(d) *Conditional Use Standards*. *Landscaping and retaining walls* shall compliment and be integrated into the existing woodlands, wetlands, and general aesthetic of the takeline area. *Landscaping* shall not consist of hedge or shrub rows, or any plantings that may restrict views or lead to the siltation and/or erosion of the shoreline. The use of pesticides, herbicides, fungicides, or preservatives is *strictly prohibited*. All landscaping must comply with the requirements of Article 08, *Landscaping and Fence Standards*, of the Unified Development Code (UDC). For information regarding planting or removing trees see Subsection (F)(4) above.

(e) *Construction Standards*.

(1) *Building Materials*. *Retaining walls* shall be finished in native stone and will only be allowed in the *438.0 Elevation Zone* and the *435.5 Elevation Zone*. The use of mulch is prohibited in all zones with the exception of the *438.0 Elevation Zone*. The use of railroad ties, treated wood, pea gravel -- *with the exception of using it as a base* --, and brick shall be prohibited.

(2) *Height*. *Retaining walls* as part of landscaping will be limited to less than three (3) feet.

(3) *Location*. *Landscaping and retaining walls* shall not hinder the view clear zone of an adjacent neighbor's view corridor. *Landscaping* shall not exceed six (6) feet in height in the view clear zone.

(f) *Setback Requirements*. *Retaining walls* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *landscaping and retaining walls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. *Landscaping and retaining walls* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. *Landscaping and retaining walls* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(13) *Municipal Utilities*.

(a) *Definition*. *Municipal utilities* represent all local utilities that consist of cable lines, pipelines, and wiring already existing and planned running through the take area used by both the local community and the region's communities to facilitate the distribution and collection of communications, water, electricity, natural gas, and waste byproducts.

(b) *Elevation Zone*. *Municipal utilities* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Permitted.

(c) *Conditional Use Standards*. All *municipal utilities'* infrastructure is permitted within the take area. *Municipal utilities* shall be placed underground.

(d) *Setback Requirements*. *Municipal utilities* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(e) *Additional Requirements*.

(1) *Compliance with Applicable Codes*. *Municipal utilities* must comply with all other applicable City of Rockwall codes.

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(14) *Outdoor Lighting*.

(a) *Definition*. *Outdoor lighting* is a structure or system of structures, fixtures, and/or devices used to provide artificial nighttime lighting over a defined broad area, on buildings and monuments, on docks for safety, and to emphasize landscaping but not directed to the detriment of the traveling public or surrounding residents in the light's path.

(b) *Prerequisites*. *Outdoor lighting* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. *Outdoor lighting* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

NOTE: Catwalk lighting in the *425.5 Elevation Zone* is the only permitted *outdoor lighting* allowed below the *438.0 Elevation Zone*.

(d) *Conditional Use Standards*. Systems and structures associated with *outdoor lighting* include artificial landscape lighting, dock lighting, monument lighting, and flood lights. Cobra and florescent light fixtures are *not* allowed on poled structures. All lights are to have shields which deflect light downward. The operation of search or spot lighting shall be prohibited.

(e) *Photometric Plan*. A photometric plan describing compliance with the provisions of Article 07, *Performance Standards*, of the Unified Development Code (UDC) shall be submitted to the Director of Planning and Zoning or his/her designee prior to the issuance of a building permit for *outdoor lighting*. This plan shall be prepared by an appropriate lighting professional (*e.g. lighting engineer, architect, or other qualified lighting designer*). Upon installation of the lighting, the lighting professional shall provide a letter certifying that the lighting is installed in accordance with the approved photometric plan. The Director of Planning and Zoning, or his/her designee, shall have the authority to interpret and determine compliance with the photometric plan and the Unified Development Code (UDC). The Planning and Zoning Commission may grant an exception to the provisions of the Unified Development Code (UDC) when strict compliance with the requirements of this section will result in substantial financial hardship or inequity, so long as such exception is without harm to the public. Decisions of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures outline in Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

(f) *Construction Standards*.

(1) *Building Materials*. *Outdoor lighting* poles must be constructed of aluminum or steel. Wood and/or concrete poles are prohibited.

(2) *Height*. The height of *outdoor lighting* shall range from light fixtures embedded into a catwalk periphery to a 12-foot maximum for post structures on land for broader illumination. Poled outdoor light fixtures within the *438.0 Elevation Zone* should be no taller than one-third (*1/3*) the distance to a neighboring property and should not exceed 12-feet.

(3) *Location*. *Outdoor lighting* fixtures shall not be placed in the view clear zone of a neighbor's view corridor; however, view corridor restrictions do not apply for *outdoor lighting* associated with boathouses, dock decks, or fixed piers except as described for each use due to brightness and glare to surrounding neighbors and the traveling public.

(g) *Setback Requirements*. *Outdoor lighting* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

(h) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *outdoor lighting* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. *Outdoor lighting* must comply with all other applicable City of Rockwall codes.

(3) *Municipal or Government Installed Lighting*. *Outdoor lighting* installed by and/or for a governmental agency for a public benefit that is used for activities for the public benefit (*e.g. rights-of-way, ball fields, airports, and/or parks*) shall be exempted from the requirements of this section; however, parking lot lighting for these activities shall meet the requirements of the Unified Development Code (UDC).

(15) *Patio*.

(a) *Definition*. A *patio* is a paved, tiled, or rocked outdoor area that is generally used for dining or recreation.

(b) *Prerequisites*. A *patio* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *patio* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *patio* shall not incorporate walls or other none transparent structures to function as handrails or counter space.

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(e) *Construction Standards*.

(1) *Building Materials*. A *patio* must be constructed with natural stone. Handrails incorporated into a *patio* in the *438.0 Elevation Zone* shall be made of wrought iron or decorative metal. Handrails are *not* permitted in the *435.5 Elevation Zone*.

(2) *Height*. A *patio* shall not exceed a maximum height of 12-inches above grade.

(3) *Size*. A *patio* shall not exceed a maximum area of 1,000 SF.

(4) *Location*. *Patios* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *patio* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

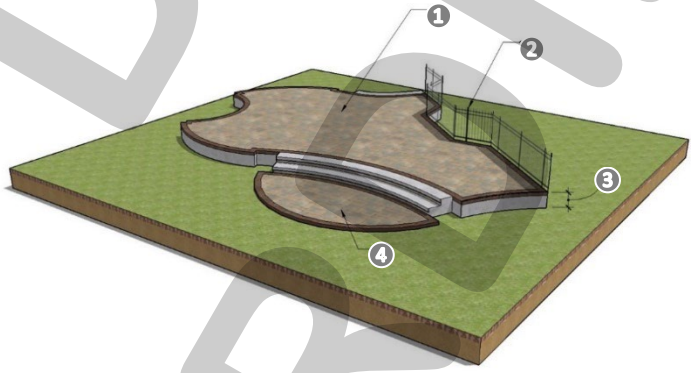
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *patio* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *patio* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *patio* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: NATURAL STONE; ❷: WROUGHT IRON OR BLACK TUBLAR STEEL; ❸: MAXIMUM OF 12-INCHES OR ONE (1) FOOT; ❹: PATIO AREA SHALL NOT BE GREATER THAN 1,000 SF

(16) *Pergola*.

(a) *Definition*. A *pergola* is a stand along structure consisting of parallel columns supporting an open roof of girders and cross rafters.

(b) *Prerequisites*. A *pergola* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. A *pergola* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *pergola* shall not be used as a habitable dwelling structure, storage facility, or shelter for domestic or wild animals.

(e) *Construction Standards*.

(1) *Building Materials*. A *pergola* constructed within the *438.0 Elevation Zone* must be constructed utilizing cedar, redwood, ironwood, composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*), or metal. A *pergola* constructed within the 435.5 Elevation Zone must be constructed using composite materials (*e.g. wood composite or synthetic wood where natural timber fibers are mixed with a high-tech plastic material*) or metal. Canvas, cloth, or mesh attachments to the structure shall be prohibited.

(2) *Height*. A *pergola* shall not exceed a maximum height of 12-feet or one (1) story, and the roof shall not be used as a deck or lookout. The height shall be measured from grade to the highest point of the structure.

(3) *Size*. A *pergola* shall not exceed a maximum size of 12-feet by 20-feet or 240 SF.

(4) *Roof*. The roof of the *pergola* shall not have an overhang greater than 18-inches.

(5) *Location*. A *pergola* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Pergolas* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A pergola must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

(g) *Additional Requirements.*

(1) *Earth Work*. Earth work required for the construction of a *pergola* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *pergola* must comply with all other applicable City of Rockwall codes.

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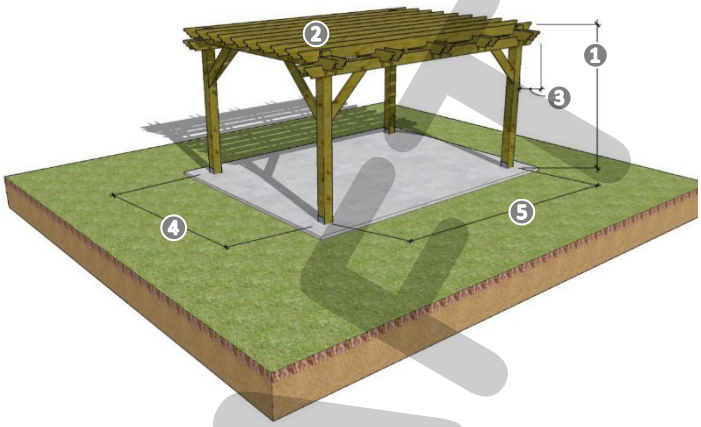
(3) *Emergency Response*. The *pergola* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation.*



❶: 12-FOOT MAXIMUM HEIGHT; ❷: OPEN ROOF OF GIRDERS OR RAFTERS; ❸: 1.5-FOOT MAXIMUM OVERHANG; ❹: 12-FOOT MAXIMUM; ❺: 20-FOOT MAXIMUM; ❻: ROOF CAN MATCH THE PRIMARY STRUCTURE OTHERWISE THE ROOF SHALL BE STANDING SEAM METAL.

(17) *Picnic Table*.

(a) *Definition*. A *picnic table* is a permanent outdoor structure used for outdoor dining.

(b) *Prerequisites*. A *picnic table* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *picnic table* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *picnic table* must be a minimum of 12-feet from a *barbecue pit* or *fire pit*, and shall be open to the air (*i.e. no roof covering*) unless combined with a covered patio or pergola. A *picnic table* shall be built on level terrain.

(e) *Construction Standards*.

(1) *Building Materials*. The surface area of the *picnic table* shall be constructed out of concrete, brick, or native stone. *Picnic tables* constructed with wood shall be prohibited.

(2) *Height*. A *picnic table* shall not exceed a maximum of 36-inches in height.

(3) *Size*. A *picnic table* shall not exceed a maximum size of ten (10) feet in length by eight (8) feet in width.

(4) *Location*. A *picnic table* located within the *435.5 Elevation Zone* shall generally be located in line with the primary structure on the leasing property. *Picnic tables* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *picnic table* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 6-Feet

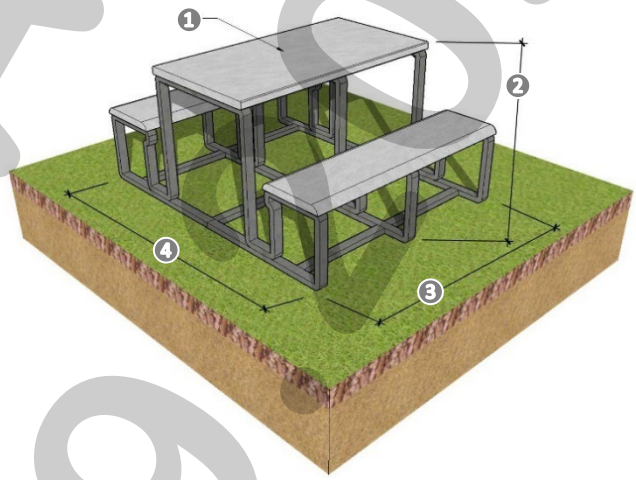
(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *picnic table* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *picnic table* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *picnic table* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.



❶: SURFACE OF THE PICNIC TABLE SHALL BE CONCRETE, BRICK, OR NATIVE STONE; ❷: NOT TO EXCEED 36-INCHES OR THREE (3) FEET; ❸: EIGHT (8) FOOT MAXIMUM; ❹: TEN (10) FOOT MAXIMUM.

(18) *Private Play Structure*.

(a) *Definition*. A *private play structure* is a permanent outdoor structure used by children for play, which is installed by the private property owner.

(b) *Prerequisites*. A *private play structure* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *private play structure* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. A *private play structure* can consist of arched ladders, vertical ladders, horizontal

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ladders, clatter bridge, timber structures, slides, fort and slide playset, climbers, play walls, play climbers, play pods, moon houses, jungle gyms, see-saws, merry-go-rounds, domes, rocket riders, tire swings, buoy balls, monkey bars, drums, chin-up bars, trampoline and rock walls; however, sandboxes and/or sand play areas shall *not* be permitted.

(e) *Construction Standards*.

(1) *Building Materials*. A *private play structure* shall be built out of aluminum, galvanized steel, rubber, and/or water-resistant wood; however, railroad ties and treated lumber are prohibited. The exterior color of a *private play structure* should blend and incorporate the same hues and tones of the surrounding landscaping.

(2) *Height*. A *private play structure* shall not exceed a maximum of eight (8) feet in height.

(3) *Size*. All *private play structures* will be situated in a collected area that is a maximum of 1,000 SF in area.

(4) *Location*. *Private play structures* shall not be placed in the view clear zone of a neighbor's view corridor.

(f) *Setback Requirements*. A *private play structures* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 20-Feet

(g) *Additional Requirements*.

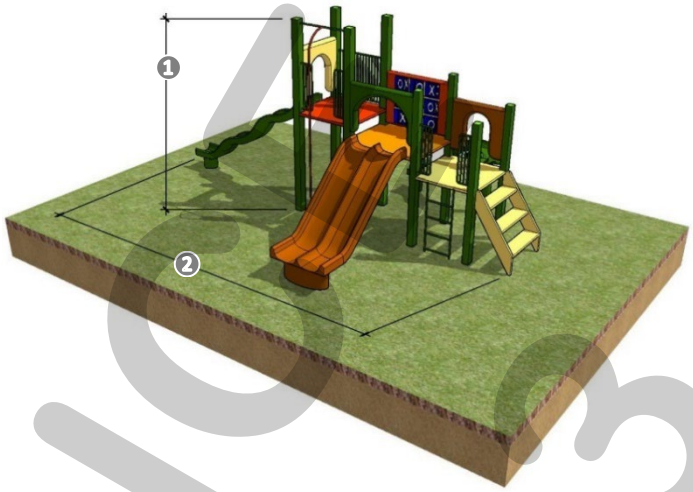
(1) *Earth Work*. Earth work required for the construction of a *private play structures* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *private play structure* must comply with all other applicable City of Rockwall codes.

(3) *Emergency Response*. The *private play structure* shall not be located in an area where it would block public safety personnel and their vehicles from accessing or responding to emergencies or clearing the shoreline.

(h) *Visual Representation*.

Continued on Next Page …



❶: MAXIMUM OF EIGHT (8) FEET IN HEIGHT; ❷: TOTAL SQUARE FOOTAGE SHALL NOT EXCEED A MAXIMUM OF 1,000 SF; ❸: EXTERIOR COLOR SHOULD BLEND WITH THE SURROUNDING LANDSCAPING.

(19) *Private Utilities*.

(a) *Definition*. *Private utilities* are a system of underground cable line, pipelines, and wiring installed by the leasing property owner to maintain and operate improvements in the take area.

(b) *Prerequisites*. *Private utilities* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. *Private utilities* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. *Private utilities* are required to be buried in accordance with Chapter 38, *Subdivisions*, of the City of Rockwall's Municipal Code of Ordinances. *No* overhead private utility lines are permitted in the lease area. *Private utilities* containing natural gas, propane, gasoline, oil, diesel, or similar types of compounds shall not be permitted within the lease area. No part of any *On-Site Sanitary Sewer System* (OSSF) or any other private wastewater system or appurtenances shall be permitted within the lease area.

(e) *Construction Standards*.

(1) *Building Materials*. *Private utilities* shall *only* be constructed out of materials permitted by the City's Engineering Department.

(2) *Location*. *Private utilities* within 20-feet of the normal pool elevation shoreline (*i.e. 435.5*) shall be built to handle load factors associated with emergency and service vehicles. *Private utilities* containing electricity and communication lines built into structures over the water shall not be allowed below the 436.5-foot mean sea level elevation.

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(f) Setback Requirements. *Private utilities* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *private utilities* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *private utility* must comply with all other applicable City of Rockwall codes.

(3) *Damage to the System*. Any damage or destruction to any *private utility* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(20) *Private Walkways*.

(a) *Definition*. *Private walkways* can be a single path or a network of paths installed by the leasing property owner in the takeline area.

(b) *Prerequisites*. *Private walkways* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall and -- *when constructing in the 435.5 Elevation Zone* -- that has constructed a *seawall* along the entire length of the shoreline within the leased area.

(c) *Elevation Zone*. *Private walkways* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted (*if a Seawall has been constructed*).
(3) *425.5*: Not Permitted.

(d) *Conditional Use Standards*. *Private walkways* with steps are permitted (*see Landing and Stairs in Subsection 06.15(J)(11)*).

(e) *Construction Standards*.

(1) *Building Materials*. *Private walkways* shall be constructed using native stone, brick, concrete and/or rectangle pavers; however, *private walks* shall not consist of loose stone, gravel, sand, or asphalt.

(2) *Height*. *Private walkways* shall be flush with the surrounding grade, or work within the gradient present of the surrounding grade.

(3) *Size*. *Private walkways* shall be no greater than 48-inches in width.

(4) *Location*. *Private walkways* may encroach into an existing easement or right-of-way, encroach into an identified future easement or right-of-way, or encroach into an identified or set aside access path, provided that the property owner or sublease is responsible for repair and/or replacement of the walks in the event they are damaged or removed by the City or other public entity as a result of the necessary use of, or work within or around, said easements. An existing and future easement running through a lease property will be allowed to substitute for the 12-foot wide primary access right-of-way path provided it is 12-feet wide, suitable for access, and will connect to adjacent access paths.

(f) *Setback Requirements*. *Private walkways* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 10-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of *private walkways* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *private walkway* must comply with all other applicable City of Rockwall codes.

(3) *Damage to the System*. Any damage or destruction to any *private walkway* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

(21) *Seawall*.

(a) *Definition*. A *seawall* is an engineered concrete or steel structure at the water's edge that is typically designed to curb shoreline erosion where it is installed.

(b) *Prerequisites*. A *seawall* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *seawall* shall be allowed in the following zones:

(1) *438.0*: Not Permitted.
(2) *435.5*: Not Permitted.
(3) *425.5*: Permitted.

NOTE: Seawalls are *only* permitted along the shoreline.

(d) *Construction Standards*.

(1) *Concrete Cap*. A six (6) foot wide concrete cap must be constructed along the entire length of the erosion control structure. In order to allow the backfill material to properly settle, the construction of the concrete cap may be delayed for several weeks/months after the construction of the erosion control structure; however, in no case should the construction of the concrete cap be delayed for a time period exceeding one (1) year from the date of construction of the erosion control structure.

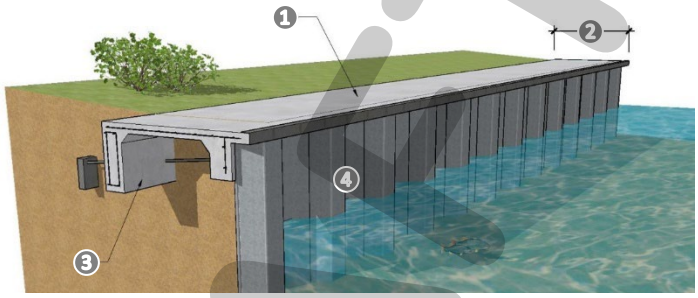
DRAFT ORDINANCE 08.29.2023

(e) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *seawalls* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *seawall* must comply with all other applicable City of Rockwall codes.

(f) *Visual Representation*.



❶: CONCRETE WALKWAY; ❷: SIX (6) FOOT MINIMUM; ❸: 24-INCH BY TEN (10) INCH BEAM WITH #3 REBAR ON 18-INCH CENTERS; ❹: RETAINING WALL.

(22) *Sprinkler/Irrigation System*.

(a) *Definition*. A *sprinkler/irrigation system* is an underground irrigation network used to water and maintain trees, shrubs, grounds, and the foundations of improvements.

(b) *Prerequisites*. A *sprinkler/irrigation system* may only be constructed on a property that has a valid *Residential Sublease Agreement* from the City of Rockwall.

(c) *Elevation Zone*. A *sprinkler/irrigation system* shall be allowed in the following zones:

(1) *438.0*: Permitted.
(2) *435.5*: Permitted.
(3) *425.5*: Not Permitted.

Note: The prohibition of sprinkler/irrigation systems in the 425.5 Elevation Zone does not include the pumps or lines necessary to pump raw water, when a property owner has been granted permission to do so from the City of Dallas.

(d) *Conditional Use Standards*. A *sprinkler/irrigation system* must be connected to the leasing property owner's existing water supply source with approved backflow prevention devices.

(e) *Construction Standards*.

(1) *Building Materials*. A *sprinkler/irrigation system* shall *only* be constructed utilizing *Schedule 40 PVC* pipe.

(2) *Height*. The heads of a *sprinkler/irrigation system* used for shrubs shall extend no higher than three (3) feet from the average base of the surrounding terrain within a three (3) foot radius of the head.

(3) *Location*. A *sprinkler/irrigation system* shall be allowed up to one (1) foot of the normal pool elevation shoreline (*i.e. 435.5*) provided no part of the system could potentially result in lake siltation erosion.

(f) *Setback Requirements*. A *sprinkler/irrigation system* must adhere to the following setbacks:

(1) *Takeline Setback*: 0-Feet
(2) *Leased Side Yard Setback*: 0-Feet

(g) *Additional Requirements*.

(1) *Earth Work*. Earth work required for the construction of a *sprinkler/irrigation system* must comply with the erosion control standards set forth in the *Interlocal Lease Agreement*.

(2) *Compliance with Applicable Codes*. A *sprinkler/irrigation system* must comply with all other applicable City of Rockwall codes.

(3) *Damage to the System*. Any damage or destruction to any part of a *sprinkler/irrigation system* by public safety, utility, maintenance, or inspection personnel and/or their vehicles will be the responsibility of the leasing property owner.

SUBSECTION 06.16: VARIANCES TO THE GENERAL OVERLAY DISTRICT STANDARDS

See Subsection 09.02, *Variances to the General Overlay Districts Standards*, of Article 11, *Development Applications and Review Procedures*.

SECTION 07 | DISTRICT DEVELOPMENT STANDARDS

See next page.

DRAFT 05.29.2023

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: Z2023-040
PROJECT NAME: SUP for Residential Infill at 1325 Breezy Hill Lane
SITE ADDRESS/LOCATIONS: 1325 BREEZY HILL LN

CASE CAPTION: Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	08/23/2023	Approved w/ Comments

08/23/2023: Z2023-040; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 1325 Breezy Hill Lane
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2023-040) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Breezy Hill Subdivision, which consists of more than five (5) lots, has been in existence for more than ten (10) years, and is more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that “(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision … [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision.”

I.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage will be a j-swing garage which is in conformance with the standards for a home in an Agricultural (AG) District.

M.7 Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that properties in an Agricultural (AG) District should have a minimum front setback of 40-feet. In this request, the proposed home has a front setback of 15-feet. This will need to be corrected on the site plan.

I.8 In this case, the proposed request appears to meet most of the requirements for Residential Infill Adjacent to an Established Subdivision, and the zoning requirements for a property in an Agricultural (AG) District with the exception of the setback requirements.

M.9 Please review the attached Draft Ordinance prior to the August 29, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 6, 2023.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 29, 2023.

I.11 The projected City Council meeting dates for this case will be September 18, 2023 [1st Reading] and October 2, 2023 [2nd Reading].

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Need to show ex. water line and fire hydrant.

General Library Comments:
General Items:
- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Water Pro-Rata:
$49,648.73 water pro-rata must be paid prior to building permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Needs Review

08/23/2023: AG Zoning requires a minimum 40' front setback from the front property line. If this is not met the applicant will need to apply for a setback variance with the Board of Adjustment prior to moving forward with the SUP.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

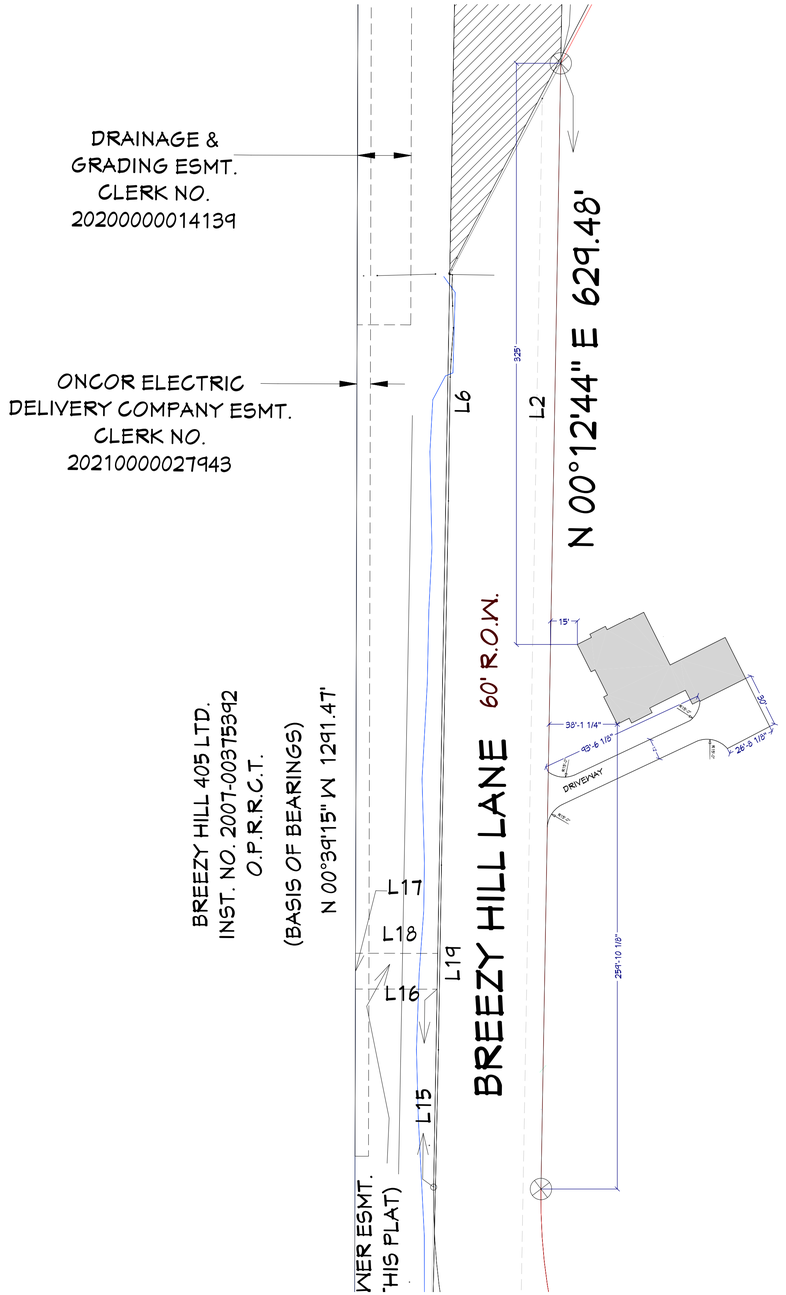
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments



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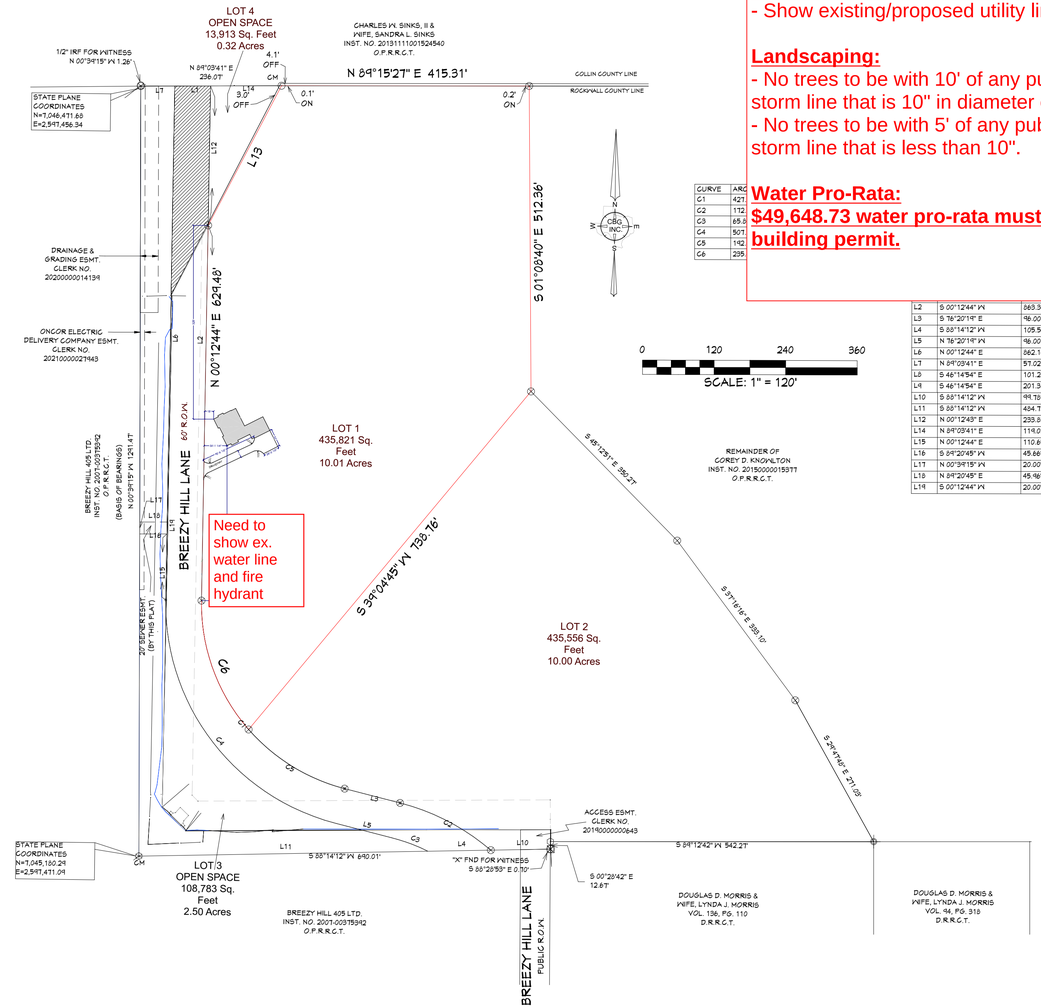
SITE PLAN

SCALE: 1"=40'-0"



CURVE	ARC
C1	427
C2	172
C3	65.8
C4	507
C5	142
C6	295

L2	S 00°12'44" W	583.30'
L3	S 76°20'19" E	98.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	98.00'
L6	N 00°12'44" E	582.10'
L7	N 89°03'41" E	51.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.79'
L12	N 00°12'45" E	233.69'
L14	N 89°03'41" E	114.05'
L15	N 00°12'44" E	110.69'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

N

SITE PLAN

SCALE: 1"=120'-0"

General Items:
- Must meet City 2023 Standards of Design and Construction
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Water Pro-Rata:
$49,648.73 water pro-rata must be paid prior to building permit.

BreMarie Designs LLC
Drafting · 3D Modeling · Interior Design
3122 Kelly Kay #105
Longview, TX 75605
903.219.9545
BreMarieDesigns.com
Registered Interior Designer
Brianna M. Taylor
Friday, March 10, 2023

NO.	DATE	DESCRIPTION

SHEET TITLE:

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

DATE:
3/10/2023

SCALE:
VARIES

SHEET:
A-2

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☑ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1] IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2] A **$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1325 Breezy Hill Ln, Rockwall, Tx 75087				
SUBDIVISION	Breezy Hill Addition	LOT	1	BLOCK	—
GENERAL LOCATION	end of Breezy Hill Ln				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Ag.		CURRENT USE	Ag.	
PROPOSED ZONING	Ag. / Residential		PROPOSED USE	Ag. / Residential	
ACREAGE	10	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	Kaylee +	☐ APPLICANT	
CONTACT PERSON	Taylor Henson	CONTACT PERSON	
ADDRESS	2710 Morning Mist Lane	ADDRESS	
CITY, STATE & ZIP	Nevada, TX 75173	CITY, STATE & ZIP	
PHONE	9034077848	PHONE	
E-MAIL	hensontaylor5@gmail.com	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kaylee Henson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 350 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21st DAY OF July, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

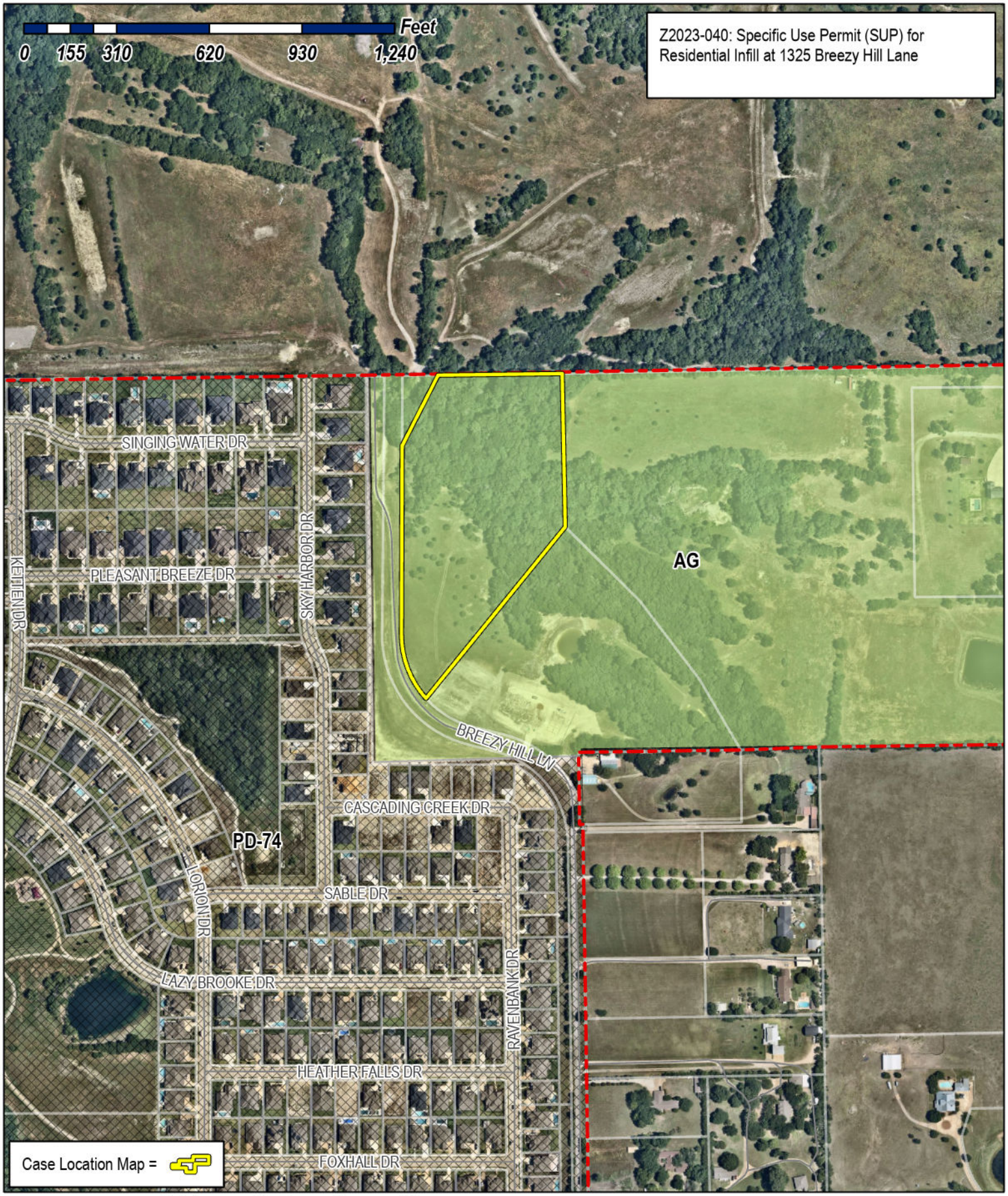
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 21st DAY OF July, 2023

OWNER'S SIGNATURE Kaylee Henson

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Trena L. Jackson

Trena L. Jackson
NOTARY PUBLIC, STATE OF TEXAS
Notary Public, State of Texas
Comm. Expires 04/05/2024
Notary ID 1193003-0

MY COMMISSION EXPIRES 4/5/2024



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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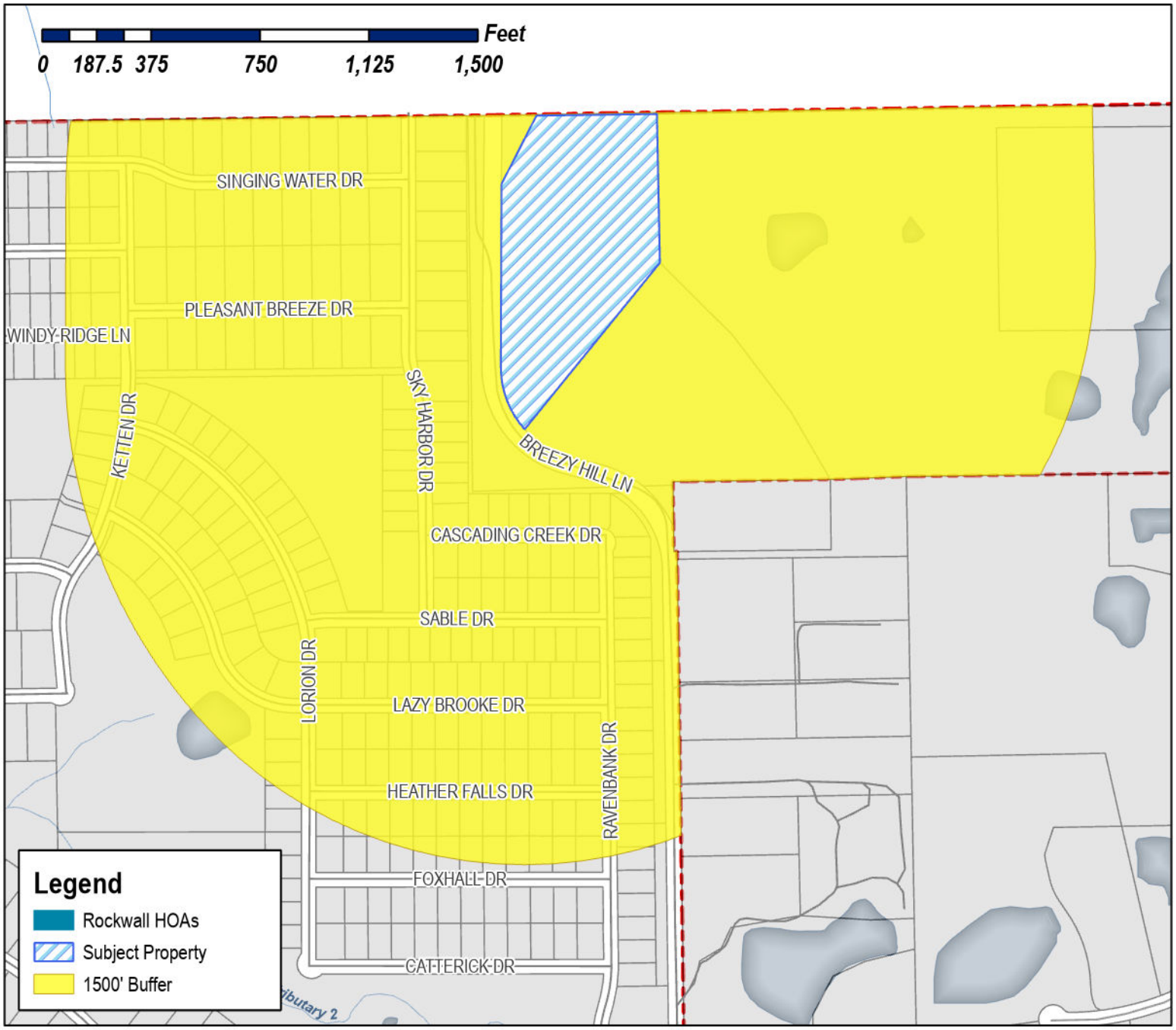
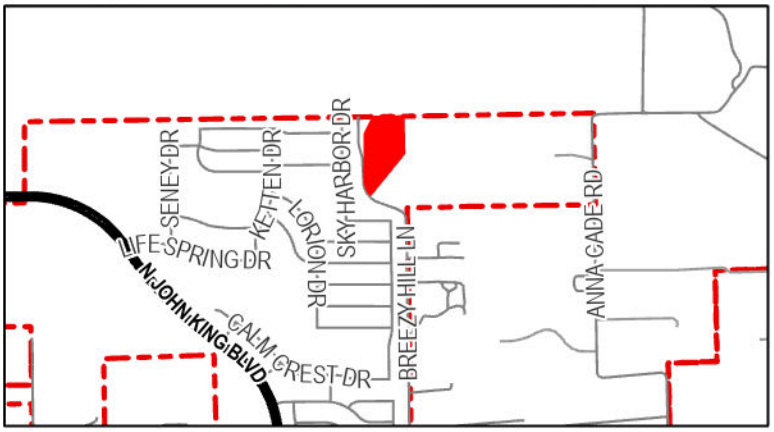


Case Number: Z2023-040
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: 1325 Breezy Hill Lane



Date Saved: 8/14/2023
For Questions on this Case Call (972) 771-7745

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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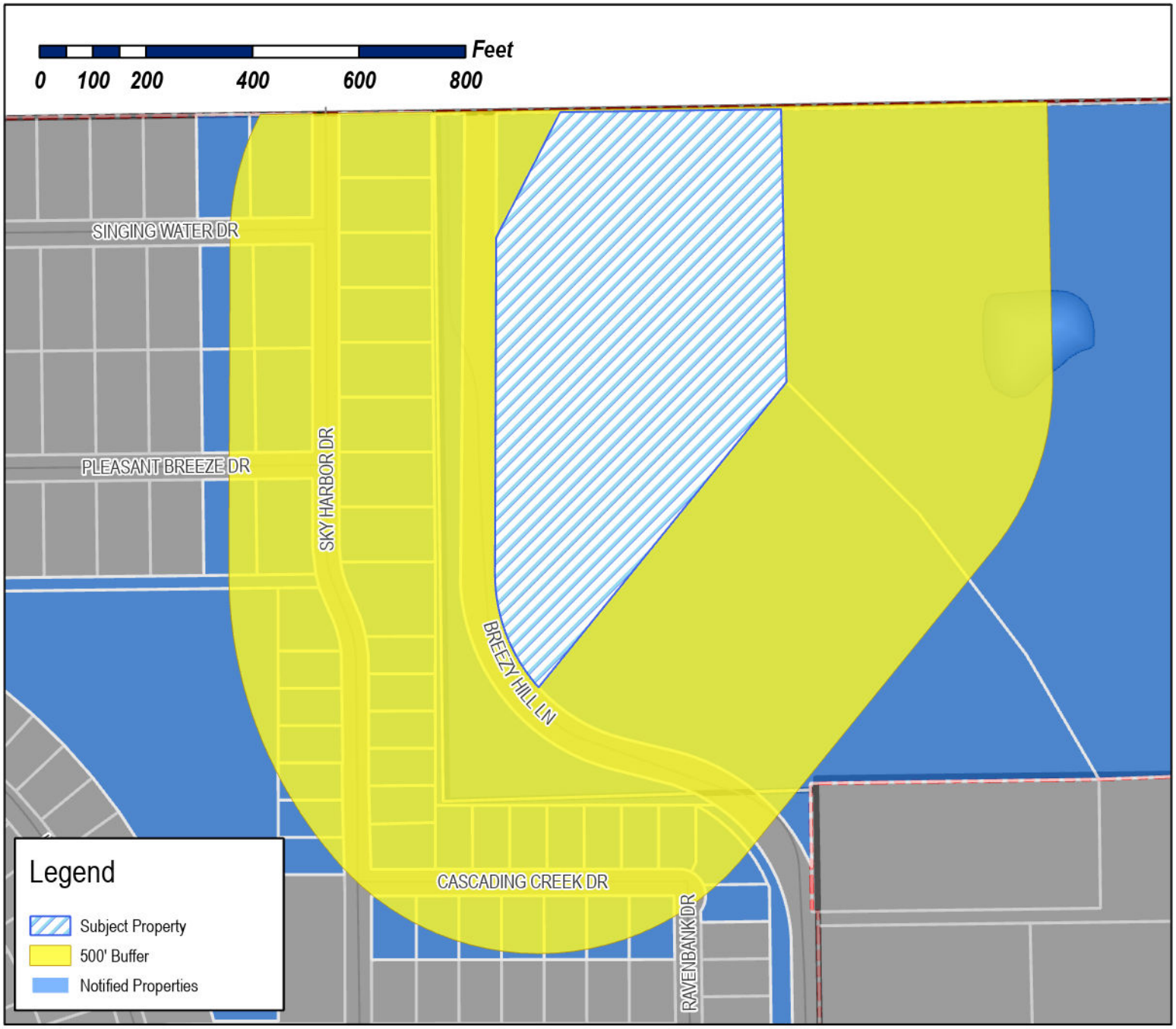

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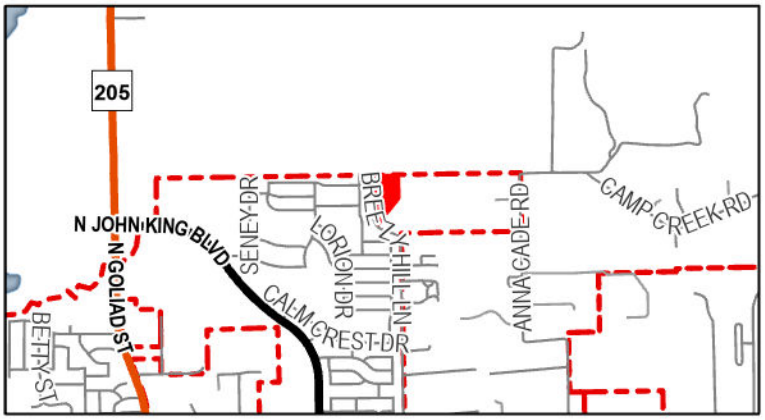


Date Saved: 8/14/2023
For Questions on this Case Call: (972) 771-7746

RESIDENT
1001 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1005 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1006 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1009 CASCADING CREEK DR
ROCKWALL, TX 75032

YOUSEF RITA A & OSAMA S SHENOUDA
1010 CASCADING CREEK DR
ROCKWALL, TX 75087

RESIDENT
1013 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1014 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1017 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1018 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1020 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1021 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1024 CASCADING CREEK DR
ROCKWALL, TX 75032

BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S GREENVILLE AVE #230
ALLEN, TX 75002

BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S GREENVILLE AVE SUITE 230
ALLEN, TX 75002

RESIDENT
1025 CASCADING CREEK DR
ROCKWALL, TX 75032

RESIDENT
1028 CASCADING CREEK DR
ROCKWALL, TX 75032

KNOWLTON COREY D
1460 ANNA CADE ROAD
ROCKWALL, TX 75087

FISCHER DAVID SCOTT AND CHRISTINE
1608 LAKE CREST LANE
PLANO, TX 75023

RESIDENT
205 BREEZY HILL DR
ROCKWALL, TX 75032

RESIDENT
205 ROCKHOUSE LN
ROCKWALL, TX 75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

RESIDENT
4505 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4506 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4511 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4514 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4516 RAVENBANK DR
ROCKWALL, TX 75032

RESIDENT
4521 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4525 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4528 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4529 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4532 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4533 SKY HARBOR DR
ROCKWALL, TX 75032

VALLABINENI RAJESH AND THRIVIDYA MADAPATI
THRIVIDYA MADAPATI
4536 SKY HARBOR DR
ROCKWALL, TX 75087

RESIDENT
4537 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4538 SKY HARBOR DR
ROCKWALL, TX 75032

SANCHEZ ELENA
4546 SKY HARBOR DRIVE
ROCKWALL, TX 75087

WALLER DAVID AND SORAYA
4550 SKY HARBOR DRIVE
ROCKWALL, TX 75087

RESIDENT
4602 RAVENBANK DR
ROCKWALL, TX 75032

RESIDENT
4602 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4606 SKY HARBOR DR
ROCKWALL, TX 75032

RESIDENT
4610 SKY HARBOR DR
ROCKWALL, TX 75032

ECHOLS BRITTNEY
4614 SKY HARBOR DRIVE
ROCKWALL, TX 75087

RESIDENT
4618 SKY HARBOR DR
ROCKWALL, TX 75032

BRATBERG NEIL
4622 SKY HARBOR DRIVE
ROCKWALL, TX 75087

WINDSOR HOMES CUMBERLAND LLC
5310 HARVEST HILL RD SUITE 162
DALLAS, TX 75230

HENSON TAYLOR RAY AND KAYLEE RAYE
7138 LAUREL RIDGE
DALLAS, TX 75231

MCCORMACK JAMES ROSSI AND ELENA LOUISE
731 PLEASANT BREEZE DRIVE
ROCKWALL, TX 75087

GNANAYUTHAM JEREMY AND JESSIE
732 PLEASANT BREEZE DRIVE
ROCKWALL, TX 75087

GILLIGAN DEBORAH ANN AND TRAVIS EGUENE
733 SINGING WATER DRIVE
ROCKWALL, TX 75087

JACKS DALLAS CLAYTON AND MAGEN NICOLE
734 SINGING WATER DRIVE
ROCKWALL, TX 75087

RESIDENT
735 PLEASANT BREEZE DR
ROCKWALL, TX 75032

SIEVERT SHANNON AND CHRISTY
736 PLEASANT BREEZE DR
ROCKWALL, TX 75087

GARCIA KRIS A AND ANGELA M
737 SINGING WATER DRIVE
ROCKWALL, TX 75087

BAKER CHRISTOPHER AND RHYANA
738 SINGING WATER DRIVE
ROCKWALL, TX 75087

BH PHASE XI LTD
8214 WESTCHESTER DRIVE SUITE 900
DALLAS, TX 75225

SINKS CHARLES W
8854 CR 2472
ROYSE CITY, TX 75189

HEFNER SCOTT & CHERYL
897 ANACONDA COURT
CASTLE ROCKWA, CO 80108

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-040: SUP for Residential Infill
Hold a public hearing to discuss and consider a request by Kaylee and Taylor Henson for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a ten (10) acre parcel of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, September 18, 2023 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2023-040: SUP for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

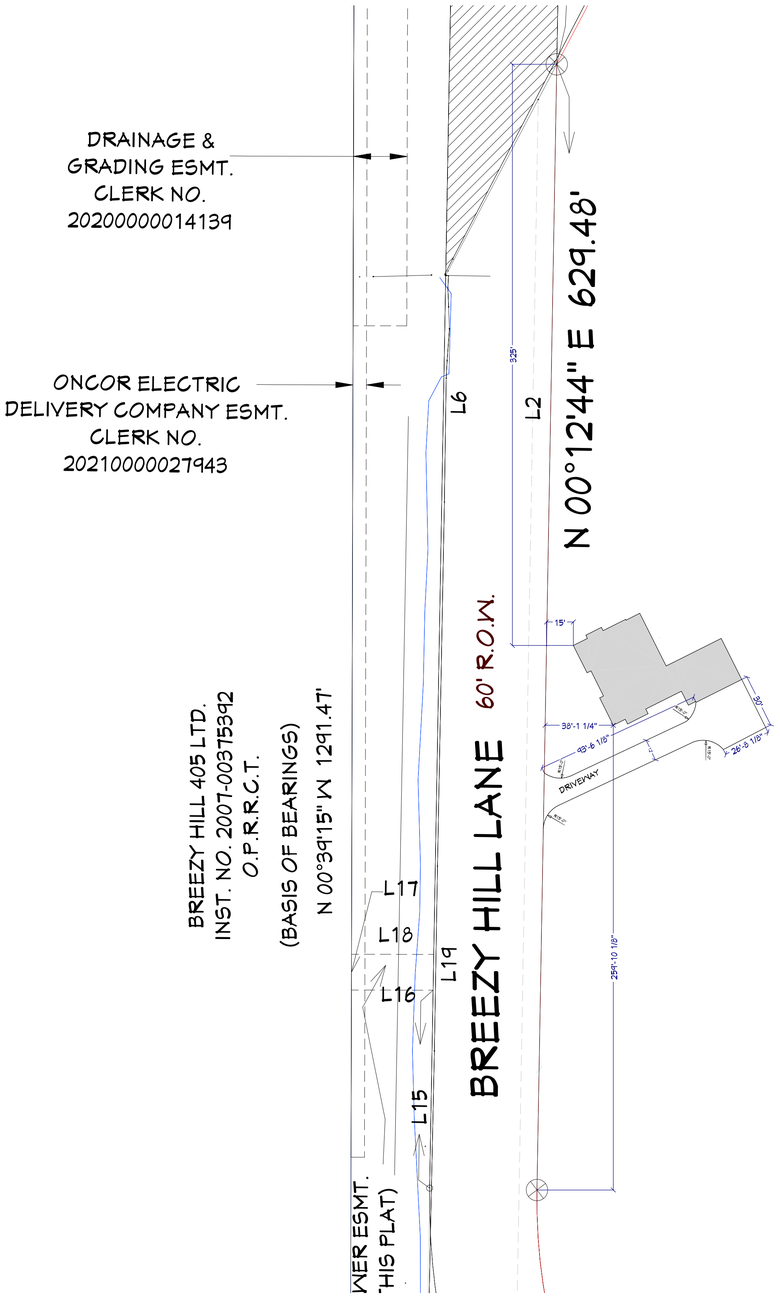
☐ I am opposed to the request for the reasons listed below.

Name:

Address:

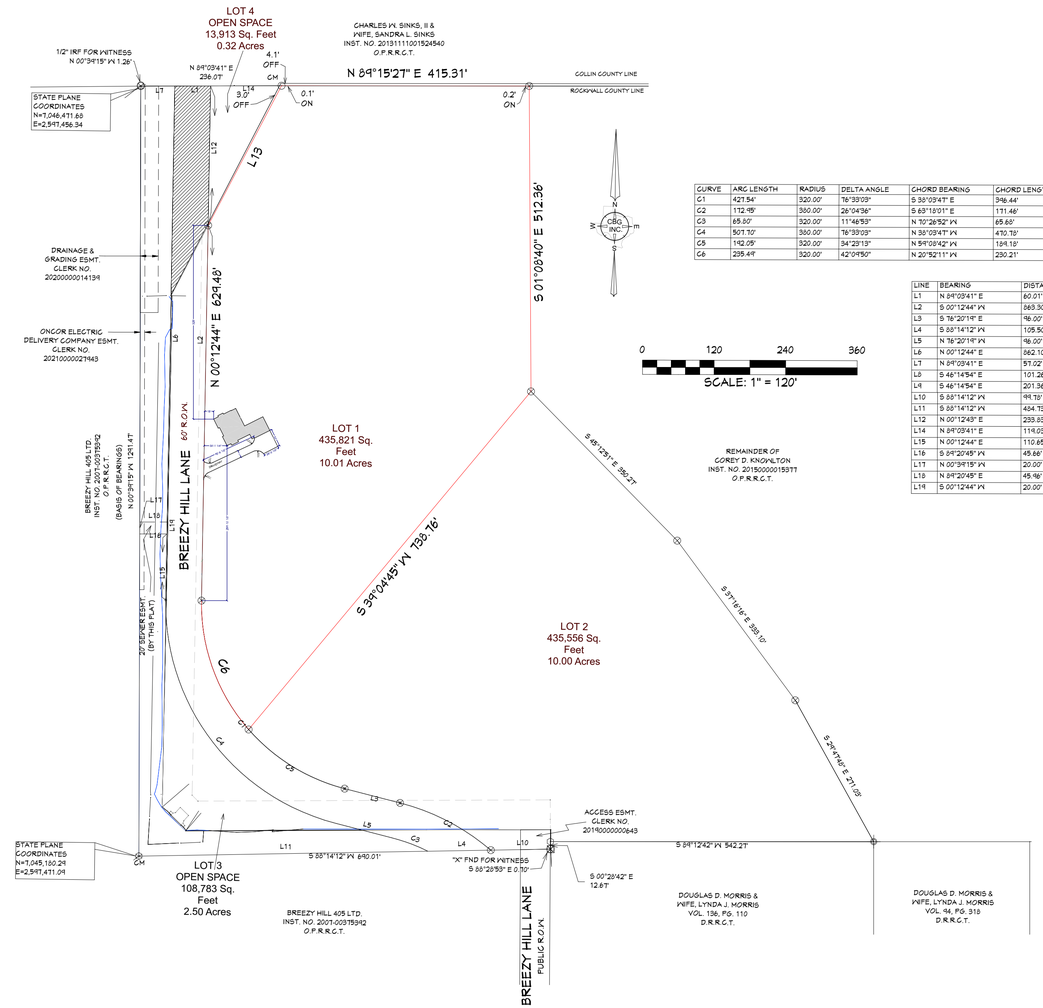
Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SITE PLAN

SCALE: 1"=40'-0"



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	421.54'	320.00'	76°33'09"	S 36°03'47" E	346.44'
C2	112.48'	380.00'	26°04'36"	S 63°18'01" E	111.46'
C3	65.50'	320.00'	11°46'53"	N 70°26'52" W	65.65'
C4	501.70'	380.00'	76°39'03"	N 36°03'47" W	470.19'
C5	142.09'	320.00'	34°29'13"	N 54°08'42" W	139.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 84°09'41" E	60.01'
L2	S 00°12'44" W	583.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	562.10'
L7	N 84°09'41" E	51.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	464.79'
L12	N 00°12'45" E	233.69'
L14	N 84°09'41" E	114.05'
L15	N 00°12'44" E	110.69'
L16	S 84°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 84°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

SITE PLAN

SCALE: 1"=120'-0"

BreMarie Designs LLC
Drafting • 3D Modeling • Interior Design
3122 Nelly Kay #105
Longview, TX 75605
903.219.9545
BreMarieDesigns.com

REGISTERED INTERIOR DESIGNER
BRIANNA M. TAYLOR
12778
STATE OF TEXAS
Brianna M. Taylor
Friday, March 10, 2023

NO.	DATE	DESCRIPTION

SHEET TITLE:

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

DATE:
3/10/2023

SCALE:
VARIES

SHEET:
A-2

DOOR SCHEDULE

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	DESIGNE	RO	DESCRIPTION	HEADER
	D01	9080	2	1	9080	110"X96"	GARAGE-GARAGE DOOR GHD09	2X12X116" (2)
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X78" (2)
	D03	3080	1	1	3080 L EX	38"X96"	EXT. HINGED-DOOR E02	2X8X41" (2)
	D04	3080	1	1	3080 R EX	38"X96"	EXT. HINGED-DOOR E02	2X8X41" (2)
	D05	2080	1	1	2080 L IN	25 13/16"X80 1/2"	HINGED-DOOR P04	2X8X29 13/16" (2)
	D06	2480	1	1	2480 R IN	30"X80 1/2"	HINGED-DOOR P04	2X8X39" (2)
	D07	2680	1	1	2680 L IN	32"X80 1/2"	HINGED-DOOR P04	2X8X39" (2)
	D08	2680	1	1	2680 R	61 1/4"X80 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D09	2680	1	1	2680 R IN	32"X80 1/2"	HINGED-DOOR P04	2X8X39" (2)
	D10	3080	1	1	3080 L IN	38"X80 1/2"	HINGED-DOOR P04	2X8X41" (2)
	D11	2680	1	1	2680 R IN	54"X80 1/2"	HINGED-DOOR P04	2X8X73" (2)
	D12	2680	2	1	2680 L	61 1/4"X80 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D13	2680	1	1	2680 L	30"X96"	SHOWER-GLASS SLAB	
	D14	2368	1	2	2368 R	55 3/8"X92 1/2"	POCKET-DOOR P04	2X8X56 3/8" (2)
	D15	2668	2	2	2668 L IN	32"X92 1/2"	HINGED-DOOR P04	2X8X39" (2)
	D16	2668	1	2	2668 R	61 1/4"X92 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D17	2668	6	2	2668 R IN	32"X92 1/2"	HINGED-DOOR P04	2X8X39" (2)
	D18	4068	3	2	4068 L/R IN	50"X92 1/2"	DOUBLE HINGED-DOOR P04	2X8X53" (2)

WINDOWS SCHEDULE

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	DESIGNE	RO	DESCRIPTION	HEADER
	W01	2040FX	5	1	2040FX	25"X49"	FIXED GLASS	2X6X25" (2)
	W02	2030FX	2	1	2030FX	25"X41"	FIXED GLASS	2X6X25" (2)
	W03	2650FX	2	1	2650FX	31"X41"	FIXED GLASS	2X6X34" (2)
	W04	3050FX	4	1	3050FX	37"X61"	FIXED GLASS	2X6X40" (2)
	W05	3060FX	2	1	3060FX	37"X73"	FIXED GLASS	2X6X40" (2)
	W06	3050DH	8	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40" (2)
	W07	3050FX	8	2	3050FX	37"X61"	FIXED GLASS	2X6X40" (2)



E1 FRONT EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



E2 REAR EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

BreMarie Designs LLC
Drafting · 3D Modeling · Interior Design
3122 Kelly Way #105
Longview, TX 75605
903.219.9545
BreMarieDesigns.com

Registered Interior Designer
Breanna M. Taylor
Texas, March 10, 2023

NO.	DATE	DESCRIPTION

SHEET TITLE: FRONT & REAR EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

DATE: 3/10/2023

SCALE: 1/4"=1'-0"

SHEET: A-5



E3 LEFT EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"



E4 RIGHT EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

BreMarie Designs LLC
Drafting • 3D Modeling • Interior Design
3122 Kelly Kay #105
Longview, TX 75605
903.219.9545
BreMarieDesigns.com

REGISTERED INTERIOR DESIGNER
BRIANNA M. TAYLOR
12776
STATE OF TEXAS

Brianna M. Taylor
Friday, March 10, 2023

NO.	DATE	DESCRIPTION

SHEET TITLE: SIDE EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

DATE: 3/10/2023

SCALE: 1/4"=1'-0"

SHEET: A-6

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ELECTRICAL PLANS	A-7
ROOF PLAN	A-8
FOUNDATION PLAN	A-9

AREA CALCULATIONS:

1ST FLOOR HVAC	1,655 SQ. FT.
2ND FLOOR HVAC	1,095 SQ.FT.
TOTAL HVAC	2,750 SQ. FT.
FRONT COVERED PORCH	79 SQ. FT.
BACK COVERED PATIO	280 SQ. FT.
GARAGE & STORAGE	722 SQ. FT.
GARAGE COVERED PORCH	46 SQ. FT.
TOTAL UNDER ROOF	3,877 SQ. FT.*
FOUNDATION FOOTPRINT	2,932 SQ. FT.**

61'-1 1/2" X 75'-8"

4 BED, 3.5 BATH

*TOTAL UNDER ROOF SQUARE FOOTAGE CALCULATES THE TOTAL LIVING AREA, EXCLUDING THE ROOMS' WALL THICKNESSES.

**FOUNDATION FOOTPRINT SQUARE FOOTAGE CALCULATES THE ENTIRE STRUCTURE'S GROUND FLOOR AREA INCLUDING WALL THICKNESS, EXTERIOR MATERIAL LEDGES, FIREPLACES, AND ALL OTHER NON HVAC AREAS.

ALL DIMENSIONS SHOWN ARE TO THE EXTERIOR FRAMING LAYER.



FRONT EXTERIOR PERSPECTIVE RENDERING

FOR ILLUSTRATION ONLY

GENERAL NOTES

THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL BUILDING CODES AND FOR ENSURING THAT THE PLAN IS CORRECTLY ADAPTED TO ACCOMMODATE LOCAL SITE CONDITIONS. THE PURCHASER CAN CONSULT WITH A LOCAL ARCHITECT OR ENGINEER REGARDING THESE MATTERS. BEFORE CONSTRUCTION BEGINS, THE PURCHASER SHOULD THOROUGHLY REVIEW THIS PLAN WITH THE CONTRACTOR, VERIFY ALL DIMENSIONS, AND REPORT TO BREMARIE DESIGNS LLC ANY ERRORS, OMISSIONS, OR QUESTIONS FOR CLARIFICATION. ALL EXTERIOR AND INTERIOR DIMENSIONS ARE TO THE FRAMING LAYER. DIMENSIONS TO OPENINGS ARE TO THE CENTER. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS, INCLUDING ROUGH OPENINGS.

THE CONTRACTOR IS RESPONSIBLE FOR A SITE SURVEY TO VERIFY HOME LOCATION AND SETBACKS PRIOR TO EXCAVATION. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE PURCHASER SHOULD VERIFY ALL STRUCTURAL ELEMENTS FOR THE PLAN AND SITE WITH A LOCAL ENGINEER. LARGE SPANS : LOAD BEARING BEAM/HEADER SIZE FOR SPANS IN EXCESS OF 20' TO BE SPECIFIED BY ENGINEER. THE EXACT SIZE, REINFORCEMENT, AND DEPTH OF ALL CONCRETE FOOTINGS AND FOUNDATIONS MUST BE DETERMINED BY LOCAL SOIL CONDITIONS AND ACCEPTABLE PRACTICES FOR CONSTRUCTION. THE BOTTOM OF ALL FOOTINGS SHOULD EXTEND BELOW THE FROST LINE. THE PURCHASER OF THESE PLANS UNDERSTANDS ALL RISKS ASSOCIATED WITH ADAPTING THE PLAN TO LOCAL SITES AFFECTED BY REGIONAL VARIATIONS IN CLIMATE, LOCAL SITE CONDITIONS, DESIGN NEEDS AND BUILDING CODES.

BREMARIE DESIGNS LLC MAY NOT BE HELD RESPONSIBLE FOR ADAPTING THIS PLAN TO LOCAL SITE CONDITIONS, DESIGN CHANGES, CONSTRUCTION MEANS, OR METHODS, COSTS, WORKMANSHIP, QUALITY OF MATERIALS, OR EQUIPMENT UTILIZED IN CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ASPECTS OF THESE PLANS AND TO ENSURE PLANS MEET ALL LOCAL GOVERNING CODES AND REQUIREMENTS. BREMARIE DESIGNS LLC ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS. THE PURCHASER IS GRANTED THE RIGHT TO BUILD ONLY ONE STRUCTURE FROM THIS PLAN (OR MODIFIED PLAN). THIS RIGHT EXTENDS TO THE ORIGINAL PURCHASER ONLY AND IS NOT TRANSFERABLE.

BREMARIE DESIGNS LLC
DRAFTING • 3D MODELING • INTERIOR DESIGN
3122 Kelly Kay #109
Longview, TX 75605
903.219.9545
BreMarieDesigns.com

REGISTERED INTERIOR DESIGNER
BRIANNA M. TAYLOR
12778
STATE OF TEXAS

Brianna M. Taylor
Friday, March 10, 2023

NO.	DATE	DESCRIPTION

SHEET TITLE: PROJECT OVERVIEW

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

DATE: 3/10/2023

SCALE: NO SCALE

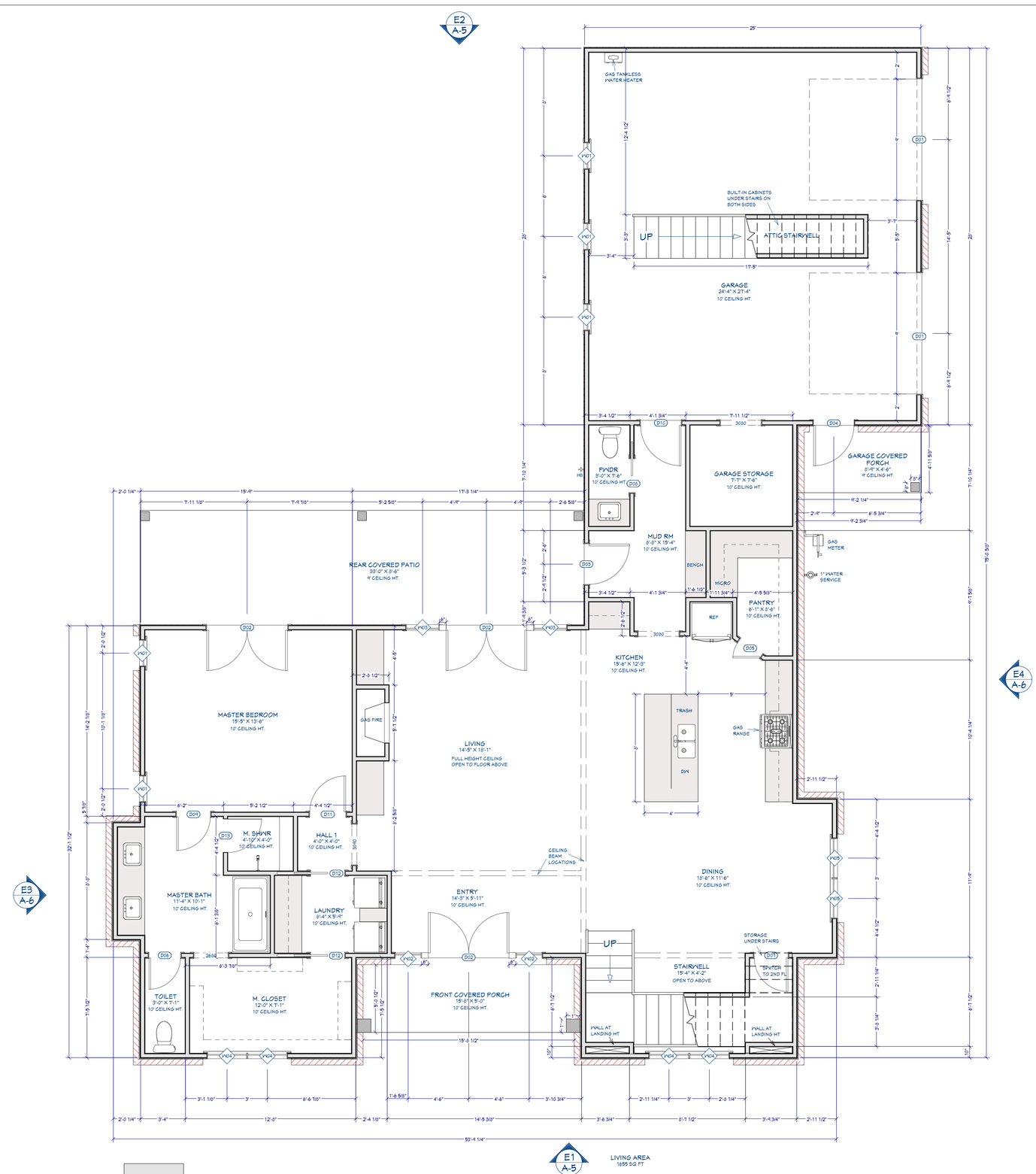
SHEET: A-1

DOOR SCHEDULE

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	RO	DESCRIPTION	HEADER
	D01	9080	2	1	9080	110"X96"	GARAGE-GARAGE DOOR GHD09	2X12X116" (2)
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X77" (2)
	D03	3080	1	1	3080 L EX	38"X96"	EXT. HINGED-DOOR E02	2X8X41" (2)
	D04	3080	1	1	3080 R EX	38"X96"	EXT. HINGED-DOOR E02	2X8X41" (2)
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04	2X8X29 13/16" (2)
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04	2X8X33" (2)
	D07	2680	1	1	2680 L IN	32"X96 1/2"	HINGED-DOOR P04	2X8X35" (2)
	D08	2680	1	1	2680 R	61 1/4"X96 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D09	2680	1	1	2680 R IN	32"X96 1/2"	HINGED-DOOR P04	2X8X35" (2)
	D10	3080	1	1	3080 L IN	38"X96 1/2"	HINGED-DOOR P04	2X8X41" (2)
	D11	2680	1	1	2680 R IN	34"X96 1/2"	HINGED-DOOR P04	2X8X37" (2)
	D12	2680	2	1	2680 L	61 1/4"X96 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D13	2680	1	1	2680 L	30"X96"	SHOWER-GLASS SLAB	
	D14	2368	1	2	2368 R	55 3/8"X82 1/2"	POCKET-DOOR P04	2X8X58 3/8" (2)
	D15	2668	2	2	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X8X35" (2)
	D16	2668	1	2	2668 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D17	2668	6	2	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2X8X35" (2)
	D18	4068	3	2	4068 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X8X53" (2)

WINDOW SCHEDULE

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	RO	DESCRIPTION	HEADER
	W01	2040FX	5	1	2040FX	25"X49"	FIXED GLASS	2X6X25" (2)
	W02	2030FX	2	1	2030FX	25"X37"	FIXED GLASS	2X6X25" (2)
	W03	2830FX	2	1	2830FX	31"X37"	FIXED GLASS	2X6X34" (2)
	W04	3050FX	4	1	3050FX	37"X61"	FIXED GLASS	2X6X40" (2)
	W05	3060FX	2	1	3060FX	37"X73"	FIXED GLASS	2X6X40" (2)
	W06	3050DH	8	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40" (2)
	W07	3050FX	3	2	3050FX	37"X61"	FIXED GLASS	2X6X40" (2)



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

BreMarie Designs LLC
Drafting • 3D Modeling • Interior Design
3122 Kelly Way #105
Longview, TX 75605
903.219.9545
BreMarieDesigns.com

REGISTERED INTERIOR DESIGNER
BRIANNA M. TAYLOR
12716
STATE OF TEXAS

Brianna M. Taylor
Friday, March 10, 2023

NO.	DATE	DESCRIPTION

SHEET TITLE: FIRST FLOOR PLAN

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

DATE: 3/10/2023

SCALE: 1/4"=1'-0"

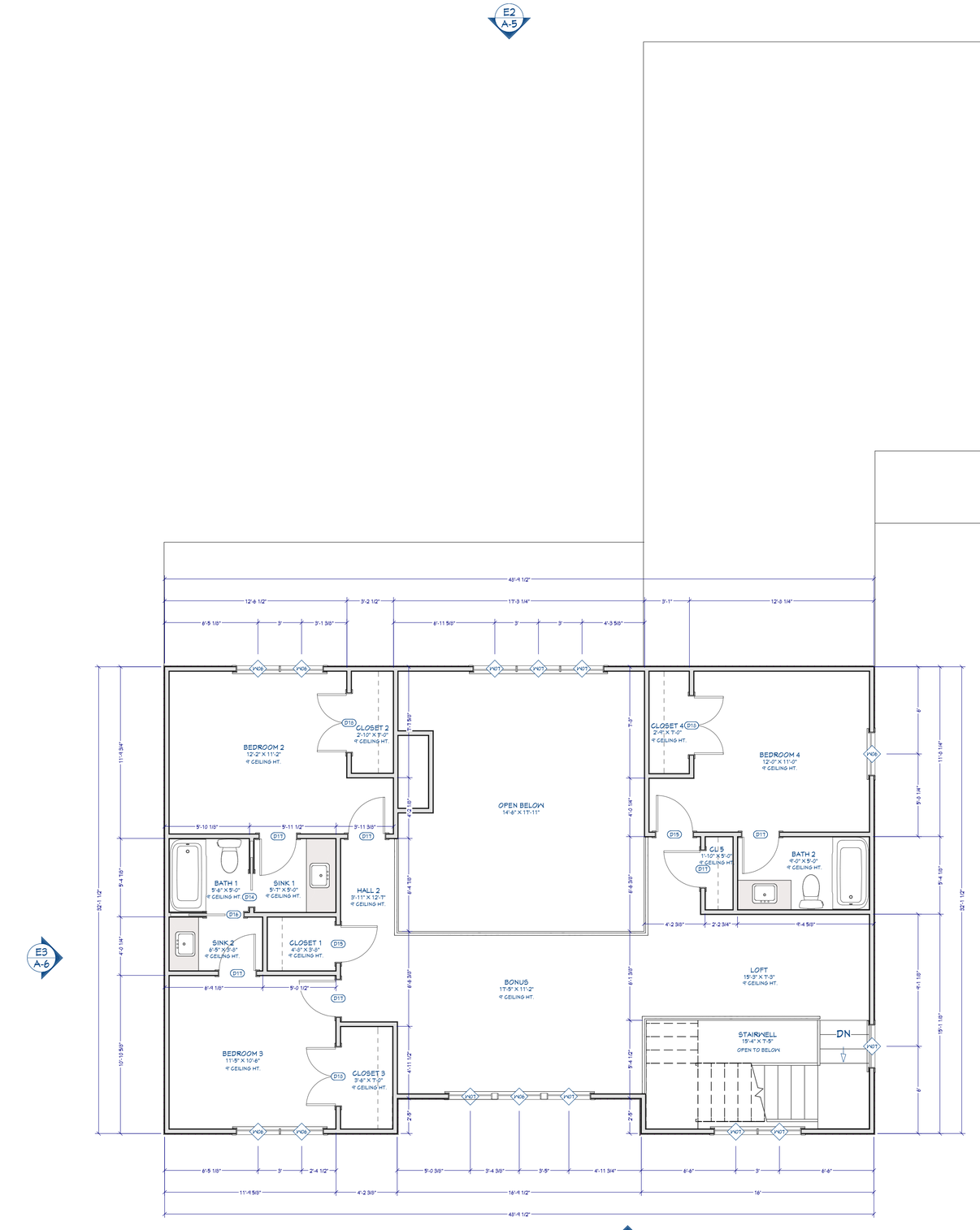
SHEET: A-3

DOOR SCHEDULE

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	RO	DESCRIPTION	HEADER
	D01	4080	2	1	4080	110"X96"	GARAGE-GARAGE DOOR GHD08	2X12X116" (2)
	D02	6080	3	1	6080 L/R EX	74"X96"	EXT. DOUBLE HINGED-GLASS PANEL	2X10X77" (2)
	D03	3080	1	1	3080 L EX	38"X96"	EXT. HINGED-DOOR E02	2X8X41" (2)
	D04	3080	1	1	3080 R EX	38"X96"	EXT. HINGED-DOOR E02	2X8X41" (2)
	D05	2080	1	1	2080 L IN	25 13/16"X96 1/2"	HINGED-DOOR P04	2X8X29 13/16" (2)
	D06	2480	1	1	2480 R IN	30"X96 1/2"	HINGED-DOOR P04	2X8X33" (2)
	D07	2680	1	1	2680 L IN	32"X96 1/2"	HINGED-DOOR P04	2X8X35" (2)
	D08	2680	1	1	2680 R	61 1/4"X96 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D09	2680	1	1	2680 R IN	32"X96 1/2"	HINGED-DOOR P04	2X8X35" (2)
	D10	3080	1	1	3080 L IN	38"X96 1/2"	HINGED-DOOR P04	2X8X41" (2)
	D11	2680	1	1	2680 R IN	54"X96 1/2"	HINGED-DOOR P04	2X8X37" (2)
	D12	2680	2	1	2680 L	61 1/4"X96 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D13	2680	1	1	2680 L	30"X96"	SHOWER-GLASS SLAB	
	D14	2368	1	2	2368 R	55 3/8"X82 1/2"	POCKET-DOOR P04	2X8X58 3/8" (2)
	D15	2668	2	2	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2X8X39" (2)
	D16	2668	1	2	2668 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2X8X84 1/4" (2)
	D17	2668	6	2	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2X8X39" (2)
	D18	4068	3	2	4068 L/R IN	50"X82 1/2"	DOUBLE HINGED-DOOR P04	2X8X53" (2)

WINDOW SCHEDULE

3D EXTERIOR ELEVATION	NUMBER	LABEL	QTY	FLOOR	SIZE	RO	DESCRIPTION	HEADER
	W01	2040FX	5	1	2040FX	25"X49"	FIXED GLASS	2X6X25" (2)
	W02	2030FX	2	1	2030FX	25"X71"	FIXED GLASS	2X6X25" (2)
	W03	2650FX	2	1	2650FX	31"X71"	FIXED GLASS	2X6X34" (2)
	W04	3050FX	4	1	3050FX	37"X61"	FIXED GLASS	2X6X40" (2)
	W05	3060FX	2	1	3060FX	37"X73"	FIXED GLASS	2X6X40" (2)
	W06	3050DH	8	2	3050DH	37"X61"	DOUBLE HUNG	2X6X40" (2)
	W07	3050FX	9	2	3050FX	37"X61"	FIXED GLASS	2X6X40" (2)



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

BreMarie Designs LLC
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3122 Kelly Way #105
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BreMarieDesigns.com

REGISTERED INTERIOR DESIGNER
BRIANNA M. TAYLOR
12716
STATE OF TEXAS

Brianna M. Taylor
Friday, March 10, 2023

NO.	DATE	DESCRIPTION

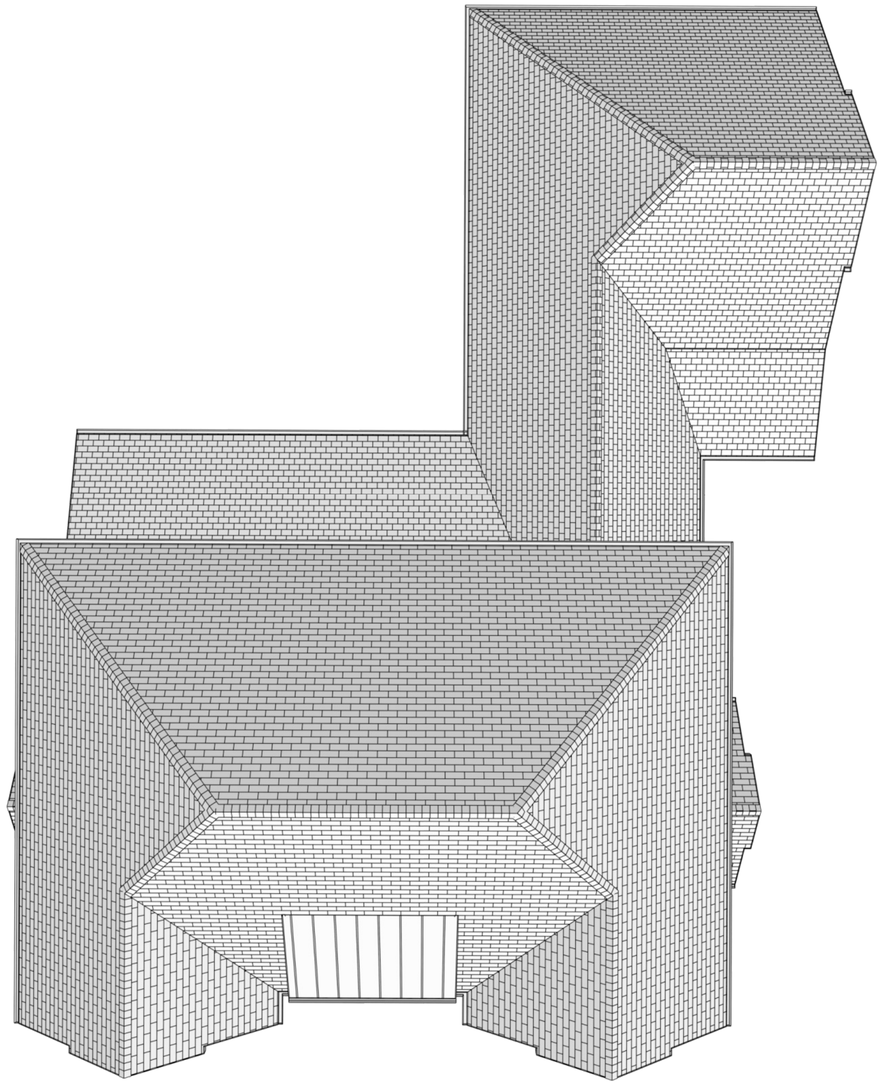
SHEET TITLE: SECOND FLOOR PLAN

PROJECT DESCRIPTION:
BREEZY HILL LANE ADDITION
ROCKWALL, TEXAS
TAYLOR HENSON

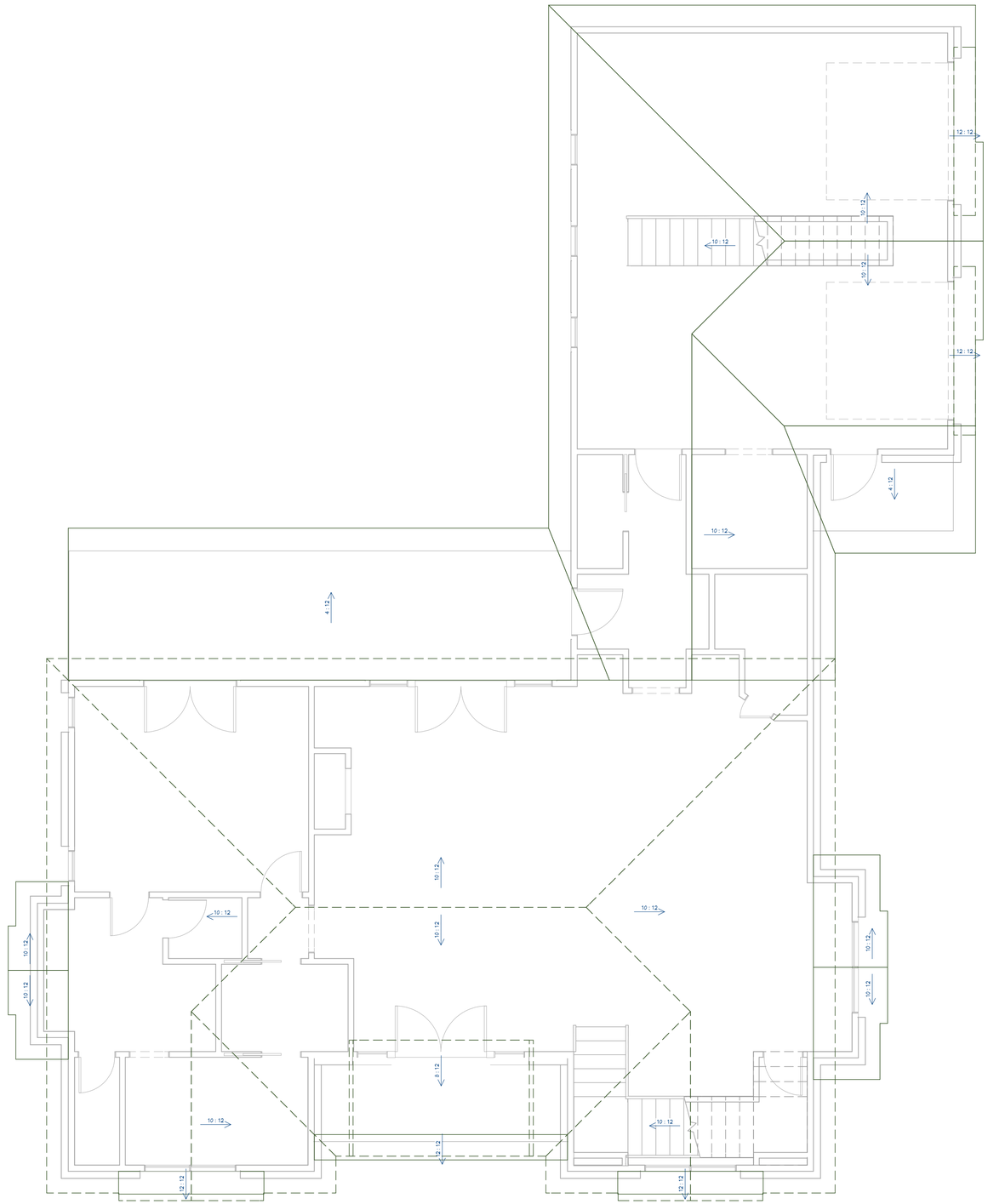
DATE: 3/10/2023

SCALE: 1/4"=1'-0"

SHEET: A-4



ROOF OVERVIEW PERSPECTIVE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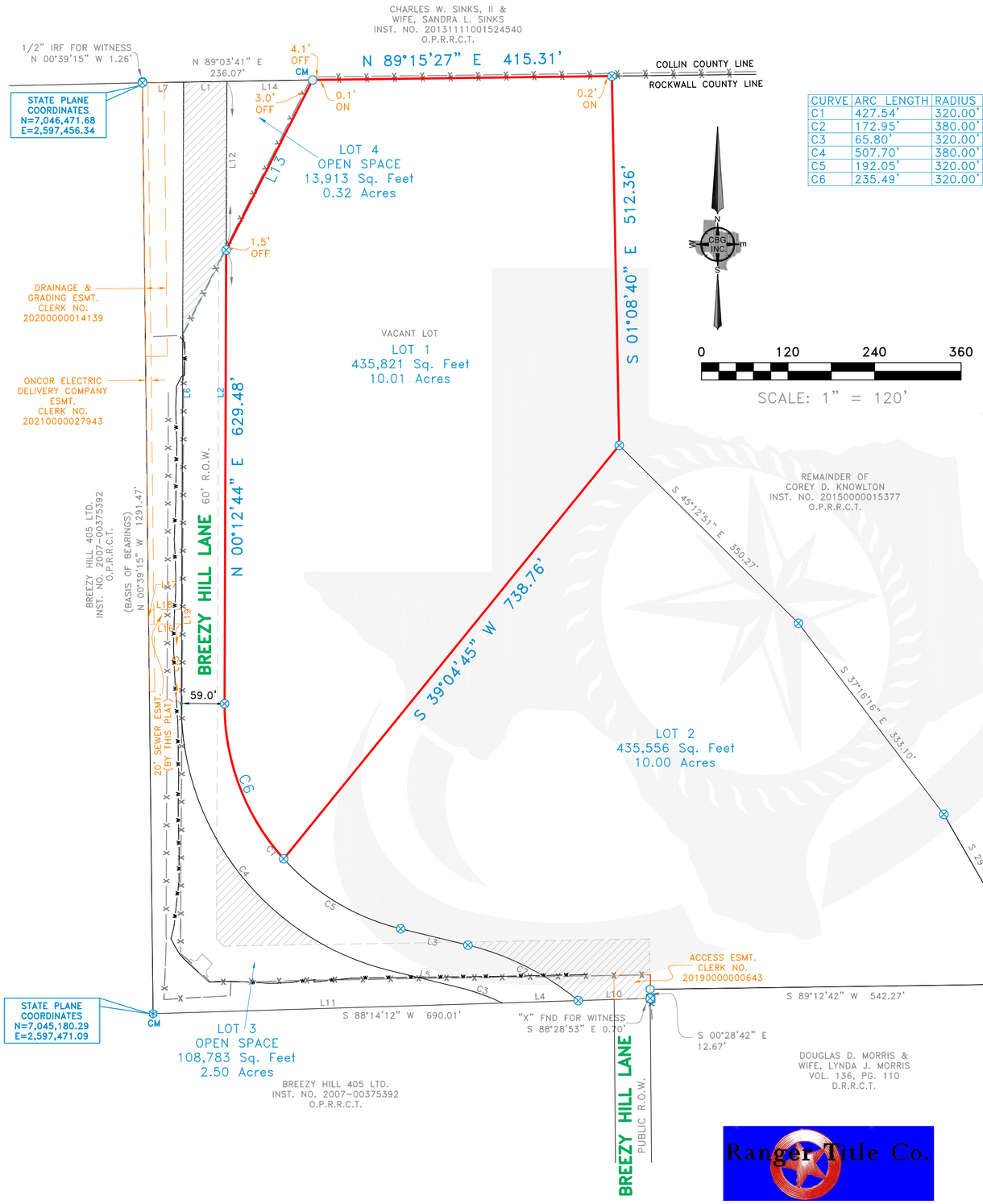


CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	427.54'	320.00'	76°33'03"	S 38°03'47" E	396.44'
C2	172.95'	380.00'	26°04'36"	S 63°18'01" E	171.46'
C3	65.80'	320.00'	11°46'53"	N 70°26'52" W	65.68'
C4	507.70'	380.00'	76°33'03"	N 38°03'47" W	470.78'
C5	192.05'	320.00'	34°23'13"	N 59°08'42" W	189.18'
C6	235.49'	320.00'	42°09'50"	N 20°52'11" W	230.21'

LINE	BEARING	DISTANCE
L1	N 89°03'41" E	60.01'
L2	S 00°12'44" W	863.30'
L3	S 76°20'19" E	96.00'
L4	S 88°14'12" W	105.50'
L5	N 76°20'19" W	96.00'
L6	N 00°12'44" E	862.10'
L7	N 89°03'41" E	57.02'
L8	S 46°14'54" E	101.26'
L9	S 46°14'54" E	201.36'
L10	S 88°14'12" W	99.78'
L11	S 88°14'12" W	484.73'
L12	N 00°12'43" E	233.83'
L14	N 89°03'41" E	119.03'
L15	N 00°12'44" E	110.65'
L16	S 89°20'45" W	45.66'
L17	N 00°39'15" W	20.00'
L18	N 89°20'45" E	45.96'
L19	S 00°12'44" W	20.00'

Breezy Hill Lane (Lot 1)

Lot 1, Breezy Hill Lane Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Clerk# 20200000009078, Plat Records, Rockwall County, Texas.

SURVEYOR'S CERTIFICATE

The undersigned Registered Professional Land Surveyor hereby certifies to Taylor Henson, Kaylee Henson, WFG National Title Insurance Company, and Ranger Title Company, in connection with the transaction described in G.F. No. R220291R that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 21st day of February, 2022

_____
Registered Professional Land Surveyor

STATE OF TEXAS
REGISTERED
MICHAEL CHURCHWELL
6384
PROFESSIONAL
LAND SURVEYOR

NOTE: According to the F.I.R.M. in Map No. 48397C0030L ,this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

ACCEPTED BY: _____ SIGNATURE _____ DATE _____ SIGNATURE _____ DATE

NOTES:
BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

2) PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN: VOLUME 1452, PAGE 222, CLERK#S: 20200000009078, 20200000004363

3) EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY: VOLUME 46, PAGE 512

REVISIONS		
DATE	BY	NOTES

LEGEND

CM CONTROLLING MONUMENT
1/2" IRON ROD FOUND
1/2" IRON ROD SET
1" IRON PIPE FOUND
FENCE POST CORNER
"X" FOUND / SET
5/8" ROD FOUND
UNDERGROUND ELECTRIC
OVERHEAD ELECTRIC
POWER POLE
PE - POOL EQUIPMENT
COLUMN
AC - AIR CONDITIONING
FIRE HYDRANT
OES - OES
OHP - OHP
POINT FOR CORNER
GRAVEL/ROCK ROAD OR DRIVE
ASPHALT PAVING
CHAIN LINK FENCE
WOOD FENCE
0.5' WIDE TYPICAL BARBED WIRE
IRON FENCE
PIPE FENCE
COVERED PORCH,DECK OR CARPORT
OVERHEAD ELECTRIC SERVICE
OVERHEAD POWER LINE
CONCRETE PAVING
DOUBLE SIDED WOOD FENCE

CBG SURVEYING TEXAS LLC
PROFESSIONAL LAND SURVEYORS
1413 E. IH-30, Ste. 7
Garland, TX 75043
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com

SCALE	DATE	JOB NO.	G.F. NO.	DRAWN
1" = 120'	02/21/2022	513780-13	SEE CERT.	MARIA

FINAL SURVEY

LOT 1, BLOCK A, BREEZY HILL LANE ADDITION

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

BREEZY HILL LANE (LOT 1)

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. *20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 10.00-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, BREEZY HILL LANE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kaylee and Taylor Henson for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 10.00-acre tract of land identified as Lot 1, Block A, Breezy Hill Lane Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 1325 Breezy Hill Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 02.01, *Agricultural (AG) District*, of Article 05, *District Development Standards*, of the Unified Development Code

DRAFT 09.26.2023

(UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.

2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2nd DAY OF OCTOBER, 2023.

DRAFT ORDINANCE 08.29.2023

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: *September 18, 2023*

2nd Reading: *October 2, 2023*

DRAFT ORDINANCE 08.29.2023

Exhibit 'A':
Location Map

Address: *1325 Breezy Hill Lane*

Legal Description: *Lot 1, Block A, Breezy Hill Lane Addition*

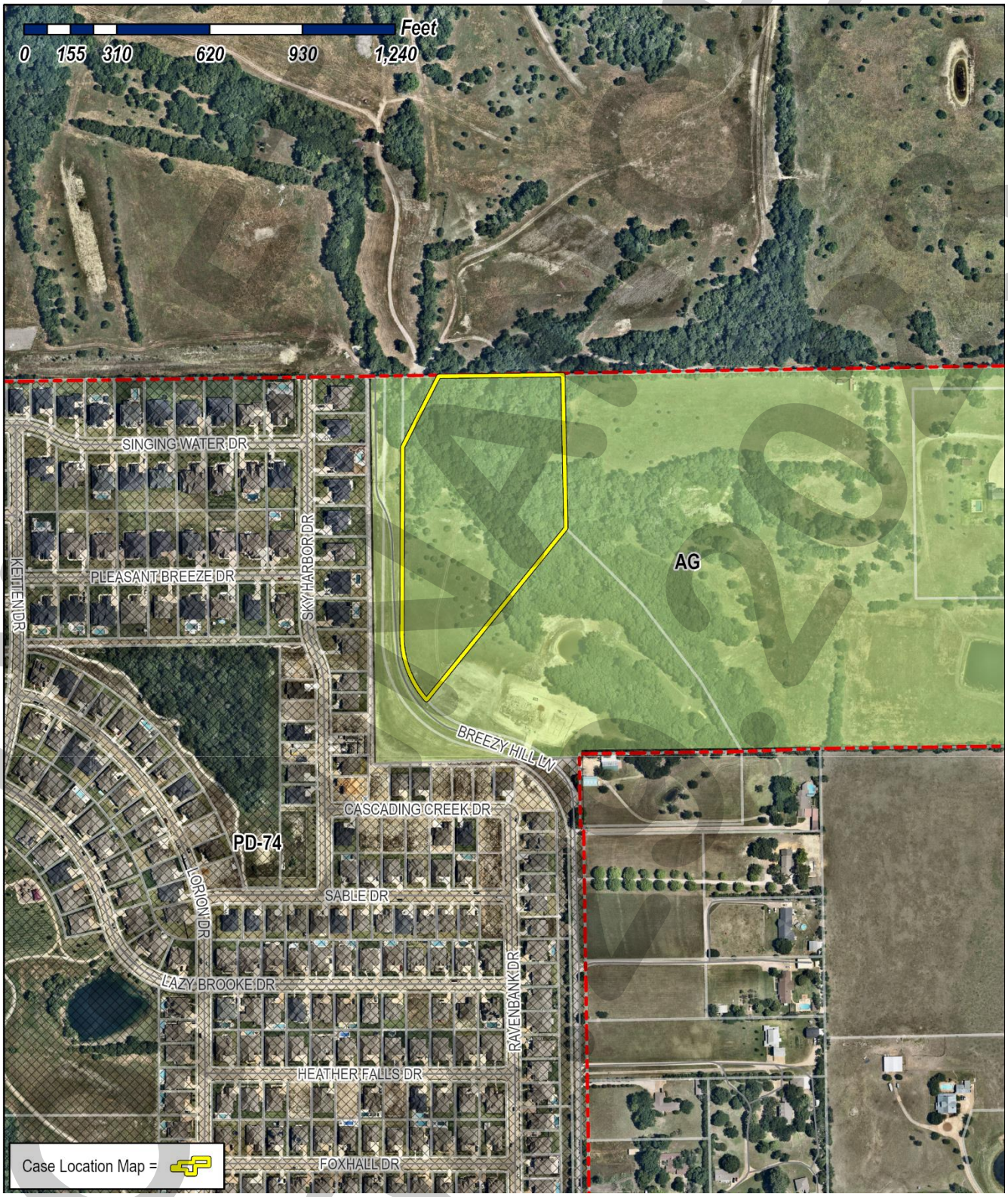
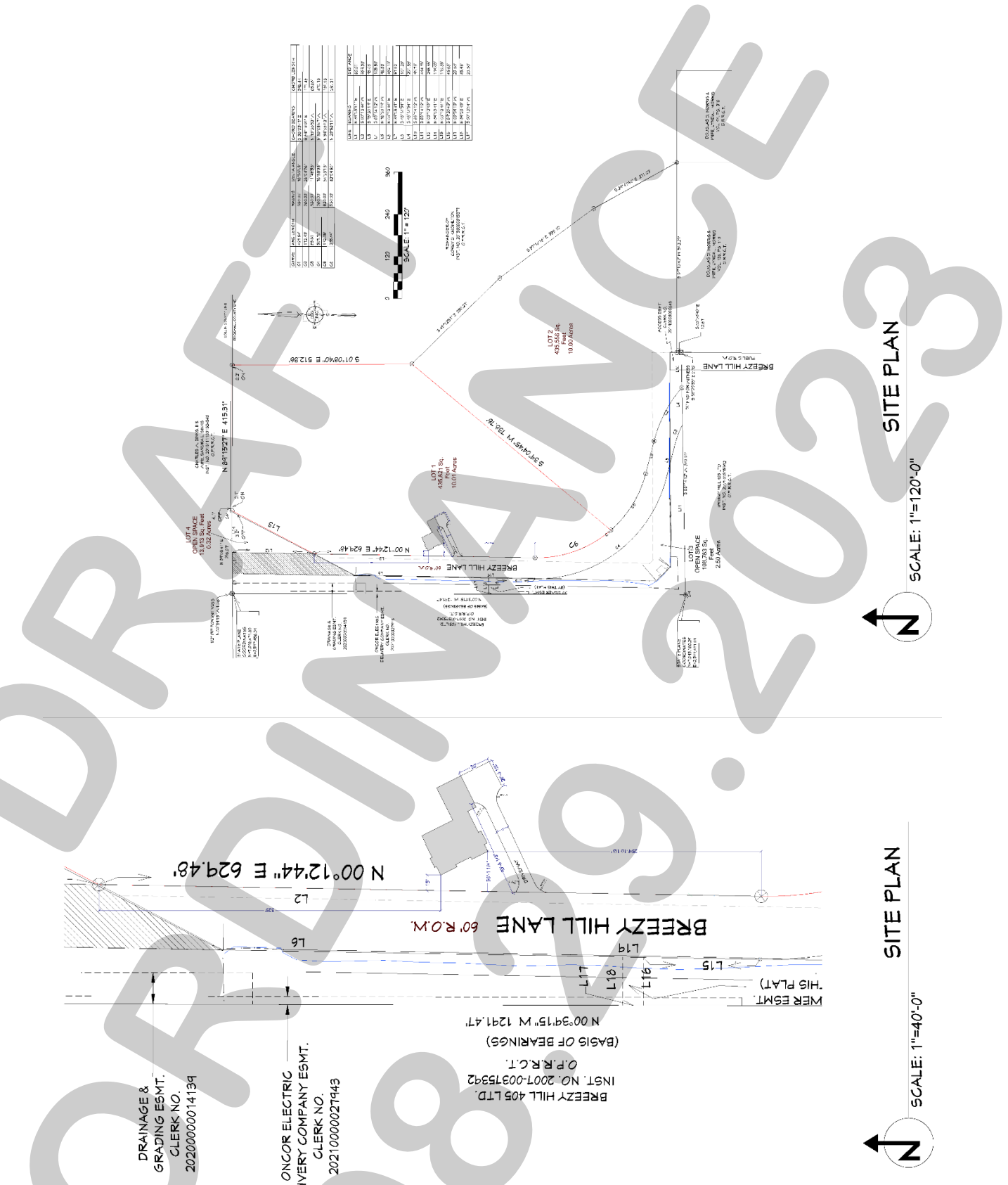
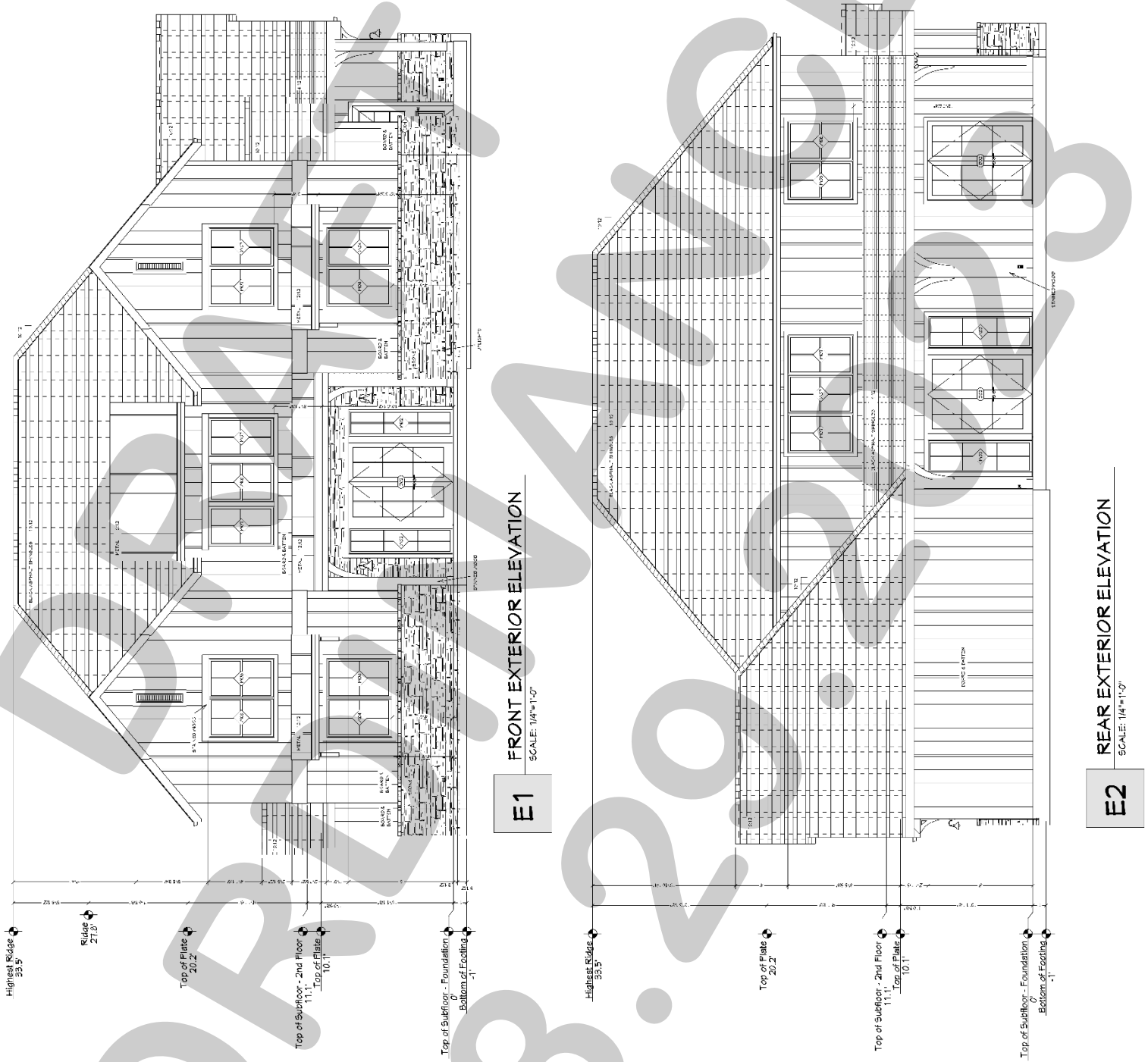


Exhibit 'B':
Residential Plot Plan



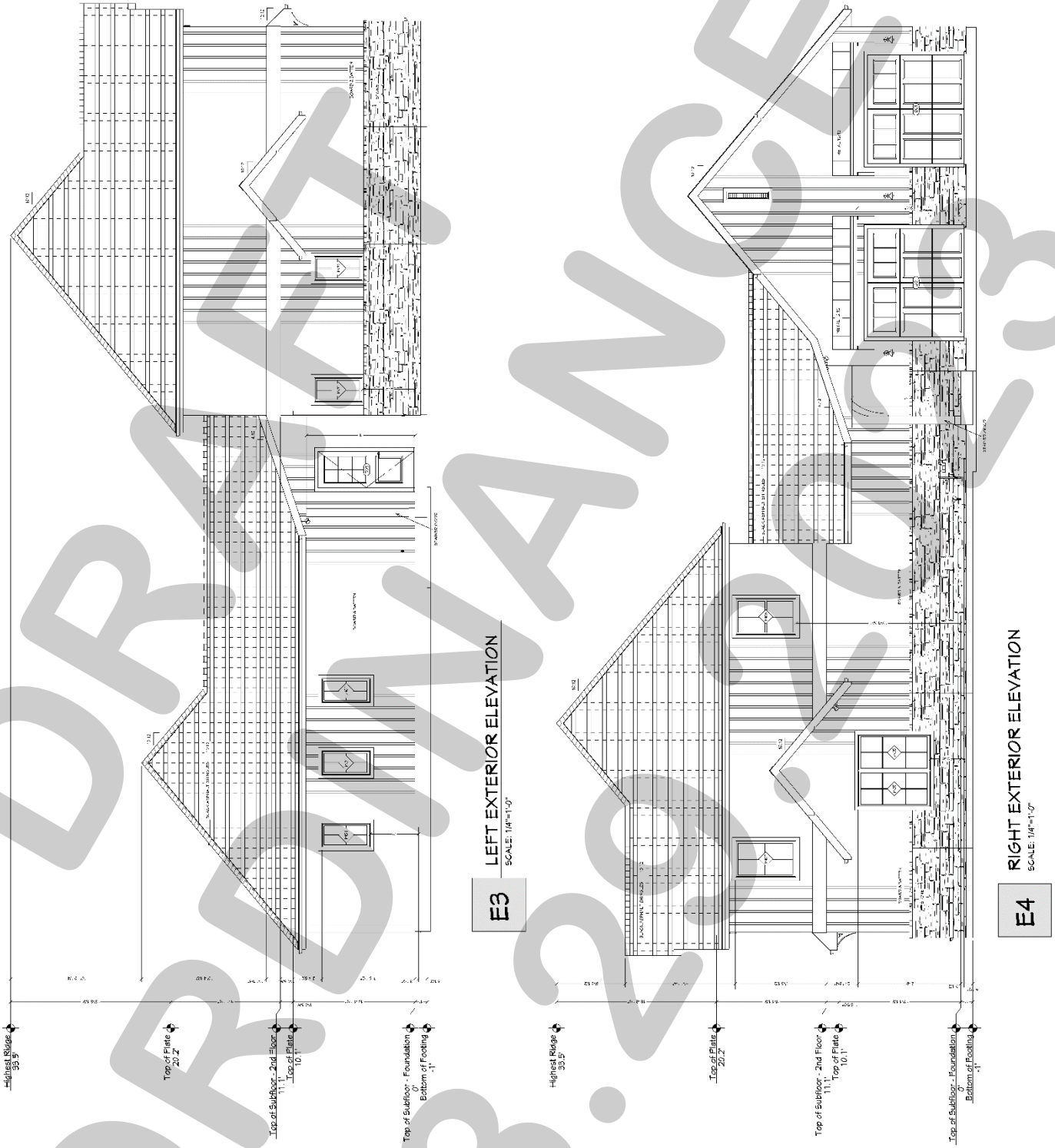
DRAFT ORDINANCE 08.29.2023

Exhibit 'C':
Building Elevations



DRAFT
08.29.2023

Exhibit 'C':
Building Elevations



DRAFT
ORIGINAL
08.29.23

Exhibit 'C':
Building Elevations



FRONT EXTERIOR PERSPECTIVE RENDERING
FOR ILLUSTRATION ONLY

DRAFT
08.09.2023

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: Z2023-041
PROJECT NAME: Zoning Change (AG & LI to C)
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Ryan Miller	08/18/2023	Approved w/ Comments

08/18/2023: Z2023-041; Zoning Change from AG & LI to C
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, and generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road.
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.
M.3 For reference, include the case number (Z2023-041) in the lower right-hand corner of all pages on future submittals.
I.4 According to the OURHometown Vision 2040 Comprehensive Plan the subject property is located within the IH-30 Corridor District and is designated for Special Commercial Corridor (SC) land uses. The requested Commercial (C) District zoning designation is in compliance with these designations, and conforms to the Future Land Use Map contained in the Comprehensive Plan.
M.5 Please review the attached draft ordinance prior to the September 12, 2023 Planning & Zoning Commission meeting, and provide staff with your markups by September 6, 2023.
I.6 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on August 29, 2023.
I.7 The projected City Council meeting dates for this case will be September 18, 2023 (1st Reading) and October 2, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Mater water plan calls for the 12" water line along Conveyor to connect to the 16" along IH 30. Also calls out for a 12" line as shown in blue.
2. Developer will be responsible for constructing southern half with lighting on Justin Road and extending sanitary sewer along Justin to FM 3549.

Comments are for information only, not for zoning change. Comments may change at Site Plan and Engineering.
General Items FYI Items for Site & Development Plans:
- Must meet City 2023 Standards of Design and Construction

- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
-The property will need to be platted.

Drainage Items:
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
-Detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- For drainage areas over 20 acres of drainage area, the drainage design and study is sent to 3rd party consultant for review. Developer will be responsible for 3rd party review.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Minimum 10' utility easement required along all ROW.
- Any utility work in TXDOT ROW will require TxDOT permit.

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.
- TxDOT permits will be required for all connections to FM3549 and IH30.
- Depending on use, TIA may be required. Will be determined at site plan.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

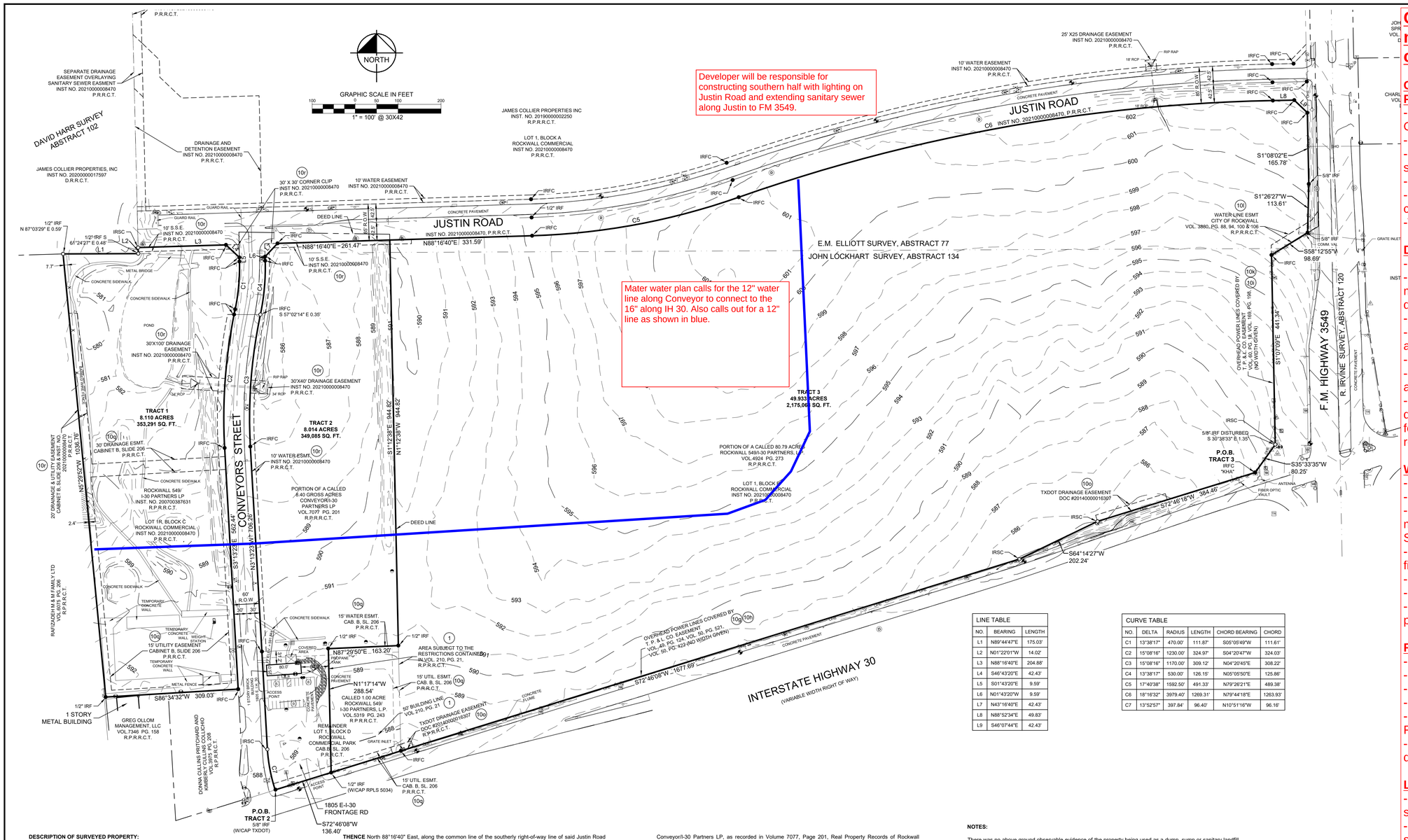
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments



Developer will be responsible for constructing southern half with lighting on Justin Road and extending sanitary sewer along Justin to FM 3549.

Mater water plan calls for the 12" water line along Conveyor to connect to the 16" along IH 30. Also calls out for a 12" line as shown in blue.

LINE TABLE		
NO.	BEARING	LENGTH
L1	N89°44'47"E	175.03'
L2	N01°22'01"W	14.02'
L3	N88°16'40"E	204.88'
L4	S46°43'20"E	42.43'
L5	S01°43'20"E	9.59'
L6	N01°43'20"W	9.59'
L7	N43°16'40"E	42.43'
L8	N88°52'34"E	49.83'
L9	S46°07'44"E	42.43'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	13°38'17"	470.00'	111.87'	S05°05'49"W	111.61'
C2	15°08'16"	1230.00'	324.97'	S04°20'47"W	324.03'
C3	15°08'16"	1170.00'	309.12'	N04°20'45"E	308.22'
C4	13°38'17"	530.00'	126.15'	N05°05'50"E	125.86'
C5	17°40'38"	1592.50'	491.33'	N79°26'21"E	489.38'
C6	18°16'32"	3979.40'	1269.31'	N79°44'18"E	1263.93'
C7	13°52'57"	397.84'	96.40'	N10°51'16"W	96.16'

DESCRIPTION OF SURVEYED PROPERTY:

TRACT 1

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77 and John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1R, Block C of Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Instrument No. 20210000008470 of the Plat Records of Rockwall County, Texas.

TRACT 2

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 20210000008470, Plat Records of Rockwall County, Texas, and being a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a cap stamped "TXDOT" found for the southwest corner of said Lot 1, Block D and the northeast corner of the intersection of northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way) with the easterly right-of-way line of Conveyors Street (a 60-foot right-of-way), same being at the beginning of a non-tangent curve to the right with a radius of 397.84 feet, a central angle of 13°52'57", and a chord bearing and distance of North 10°51'16" West, 96.16 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, and with said non-tangent curve to the right, an arc distance of 96.40 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE North 03°13'23" West, continuing along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, passing at a distance of 228.03 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the northernmost southwest corner of said Lot 1, Block B, continuing along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street a total distance of 706.26 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'45" East, 308.22 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street the following courses and distances:

In a northerly direction, with said tangent curve to the right, an arc distance of 309.12 feet to the beginning of a reverse curve to the left with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'50" East, 125.86 feet, from which a 5/8" iron rod with plastic cap stamped "KHA" found bears South 57°02'14" East, a distance of 0.35 feet;

In a northerly direction, with said reverse curve to the left, an arc distance of 126.15 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 01°43'20" West, a distance of 9.59 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the most southerly northwest corner of said Lot 1, Block B same being the southernmost end of a right-of-way corner clip at the intersection of the east right-of-way line of said Conveyors Street and the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 20210000008470, Plat Records of Rockwall County, Texas;

THENCE North 43°16'40" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the northernmost end of said right-of-way clip same being the most northerly northwest corner of said Lot 1, Block B;

THENCE North 88°16'40" East, along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, a distance of 261.47 feet to a point for corner on the easterly line of said 8.40 gross acre tract and the westerly line of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, Real Property Records of Rockwall County, Texas;

THENCE South 01°12'38" East, departing the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a 1/2-inch iron rod found for the easterly, southeast corner of said 8.40 gross acre tract and the northeast corner of a called 1.00 acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, Real Property Records of Rockwall County, Texas, same also being an ell corner of said Lot 1, Block B;

THENCE South 87°29'50" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract;

THENCE South 01°17'14" East, departing the southerly line of said Lot 1, Block B, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing aforesaid Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod with a plastic cap, stamped "RPLS 5034" found for the southwest corner of said 1.00-acre tract, the southerly and the southeast corner of said 8.40 gross acre tract, same being on the southerly line of aforesaid Lot 1, Block D and the northerly right-of-way line of aforesaid Interstate Highway 30;

THENCE South 72°46'08" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block D and along the northerly right of way line of said Interstate Highway 30, a distance of 136.40 feet to the **POINT OF BEGINNING** and containing 349,085 square feet or 8.014 acres of land, more or less.

TRACT 3

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 20210000008470, Plat Records of Rockwall County, Texas, and a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, and all of a called 1.00-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, both of the Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most southerly southeast corner of said Lot 1, Block B and in the northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way);

THENCE along the common line of said Lot 1, Block B and the northerly right-of-way line of said Interstate Highway 30, the following courses and distances:

South 72°46'18" West, a distance of 384.46 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

South 64°14'27" West, a distance of 202.24 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE South 72°46'08" West, continuing along said common line and the south line of said Lot 1, Block D, and passing at a distance of 1507.74 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southeast corner of said Lot 1, Block D, continuing along said line a total distance of 1,677.69 feet to a 1/2-inch iron rod found for the southwest corner of aforesaid 1.00-acre tract, same being the southerly, southeast corner of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas;

THENCE North 01°17'14" West, departing the northerly right-of-way line of said Interstate Highway 30 and the southerly line of said Lot 1, Block D, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing said Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract, same also being on a southerly line of aforesaid Lot 1, Block B;

THENCE North 87°29'50" East, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northeast corner of said 1.00-acre tract and the easterly, southeast corner of said 8.40 gross acre tract and an ell corner of said Lot 1, Block B, same being on the westerly line of aforesaid 80.79-acre tract;

THENCE North 01°12'38" West, departing the southerly line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a point for on the corner on the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 20210000008470, Plat Records of Rockwall County, Texas and the north line of said Lot 1, Block B;

THENCE along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, the following courses and distance:

North 88°16'40" East, a distance of 331.59 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the left with a radius of 1,592.50 feet, a central angle of 17°40'38", and a chord bearing and distance of North 79°26'21" East, 489.38 feet;

In an easterly direction, with said tangent curve to the left, an arc distance of 491.33 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a reverse curve to the right with a radius of 3,979.40 feet, a central angle of 18°16'32", and a chord bearing and distance of North 79°44'18" East, 1,263.93 feet;

In an easterly direction, with said reverse curve to the right, an arc distance of 1,269.31 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 88°52'34" East, a distance of 49.83 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most northerly northeast corner of said Lot 1, Block B same being the northernmost end of a right-of-way corner clip at the intersection of the south right-of-way line of said Justin Road and the west right-of-way line of F.M. Highway 3549 (a variable width right-of-way);

THENCE South 46°07'44" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southernmost corner of said corner clip same being the most southerly northeast corner of said Lot 1, Block B;

THENCE along the westerly right-of-way line of said F.M. Highway 3549 and the east line of said Lot 1, Block B the following courses and distances:

South 01°08'02" East, a distance of 165.78 feet to a 5/8" iron rod found for corner;

South 01°26'27" West, a distance of 113.61 feet to a 5/8" iron rod found for corner;

South 58°12'55" West, a distance of 98.69 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

South 01°07'09" East, a distance of 441.34 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for the northernmost southeast corner of said Lot 1, Block B, from which a 5/8" iron rod found (disturbed) bears South 30°38'33" East, a distance of 1.35 feet;

South 35°33'35" West, a distance of 80.25 feet to the **POINT OF BEGINNING** and containing 2,175,068 square feet or 49.933 acres of land, more or less.

NOTES:

There was no above ground observable evidence of the property being used as a dump, sump or sanitary landfill at the time of the survey.

No visible evidence of current earth moving work, building construction or building additions were observed at the time of survey.

There are no known proposed changes in street right-of-way lines. There is no evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

There was no above ground observable evidence of cemeteries or burial grounds were observed at the time of survey.

Tracts 2 and 3 are contiguous and contains no gaps or gores.

No wetland markings were observed at the time of survey.

No potential issues of adverse possession or use, or acquiescence were identified or observed during field work.

All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983 . All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.9998538863.

According to Map No. 48397C0045L of the Federal Emergency Management Agency's Flood Insurance Rate Maps for Rockwall County, Texas, dated September 26, 2008, the subject tract is situated within: Unshaded Zone "X", defined as areas determined to be outside the 500-year flood plain. This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage. On rare occasions floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

There are 20 parking spaces located within Tract 2 as shown hereon.

The property has physical access to F. M. Highway 3549, I. H. Highway 30 westbound service road, Conveyors Street and Justin Road and has vehicular access to I. H. Highway 30 westbound service road, Conveyors Street as indicated by "ACCESS POINT" label, said roads being maintained by the State of Texas and City of Rockwall.

LINE TYPE LEGEND

	BOUNDARY LINE
	EASEMENT LINE
	BUILDING LINE
W	WATER LINE
SS	SANITARY SEWER LINE
	STORM SEWER LINE
GAS	UNDERGROUND GAS LINE
OHE	OVERHEAD UTILITY LINE
UGE	UNDERGROUND ELECTRIC LINE
UGT	UNDERGROUND TELEPHONE LINE
	FENCE
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT

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No.	DATE	REVISION DESCRIPTION
5		
4		
3		
2		
1		

ZONING EXHIBIT
66.057 ACRES
E.M. ELLIOT SURVEY, ABSTRACT NO. 77 AND
JOHN LOCKHART SURVEY, ABSTRACT NO. 134
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

Kimley»Horn
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Tel. No. (972) 335-3580
FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	CDS	KHA	Aug. 2023	063942002	1 OF 1

Comments are for information only, not for zoning change. Comments may change at Site Plan and Engineering.

General Items FYI Items for Site & Development Plans:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.
-The property will need to be platted.

Drainage Items:
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
-Detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- For drainage areas over 20 acres of drainage area, the drainage design and study is sent to 3rd party consultant for review. Developer will be responsible for 3rd party review.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- Minimum 10' utility easement required along all ROW.
- Any utility work in TXDOT ROW will require TxDOT permit.

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.
- TxDOT permits will be required for all connections to FM3549 and IH30.
- Depending on use, TIA may be required. Will be determined at site plan.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

SAVED: 8/30/2023 9:13 AM
PLOTTED: 8/30/2023 9:14 AM
USER NAME: MICHAEL.BOSSE
PLOT STYLE TABLE: KHA.CTB
LAYOUT: 24x36
XREF NAME: R:\PW_SURVEY\063942002\ROCKWALL COMMERCIAL BLOCK B LOT 1 - ROCKWALL\SURVEY\063942002 ZONING EXHIBIT.DWG

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☒ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30				
SUBDIVISION	ROCKWALL COMMERCIAL	LOT	SEE SURVEY	BLOCK	SEE SURVEY
GENERAL LOCATION	NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	AG & LI		CURRENT USE	NONE	
PROPOSED ZONING	COMMERCIAL (C) Zoning District		PROPOSED USE	COMMERCIAL/RETAIL	
ACREAGE	65.147	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	ROCKWALL 549/I-30 PARTNERS, L.P.	☒ APPLICANT	KIMLEY-HORN
CONTACT PERSON	JAMES MELINO	CONTACT PERSON	ANTHONY LOEFFEL
ADDRESS	8750 CENTRAL EXPRESSWAY	ADDRESS	400 N. OKLAHOMA DR, SUITE 105
	SUITE 1735		
CITY, STATE & ZIP	DALLAS, TEXAS, 75231	CITY, STATE & ZIP	CELINA, TEXAS, 75009
PHONE	214-691-2556	PHONE	469-301-2581
E-MAIL	jim@cambridgecos.com	E-MAIL	ANTHONY.LOEFFEL@KIMLEY-HORN.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES MELINO [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $1,177.21 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* _____ *DAY OF* _____, 20___. *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th *DAY OF* August, 2023

OWNER'S SIGNATURE By: James Melino, Auth. Rep.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kelsey Ulrich

KELSEY ULRICH
Notary ID #133863336
My Commission Expires
July 18, 2026

MY COMMISSION EXPIRES July 18, 2026

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☒ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30				
SUBDIVISION	ROCKWALL COMMERCIAL	LOT	SEE SURVEY	BLOCK	SEE SURVEY
GENERAL LOCATION	NORTHEAST CORNER OF FM 3549 AND EAST INTERSTATE 30				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial	CURRENT USE	NONE
PROPOSED ZONING	COMMERCIAL (C) Zoning District	PROPOSED USE	COMMERCIAL/RETAIL
ACREAGE	0.91	LOTS [CURRENT]	1
		LOTS [PROPOSED]	1

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	CONVEYOR I30 PARTNERS LP	☒ APPLICANT	KIMLEY-HORN
CONTACT PERSON	JAMES MELINO	CONTACT PERSON	ANTHONY LOEFFEL
ADDRESS	8750 CENTRAL EXPRESSWAY	ADDRESS	400 N. OKLAHOMA DR, SUITE 105
	SUITE 1735		
CITY, STATE & ZIP	DALLAS, TEXAS, 75231	CITY, STATE & ZIP	CELINA, TEXAS, 75009
PHONE	214-691-2556	PHONE	469-301-2581
E-MAIL	jim@cambridgecos.com	E-MAIL	ANTHONY.LOEFFEL@KIMLEY-HORN.COM

NOTARY VERIFICATION [REQUIRED]

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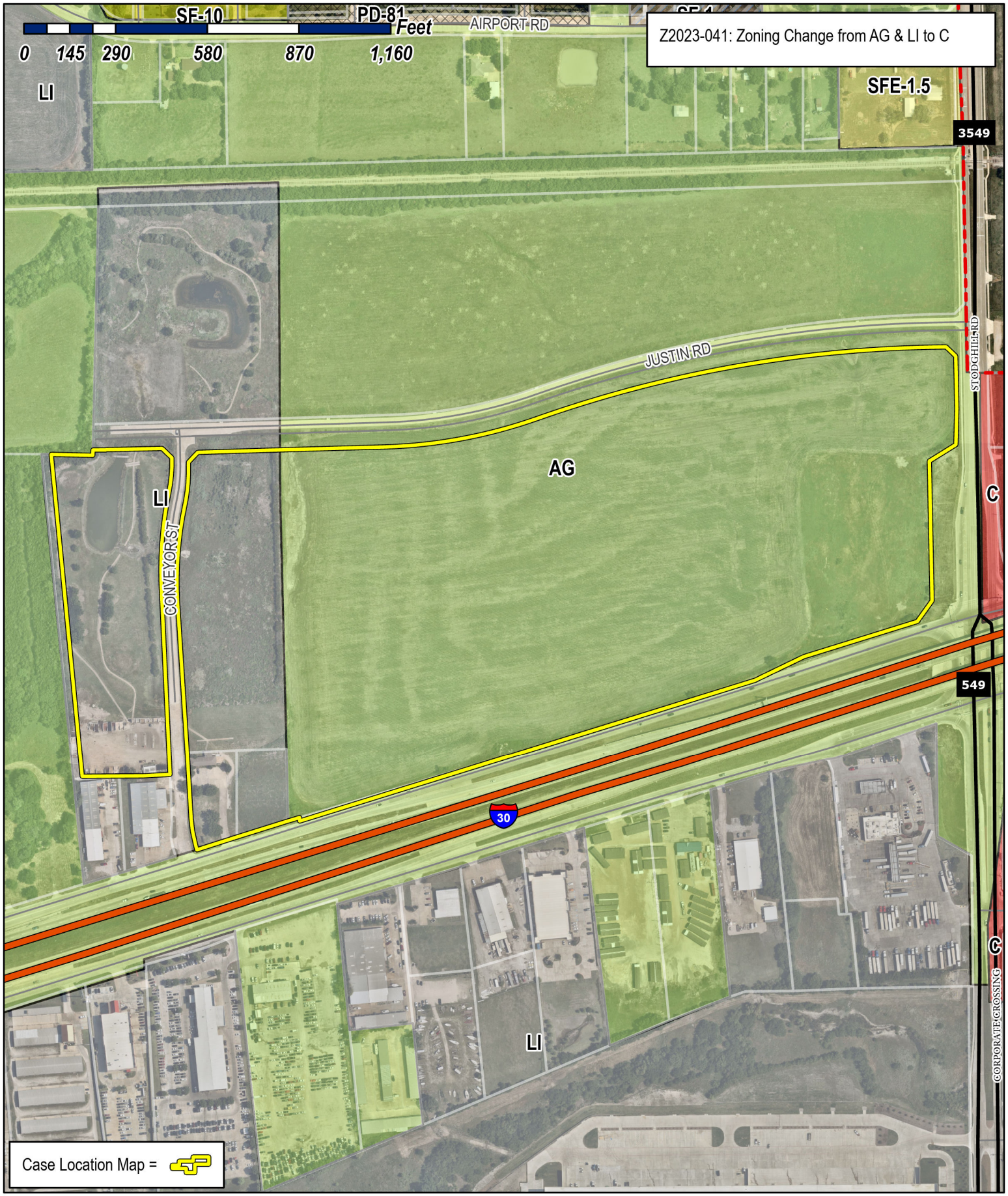
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th *DAY OF* August, 2023.

OWNER'S SIGNATURE By: James Melino, Auth. Rep.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kelsey Ulrich

NOTARY PUBLIC STATE OF TEXAS
KELSEY ULRICH
Notary ID #133863336
My Commission Expires
July 18, 2026

MY COMMISSION EXPIRES July 18, 2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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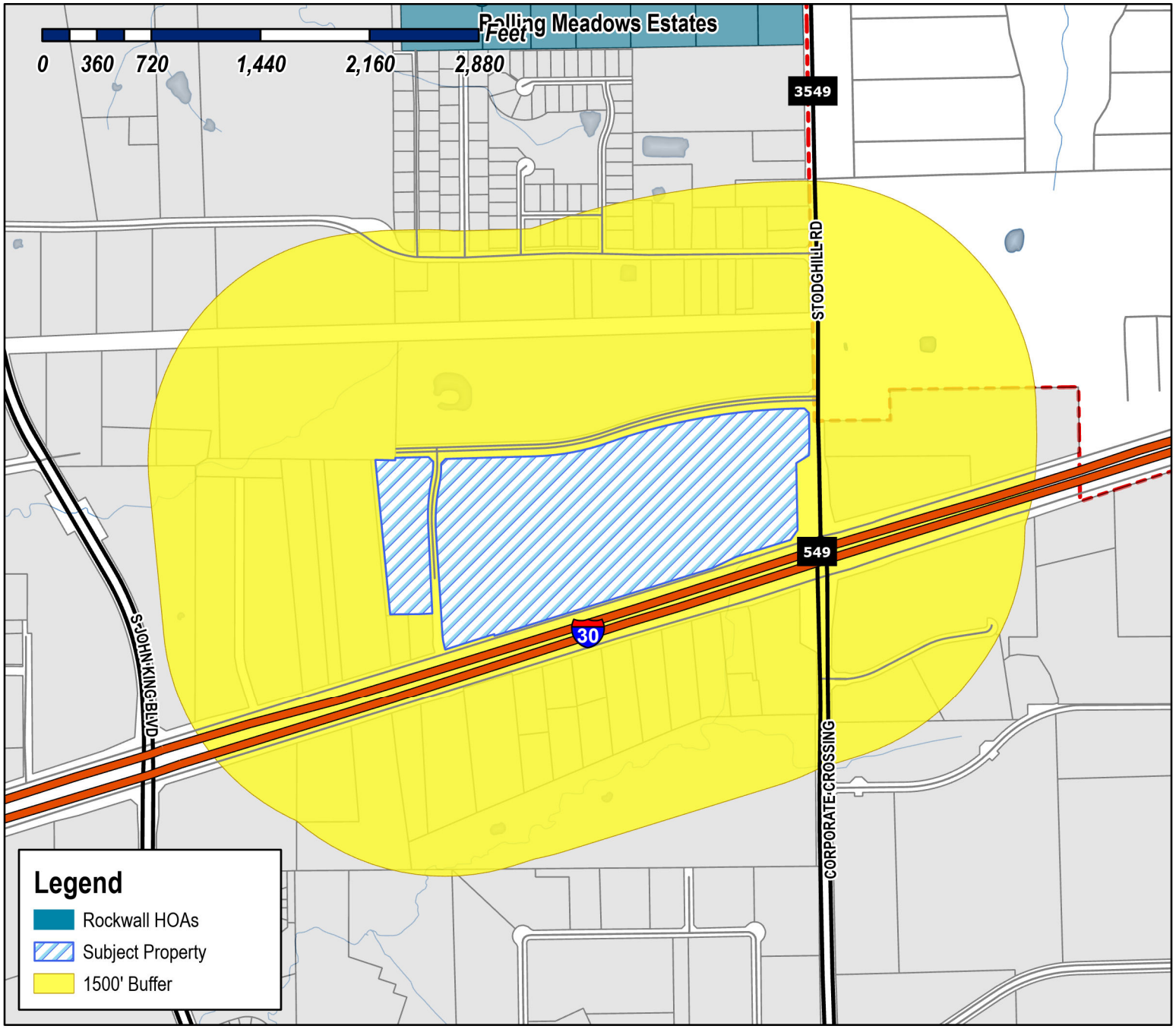
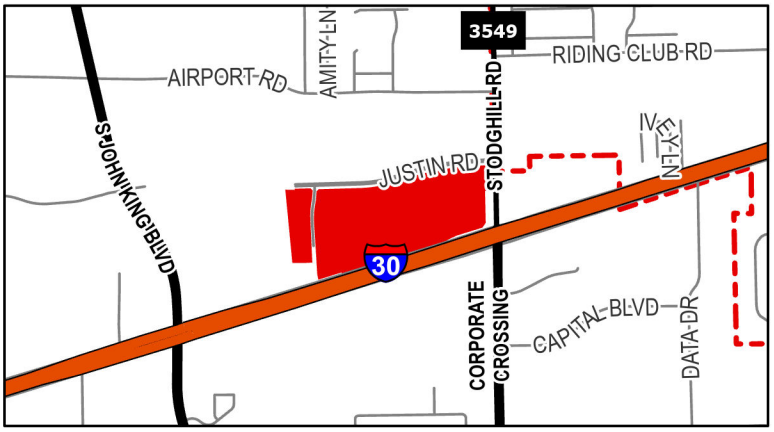


Case Number: Z2023-041
Case Name: Zoning Change from AG & LI to C
Case Type: Zoning
Zoning: Commercial
Case Address: NE Corner of FM 3549 and E I-30



Date Saved: 8/18/2023
For Questions on this Case Call (972) 771-7745

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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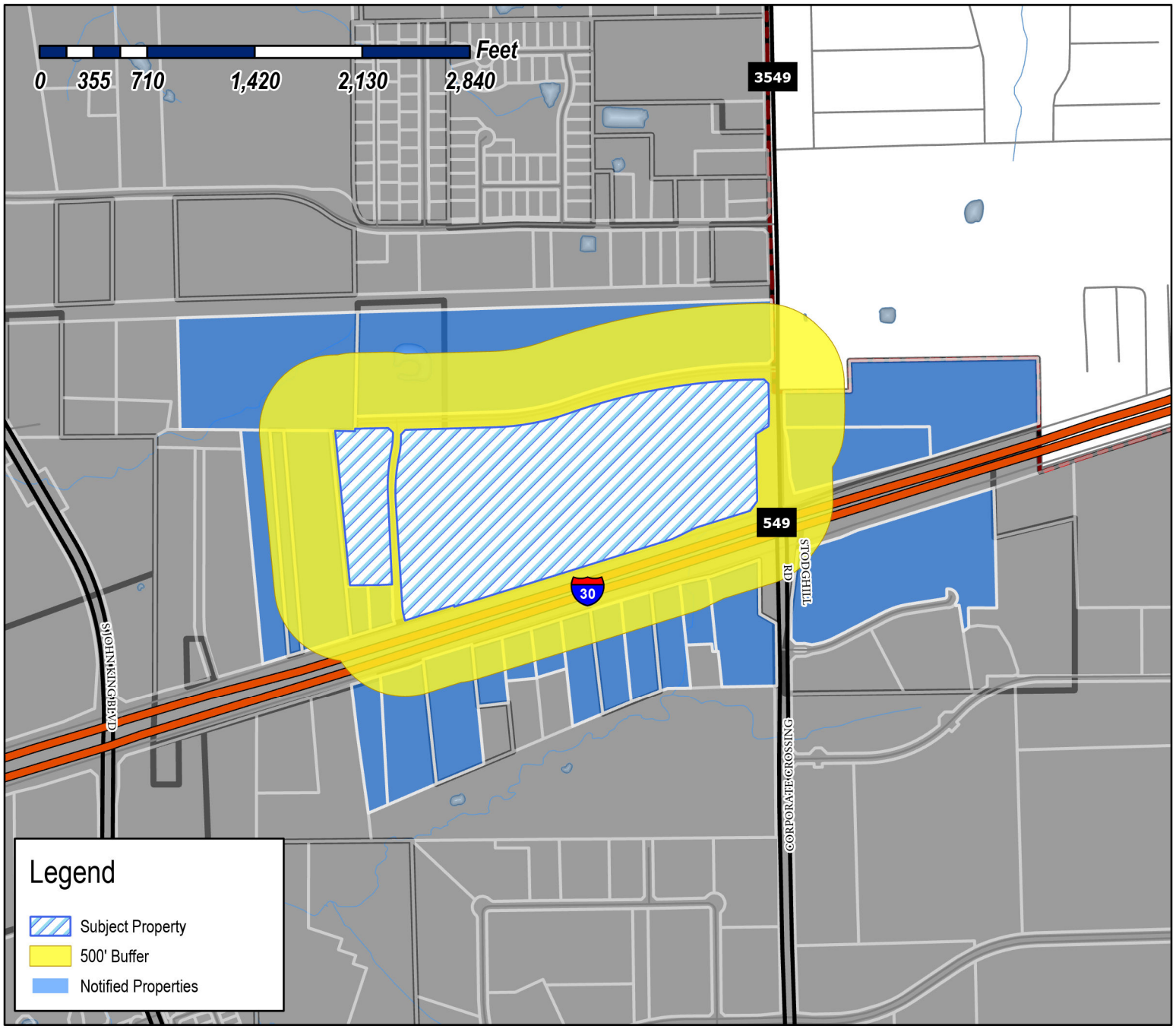

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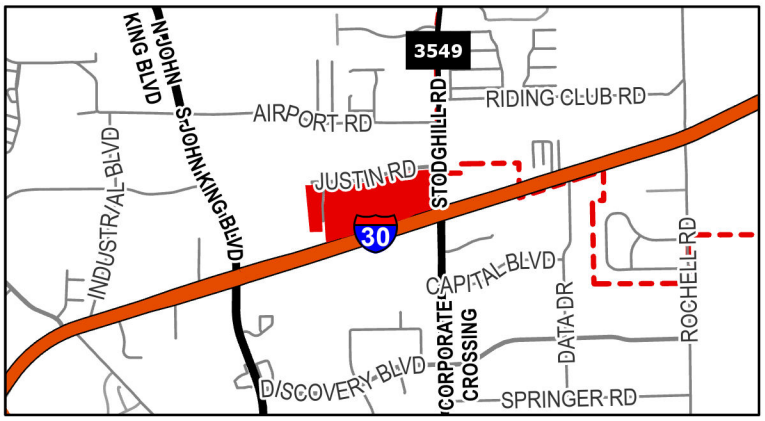


Date Saved: 8/18/2023
For Questions on this Case Call: (972) 771-7746

MYASIN INVESTMENTS LLC
11243 SHADY TRL
DALLAS, TX 75229

MHC I30 LP
12001 N CENTRAL EXPRESSWAY SUITE 875
DALLAS, TX 75243

LINE 5 HOLDINGS LP
1201 N RIVERFRONT BLVD SUITE 100
DALLAS, TX 75207

THE STATE OF TEXAS, BY AND THROUGH THE
TEXAS TRANSPORTATION COMMISSION
125 E 11TH STREET
AUSTIN, TX 78701

RAFIZADEH M & M FAMILY LTD
C/O REPUBLIC MOTORSPORTS INC
12707 SOUTHWEST FREEWAY
STAFFORD, TX 77477

PRITCHARD DONNA CULLINS &
KIMBERLY CULLINS COLLICHIO TRUSTEES
1610 SHORES BLVD
ROCKWALL, TX 75087

RESIDENT
1785 E I30
ROCKWALL, TX 75087

RESIDENT
1790 E I30
ROCKWALL, TX 75087

RESIDENT
1795 I30
ROCKWALL, TX 75087

RESIDENT
1805 E I30
ROCKWALL, TX 75087

RESIDENT
1810 S I30
ROCKWALL, TX 75087

SELF SCOTT & JANET
1830 E INTERSTATE 30 STE 100
ROCKWALL, TX 75087

GENESTA PARTNERSHIP
1850 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1860 E I30
ROCKWALL, TX 75087

RESIDENT
1880 I30 RD
ROCKWALL, TX 75087

RESIDENT
1900 E INTERSTATE 30
ROCKWALL, TX 75087

RESIDENT
1960 E I30
ROCKWALL, TX 75087

RESIDENT
1970 I30 SOUTH SERVICE RD
ROCKWALL, TX 75087

RESIDENT
1990 E I30
ROCKWALL, TX 75087

STRUCTURED REA- ROCKWALL LAND LLC
2801 E. CAMELBACK ROAD SUITE 200
PHOENIX, AZ 85016

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

SALEHOUN FAMILY LIMITED PARTNERSHIP
39650 LYNDON B JOHNSON FWY
DALLAS, TX 75237

MOORE MICHAEL F
557 MARIAH BAY DR
HEATH, TX 75032

CAVENDER INVESTMENT PROPERTIES E LTD
7820 SOUTH BROADWAY
TYLER, TX 75703

ROCKWALL 549/I30 PARTNERS LP
8750 N CENTRAL EXPWY SUITE 1735
DALLAS, TX 75231

CONVEYOR I30 PARTNERS LP
8750 N CENTRAL EXPY SUITE 1735
DALLAS, TX 75231

MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75088

GREG OLLOM MANAGEMENT LLC
941 CORNELIUS RD
ROCKWALL, TX 75087

LOVE'S COUNTRY STORES INC
PO BOX 26210
OKLAHOMA CITY, OK 73126

ROCKWALL AA RE LLC
PO BOX 775
ROYSE CITY, TX 75189

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-041: Zoning Change from AG & LI to C
Hold a public hearing to discuss and consider a request by Anthony Loeffel of Kimley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a Zoning Change from a Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, September 18, 2023 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2023-041: Zoning Change from AG & LI to C

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Kimley»Horn

August 18, 2023

Mr. Ryan Miller
Director of Planning
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

RE: Proposed Zoning Change at NWC of FM 3549 and IH-30
Letter of Explanation
Rockwall, Texas

Mr. Miller:

At the request of the Owner parcel 114981, 114982, 26819 and 26818 per Rockwall CAD, we are requesting a zoning change of the approximately 66 acres of land at the northwest corner of FM 3549 and Interstate 30. We are requesting a straight zoning change from Agricultural and Light Industrial to Commercial (C) Zoning District.

Sincerely,



Anthony Loeffel, P.E.

TRACT 1

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77 and John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1R, Block C of Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Instrument No. 20210000008470 of the Plat Records of Rockwall County, Texas.

TRACT 2

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 20210000008470, Plat Records of Rockwall County, Texas, and being a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a cap stamped "TXDOT" found for the southwest corner of said Lot 1, Block D and the northeast corner of the intersection of northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way) with the easterly right-of-way line of Conveyors Street (a 60-foot right-of-way), same being at the beginning of a non-tangent curve to the right with a radius of 397.84 feet, a central angle of 13°52'57", and a chord bearing and distance of North 10°51'16" West, 96.16 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, and with said non-tangent curve to the right, an arc distance of 96.40 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE North 03°13'23" West, continuing along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, passing at a distance of 228.03 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the northernmost southwest corner of said Lot 1, Block B, continuing along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street a total distance of 706.26 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'45" East, 308.22 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street the following courses and distances:

> In a northerly direction, with said tangent curve to the right, an arc distance of 309.12 feet to the beginning of a reverse curve to the left with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'50" East, 125.86 feet, from which a 5/8" iron rod with plastic cap stamped "KHA" found bears South 57°02'14" East, a distance of 0.35 feet;
>
> In a northerly direction, with said reverse curve to the left, an arc distance of 126.15 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;
>
> North 01°43'20" West, a distance of 9.59 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the most southerly northwest corner of said Lot 1, Block B same being the southernmost end of a right-of-way corner clip at the intersection of the east right-of-way line of said Conveyors Street and the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 20210000008470, Plat Records of Rockwall County, Texas;

THENCE North 43°16'40" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the northernmost end of said right-of-way clip same being the most northerly northwest corner of said Lot 1, Block B;

THENCE North 88°16'40" East, along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, a distance of 261.47 feet to a point for corner on the easterly line of said 8.40 gross acre tract and the westerly line of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, Real Property Records of Rockwall County, Texas;

THENCE South 01°12'38" East, departing the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a 1/2-inch iron rod found for the easterly, southeast corner of said 8.40 gross acre tract and the northeast corner of a called 1.00 acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, Real Property Records of Rockwall County, Texas, same also being an ell corner of said Lot 1, Block B;

THENCE South 87°29'50" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract;

THENCE South 01°17'14" East, departing the southerly line of said Lot 1, Block B, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing aforesaid Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod with a plastic cap, stamped "RPLS 5034" found for the southwest corner of said 1.00-acre tract, the southerly and the southeast corner of said 8.40 gross acre tract, same being on the southerly line of aforesaid Lot 1, Block D and the northerly right-of-way line of aforesaid Interstate Highway 30;

THENCE South 72°46'08" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block D and along the northerly right of way line of said Interstate Highway 30, a distance of 136.40 feet to the **POINT OF BEGINNING** and containing 349,085 square feet or 8.014 acres of land, more or less.

TRACT 3

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 20210000008470, Plat Records of Rockwall County, Texas, and a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, and all of a called 1.00-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, both of the Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most southerly southeast corner of said Lot 1, Block B and in the northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way);

THENCE along the common line of said Lot 1, Block B and the northerly right-of-way line of said Interstate Highway 30, the following courses and distances:

> South 72°46'18" West, a distance of 384.46 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;
>
> South 64°14'27" West, a distance of 202.24 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE South 72°46'08" West, continuing along said common line and the south line of said Lot 1, Block D, and passing at a distance of 1507.74 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southeast corner of said Lot 1, Block D, continuing along said line a total distance of 1,677.69 feet to a 1/2-inch iron rod found for the southwest corner of aforesaid 1.00-acre tract, same being the southerly, southeast corner of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas;

THENCE North 01°17'14" West, departing the northerly right-of-way line of said Interstate Highway 30 and the southerly line of said Lot 1, Block D, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing said Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract, same also being on a southerly line of aforesaid Lot 1, Block B;

THENCE North 87°29'50" East, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northeast corner of said 1.00-acre tract and the easterly, southeast corner of said 8.40 gross acre tract and an ell corner of said Lot 1, Block B, same being on the westerly line of aforesaid 80.79-acre tract;

THENCE North 01°12'38" West, departing the southerly line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a point for on the corner on the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 20210000008470, Plat Records of Rockwall County, Texas and the north line of said Lot 1, Block B;

THENCE along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, the following courses and distance:

North 88°16'40" East, a distance of 331.59 feet to a 5/8” iron rod with a red plastic cap stamped “KHA” found at the beginning of a tangent curve to the left with a radius of 1,592.50 feet, a central angle of 17°40'38", and a chord bearing and distance of North 79°26'21" East, 489.38 feet;

In an easterly direction, with said tangent curve to the left, an arc distance of 491.33 feet to a 5/8” iron rod with a red plastic cap stamped “KHA” found at the beginning of a reverse curve to the right with a radius of 3,979.40 feet, a central angle of 18°16'32", and a chord bearing and distance of North 79°44'18" East, 1,263.93 feet;

In an easterly direction, with said reverse curve to the right, an arc distance of 1,269.31 feet to a 5/8” iron rod with a red plastic cap stamped “KHA” found for corner;

North 88°52'34" East, a distance of 49.83 feet to a 5/8” iron rod with a red plastic cap stamped “KHA” found for the most northerly northeast corner of said Lot 1, Block B same being the northernmost end of a right-of-way corner clip at the intersection of the south right-of-way line of said Justin Road and the west right-of-way line of F.M. Highway 3549 (a variable width right-of-way);

THENCE South 46°07'44" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8” iron rod with a red plastic cap stamped “KHA” found for the southernmost corner of said corner clip same being the most southerly northeast corner of said Lot 1, Block B;

THENCE along the westerly right-of-way line of said F.M. Highway 3549 and the east line of said Lot 1, Block B the following courses and distances:

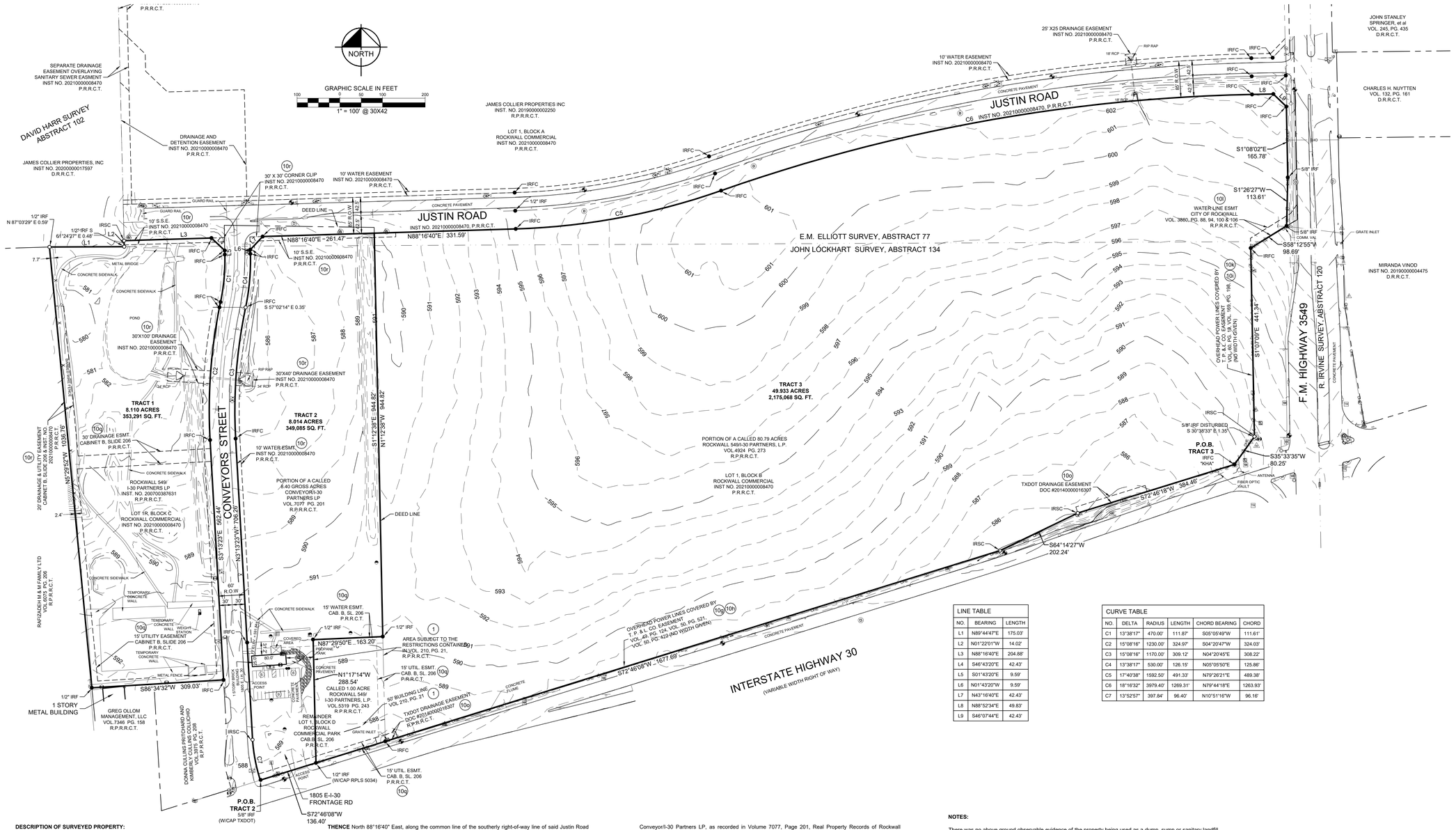
South 01°08'02" East, a distance of 165.78 feet to a 5/8” iron rod found for corner;

South 01°26'27" West, a distance of 113.61 feet to a 5/8” iron rod found for corner;

South 58°12'55" West, a distance of 98.69 feet to a 5/8” iron rod with a red plastic cap stamped “KHA” found for corner;

South 01°07'09" East, a distance of 441.34 feet to a 5/8” iron rod with a red plastic cap stamped “KHA” set for the northernmost southeast corner of said Lot 1, Block B, from which a 5/8” iron rod found (disturbed) bears South 30°38'33” East, a distance of 1.35 feet;

South 35°33'35" West, a distance of 80.25 feet to the **POINT OF BEGINNING** and containing 2,175,068 square feet or 49.933 acres of land, more or less.


NORTH
GRAPHIC SCALE IN FEET
100 0 50 100 200
1" = 100' @ 30X42
DAVID HARR SURVEY ABSTRACT 102
E.M. ELLIOTT SURVEY, ABSTRACT 77
JOHN LOCKHART SURVEY, ABSTRACT 134
F.M. HIGHWAY 3549
R. IRVINE SURVEY, ABSTRACT 120
JUSTIN ROAD
INST NO. 20210000008470, P.R.R.C.T.
N88°16'40"E 331.59'
N88°16'40"E - 261.47'
CONVEYORS STREET
INTERSTATE HIGHWAY 30
(VARIABLE WIDTH RIGHT OF WAY)
S72°46'08"W - 1677.69'
TRACT 1
8.110 ACRES
353,291 SQ. FT.
TRACT 2
8.014 ACRES
349,085 SQ. FT.
TRACT 3
49.933 ACRES
2,175,068 SQ. FT.
P.O.B.
TRACT 2
5/8" IRF
(W/CAP TXDOT)
S72°46'08"W
136.40'
1805 E-I-30
FRONTAGE RD
P.O.B.
TRACT 3
5/8" IRF
"KHA"
S72°46'18"W 364.46'
S64°14'27"W
202.24'
S1°08'02"E
165.78'
S1°26'27"W
113.61'
S58°12'55"W
98.69'
S1°07'09"E 441.34'
S35°33'35"W
80.25'
N1°12'38"W 944.82'
S1°12'38"E 944.82'
N5°26'42"W 1106.76'
S3°15'23"E 562.44'
N3°13'23"W 706.26'
N87°29'50"E 163.20'
N1°17'14"W
288.54'
S86°34'32"W 309.03'
JAMES COLLIER PROPERTIES, INC
INST NO. 20200000017597
D.R.R.C.T.
JAMES COLLIER PROPERTIES INC
INST. NO. 20190000002250
P.R.R.C.T.
LOT 1, BLOCK A
ROCKWALL COMMERCIAL
INST NO. 20210000008470
P.R.R.C.T.
JOHN STANLEY
SPRINGER, et al
VOL. 245, PG. 435
D.R.R.C.T.
CHARLES H. NUYTTEN
VOL. 132, PG. 161
D.R.R.C.T.
MIRANDA VINOD
INST NO. 20190000004475
D.R.R.C.T.
SEPARATE DRAINAGE
EASEMENT OVERLAYING
SANITARY SEWER EASMENT
INST NO. 20210000008470
P.R.R.C.T.
DRAINAGE AND
DETENTION EASEMENT
INST NO. 20210000008470
P.R.R.C.T.
30' X 30' CORNER CLIP
INST NO. 20210000008470
P.R.R.C.T.
10' WATER EASEMENT
INST NO. 20210000008470
P.R.R.C.T.
25' X25 DRAINAGE EASEMENT
INST NO. 20210000008470
P.R.R.C.T.
10' WATER EASEMENT
INST NO. 20210000008470
P.R.R.C.T.
10' S.S.E.
INST NO. 20210000008470
P.R.R.C.T.
10' S.S.E.
INST NO. 20210000008470
P.R.R.C.T.
30'X100' DRAINAGE
EASEMENT
INST NO. 20210000008470
P.R.R.C.T.
30'X40' DRAINAGE EASEMENT
INST NO. 20210000008470
P.R.R.C.T.
10' WATER ESMT.
INST NO. 20210000008470
P.R.R.C.T.
30' DRAINAGE ESMT.
CABINET B, SLIDE 205
P.R.R.C.T.
15' UTILITY EASEMENT
CABINET B, SLIDE 206
P.R.R.C.T.
15' WATER ESMT.
CAB. B, SL. 206
P.R.R.C.T.
15' UTIL. ESMT.
CAB. B, SL. 206
P.R.R.C.T.
15' UTIL. ESMT.
CAB. B, SL. 206
P.R.R.C.T.
50' BUILDING LINE
VOL. 210, PG. 21
TXDOT DRAINAGE EASEMENT
DOC #20140000016307
R.P.R.R.C.T.
TXDOT DRAINAGE EASEMENT
DOC #20140000016307
OVERHEAD POWER LINES COVERED BY
T. P. & L. CO. EASEMENT, 60, PG. 521,
VOL. 48, PG. 124, VOL. 50, PG. 422-440 (WIDTH GIVEN)
OVERHEAD POWER LINES COVERED BY
T. P. & L. CO. EASEMENT
VOL. 60, PG. 18, VOL. 199, PG. 195,
(NO WIDTH GIVEN)
WATER LINE ESMT
CITY OF ROCKWALL
VOL. 3880, PG. 88, 94, 100 & 106
R.P.R.R.C.T.
PORTION OF A CALLED 80.79 ACRES
ROCKWALL 549/I-30 PARTNERS, L.P.
VOL 4924 PG. 273
R.P.R.R.C.T.
LOT 1, BLOCK B
ROCKWALL COMMERCIAL
INST NO. 20210000008470
P.R.R.C.T.
PORTION OF A CALLED
6.40 GROSS ACRES
CONVEYOR/I-30
PARTNERS LP
VOL 7077 PG. 201
R.P.R.R.C.T.
LOT 1R, BLOCK C
ROCKWALL COMMERCIAL
INST NO. 20210000008470
P.R.R.C.T.
ROCKWALL 549/
I-30 PARTNERS LP
INST. NO. 20070038631
R.P.R.R.C.T.
AREA SUBJECT TO THE
RESTRICTIONS CONTAINED
IN VOL. 210, PG. 21,
R.P.R.R.C.T.
REMAINDER
LOT 1, BLOCK D
ROCKWALL
COMMERCIAL PARK
CAB. B, SL. 206
P.R.R.C.T.
N1°17'14"W
CALLED 1.00 ACRE
ROCKWALL 549/
I-30 PARTNERS, L.P.
VOL 5319, PG. 243
R.P.R.R.C.T.
GREG OLLOM
MANAGEMENT, LLC
VOL 7348, PG. 158
R.P.R.R.C.T.
DONNA COLLINS PITTCHARD AND
ASHLEY COLLINS COULICHIO
VOL 5979, PG. 208
R.P.R.R.C.T.
RAFIZADEH M & M FAMILY LTD
VOL 4924, PG. 208
R.P.R.R.C.T.
1/2" IRF
N 87°03'29" E 0.59'
1/2" IRF S
61°24'27" E 0.48'
1/2" IRF
1 STORY
METAL BUILDING
1/2" IRF
1/2" IRF
1/2" IRF
1/2" IRF
1/2" IRF
(W/CAP RPLS 5034)
5/8" IRF
5/8" IRF
5/8" IRF
(1) COMM. VAULT
5/8" IRF DISTURBED
S 30°38'33" E 1.35'
IRFC
S 87°02'14" E 0.35'
IRSC
IRFC
IRSC
IRFC
IRFC
IRF

06 IH-30 CORRIDOR DISTRICT

DISTRICT DESCRIPTION

The IH-30 Corridor is the primary retail corridor for the City of Rockwall. Currently the corridor is approximately 55% developed, with the remaining 45% being vacant or raw land. The Corridor acts as the western gateway for both the City and County of Rockwall, and has land uses that include retail, personal services, medical, and industrial. In the future the health of the IH-30 corridor is vital to maintaining a high per capita sales tax for the City of Rockwall.

POINTS OF REFERENCE

A. Lake Point Church
B. Rochell Elementary School
C. Walmart
D. Costco

LAND USE PALETTES

- Current Land Use
- Future Land Use

John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon

IH-30 Corridor Plan
Eastern Entry Portals



2/3 Future Regional Center



2 Future Regional Center



2 CostCo Wholesale Store

DISTRICT STRATEGIES

The *IH-30 Corridor District* will continue to be the City's primary retail corridor in the future. Based on this the following strategies should be employed:

1. *Corridor Strategies*. The specific goals and policies contained in Section 02.01, *IH-30 Corridor Plan*, of Appendix 'B', *Corridor Plans*, of this Comprehensive Plan should be considered when reviewing new development within the IH-30 Corridor.
2. *Regional Center*. In accordance with the *IH-30 Corridor Plan*, a regional center should be located on each of the properties denoted in the red cross hatch (⊠) in the Corridor Zones map below. These regional centers should generally follow one (1) of the four (4) models identified in the *IH-30 Corridor Plan* (*i.e. Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center models*).
3. *Open Space*. Large commercial centers should incorporate green space or open space at the center of the development that can be used to provide amenity or break up large parking fields.
4. *John King Boulevard Trail Plan*. A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'B'* of this Comprehensive Plan.

CORRIDOR ZONES

The corridor zones denoted above are as follows:

- *Transitional Zone*: A segment of the existing corridor that is currently under utilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.
- *Preservation Zone*: A segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.
- *Opportunity Zone*: A segment of the existing corridor with vacant or strategically placed or underutilized land that could be developed or redeveloped with the highest and best use for the corridor.

BUILD OUT
0*
0*

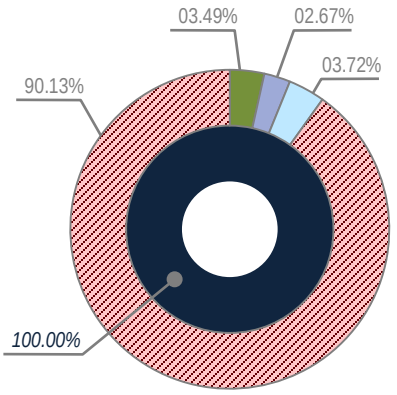
CURRENT
0
571
0

% OF ROCKWALL
0.00%
31.41%
0.00%

COMMERCIAL	100.00%
RESIDENTIAL	0.00%
MIXED USE	0.00%

- MINOR COLLECTOR
- M4U
- M4D
- P6D
- TXDOT 4D

PARKS AND OPEN SPACE (OS)	37.03-ACRES
PUBLIC (P)	28.31-ACRES
QUASI-PUBLIC (QP)	39.49-ACRES
SPECIAL COMMERCIAL CORRIDOR (SC)	957.15-ACRES



LEGEND:

	Land Use *NOT* Permitted
P	Land Use Permitted *By-Right*
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	COMMERCIAL (C) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		S
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Convent, Monastery, or Temple	(4)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		S
Convalescent Care Facility/Nursing Home	(6)		P
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Daycare with Seven (7) or More Children	(9)	(4)	P
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		P
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Temporary Education Building for a Public or Private School	(23)	(9)	S
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	

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PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	COMMERCIAL (C) DISTRICT
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		S
Golf Driving Range	(6)		S
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		S
Public Park or Playground	(12)		P
Tennis Courts (*i.e. Not Accessory to a Public or Private Country Club*)	(14)		S
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Antique/Collectible Store	(1)		P
Astrologer, Hypnotist, or Psychic	(2)		P
Banquet Facility/Event Hall	(3)		P
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	S
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	P
General Retail Store	(15)		P
Hair Salon and/or Manicurist	(16)		P
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Massage Therapist	(19)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		P
Pawn Shop	(22)		S
Permanent Cosmetics	(23)	(7)	A
Pet Shop	(24)		P
Temporary Real Estate Sales Office	(25)		P

LEGEND:	
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P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	COMMERCIAL (C) DISTRICT
Rental Store without Outside Storage and/or Display	(26)	(8)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (*i.e. a Maximum of Four [4] Vehicles*)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		P
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Tailor, Clothing, and/or Apparel Shop	(32)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		S
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Furniture Upholstery/Refinishing and Resale	(8)	(4)	S
Rental, Sales and Service of Heavy Machinery and Equipment	(10)	(5)	S
Locksmith	(11)		P
Research and Technology or Light Assembly	(15)		S
Shoe and Boot Repair and Sales	(16)		P
Trade School	(17)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Minor Auto repair garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership for Cars and Light Trucks	(7)	(6)	S
Used Motor Vehicle Dealership for Cars and Light Trucks~~)~~	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Mining and Extraction of ~~(~~Sand, Gravel, Oil and/or Other Materials~~)~~	(12)	(5)	S
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	

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A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN COMMERCIAL (C) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, *Definitions*]	CONDITIONAL USE REFERENCE Reference [Article 04, *Permissible Uses*]	COMMERCIAL (C) DISTRICT
Mini-Warehouse	(4)	(1)	S
Wholesale Showroom Facility	(8)		S
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Antenna as an Accessory	(2)	(1)	P
Commercial Antenna	(3)	(2)	S
Antenna for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	S
Mounted Commercial Antenna	(7)	(6)	S
Helipad	(9)		S
Utilities (*Non-Municipally Owned or Controlled*), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
TV Broadcasting and Other Communication Service	(20)		S
Utilities Holding a Franchise from the City of Rockwall	(21)		S
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT AND A LIGHT INDUSTRIAL (LI) DISTRICT TO A COMMERCIAL (C) DISTRICT FOR A 66.057-ACRE TRACT OF LAND IDENTIFIED AS LOT 1, BLOCK B; LOT 1R, BLOCK C; AND LOT 1, BLOCK D, ROCKWALL COMMERCIAL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* AND FURTHER DEPICTED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Anthony Loeffel of Kinley-Horn on behalf of James Melino of Rockwall 549/I-30 Partners, LP and Conveyor I30 Partners, LP for the approval of a *Zoning Change* from an Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District for a 66.057-acre tract of land identified as Lot 1, Block B; Lot 1R, Block C; and Lot 1, Block D, Rockwall Commercial Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, generally located at the northwest corner of Stodghill Road and the IH-30 Frontage Road, and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District and Light Industrial (LI) District to a Commercial (C) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Commercial (C) District as stipulated in Section 01.01*, Use of Land and Buildings,* of Article 04*, Permissible Uses* and Section 04.01*, General Commercial District Standards*;

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Section 04.05, *Commercial (C) District*; Section 06.02, *General Overlay District Standards*, of Article 05*, District Development Standards,* of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage**.**

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JUNE, 2023.

_____
Trace Johannessen, *Mayor*

ATTEST:

_____
Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____
Frank J. Garza, *City Attorney*

1st Reading: *September 18, 2023*

2nd Reading: *October 2, 2023*

DRAFT ORDINANCE 08.29.2023

Exhibit 'A'
Legal Description

TRACT 1

BEING a tract of land situated in the E.M. Elliot Survey, Abstract No. 77 and John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being all of Lot 1R, Block C of Rockwall Commercial, an addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Instrument No. 20210000008470 of the Plat Records of Rockwall County, Texas.

TRACT 2

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 20210000008470, Plat Records of Rockwall County, Texas, and being a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a cap stamped "TXDOT" found for the southwest corner of said Lot 1, Block D and the northeast corner of the intersection of northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way) with the easterly right-of-way line of Conveyors Street (a 60-foot right-of-way), same being at the beginning of a non-tangent curve to the right with a radius of 397.84 feet, a central angle of 13°52'57", and a chord bearing and distance of North 10°51'16" West, 96.16 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, and with said non-tangent curve to the right, an arc distance of 96.40 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE North 03°13'23" West, continuing along the common line of said Lot 1, Block D and the easterly right-of-way line of said Conveyors Street, passing at a distance of 228.03 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the northernmost southwest corner of said Lot 1, Block B, continuing along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street a total distance of 706.26 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the right with a radius of 1,170.00 feet, a central angle of 15°08'16", and a chord bearing and distance of North 04°20'45" East, 308.22 feet;

THENCE in a northerly direction, along the common line of said Lot 1, Block B and the easterly right-of-way line of said Conveyors Street the following courses and distances:

> In a northerly direction, with said tangent curve to the right, an arc distance of 309.12 feet to the beginning of a reverse curve to the left with a radius of 530.00 feet, a central angle of 13°38'17", and a chord bearing and distance of North 05°05'50" East, 125.86 feet, from which a 5/8" iron rod with plastic cap stamped "KHA" found bears South 57°02'14" East, a distance of 0.35 feet;
>
> In a northerly direction, with said reverse curve to the left, an arc distance of 126.15 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;
>
> North 01°43'20" West, a distance of 9.59 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the most southerly northwest corner of said Lot 1, Block B same being the southernmost end of a right-of-way corner clip at the intersection of the east right-of-way line of said Conveyors Street and the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 20210000008470, Plat Records of Rockwall County, Texas;

THENCE North 43°16'40" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with plastic cap stamped "KHA" found for the northernmost end of said right-of-way clip same being the

DRAFT 08.29.23

most northerly northwest corner of said Lot 1, Block B;

THENCE North 88°16'40" East, along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, a distance of 261.47 feet to a point for corner on the easterly line of said 8.40 gross acre tract and the westerly line of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, Real Property Records of Rockwall County, Texas;

THENCE South 01°12'38" East, departing the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a 1/2-inch iron rod found for the easterly, southeast corner of said 8.40 gross acre tract and the northeast corner of a called 1.00 acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, Real Property Records of Rockwall County, Texas, same also being an ell corner of said Lot 1, Block B;

THENCE South 87°29'50" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract;

THENCE South 01°17'14" East, departing the southerly line of said Lot 1, Block B, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing aforesaid Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod with a plastic cap, stamped "RPLS 5034" found for the southwest corner of said 1.00-acre tract, the southerly and the southeast corner of said 8.40 gross acre tract, same being on the southerly line of aforesaid Lot 1, Block D and the northerly right-of-way line of aforesaid Interstate Highway 30;

THENCE South 72°46'08" West, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block D and along the northerly right of way line of said Interstate Highway 30, a distance of 136.40 feet to the ***POINT OF BEGINNING*** and containing 349,085 square feet or 8.014 acres of land, more or less.

TRACT 3

BEING a tract of land situated in the E.M. Elliott Survey, Abstract No. 77 and the John Lockhart Survey, Abstract No. 134, City of Rockwall, Rockwall County, Texas and being a portion of Lot 1, Block B of Rockwall Commercial, an addition to the City of Rockwall, Texas according to the plat thereof recorded in Instrument Number 20210000008470, Plat Records of Rockwall County, Texas, and a portion of Lot 1, Block D of Rockwall Commercial Park an addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet B, Slide 206, Plat Records of Rockwall County, Texas, same being a portion of a called 80.79-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 4924, Page 273, and all of a called 1.00-acre tract of land, described in a Special Warranty Deed to Rockwall 549/I-30 Partners, L.P., recorded in Volume 5319, Page 243, both of the Real Property Records of Rockwall County, Texas, and being more particularly described by the metes and bounds as follows:

BEGINNING at a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most southerly southeast corner of said Lot 1, Block B and in the northerly right-of-way line of Interstate Highway 30 (a variable width right-of-way);

THENCE along the common line of said Lot 1, Block B and the northerly right-of-way line of said Interstate Highway 30, the following courses and distances:

South 72°46'18" West, a distance of 384.46 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

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South 64°14'27" West, a distance of 202.24 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for corner;

THENCE South 72°46'08" West, continuing along said common line and the south line of said Lot 1, Block D, and passing at a distance of 1507.74 feet a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southeast corner of said Lot 1, Block D, continuing along said line a total distance of 1,677.69 feet to a 1/2-inch iron rod found for the southwest corner of aforesaid 1.00-acre tract, same being the southerly, southeast corner of a called 8.40 gross acre tract of land, described in a Special Warranty Deed to Conveyor/I-30 Partners LP, as recorded in Volume 7077, Page 201, Real Property Records of Rockwall County, Texas;

THENCE North 01°17'14" West, departing the northerly right-of-way line of said Interstate Highway 30 and the southerly line of said Lot 1, Block D, along an easterly line of said 8.40 gross acre tract and the westerly line of said 1.00-acre tract and crossing said Lot 1, Block D, a distance of 288.54 feet to a 1/2-inch iron rod found for the northwest corner of said 1.00-acre tract and an ell corner of said 8.40 gross acre tract, same also being on a southerly line of aforesaid Lot 1, Block B;

THENCE North 87°29'50" East, along the southerly line of said 8.40 gross acre tract, the southerly line of said Lot 1, Block B, and the northerly line of said called 1.00-acre tract, a distance of 163.20 feet to a 1/2-inch iron rod found for the northeast corner of said 1.00-acre tract and the easterly, southeast corner of said 8.40 gross acre tract and an ell corner of said Lot 1, Block B, same being on the westerly line of aforesaid 80.79-acre tract;

THENCE North 01°12'38" West, departing the southerly line of said Lot 1, Block B, along the easterly line of said 8.40 gross acre tract and the westerly line of said 80.79-acre tract and crossing said Lot 1, Block B, a distance of 944.82 feet to a point for on the corner on the south right-of-way line of Justin Road (a 85' right-of-way), recorded in 20210000008470, Plat Records of Rockwall County, Texas and the north line of said Lot 1, Block B;

THENCE along the common line of the southerly right-of-way line of said Justin Road and the north line of said Lot 1, Block B, the following courses and distance:

North 88°16'40" East, a distance of 331.59 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a tangent curve to the left with a radius of 1,592.50 feet, a central angle of 17°40'38", and a chord bearing and distance of North 79°26'21" East, 489.38 feet;

In an easterly direction, with said tangent curve to the left, an arc distance of 491.33 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found at the beginning of a reverse curve to the right with a radius of 3,979.40 feet, a central angle of 18°16'32", and a chord bearing and distance of North 79°44'18" East, 1,263.93 feet;

In an easterly direction, with said reverse curve to the right, an arc distance of 1,269.31 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

North 88°52'34" East, a distance of 49.83 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the most northerly northeast corner of said Lot 1, Block B same being the northernmost end of a right-of-way corner clip at the intersection of the south right-of-way line of said Justin Road and the west right-of-way line of F.M. Highway 3549 (a variable width right-of-way);

THENCE South 46°07'44" East, along said right-of-way corner clip, a distance of 42.43 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for the southernmost corner of said corner clip same being the most southerly northeast corner of said Lot 1, Block B;

THENCE along the westerly right-of-way line of said F.M. Highway 3549 and the east line of said Lot 1,

DRAFT 08-29-2023

Exhibit 'A'
Legal Description

Block B the following courses and distances:

South 01°08'02" East, a distance of 165.78 feet to a 5/8" iron rod found for corner;

South 01°26'27" West, a distance of 113.61 feet to a 5/8" iron rod found for corner;

South 58°12'55" West, a distance of 98.69 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" found for corner;

South 01°07'09" East, a distance of 441.34 feet to a 5/8" iron rod with a red plastic cap stamped "KHA" set for the northernmost southeast corner of said Lot 1, Block B, from which a 5/8" iron rod found (disturbed) bears South 30°38'33" East, a distance of 1.35 feet;

South 35°33'35" West, a distance of 80.25 feet to the ***POINT OF BEGINNING*** and containing 2,175,068 square feet or 49.933 acres of land, more or less.

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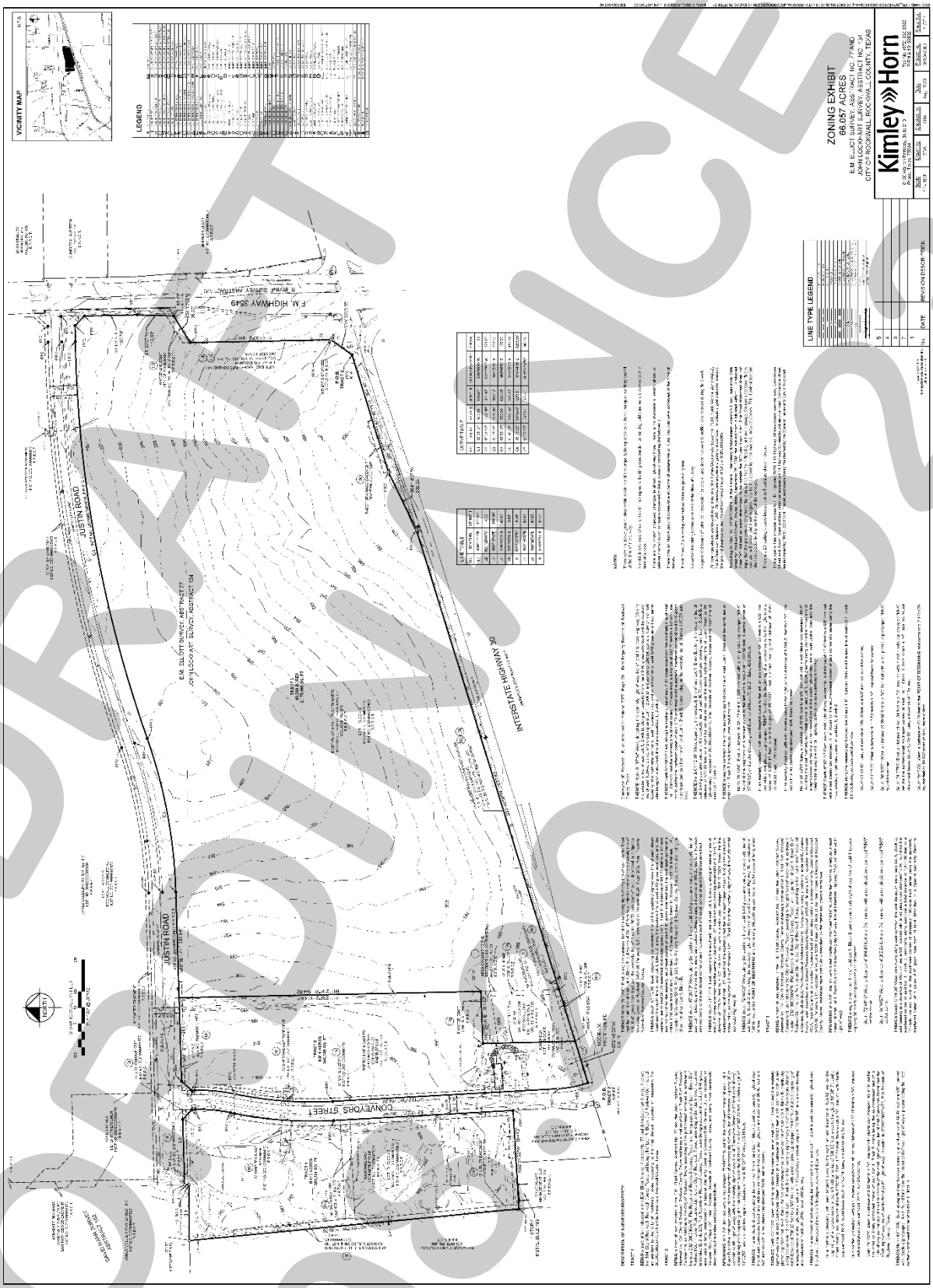
Exhibit 'B'
Survey



DRAFT
03.09.2023

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: Z2023-042
PROJECT NAME: SUP for Kennor Rockwall Retail
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	08/25/2023	Approved w/ Comments

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2023-042) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.02(F), Retail and Personal Service Land Uses, of Article 13, Definitions, of the Unified Development Code (UDC), states that a Restaurant with Drive-Through or Drive-In is a “place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.”

I.5 The following Conditional Land Use Standards Exist for a Restaurant with Drive-Through or Drive-In; these will be incorporated as Conditions of Approval for the Ordinance:

(1) Drive-through lanes shall not have access to a local residential street.
(2) Additional landscape screening shall be installed adjacent to drive-through lanes to impair the visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties, rights-of-way, parks and open space.
(3) Unless otherwise approved by the Planning and Zoning Commission, stacking lanes for a drive-through service window shall accommodate a minimum of six (6) standard sized motor vehicles per lane.

M.6 Please delineate the square footage for the drive-through restaurant. If the square footage changes we can adjust the plans and it will not affect the approval; we need to assign either the less than or greater than 2,000 SF.

I.7 Understand at the time of site plan there is a requirement for a row of trees to be planted at the rear of the property. Given that the driveway is along the property line, this requirement will be unable to be met. This will add a variance to the request. Consider this variance if you will have additional variances.

I.8 A operational condition has been added to the draft ordinance that will require the residential adjacency screening to be continued along the north side of the detention pond. This screening would be three-tiered landscape screening. This operational condition was added to provide additional screening for the commercial development being proposed. If you do not want this operational condition within the ordinance, please let me know and I will remove it.

I.9 The subject property is zoned General Retail (GR) District. In a General Retail (GR) District the Restaurant with Drive-Through or Drive-In land use is permitted by Specific Use Permit (SUP). The SUP process allows “discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions.” In this case, the proposed Restaurant with Drive-Through or Drive-In at 3611 & 3775 N. Goliad Street must be reviewed by the Planning and Zoning Commission and City Council to determine if the land use is appropriate for the proposed location.

M.10 Please review the attached Draft Ordinance prior to the August 29, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 6, 2023.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning and Zoning Commission Public Hearing Meeting.

I.12 The projected City Council meeting dates for this case will be September 18, 2023 (1st Reading) and October 2, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Ensure property drains back to this existing detention pond per Dalton Goliad Record Drawings.
2. Drive thru lanes are a minimum of 12' wide.
3. A 12' bypass lane is required.
4. Parking spaces need to be 9'x20'.
5. No landscaping will be allowed within this existing NTMWD easement.

General Library Comments:
General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster area must drain to an oil/water separator prior to storm system

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.

- Any water lines must be a minimum of 8", looped, and must be centered in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

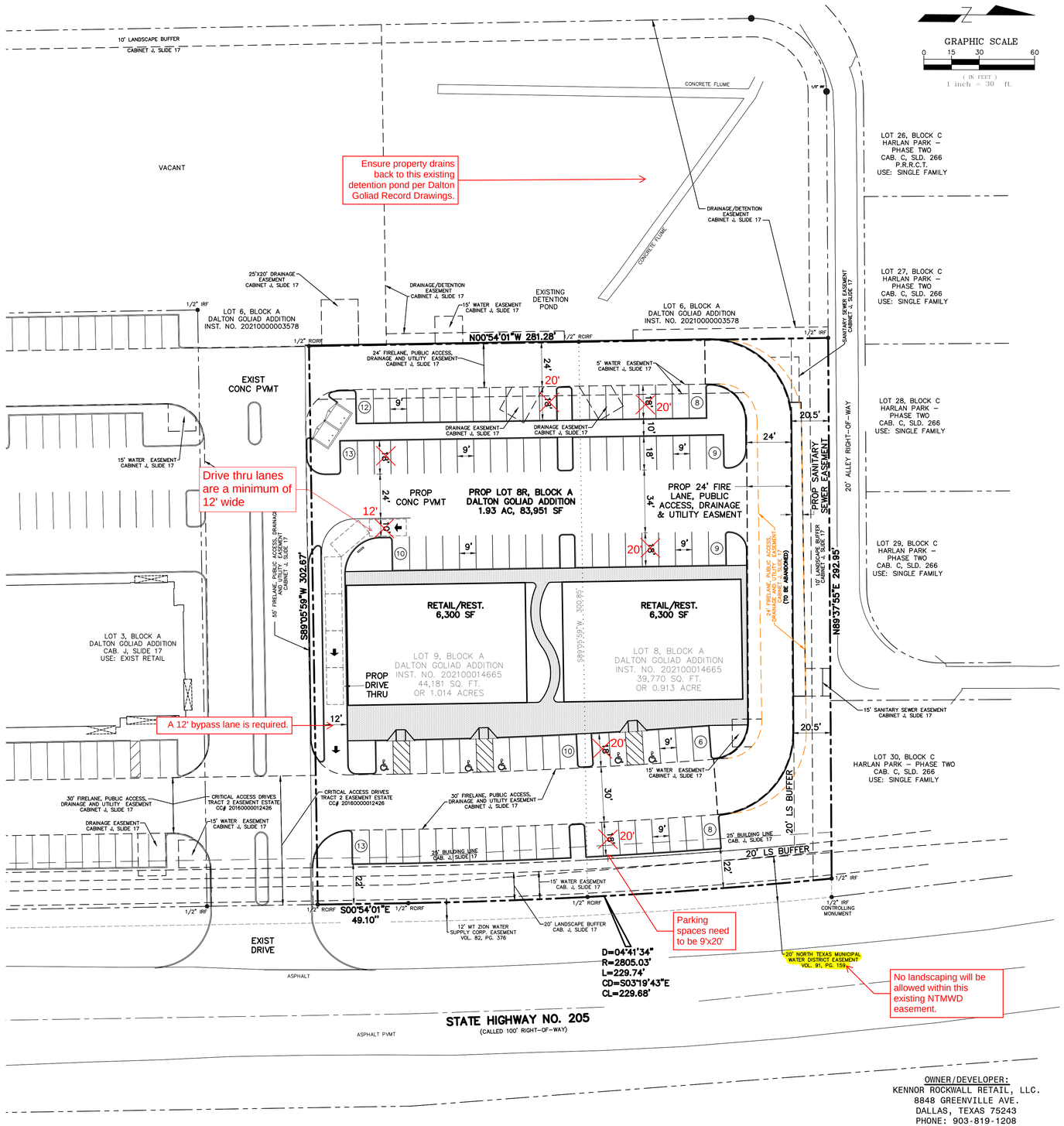
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments



General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls must be rock or stone face. No smooth concrete walls.

Drainage Items:
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster area must drain to an oil/water separator prior to storm system

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be centered in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

Floor Area Ratio:	12,600 S.F. / 83,951 = 1:15.00	
Parking Required Building:	12,600 S.F.	
	RETAIL 1 SPCS/250 SF (5,600 SF/250)	= 23 SPACES
	REST. 1 SPCS/100 SF (7,000 SF/100)	= 70 SPACES
Total Parking Required:		= 93 SPACES
Parking Provided:	REGULAR	= 93 SPACES
	ACCESSIBLE	= 5 SPACES
	TOTAL	= 98 SPACES
Impervious Area:	64,825 S.F.	
Impervious Area Ratio:	64,825 S.F. / 83,951 = 77.22%	
Pervious Area Ratio:	19,126 S.F. / 83,951 = 22.78%	

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

CONCEPT PLAN
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
AUGUST 18, 2023
CASE #SP2023-XXX

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2948
TX Registration # F-12266

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, PERMITTING OR BIDDING PURPOSES
JUAN J. VASQUEZ, P.E.
TX REG. # 95552
DATED 08/18/2023
VASQUEZ ENGINEERING, L.L.C.
TX REG. F-12266

DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

CONCEPT PLAN
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 1" = 30'
Designed by: JJV
Drawn by: DRS
Checked by: JJV
720-01\DWG\CP1\XXXXXXX.dwg
Date: 08/18/2023

SHEET
CP1

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ■ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1] & [2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Not assigned yet				
SUBDIVISION	Dalton Goliad Addition	LOT	8&9	BLOCK	A
GENERAL LOCATION	West side of S.H. 205 two lots north of Dalton Road				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	GR w/N SH 205 Overlay	CURRENT USE	Vacant		
PROPOSED ZONING	Same	PROPOSED USE	Retail/Rest. Shopping Center		
ACREAGE	1.93	LOTS [CURRENT]	2	LOTS [PROPOSED]	1

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Kennor Rockwall Retail, LLC	■ APPLICANT	Vasquez Engineering, LLC
CONTACT PERSON	Shane Shoulders	CONTACT PERSON	Juan J. Vasquez
ADDRESS	8848 Greenville Ave.	ADDRESS	1919 S. Shiloh Road
			Suite 440
CITY, STATE & ZIP	Dallas, TX 75243	CITY, STATE & ZIP	Garland, TX 75042
PHONE	903-819-1208	PHONE	972-278-2948
E-MAIL	sshoulders@sbcglobal.net	E-MAIL	jvasquez@vasquezengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Shane Shoulders [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 228.95 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 17th *DAY OF* August, 2023 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

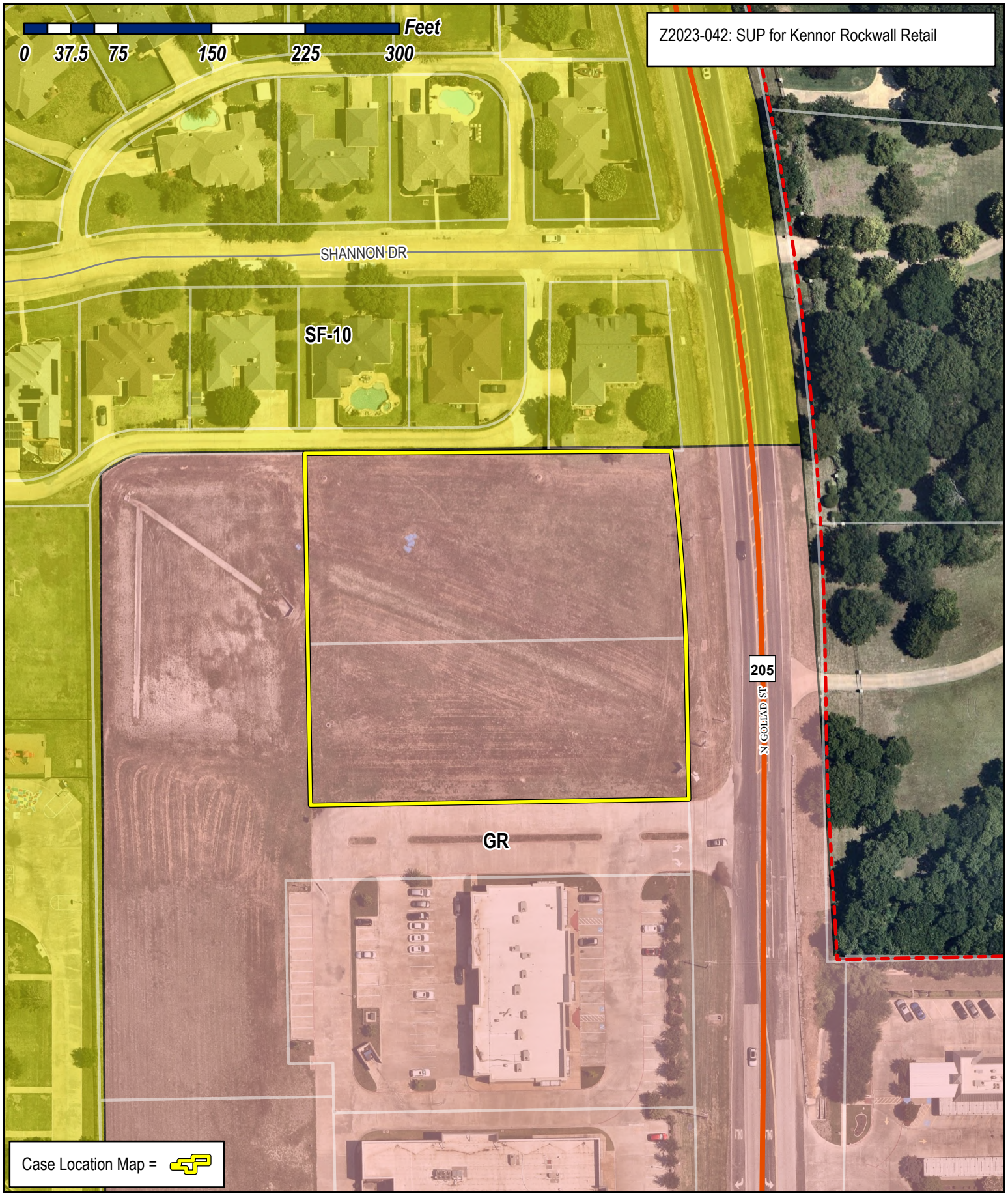
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th *DAY OF* August, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

NOTARY PUBLIC STATE OF TEXAS
Soledad Hernandez
My Commission Expires
05/07/2025
ID No. 133088987

MY COMMISSION EXPIRES 05/07/2025



City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

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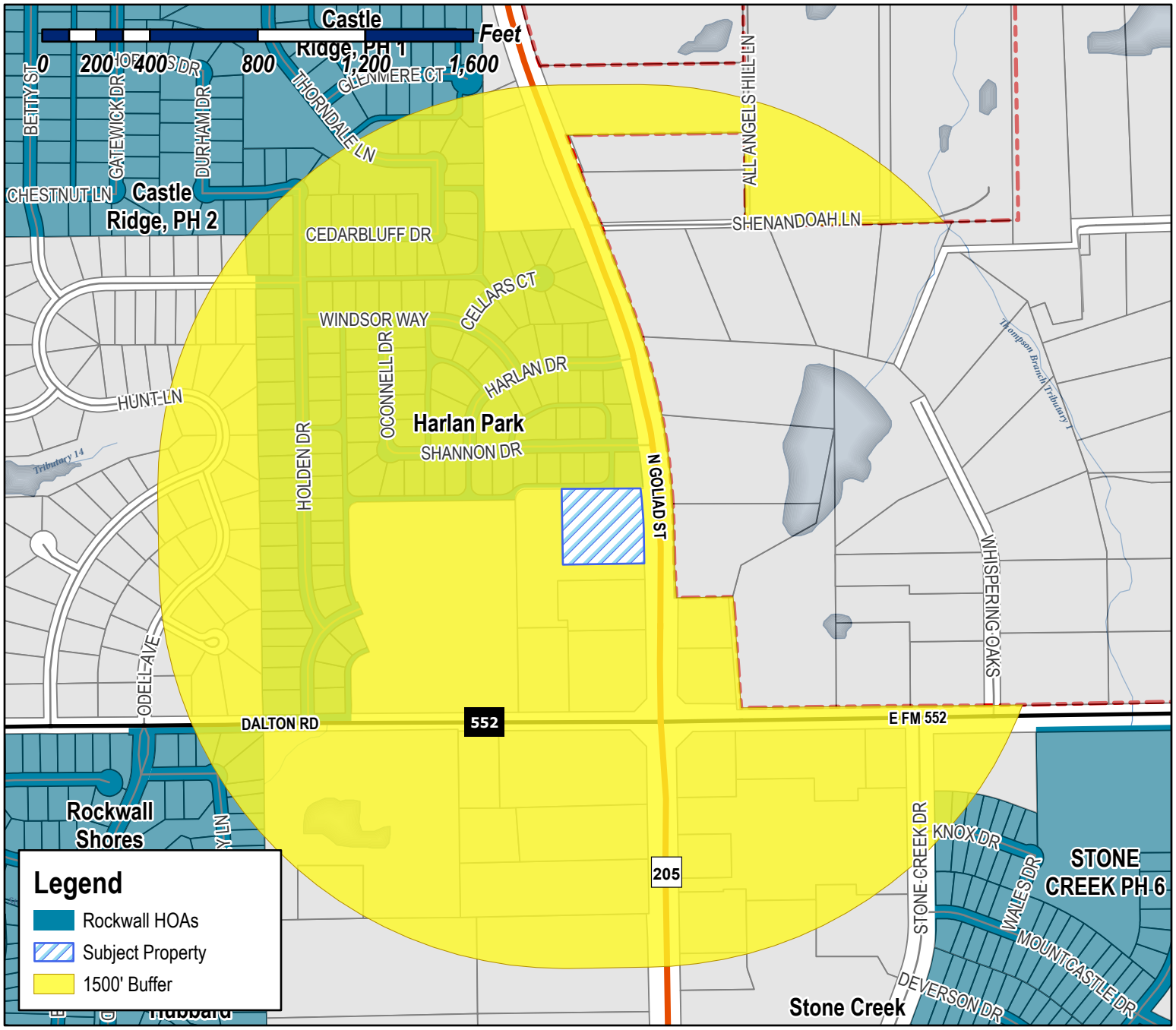
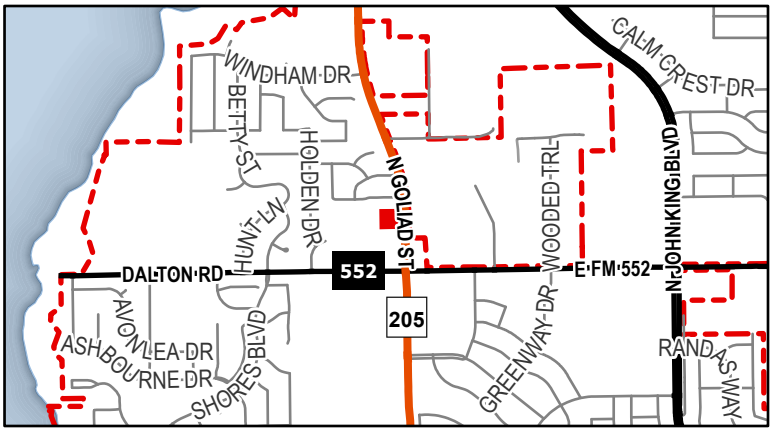


Case Number: Z2023-042
Case Name: SUP for Kennor Rockwall Retail
Case Type: Zoning
Zoning: General Retail
Case Address: 3611 & 3775 N Goliad St



Date Saved: 8/18/2023
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Zavala, Melanie
Sent: Wednesday, August 23, 2023 4:35 PM
Cc: Miller, Ryan; Lee, Henry; Ross, Bethany; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-042]
Attachments: Public Notice (PZ) (08.22.2023).pdf; HOA Map (8.22.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2023-042: SUP for a Restaurant
Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In* on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [*SH-205*], and take any action necessary.

Thank You,

Melanie Zavala
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
http://www.rockwall.com/
972-771-7745 Ext. 6568

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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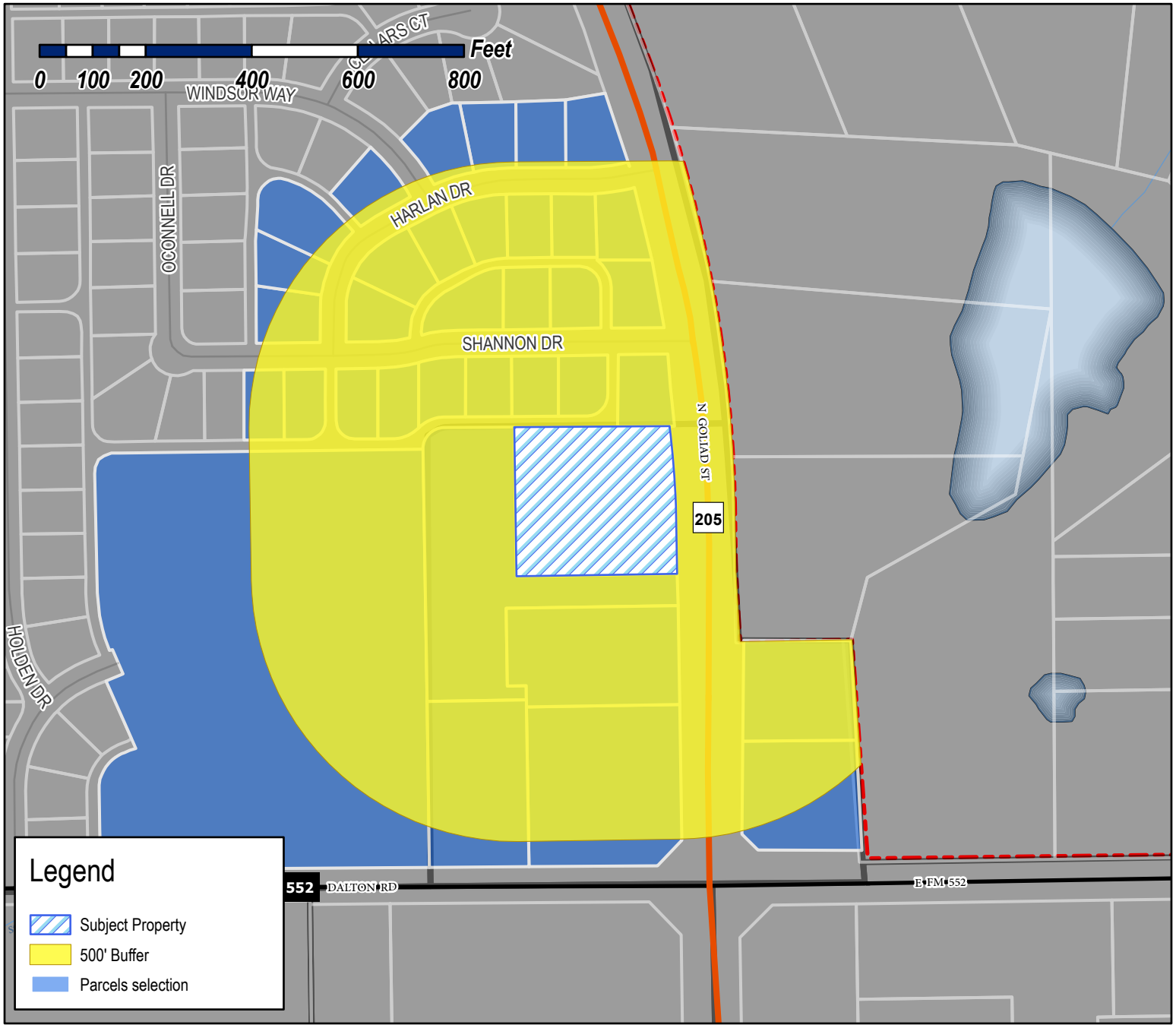
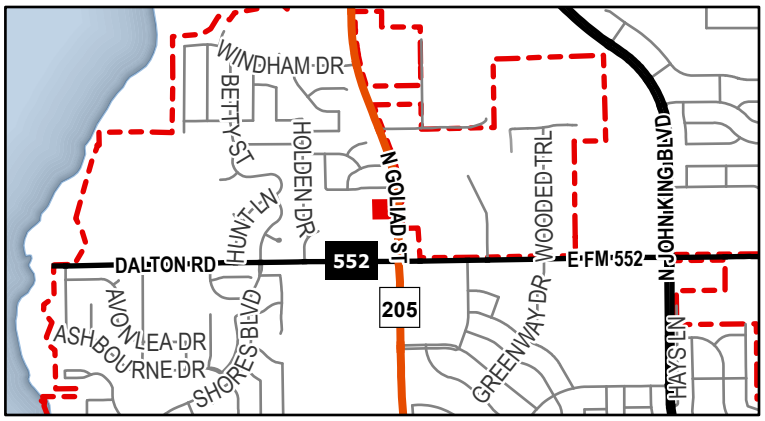


Case Number: Z2023-042
Case Name: SUP for Kennor Rockwall Retail
Case Type: Zoning
Zoning: General Retail
Case Address: 3611 & 3775 N Goliad St.



Date Saved: 8/18/2023
For Questions on this Case Call: (972) 771-7746

GOLIAD 711 ROCKWALL LLC
SILVER OAK ADVISORS LLC
ATTN GARSON C SOE
1630 RIVIERA AVE
WALNUT CREEK, CA 94596

OCCUPANT
3250 N GOLIAD ST
ROCKWALL, TX 75087

MASSEY WILLIAM C JR AND LACY
7128 HARLAN DR
ROCKWALL, TX 75087

WILLIAMS BUCK AND JESSICA
7135 HARLAN DR
ROCKWALL, TX 75087

BENNETT R LANGDON & LINDA
7125 HARLAN DR
ROCKWALL, TX 75087

LIU LIRONG AND FENG XIN
3116 DEEP SPRINGS DR
PLANO, TX 75025

OCCUPANT
7127 HARLAN DR
ROCKWALL, TX 75087

GREEN DORIS M
7129 HARLAN DR
ROCKWALL, TX 75087

YATES GLEN M & DORIS A
525 SHANNON DR
ROCKWALL, TX 75087

KELLY SHARON RENEE & EDDY D,
TRUSTEES OF EDDY D KELLY &
SHARON RENEE KELLY REVOCABLE
LIVING TRUST
527 SHANNON DR
ROCKWALL, TX 75087

JONES KENNETH A & CYNTHIA C
531 SHANNON DR
ROCKWALL, TX 75087

MILAZZO DENNIS M SHELLY A
512 SHANNON DR
ROCKWALL, TX 75087

WOLFE KENNETH & PAMELA
514 SHANNON DR
ROCKWALL, TX 75087

WAGONER LISA M
514 WINDSOR WAY
ROCKWALL, TX 75087

RUNNELS NEVILLE J & JOHANNA E
REVOCABLE LIVING TRUST
NEVILLE J & JOHANNA E RUNNELS
CO TRUSTEES
7140 HARLAN DR
ROCKWALL, TX 75087

HORTON BILL D & JOYCE
7138 HARLAN DR
ROCKWALL, TX 75087

PRICE ELLIOTT & LATOYA DUNCAN
518 SHANNON DR
ROCKWALL, TX 75087

DOSS JAMES B & JENNIFER
7137 HARLAN DR
ROCKWALL, TX 75087

KELLY CASEY & CRYSTIE
7136 HARLAN DR
ROCKWALL, TX 75087

ALEXANDER MICHAEL
7134 HARLAN DR
ROCKWALL, TX 75087

VINES THOMAS & SHERRY
7132 HARLAN DR
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W WALL STREET
SUITE 101
GRAPEVINE, TX 76051

OCCUPANT
3260 N GOLIAD ST
ROCKWALL, TX 75087

FRYER CRAIG RYAN
7133 HARLAN DR
ROCKWALL, TX 75087

LAUE JOSHUA LYNN AND MIRANDA
NIKKOLE
7139 HARLAN DR
ROCKWALL, TX 75087

TRAN STEVE & CATHERINE
7124 HARLAN DR
ROCKWALL, TX 75087

BELL WILLIAM L JR & PAMELA S
177 PRIVATE ROAD 54166
PITTSBURG, TX 75686

OCCUPANT
523 SHANNON DR
ROCKWALL, TX 75087

SANFORD DAVID A & ANNETTE F
532 SHANNON DR
ROCKWALL, TX 75087

ROCKWALL I S D
350 DALTON RD
ROCKWALL, TX 75087

CARTER PRISCILLA PAIGE
526 SHANNON DR
ROCKWALL, TX 75087

CHERUKURU NANDGOPAL
609 S GOLIAD ST #2498
ROCKWALL, TX 75087

OCCUPANT
528 SHANNON DR
ROCKWALL, TX 75087

DAVIS GLYNN M & CAROLYN A
524 SHANNON DR
ROCKWALL, TX 75087

HAN SANG HWA
522 SHANNON DR
ROCKWALL, TX 75087

SULLENGER LAWRENCE M AND
DEBBIE J
520 SHANNON DR
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC
4622 MAPLE AVE
SUITE 200
DALLAS, TX 75219

OCCUPANT
3509 N HWY 205
ROCKWALL, TX 75087

ALDI TEXAS LLC
2500 WESTCOURT ROAD
DENTON, TX 76207

OCCUPANT
3251 N GOLIAD ST
ROCKWALL, TX 75087

DALTON RETAIL LLC
2954 ARBORIDGE COURT
FULLERTON, CA 92835

OCCUPANT
3301 N GOLIAD ST
ROCKWALL, TX 75087

ROCKWALL 205-552 LLC
4622 MAPLE AVE
SUITE 200
DALLAS, TX 75219

OCCUPANT
320 DALTON RD
ROCKWALL, TX 75087

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-042: SUP for a Restaurant

Hold a public hearing to discuss and consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a Specific Use Permit (SUP) for a Restaurant, with 2,000 SF or More, with Drive-Through or Drive-In on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [SH-205], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, September 18, 2023 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2023-042: SUP for a Restaurant

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Letter of Intent
Kennor Rockwall Retail

Our client Kennor Rockwall Retail, LLC is proposing to replat lots 8 & 9, Block A of the Dalton Goliad Addition into one lot in order to develop two 6,300 SF commercial buildings for retail and restaurant uses. The southernmost building will have a restaurant with drive thru window. The lots are located at approximately 560 feet from the northwest corner of S.H. No. 205 and Dalton Road and are currently vacant. The development is approximately 1.93 acres and is zoned "GR" General Retail District, which requires a Special Use Permit for restaurant uses with drive thru window.

Owner/Developer:

Kennor Rockwall Retail, LLC
Attn: Shane Shoulders
8848 Greenville Ave.
Dallas, TX 75243

Metes and Bounds Description

BEING all that certain 1.927 acre situated in the T. R. Bailey Survey, Abstract No. 30, City of Rockwall, Rockwall County, Texas, and being Lots 8 and 9, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the replat recorded in under Clerk's File No. 20210000014665, Map Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a ½ inch iron rod with red plastic cap stamped “Peiser & Mankin SURV” found (hereinafter referred to as ½ inch iron rod with red cap found) for the northeast corner of said Lot 8, same being in the south line of Block C, Harlan Park-Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 266, Plat Records, Rockwall County, Texas, same being in the westerly right-of-way line of Sate Highway No. 205 (called 100 foot right-of-way), same being the beginning of a curve to the right, having a radius of 2805.03 feet and a delta angle of 04 deg. 41 min. 34 sec.;

THENCE along said curve to the right, and along the common line of said Lot 8 and said State Highway No. 205, passing a ½ inch iron rod with red cap found for the southeast corner of said Lot 8, same being the northeast corner of aforesaid Lot 9, and continuing along the common line of said Lot 9 and said State Highway No. 205, a total arc distance of 229.74 feet and a chord bearing and distance of South 03 deg. 19 min. 43 sec. East, 229.68 feet to a ½ inch iron rod with red cap found for angle point;

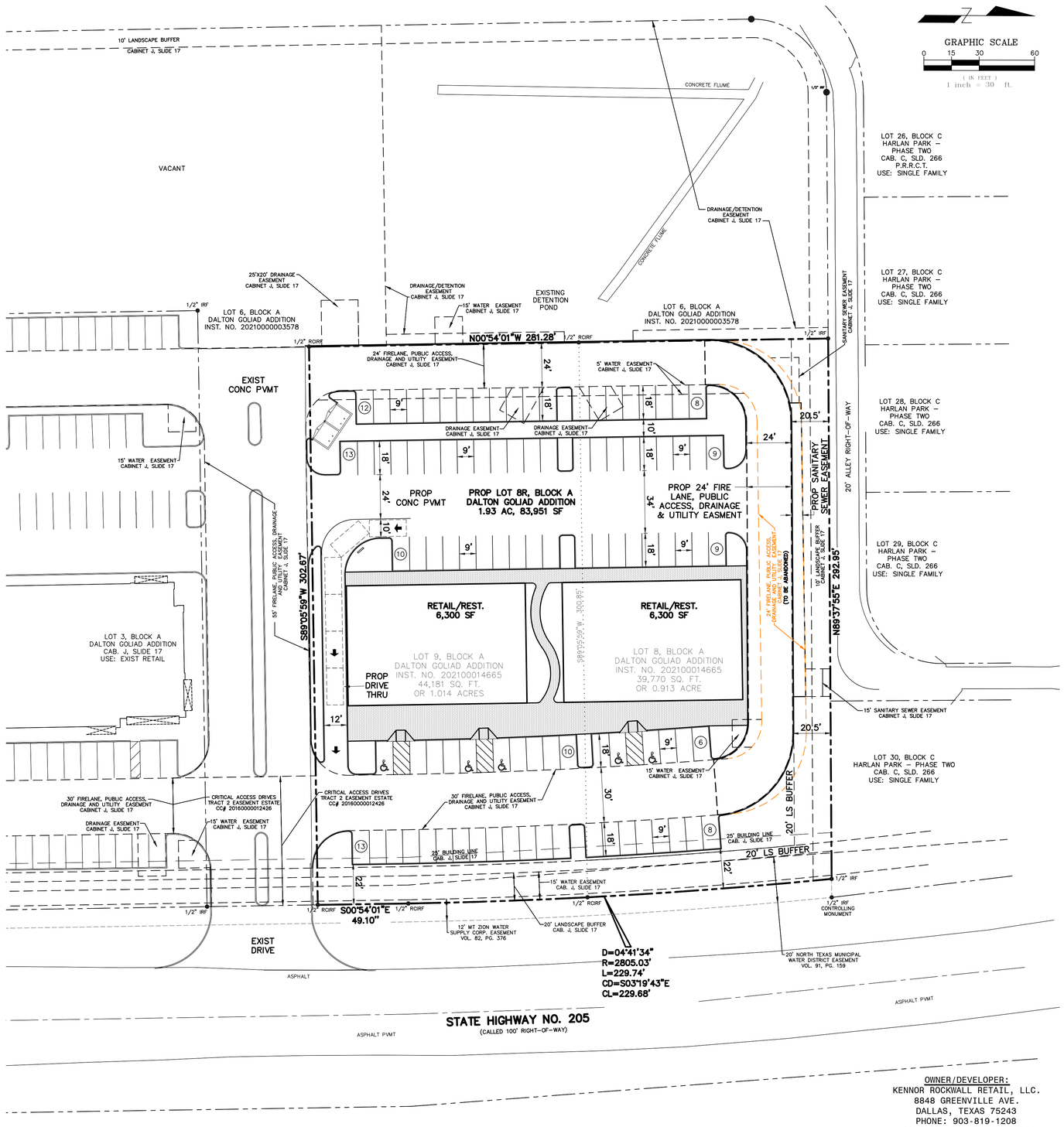
THENCE South 00 deg. 54 min. 01 sec. East, continuing along the common line of said Lot 9 and said State Highway No. 205, a distance of 49.10 feet to a ½ inch iron rod with red cap found for the southeast corner of said Lot 9, same being the most easterly northeast corner of Lot 6, Block A, Dalton Goliad Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Instrument Number 20210000003578, aforesaid Official Public Records;

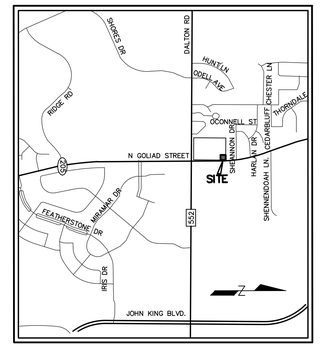
THENCE along the common line of said Lots 9 and 6 as follows:

South 89 deg. 05 min. 59 sec. West, a distance of 302.67 feet to a ½ inch iron rod with red cap found for the southwest corner of said Lot 9;

North 00 deg. 54 min. 01 sec. West, passing at a distance of 146.18 feet, a ½ inch iron rod with red cap found for the northeast corner of said Lot 9, same being the southwest corner of aforesaid Lot 8, and continuing along the common line of said Lot 8 and said Lot 6, a total distance of 281.28 feet to the ½ inch iron rod with red cap found for the northwest corner of said Lot 8, same being in the south line of Block C, Harlan Park-Phase Two, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet C, Slide 266, Plat Records, Rockwall County, Texas;

THENCE North 89 deg. 37 min. 55 sec. East, along the common line of said Lot 8 and said Block C, a distance of 292.95 feet to the POINT OF BEGINNING and containing 83,951 square feet or 1.927 acres of computed land, more or less.





LOCATION MAP
N.T.S.

LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	PAVEMENT	
	CENTER LINE	
	CONC WALK	
	PARKING COUNT	13
	STACKING	9' / 20'

NOTES

1. TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC,. DATED 06/28/2023.

SITE SUMMARY TABLE

Site Address	GOLIAD	
County	ROCKWALL	
Project Name	KENNOR ROCKWALL RETAIL	
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT	
Proposed use	RETAIL/REST.	
Site Area:	1.93 Acres 83,951 S.F.	
Building Area	12,600 S.F.	
Building Height:	1 Story	
Lot Coverage:	12,600 / 83,951 = 15.00%	
Floor Area Ratio:	12,600 S.F. / 83,951 = 1:15.00	
Parking Required Building:	12,600 S.F.	
	RETAIL 1 SPCS/250 SF (5,600 SF/250) =	23 SPACES
	REST. 1 SPCS/100 SF (7,000 SF/100) =	70 SPACES
Total Parking Required:	=	93 SPACES
Parking Provided:	REGULAR =	93 SPACES
	ACCESSIBLE =	5 SPACES
	TOTAL =	98 SPACES
Impervious Area:	64,825 S.F.	
Impervious Area Ratio:	64,825 S.F. / 83,951 = 77.22%	
Pervious Area Ratio:	19,126 S.F. / 83,951 = 22.78%	

OWNER/DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC.
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243
PHONE: 903-819-1208
CONTACT: SHANE SHOULDERS

ENGINEER:
VASQUEZ ENGINEERING, L.L.C.
1919 S. SHILOH ROAD, SUITE 440
GARLAND, TEXAS 75042
PHONE: 972-272-4610
CONTACT: JUAN J. VASQUEZ, P.E.

CONCEPT PLAN
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
1.93 ACRES
ROCKWALL, ROCKWALL COUNTY, TEXAS
AUGUST 18, 2023
CASE #SP2023-XXX

NO.	DATE	APP.

VASQUEZ ENGINEERING, L.L.C.
1919 S. Shiloh Road
Suite 440, LB 44
Garland, Texas 75042
Ph: 972-278-2948
TX Registration # F-12266

THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, PERMITTING OR BIDDING PURPOSES
JUAN J. VASQUEZ, P.E.
TEXAS 108520
DATED 08/18/2023
VASQUEZ ENGINEERING, L.L.C.
TX-REG. F-12266

DEVELOPER:
KENNOR ROCKWALL RETAIL, LLC
8848 GREENVILLE AVE.
DALLAS, TEXAS 75243

CONCEPT PLAN
KENNOR ROCKWALL RETAIL
LOT 8R, BLOCK A
DALTON GOLIAD ADDITION
CITY OF ROCKWALL, TX.

Scale: 1" = 30'
Designed by: JJV
Drawn by: DRS
Checked by: JJV
F20-010\DWG\P1\XXXXXX.dwg
Date: 08/18/2023

SHEET
CP1

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *RESTAURANT, WITH 2,000 SF OR MORE WITH A DRIVE-THROUGH OR DRIVE-IN* ON A 1.93-ACRE PARCEL OF LAND IDENTIFIED AS LOTS 8 & 9, BLOCK A, DALTON-GOLIAD ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Juan Vasquez of Vasquez Engineering, LLC on behalf of Shane Shoulders of Kennor Rockwall Retail, LLC for the approval of a *Specific Use Permit (SUP)* for a *Restaurant, with 2,000 SF or More, with a Drive-Through or Drive-In* on a 1.93-acre parcel of land identified as Lots 8 & 9, Block A, Dalton-Goliad Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 3611 & 3775 N. Goliad Street [*SH-205*], and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. The Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *Restaurant, with 2,000 SF or More, with a Drive-Through or Drive-In* as stipulated by Article 04*, Permissible Uses,* of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01*, Land Use Schedule,* of Article 04*, Permissible Uses,* and Subsection 04.01*, General Commercial District Standards*; Subsection 04.04, *General Retail (GR) District*; and Subsection 06.02*, General Overlay District Standards,* of Article 05*, District Development Standards,* of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall -- *as heretofore amended and may be amended in the futur*e -- and with the following conditions:

DRAFT 05.23.23

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Restaurant, with 2,000 SF or More, with a Drive-Through or Drive-In* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

1) Additional landscape screening shall be installed adjacent to drive-through lane, drive aisle adjacent to the residential land uses north of the subject property, and along N. Goliad Street [*SH-205*] to impair the visibility and impact of head-lights from motor vehicles in the drive-through lane on adjacent properties and rights-of-way. The additional landscaping will be approved by the Planning and Zoning Commission with the site plan approval for the proposed development depicted in *Exhibit 'B'*.

2) The proposed drive-through lane shall accommodate a minimum of six (6) standard sized motor vehicles.

3) Residential screening shall be provided along the northern boundary of the adjacent existing detention pond to further screen the residential land uses from the potential impacts of the proposed non-residential development. This screening shall be approved by the Planning and Zoning Commission in conjunction with the site plan submittal for the proposed development depicted in *Exhibit 'B'*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (*$2,000.00*) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

DRAFT ORDINANCE 08.29.2023

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2nd DAY OF OCTOBER, 2023.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

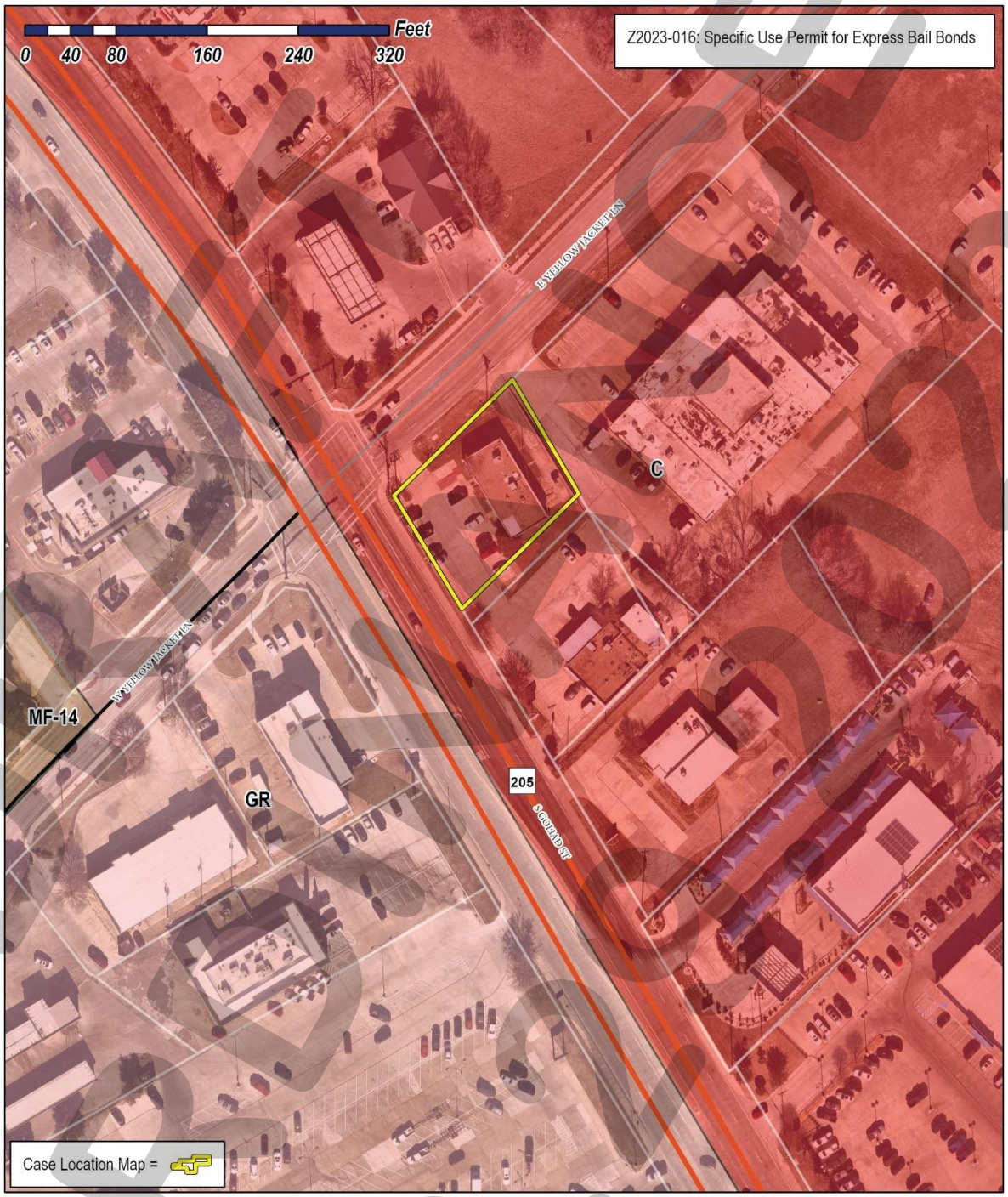
1st Reading: *September 18, 2023*

2nd Reading: *October 2, 2023*

DRAFT ORDINANCE 08.29.2023

Exhibit 'A':
Location Map

LEGAL DESCRIPTION: Lots 8 & 9, Block A, Dalton-Goliad Addition

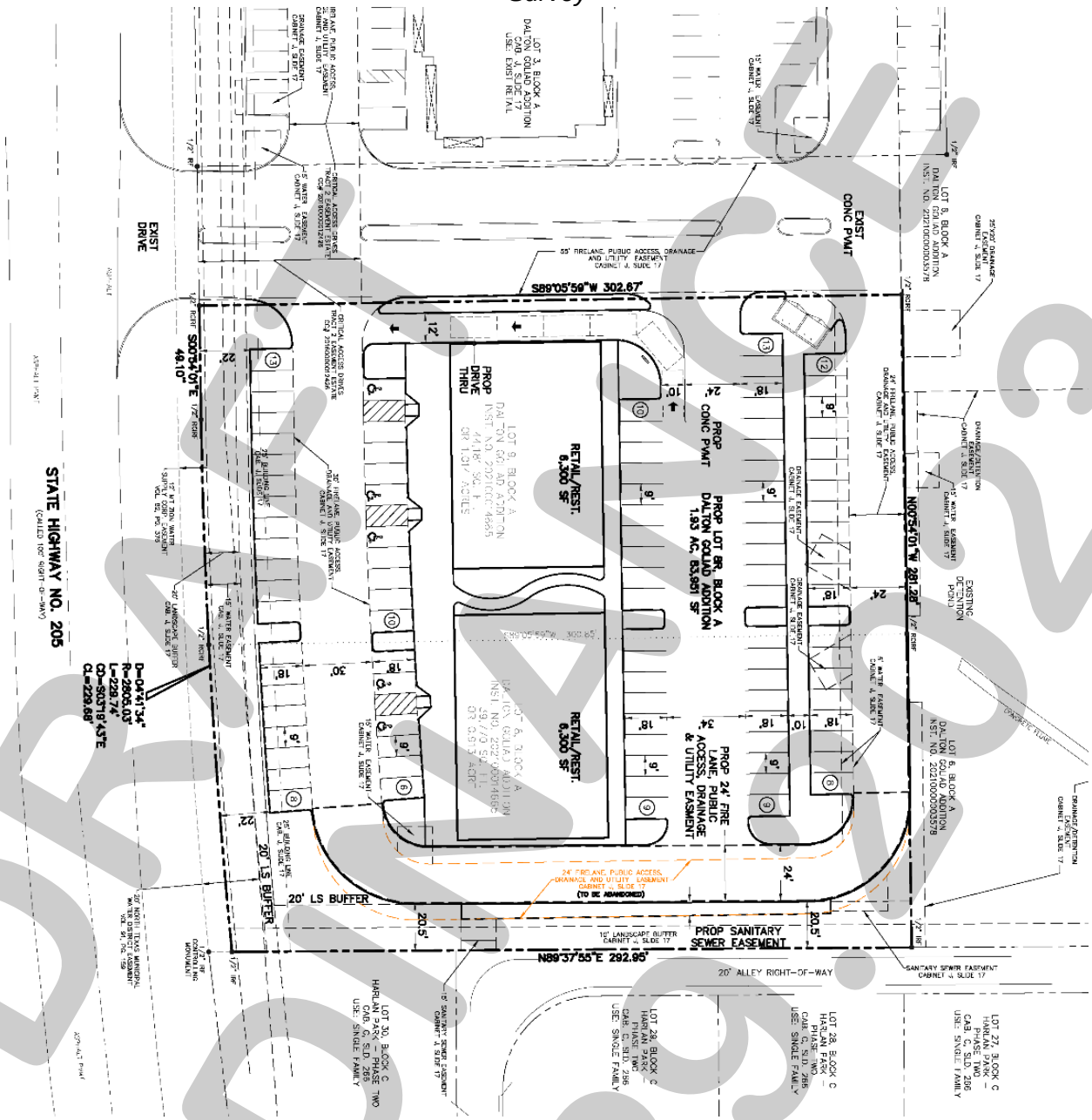


City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

DRAFT 08/08/2023

Exhibit 'B':
Survey


STATE HIGHWAY NO. 205
(CALLED 100' RIGHT-OF-WAY)
EXIST DRIVE
EXIST CONC PVMT
PROP DRIVE THRU
PROP CONC PVMT
RETAIL/REST. 6,300 SF
RETAIL/REST. 6,300 SF
PROP LOT 8R, BLOCK A DALTON GOLIAD ADDITION 1.83 AC. 83,951 SF
PROP 24' FIRE LANE, PUBLIC ACCESS, DRAINAGE & UTILITY EASEMENT
24' FIRELANE, PUBLIC ACCESS, DRAINAGE AND UTILITY EASEMENT (TO BE ABANDONED)
20' LS BUFFER
20' LS BUFFER
PROP SANITARY SEWER EASEMENT
20' ALLEY RIGHT-OF-WAY
SANITARY SEWER EASEMENT CABINET A, SLIDE 17
S89°05'59"W 302.67'
S00°54'01"E 49.10'
N00°54'01"W 281.28'
N89°37'55"E 292.95'
D=04°41'34"
R=2605.03'
L=229.74'
CD=S03°18'43"E
CH=229.68'
LOT 8, BLOCK A DALTON GOLIAD ADDITION INST. NO. 20210000003578
LOT 3, BLOCK A DALTON GOLIAD ADDITION CAB. A, SLD. 17 USE: EXISTING
LOT 30, BLOCK C HARAN PARK PHASE TWO CAB. C, SLD. 265 USE: SINGLE FAMILY
LOT 29, BLOCK C HARAN PARK PHASE TWO CAB. C, SLD. 286 USE: SINGLE FAMILY
LOT 28, BLOCK C HARAN PARK PHASE TWO CAB. C, SLD. 285 USE: SINGLE FAMILY
LOT 27, BLOCK C HARAN PARK PHASE TWO CAB. C, SLD. 206 USE: SINGLE FAMILY
EXISTING DETENTION POND
DRAINAGE/DETENTION EASEMENT CABINET A, SLIDE 17
15' WATER EASEMENT CABINET A, SLIDE 17
25' BUILDING LINE CAB. A, SLIDE 17
15' LANDSCAPE BUFFER CABINET A, SLIDE 17
5' WATER EASEMENT CABINET A, SLIDE 17
DRAINAGE EASEMENT CABINET A, SLIDE 17
55' FIRELANE, PUBLIC ACCESS, DRAINAGE AND UTILITY EASEMENT CABINET A, SLIDE 17
CRITICAL ACCESS DRIVES TRACT 3 EASEMENT AGMT DOC# 20180000012128
DRAINAGE EASEMENT CABINET A, SLIDE 17
15' WATER EASEMENT CABINET A, SLIDE 17
35' FIRELANE, PUBLIC ACCESS, DRAINAGE AND UTILITY EASEMENT CABINET A, SLIDE 17
15' WT 20in. WATER EASEMENT VOL. 98, PG. 376
20' NORTH TEXAS MUNICIPAL WATER DISTRICT EASEMENT VOL. 91, PG. 159
1/2" IRF CONTROLLING MONUMENT
1/2" IRF
1/2" IRSRF
1/2" IRCRF
1/2" IRCRF
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PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: Z2023-043
PROJECT NAME: SUP for Residential Infill for 303 Harborview Drive
SITE ADDRESS/LOCATIONS: 303 HARBORVIEW DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	08/25/2023	Approved w/ Comments

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1519-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2023-043) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Harbor Landing Phase 1 Subdivision, which is 100% developed, consists of 38 residential lots, and has been in existence since December 22, 1986.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that “(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision … {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision.”

M.6 Please indicate the lot coverage and building setbacks. The building setbacks are as follows: Front Yard: 20-feet, Side Yard: 6-feet, and Rear Yard: 10-feet.

I.7 The minimum roof pitch for a residential structure is 3:12. In this case you are requesting a flat roof with a parapet. This will require a waiver to this requirement. That being said, there are other homes nearby that have the same roof, so approval of this waiver should be easier for the Planning and Zoning Commission.

M.8 According to Planned Development 8 (PD-8), the maximum height of the home shall be 20-feet or 23-feet depending on the pad elevation; the maximum rooftop elevation shall

be 468-feet; and the maximum pad elevation shall be 448-feet. See court order requirements for Block B, Lot 18, Harborview Landing Phase 2 below.

M.9 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case the proposed garage is located 2-feet in front of the front façade of the single-family home. This will require a waiver to the requirements of the Unified Development Code (UDC).

M.10 Please review the attached Draft Ordinance prior to the August 29, 2023 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than September 6, 2023.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning and Zoning Commission Public Hearing Meeting.

I.12 The projected City Council meeting dates for this case will be September 18, 2023 (1st Reading) and October 2, 2023 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. No structures, decks, walls, overhangs, pools, etc. will be allowed in easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

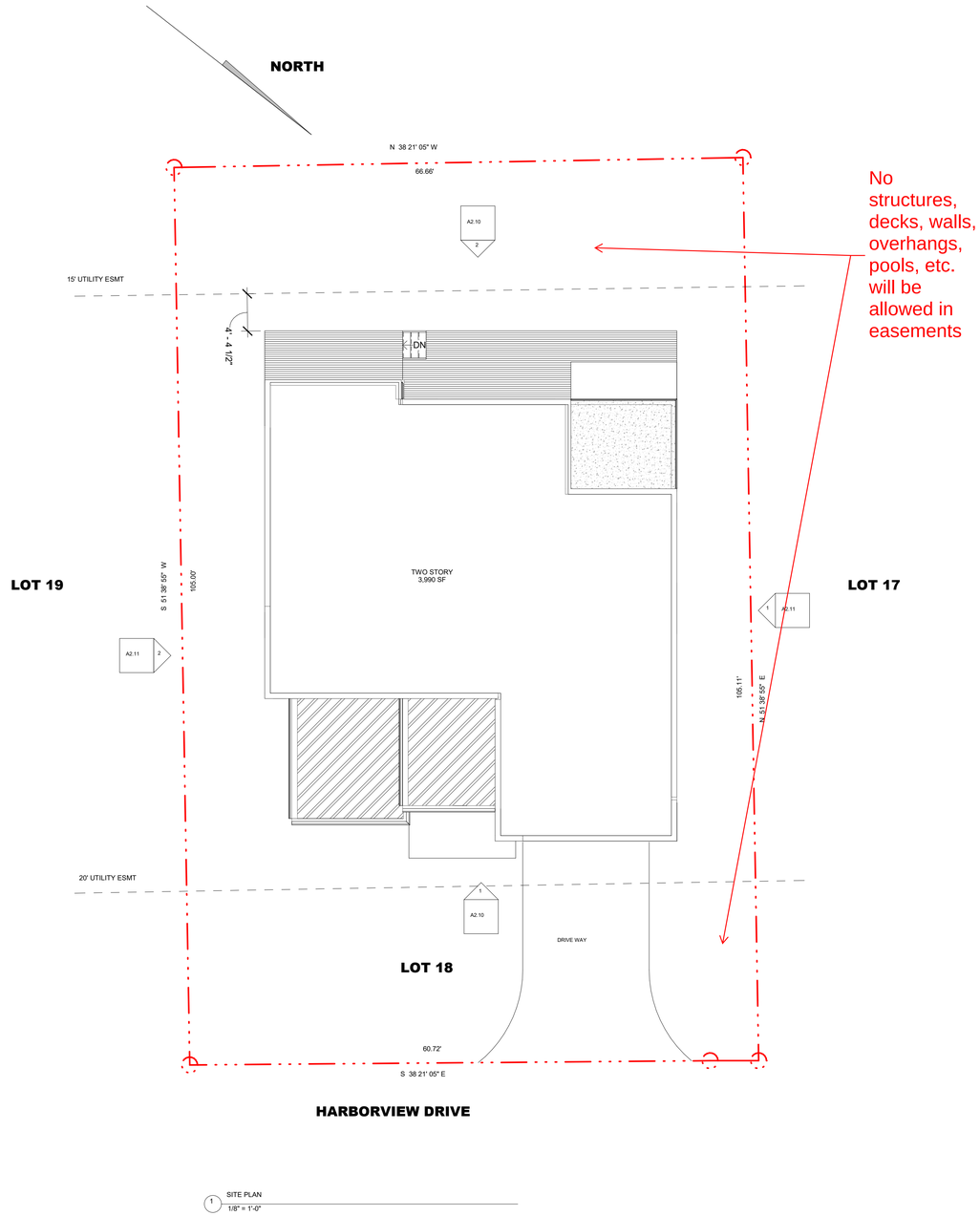
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments

No Comments - MP
No Comments - JB



No structures, decks, walls, overhangs, pools, etc. will be allowed in easements

1 SITE PLAN
1/8" = 1'-0"

8/18/2023 10:08:59 AM A1.00 SITE PLAN

adi.
ARCHITECT | INTERIOR
6402 LAUREL VALLEY ROAD. DALLAS. TX 75248

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE. ROCKWALL.
TEXAS 75032

Issue	Issue Name	Date

Sheet Name
SITE PLAN

Original Issue

Sheet Number
A1.00

Project #	Drawing Date
Project Number	08/04/21

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☒ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	303 HARBORVIEW DR. ROCKWALL. TX 75032				
SUBDIVISION	HARBOR LANDING, PHASE 2	LOT	18	BLOCK	B
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	X	CURRENT USE	VACANT LOT		
PROPOSED ZONING	N/A	PROPOSED USE	SINGLE RESIDENTIAL		
ACREAGE	0.16 ACRES	LOTS [CURRENT]	1 LOT	LOTS [PROPOSED]	1 LOT

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER	ANGELINA NGUYEN	☐ APPLICANT	
CONTACT PERSON	ANGELINA NGUYEN	CONTACT PERSON	
ADDRESS	1025 LAKE RIDGE DR	ADDRESS	
CITY, STATE & ZIP	RICHARDSON. TX 75081	CITY, STATE & ZIP	
PHONE	214 263 8091	PHONE	
E-MAIL	YMY.A.NGUYEN@GMAIL.COM	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Angelina Nguyen [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

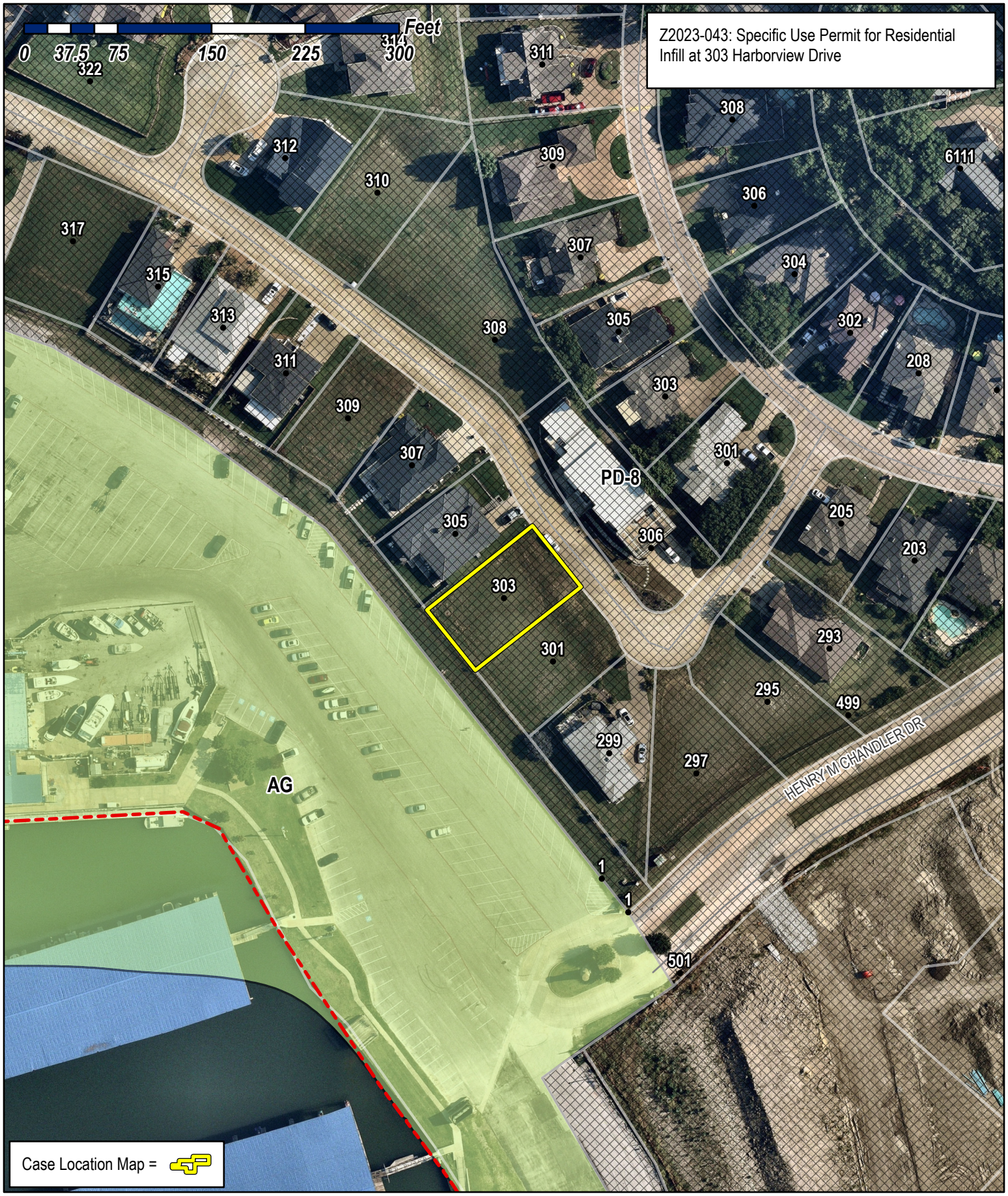
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF August, 2023.

TRISTAN DAVID KLAUSING
Notary Public, State of Texas
Comm. Expires 10-25-2026
Notary ID 134032731

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES 10/29/26



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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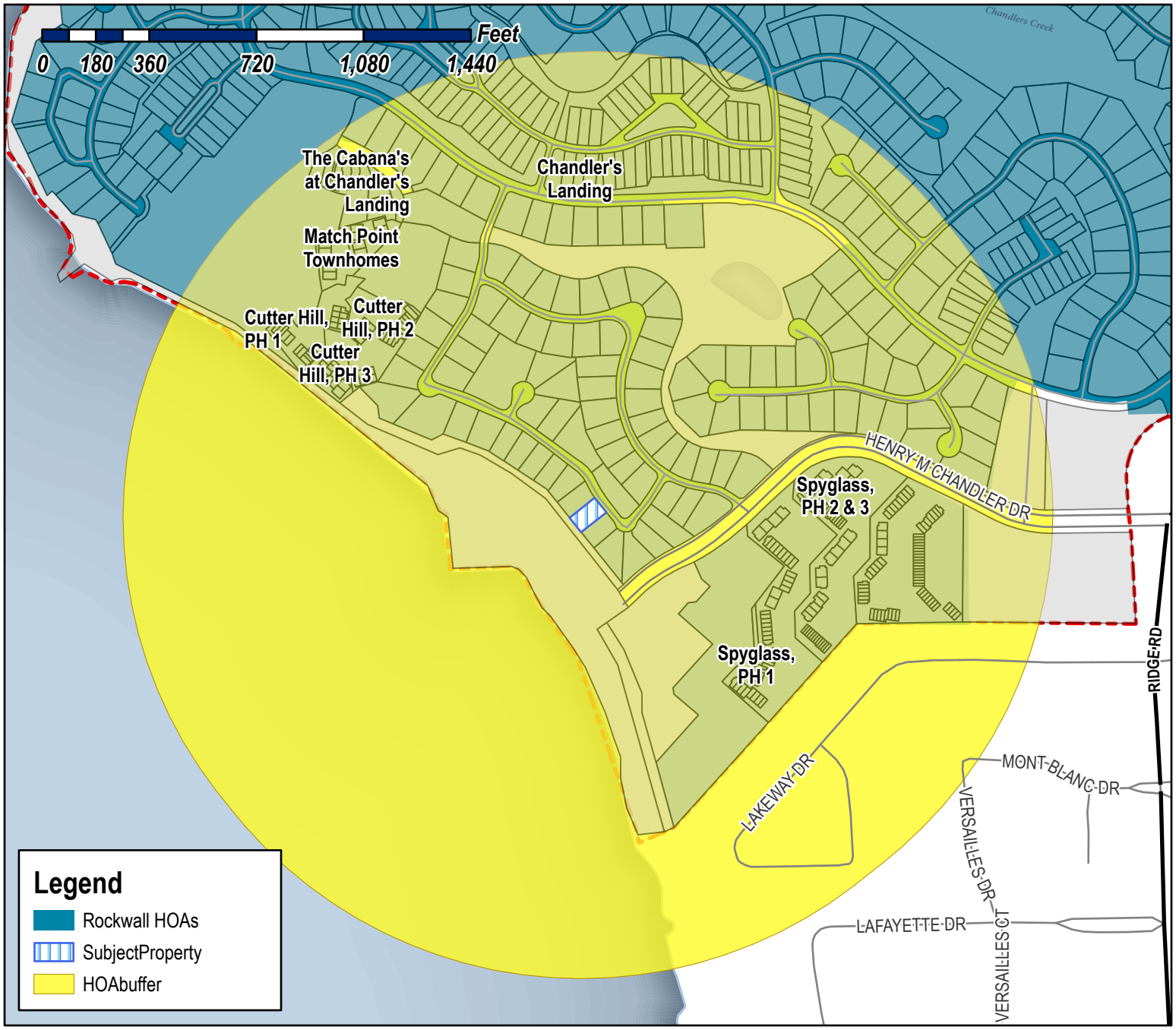
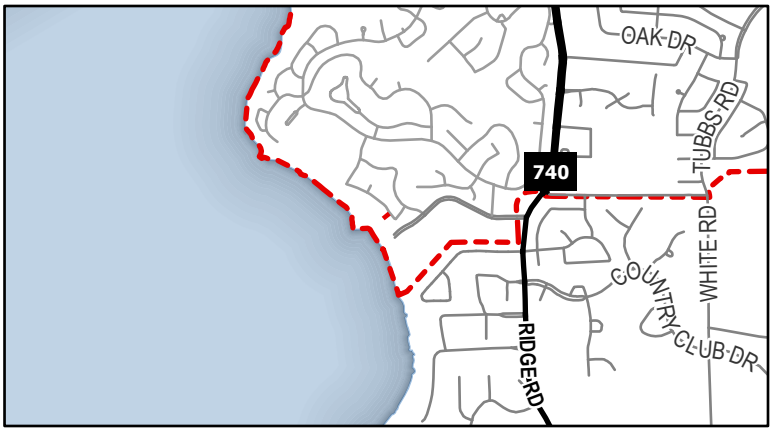


Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr



Date Saved: 8/18/2023
For Questions on this Case Call (972) 771-7745

Lee, Henry

From: Zavala, Melanie
Sent: Wednesday, August 23, 2023 4:40 PM
Cc: Miller, Ryan; Ross, Bethany; Lee, Henry; Guevara, Angelica
Subject: Neighborhood Notification Program [Z2023-043]
Attachments: Public Notice (P&Z).pdf; HOA Map (08.23.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *August 25, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: https://sites.google.com/site/rockwallplanning/development/development-cases.

Z2023-043: SUP for Residential Infill
Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill In an Established Subdivision* on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

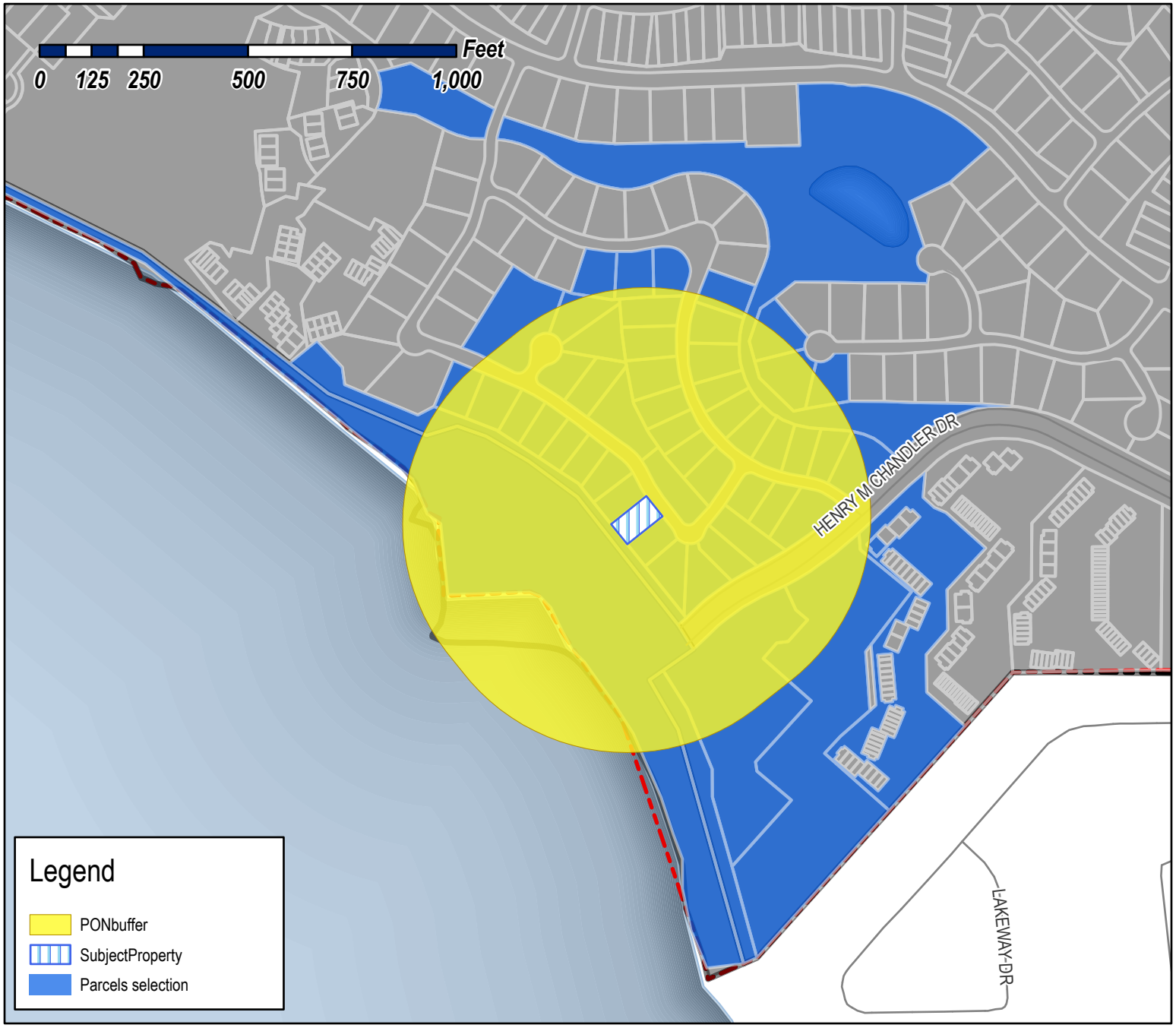
Thank You,

Melanie Zavala
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087
http://www.rockwall.com/
972-771-7745 Ext. 6568

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2023-043
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8
Case Address: 303 Harborview Dr.



Date Saved: 8/18/2023
For Questions on this Case Call: (972) 771-7746

NGUYEN ANGELINA
1025 LAKE RIDGE DR
RICHARDSON, TX 75081

SRP SUB, LLC
1131 W WARNER RD STE 102
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD
115 DEFENDER C
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC
14918 MYSTIC TERRACE LANE
CYPRESS, TX 77429

RESIDENT
155 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RESIDENT
158 HENRY M CHANDLER DR
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

MCKNIGHT MARY D
201 HARBOR LANDING DR
ROCKWALL, TX 75032

WILSON SEAN
202 HARBOR LANDING DR
ROCKWALL, TX 75032

PETERSON LELAND D & JANET
203 HARBOR LANDING DR
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND
0
204 HARBOR LANDING
ROCKWALL, TX 75032

RESIDENT
205 HARBOR LANDING DR
ROCKWALL, TX 75032

D'AMBROSIA DEAN AND MUSTAFA OMAR
206 HARBOR LANDING DR
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN
208 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

KIM SEOK H
2516 WOODHAVEN DR
FLOWER MOUND, TX 75028

BALLARD AMANDA L &
0
28106 WHISPERING MAPLE WAY
SPRING, TX 77386

AMERSON GARY W AND DEBRA J
293 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
295 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
297 HABORVIEW DR
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH
299 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE
301 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

RESIDENT
301 HARBORVIEW DR
ROCKWALL, TX 75032

GENTLE BILL
302 HARBOR LANDING DR
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA
303 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
303 HARBORVIEW DR
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C
304 HARBOR LANDING DR
ROCKWALL, TX 75032

POTISKA ANDREA
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CONFIDENTIAL
305 HARBORVIEW DR
ROCKWALL, TX 75032

CLEATON JERRY LEE
306 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA
306 HARBORVIEW DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CROMEENS SHAN
307 HARORVIEW DR
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DR
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

FENIANOS JOHN
310 HARBORVIEW DR
ROCKWALL, TX 75032

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
312 HARBOR LANDING DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
0
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

ARCE JAIME G
315 VICTORY LN
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE

CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-043: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by Angelina Nguyen for the approval of a Specific Use Permit (SUP) for Residential Infill In an Established Subdivision on a 0.16-acre parcel of land identified as Lot 18, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 303 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on *Tuesday, September 12, 2023 at 6:00 PM*, and the City Council will hold a public hearing on *Monday, September 18, 2023 at 6:00 PM*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by *Monday, September 18, 2023 at 4:00 PM* to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE TO GO DIRECTLY TO THE WEBSITE

MORE INFORMATION ON THIS CASE CAN BE FOUND AT: https://sites.google.com/site/rockwallplanning/development/development-cases

PLEASE RETURN THE BELOW FORM

Case No. Z2023-043: SUP for Residential Infill

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

303 Harborview Drive

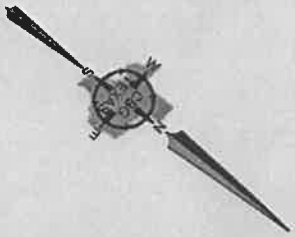
Being Lot 18, Block B, Harbor Landing, Phase Two, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map or Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

Lawyers Title
INSURANCE CORPORATION

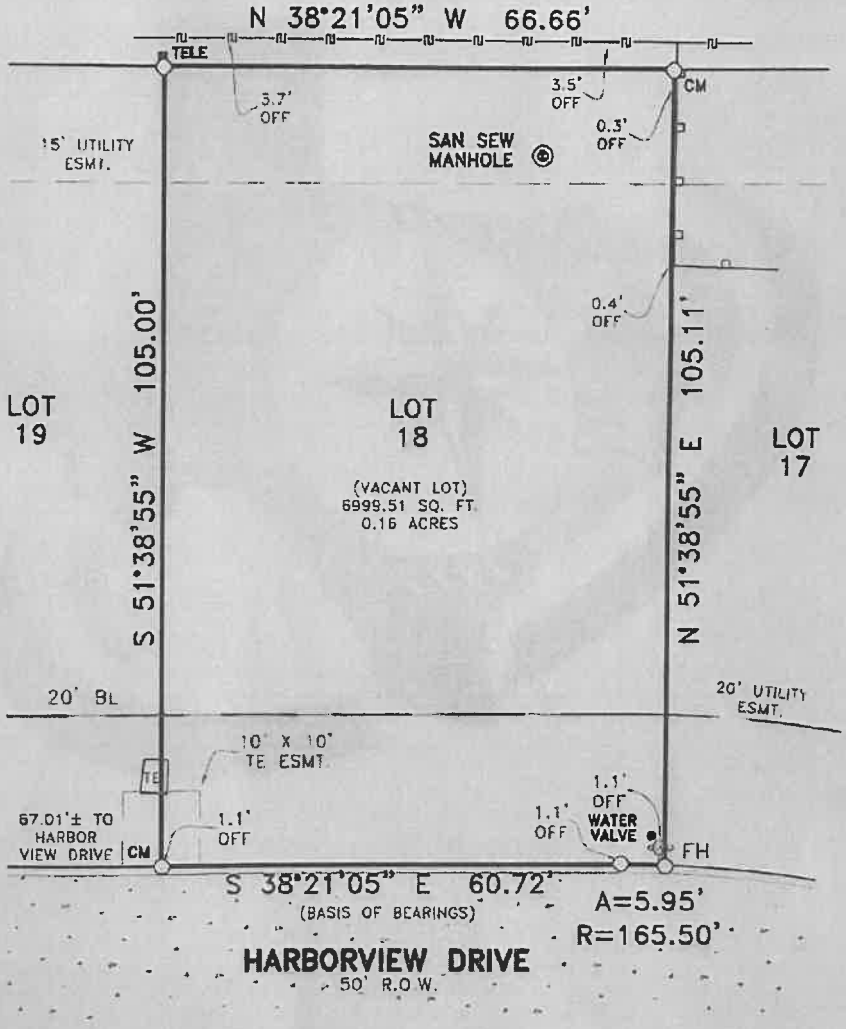


LEGEND

- 1/2" ROD FOUND
- 1/2" ROD SET
- 1" PIPE FOUND
- "X" FOUND/SET
- 5/8" ROD FOUND
- POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC
- —OHP— OVERHEAD ELECTRIC POWER
- —OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



RAY HUBBARD SMI JV LLC
C.F. NO. 20160000022170



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL. 112, PG. 546, VOL. 174, PG. 46, VOL. 608, PG. 127, VOL. 649, PG. 73, VOL. 743, PG. 38

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY
VOL 43, PG. 538, VOL. 1875, PG. 42

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Lawyers Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Accepted by: _____
Purchaser

Date: _____

_____
Purchaser

Drawn By: JRDC/JLM

Scale: 1" = 20'

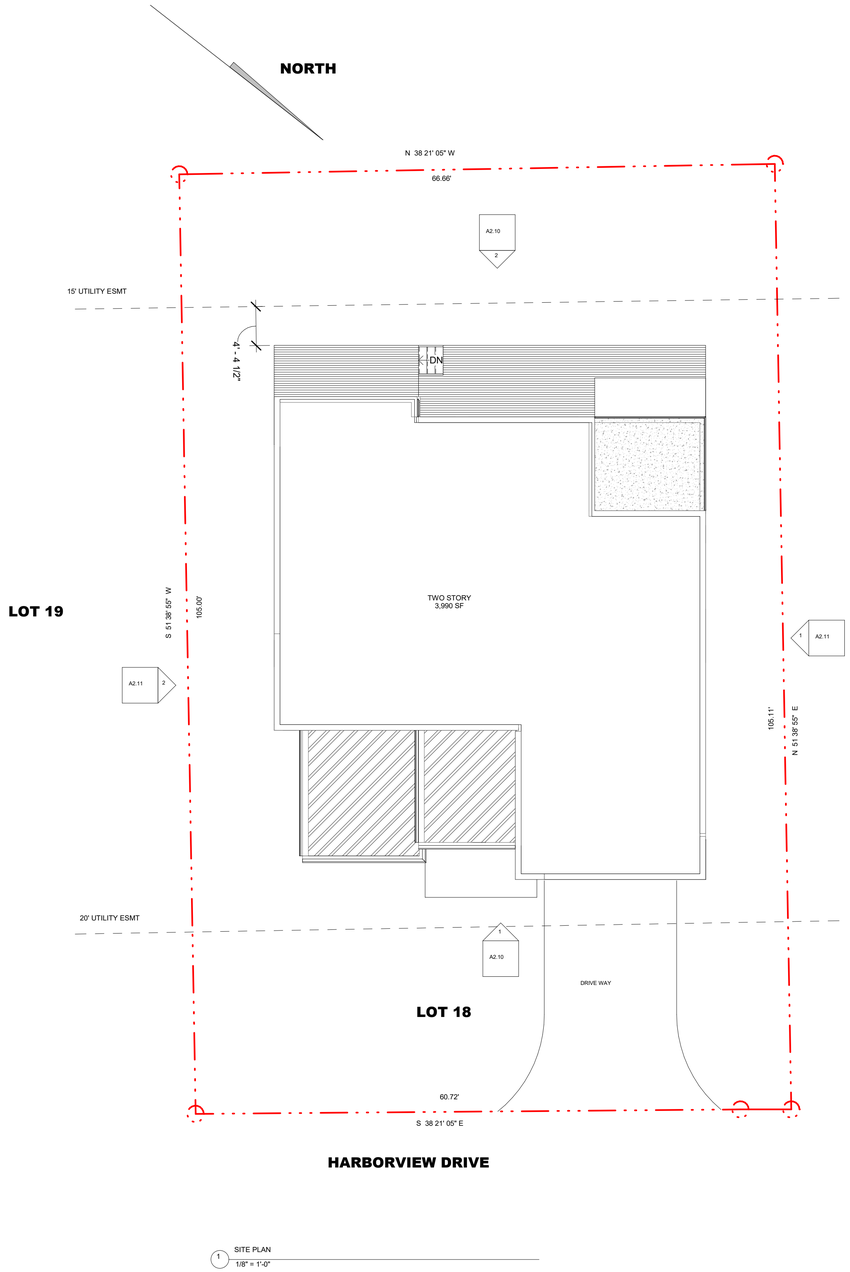
Date: 08/26/2020

GF No.: LT-19145-1901452000500-KK

Job No. 2016354

CBG SURVEYING TEXAS LLC
12025 Shiloh Road, Ste. 240
Dallas, TX 75228
P 214.349.9485
F 214.349.2216
Firm No. 10168800
www.cbgtxllc.com

STATE OF TEXAS
REGISTERED
JONATHAN M. QUILL
3882
PROFESSIONAL SURVEYOR
JONATHAN M. QUILL
REG. NO. 3882



1 SITE PLAN
1/8" = 1'-0"

8/18/2023 10:08:59 AM A1.00 SITE PLAN

adi.
ARCHITECT | INTERIOR
6402 LAUREL VALLEY ROAD. DALLAS. TX 75248

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE. ROCKWALL.
TEXAS 75032

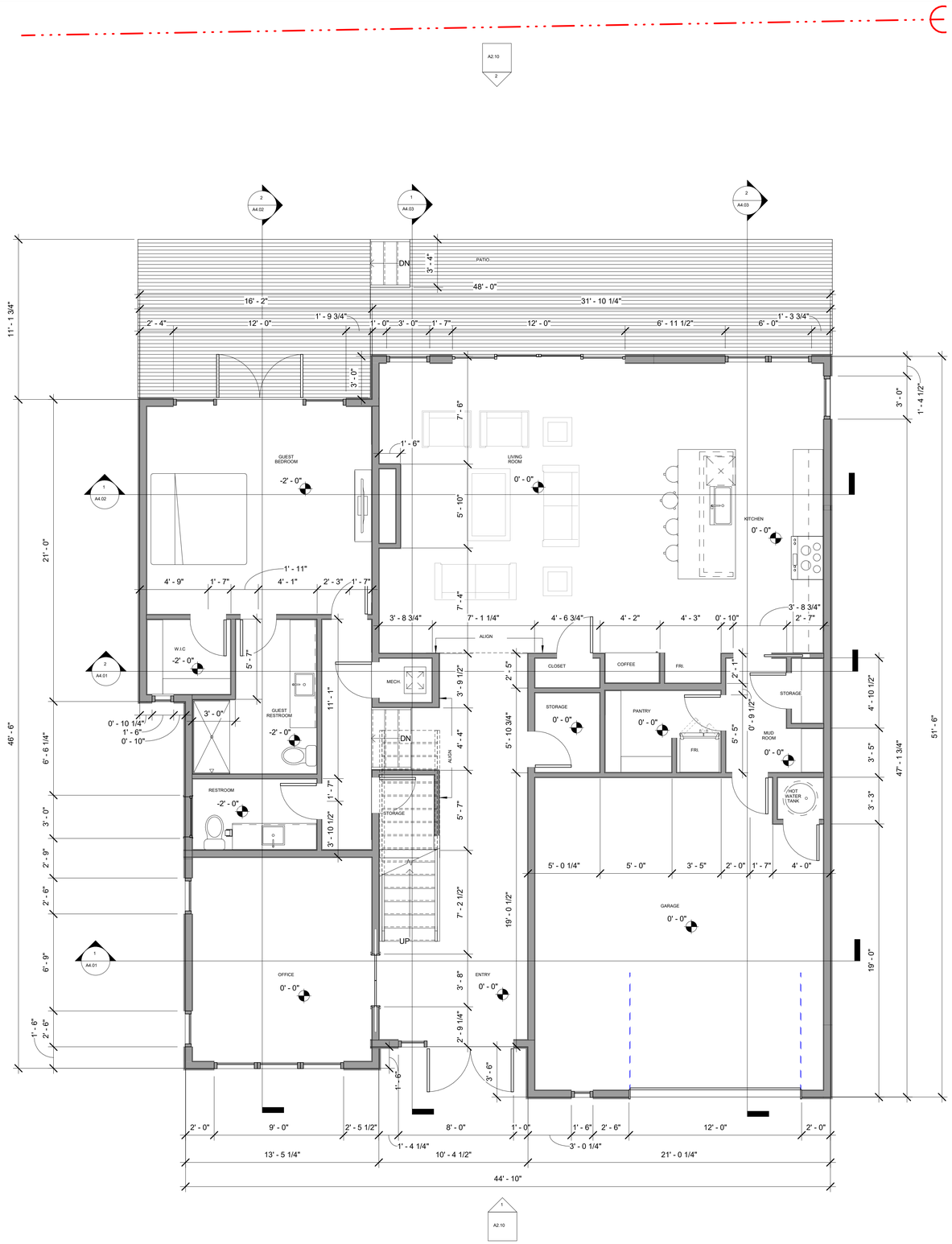
Issue	Issue Name	Date

Sheet Name
SITE PLAN

Original Issue

Sheet Number
A1.00

Project #	Drawing Date
Project Number	08/04/21



1 FLOOR PLAN- GROUND LEVEL
1/4" = 1'-0"

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
2. ALL DOOR, WINDOW, AND TAGS ARE INCLUDED ON THE PLANS. ALL DOORS ARE 4" FROM ADJACENT WALL U.N.O.
3. METER, RISERS, ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
4. SPACE CONTROL JOINTS IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30-0" MAXIMUM. EXTEND CONTROL JOINTS AT DOOR JAMBS FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHALL LIMIT THE CEILING AREA TO 2,500 SQUARE FEET MAXIMUM AREA WITH A MAXIMUM OF 50'-0" IN EITHER DIRECTION. INSTALL CONTROL JOINTS WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING OR FURRING, OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURERS RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT.
5. REFER TO SHEET A4.XX FOR ROOF NOTES AND LEGENDS.
6. REFER TO ROOF PLAN LEGEND ON SHEET A4.XX FOR LOWER ROOF SYMBOLS.

BLDG FLOOR PLAN - SYMBOL LEGEND

- EXTERIOR ELEVATION TAG (1/ A101)
- WALL SECTION TAG (1 / AX.XX)
- DETAIL SECTION TAG (1 / AX.XX)
- PARTITION WALL TAG (P 01)
- DOOR TAG SYMBOL (X)
- WINDOW TAG SYMBOL (X)
- FURRDOWN
- ASSUMED PROPERTY LINE
- 5 1/2" BRICK / STONE LEDGE
- METER (M)
- FINISH FLOOR ELEVATION (0'-0")

adi. ARCHITECT | INTERIOR
6402 LAUREL VALLEY ROAD. DALLAS. TX 75248

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE. ROCKWALL.
TEXAS 75032

Issue	Issue Name	Date

ISSUE FOR PERMIT

Sheet Name
FLOOR PLAN

Original Issue

Sheet Number
A1.01

Project #	Drawing Date
Project Number	08/04/21



2 BACK ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT 6'-8" A.F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS
4. FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
5. PROVIDE A WATER TIGHT BUILDING(S), ROOF AND EXTERIOR ENVELOPE THAT SHEDS WATER PROPERLY.
6. ALL FLAT ROOFS, BALCONIES AND PLANTER SLABS/TANKS TO BE SLOPED 1/8" PER 1'-0" MINIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 8 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 6%. MIN FOR 10' PER IBC 1804.3
8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & HARDSCAPE DRAWINGS FOR FINE GRADING.
9. ALL EXTERIOR COLORS, FINISHES, AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, U.N.O.
10. ALIGN ALL MECHANICAL VENTS BOTH HORIZONTALLY AND VERTICALLY.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

COLOR LEGEND

1. ALL BUILDING TRIM, FASCIA, HEADERS, SILLS, TRELLIS, CORNICES, PARAPETS, BALCONY BASE TRIM, STAIR OVERHANGS, AND STAIR WING WALLS TO BE SW 7098 PACER WHITE. WINDOW FRAMES AND ALUMINUM CANOPIES TO MATCH.
2. ALL EXPOSED ALUMINUM NICHIHA CORNERS, EDGING, AND CONNECTIONS TO BE DARK ANTIQUE BRONZE.
3. ILLUMINATION SERIES CORNERS TO BE PATTERN OF SW 2806 ROCKWOOD BROWN, SW 2848 ROYCROFT PEWTER, SW 2858 SYCAMORE TAN, SW7076 CYBER SPACE, AND SW6006 BLACK BEAN. ARCHITECT TO DISTRIBUTE COLOR KEY.
4. FLASHING & EXPANSION JOINT COVERS TO MATCH ADJACENT WALL COLOR.
5. BALCONY RAILS, DOORS, GUTTERS, AND DOWNSPOUTS TO BE BROWN IN COLOR SELECTED FROM MANUFACTURER STANDARD COLORS. REFER TO SPECIFICATIONS FOR SUBMITTAL PROCESS.
6. CONTRACTOR TO SUBMIT MANUFACTURERS COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIHA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CANOPY
N1	NICHIHA PANEL	H1	GLASS HANDRAIL
M1	METAL COPPING	R1	STANDING SEAM ROOFING

ELEVATION - SYMBOL LEGEND

X	DOOR TAG	T.O.P. 100'-0" XTH FLOOR	TOP OF PLATE
X	WINDOW TAG	T.O.D. 100'-0" XTH FLOOR	TOP OF DECK
1 / AX.XX	WALL SECTION TAG	T.O.H. 100'-0" XTH FLOOR	TOP OF HEEL
		T.O.S. 100'-0" XTH FLOOR	TOP OF SLAB
1 / AX.XX	DETAIL SECTION TAG	F.F. 100'-0"	FINISH FLOOR
5:12 / 12 / 5	SLOPE TAGS		

adi. ARCHITECT | INTERIOR
6402 LAUREL VALLEY ROAD, DALLAS. TX 75248

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE. ROCKWALL.
TEXAS 75032

Issue	Issue Name	Date

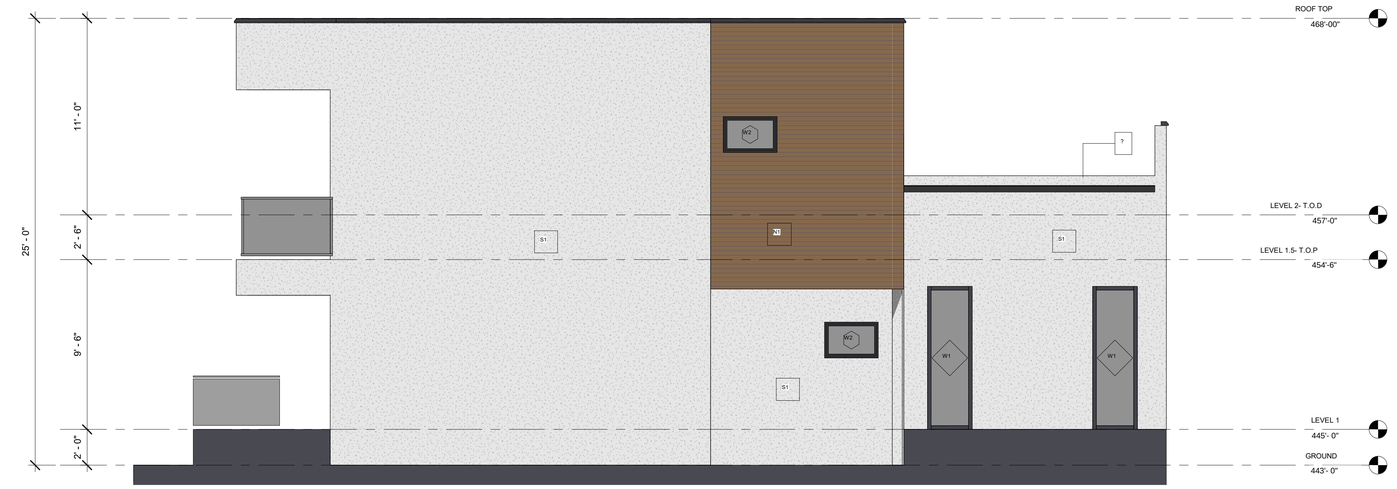
Sheet Name
EXTERIOR ELEVATIONS

Original Issue

Sheet Number
A2.10

Project #	Drawing Date
Project Number	03/27/22

8/18/2023 10:09:02 AM A2.10 EXTERIOR ELEVATIONS



2 LEFT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
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8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & HARDSCAPE DRAWINGS FOR FINE GRADING.
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10. ALIGN ALL MECHANICAL VENTS BOTH HORIZONTALLY AND VERTICALLY.
11. PITCHED ROOFS, CROCKETS, DORMERS, ETC. TO HAVE A MINIMUM ROOF PITCH OF 4:12. REFER TO ROOF PLAN FOR ROOF PITCHES.

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6. CONTRACTOR TO SUBMIT MANUFACTURER COLOR OPTIONS FOR COILING GARAGE DOOR, NICHIHA METAL TRIM, WINDOW FRAMES, AND ALUMINUM CANOPIES.

S1	STUCCO	C1	CANOPY
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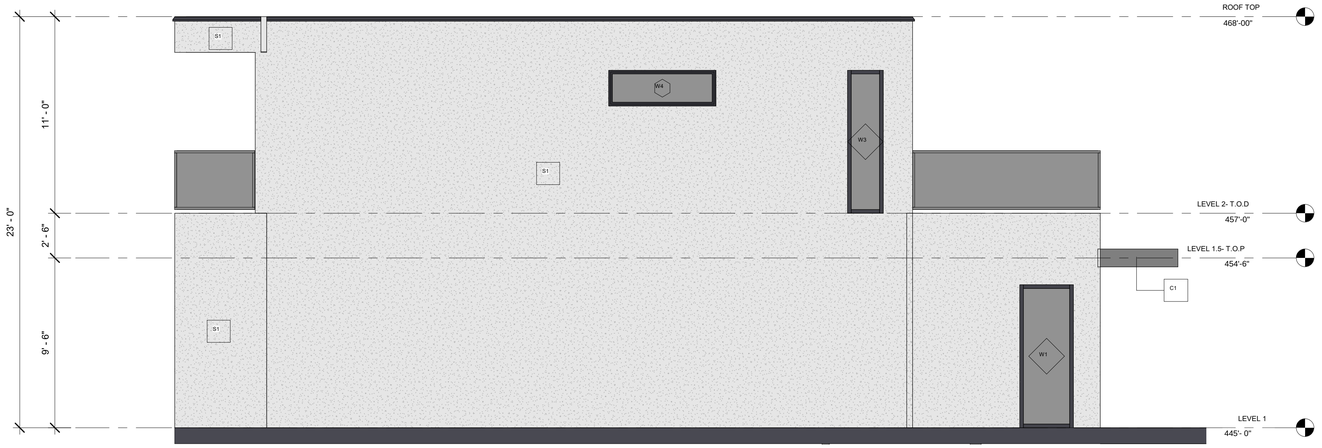
1 / AX.XX	DETAIL SECTION TAG	F.F. 100'-0"	FINISH FLOOR
5:12 / 12 / 5	SLOPE TAGS		



1 RIGHT ELEVATION
1/4" = 1'-0"

adi. ARCHITECT | INTERIOR
6402 LAUREL VALLEY ROAD, DALLAS. TX 75248

NGUYEN'S LAKE RESIDENCE
303 HARBORVIEW DRIVE. ROCKWALL.
TEXAS 75032

Issue	Issue Name	Date

Sheet Name
EXTERIOR ELEVATIONS

Original Issue

Sheet Number
A2.11

Project #	Drawing Date
Project Number	04/24/22

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. *20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1519-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 18, BLOCK B, OF THE HARBOR LANDING PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS ($2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Angelina Nguyen for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1519-acre parcel of land identified as Lot 18, Block B, of the Harbor Landing Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 303 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

DRAFT 05.29.2023

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- *as heretofore amended and may be amended in the future* -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'A'* of this ordinance.

2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'B'* of this ordinance.

3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS ($2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

DRAFT ORDINANCE 08.29.2023

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 2ND DAY OF OCTOBER, 2023.

_____

Trace Johannesen, *Mayor*

ATTEST:

_____

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

_____

Frank J. Garza, *City Attorney*

1st Reading: *September 18, 2023*

2nd Reading: *October 2, 2023*

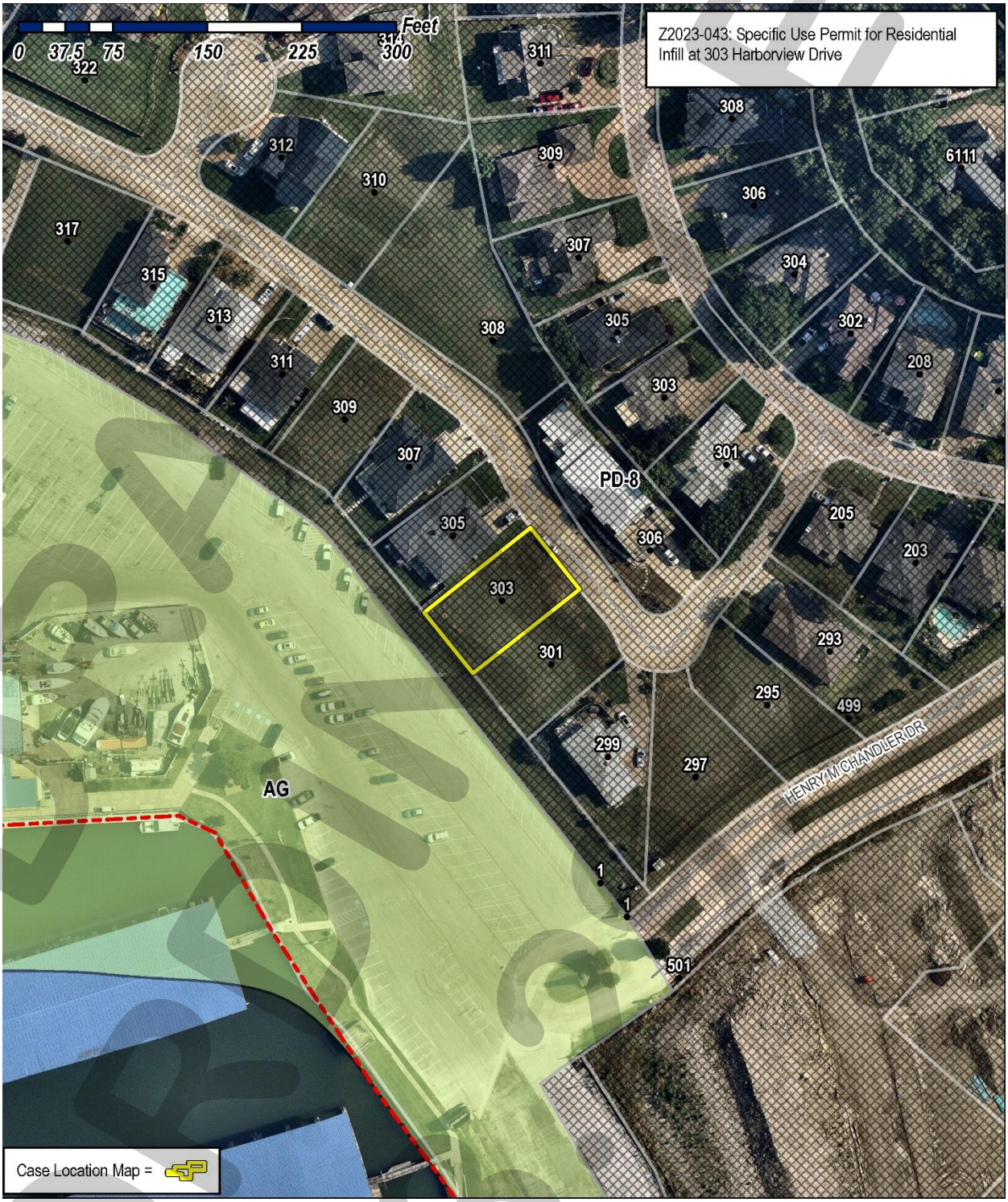
DRAFT ORDINANCE 08.29.2023

Exhibit 'A':

Location Map and Residential Plot Plan

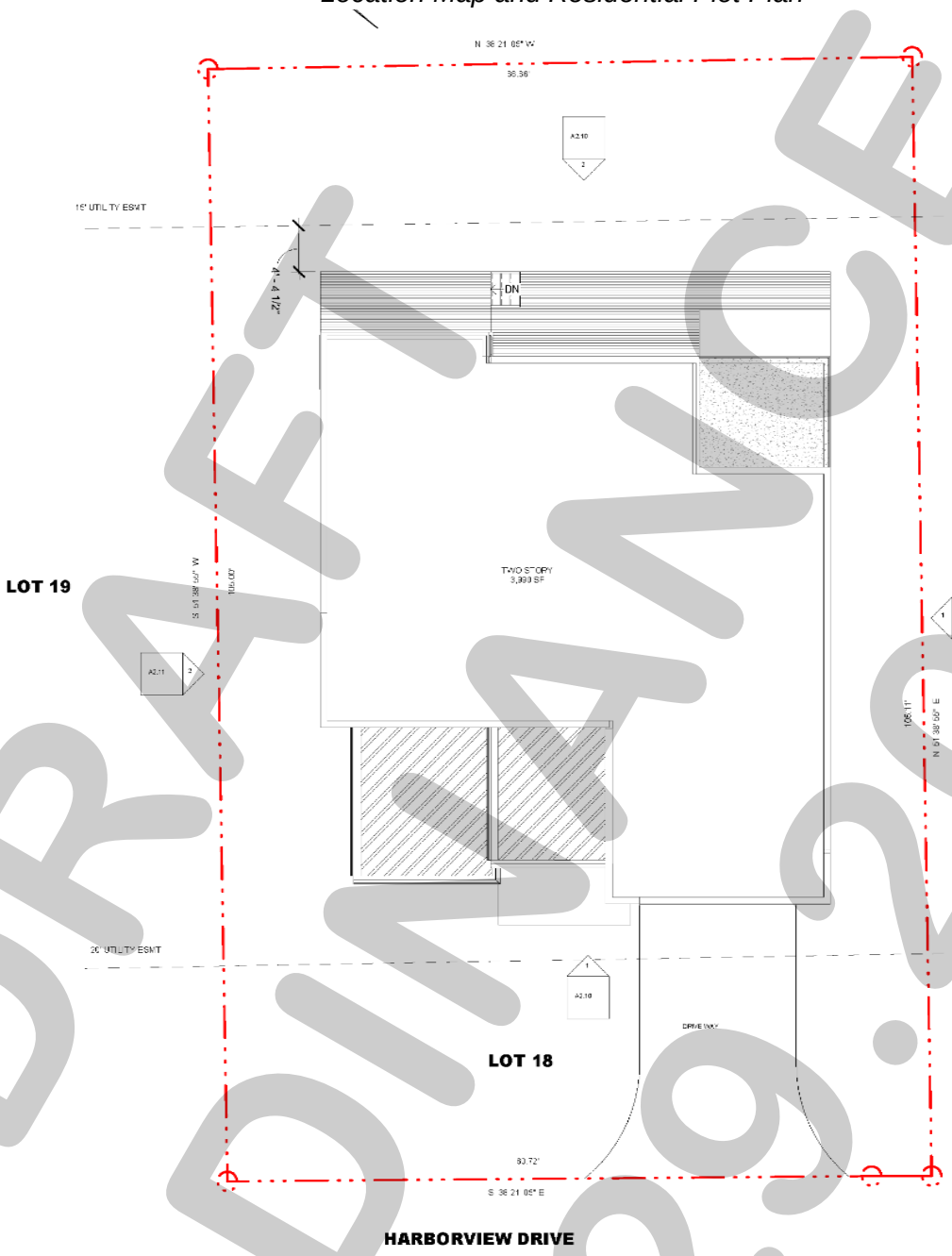
Address: *303 Harborview Drive*

Legal Description: *Lot 18, Block B, Harbor Landing Phase 2 Addition*



DRAFT 08/08/23

Exhibit 'A':
Location Map and Residential Plot Plan



DRAFT ORDINANCE 08.29.2023

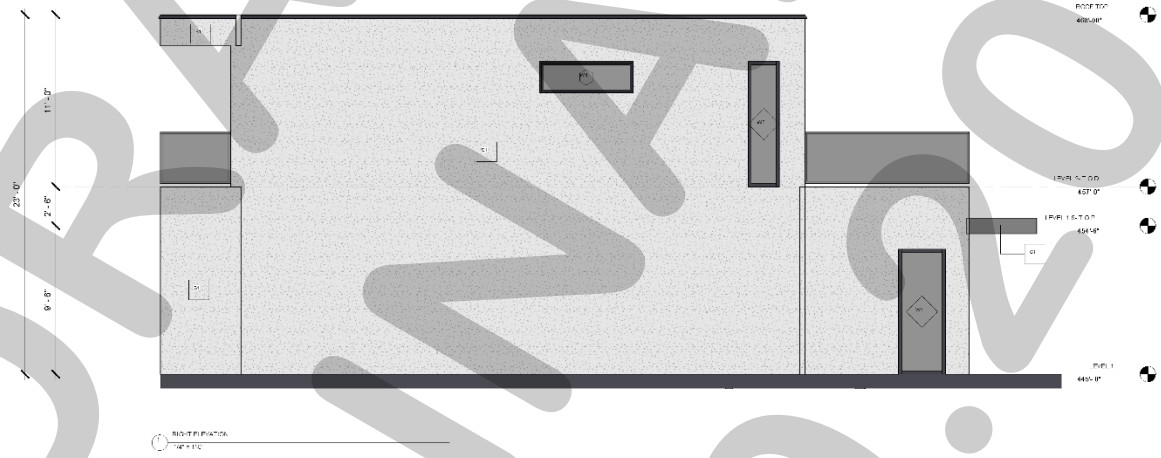
Exhibit 'B':
Building Elevations



DRAFT
08.15.2023

Exhibit 'B':
Building Elevations





DRAFT ORDINANCE 08.29.2023

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-025
PROJECT NAME: Site Plan for 1408 S Goliad Street
SITE ADDRESS/LOCATIONS: 1408 S GOLIAD ST

CASE CAPTION: Discuss and consider a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Robert Howman of Glenn Engineering on behalf of Brad Helmer of Heritage Christian Academy for the approval of a Site Plan for a new building in conjunction with an existing Private School on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-025) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 All signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

I.5 As long as no easements are added or adjusted then the subject property will not need to be replat.

M.6 In lieu of the Material Sample Board, please provide pictures of the Gym and indicate the proposed building will match. (Subsection 03.04. A, of Article 11, UDC)

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

_____ _____

M.8 Site Plan:
(1) Please clarify if all of the portables are to be removed. (Subsection 03.04. B, of Article 11, UDC)
(2) Please correct the zoning callout to MF-14 not AG. (Subsection 03.04. B, of Article 11, UDC)
(3) Please indicate the fire lane as Fire Lane, Public Access, & Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
(4) Please indicate the building setbacks. (Subsection 03.04. B, of Article 11, UDC)
(5) Please indicate the drive/turn radii. (Subsection 03.04. B, of Article 11, UDC)
(6) Please indicate the location of any proposed/existing fire hydrants. (Subsection 03.04. B, of Article 11, UDC)
(7) Parallel parking spaces are 9x22. (Subsection 05.03, of Article 06, UDC)
(8) Is there any proposed or existing fencing? If so, please indicate the type and height. (Subsection 08.02. F, of Article 08, UDC)
(9) Is there any proposed ground mounted or roof mounted utility equipment? If so, please indicate them and the subsequent screening. (Subsection 01.05. C, of Article 05, UDC)
(10) Please clarify if the existing dumpster will be used for this building. (Subsection 01.05. B, of Article 05, UDC)
(11) Please indicate that there will be no outside storage. (Subsection 03.04. B, of Article 11, UDC)

M.9 Landscape Plan & Treescape Plan:
(1) It appears that a few trees may be removed with the proposed building. If so, please provide a Treescape Plan and a subsequent Landscape Plan. These plans may be combined, however the treescape table and landscape tables must both be provided. If no trees are to be removed, please clarify this. (Subsection 01.08, of Article 05, UDC)

M.10 Photometric Plan:
(1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
(2) The 0.2 FC requirement exceeds at the S. property line. Please correct this. (Subsection 03.03. G, of Article 07, UDC)
(3) No light pole, base or combination thereof, or wall pack shall exceed 20 feet. Please indicate the pole heights and mounting heights. (Subsection 03.03. D, of Article 07, UDC)
(4) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully screened. (Subsection 03.03, of Article 07, UDC)

M.11 Building Elevations:
(1) Exterior walls should consist of 90% masonry materials excluding doors and windows. This will be a variance. (Subsection 06.02. C, of Article 05, UDC)
(2) At least 20% natural or quarried stone shall be utilized on each façade. This will be a variance. (Subsection 06.02. C, of Article 05, UDC)
(3) Per the four (4) sided architecture requirements in the overlay district, each façade is a primary façade. Given this, the wall length requirement on the north and south façades do not meet the requirements (Wall Length = 3 x Building Height). This will be variance to the primary articulation. (Subsection 04.01. C, of Article 05, UDC)

I.12 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] 90% masonry, [2] 20% stone, and [3] primary articulation. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.15 Please note the scheduled meetings for this case:
1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.16 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Where's the rest of the drive aisle?
2. 20' R with BFR.
3. Label as proposed 5' sidewalk.
4. No structures or overhangs will be allowed in this easement.
5. Parallel parking to be 9'x22'.

General Library Comments:
General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- No retaining walls within easement.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Drainage Items:
- Show existing detention pond.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed

Water and Wastewater Items:
- Public water or sewer to be 8" minimum.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- May need an on-site fire hydrant
- Need to show existing and proposed water and sewer on site plan

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways. If there, need to show

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

08/21/2023: 1. Per meeting minimal landscape needs other than turf and a few shrubs to match existing landscape
2. No tree mitigation needed

Where's the rest of the drive aisle

20' R with BFR

Label as proposed 5' sidewalk

No structures or overhangs will be allowed in this easement

Parallel parking to be 9'x22'

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- No retaining walls within easement.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" and taller must be rock or stone face. No smooth concrete walls.

Drainage Items:

- Show existing detention pond.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
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- Min 20' utility easements.
- May need an on-site fire hydrant
- Need to show existing and proposed water and sewer on site plan

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- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways. If there, need to show

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE (972) 717-5151
4500 FULLER DRIVE, SUITE 220
IRVING, TEXAS 75038
FAX (972) 717-2176

Rockwall, TX 75087

Dates:
08/15/23

RAH
RMR
2000.01

HERITAGE CHRISTIAN ACADEMY

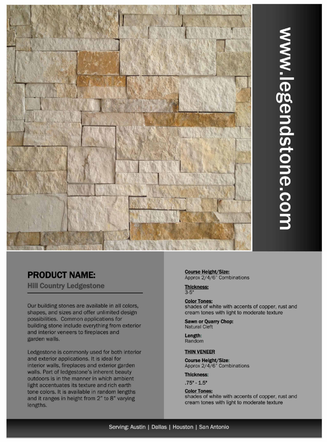
ALL
PLAN

C03.00

CITY OF ROCKWALL CASE NO. SP2023-000

MATERIAL CALCULATIONS

		AREA	%
NORTH ELEVATION		4,173	
MASONRY			
	BRICK	2,750	65.9%
	STONE	0	0.0%
METAL PANEL		1,425	34.1%
			100.0%
EAST ELEVATION		2,526	
MASONRY			
	BRICK	1,463	57.9%
	STONE	95	3.8%
METAL PANEL		968	38.3%
			100.0%
SOUTH ELEVATION		5,742	
MASONRY			
	BRICK	2,745	47.8%
	STONE	1,560	27.2%
METAL PANEL		1,435	25.0%
			100.0%
WEST ELEVATION		2,642	
MASONRY			
	BRICK	1,411	53.4%
	STONE	220	8.3%
METAL PANEL		1,012	38.3%
			100.0%

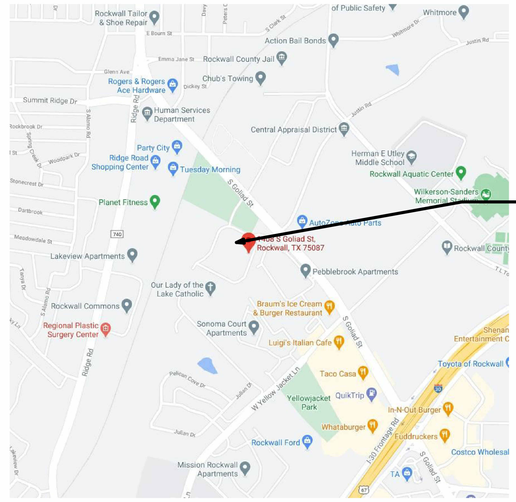


APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____,2023.

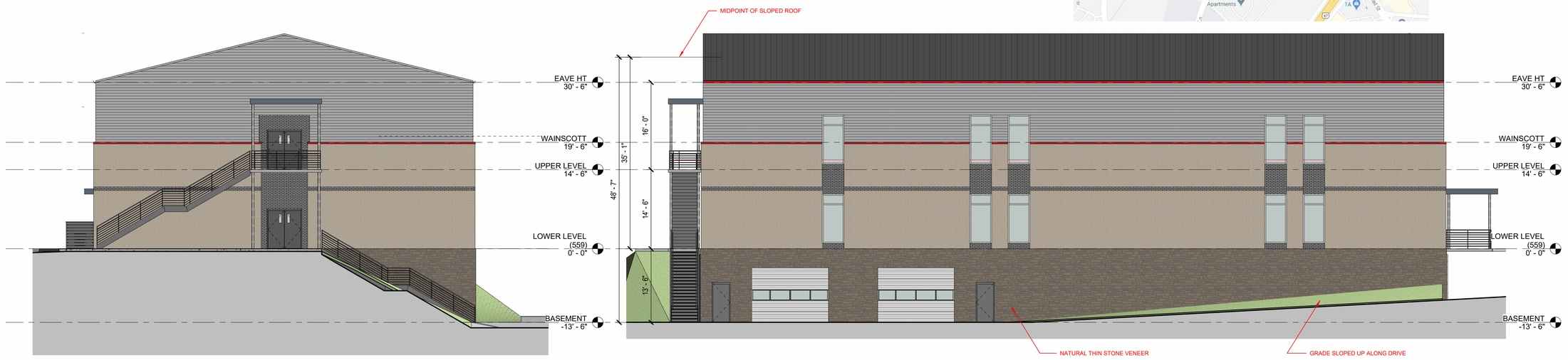
WITNESS OUR HANDS, this ____ day of _____, 2023.

_____ Planning & Zoning Commission, Chairman

_____ Director of Planning and Zoning

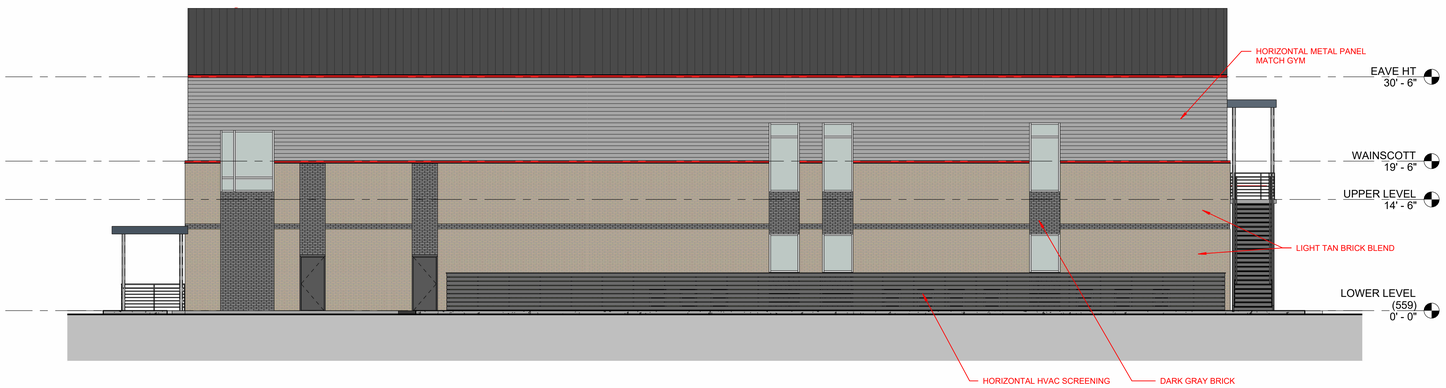


HERITAGE CHRISTIAN ACADEMY



4 WEST ELEVATION
1/8" = 1'-0"

3 SOUTH ELEVATION
1/8" = 1'-0"



8/16/2023 3:16:50 PM

1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

CRADDOCK ARCHITECTURE

REGISTERED ARCHITECT PHILLIP RAY CRADDOCK 9201 STATE OF TEXAS

8.16.2023

ARCHITECT: PHILLIP CRADDOCK

CRADDOCK ARCHITECTURE
P.O. BOX #188 Rockwall, TX 75087 214-852-0527

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HCA

HERITAGE CHRISTIAN ACADEMY

REVISION

#	Revision Date	Revision Description

HCA CLASSROOM BUILDING
1408 S. Goliad St. "BLDG C"
Rockwall, Texas 75087

Project number 2023-014

Date 8/16/2023

EXTERIOR ELEVATIONS

Scale: As indicated

A500

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☑ SITE PLAN ($250.00 + $20.00 ACRE) [1] 1 ACRE = $270
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1] IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2] A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1408 S. Goliad St, Rockwall, TX 75087				
SUBDIVISION	Subdivision Code: S3859	LOT	2	BLOCK	A
GENERAL LOCATION	Damascus RD, Rockwall, TX				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-27		CURRENT USE	private school	
PROPOSED ZONING	PD-27		PROPOSED USE	private school	
ACREAGE	6.626	LOTS [CURRENT]	1	LOTS [PROPOSED]	1

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Heritage Christian Academy	☑ APPLICANT	Glenn Engineering
CONTACT PERSON	Brad Helmer, Ed.D.	CONTACT PERSON	Robert Howman
ADDRESS	1408 S. Goliad St.	ADDRESS	4500 Fuller Dr. #220
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Irving, Tx 75038
PHONE	972.772.3003	PHONE	972.989.2174
E-MAIL	bhelmer@hcarockwall.org	E-MAIL	rahowman@glennengineering.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRAD HELMER [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____ 20___. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

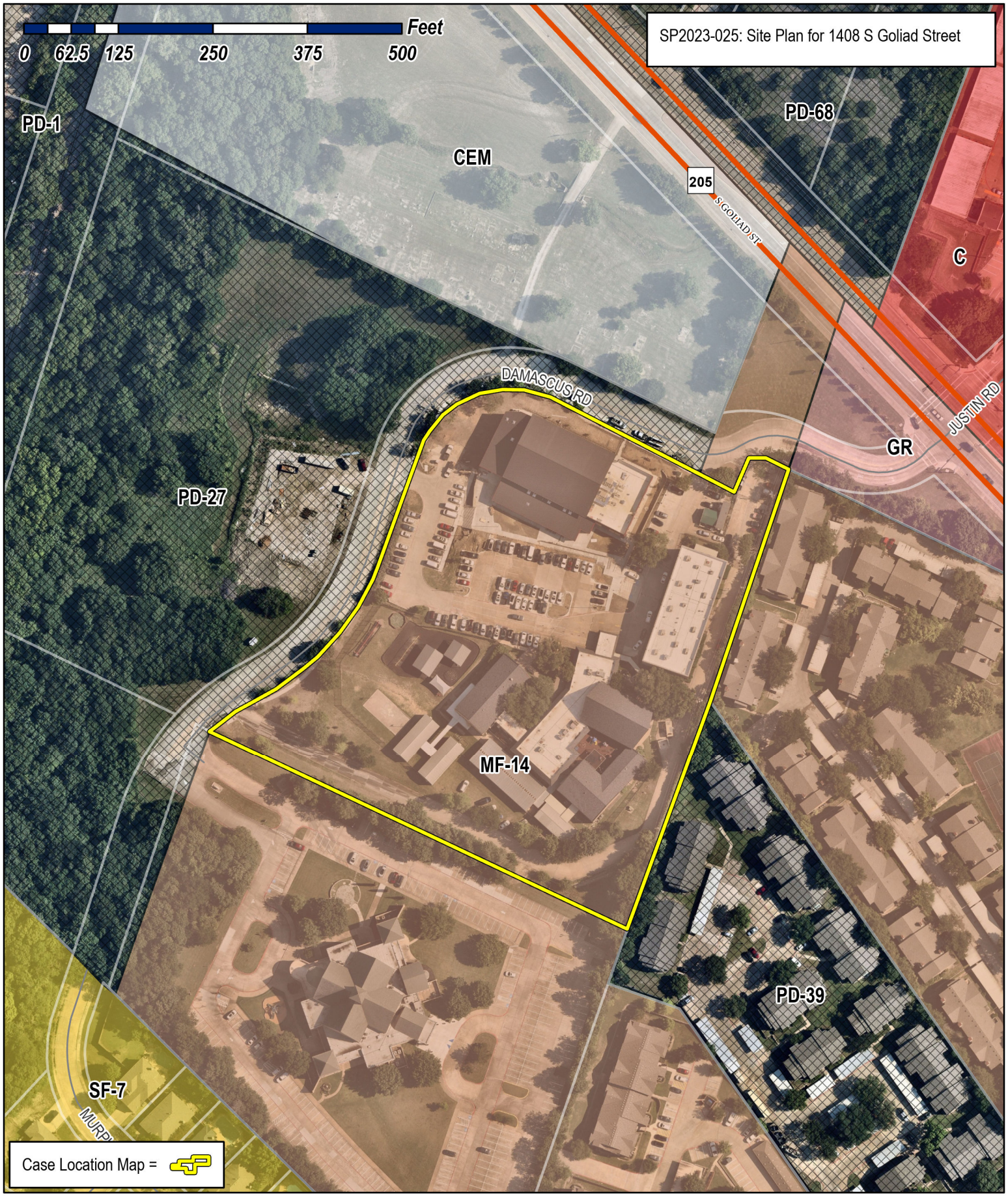
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th *DAY OF* AUGUST *2023.*

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Faye Stephanie Soares

FAYE STEPHANIE PRADO-BAESA
Notary Public, State of Texas
Comm. Expires 06-17-2025
Notary ID 131171630

MY COMMISSION EXPIRES 06-17-2025



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

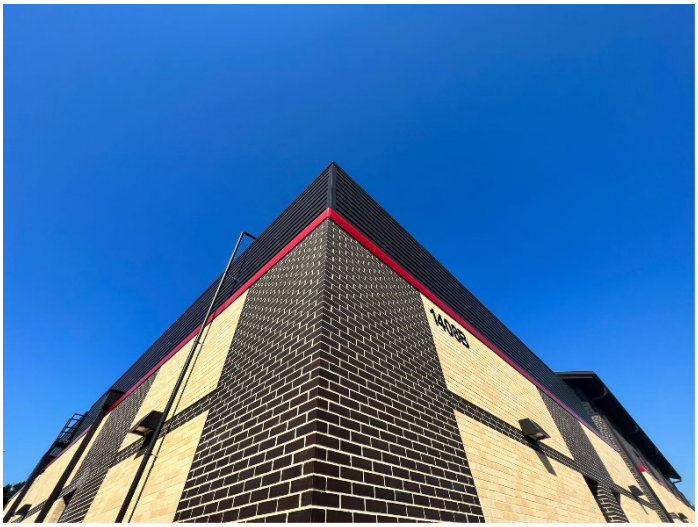
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

CRADDOCK ARCHITECTURE, PLLC
P.O. BOX #188, ROCKWALL, TX 75087
Office: 2701 Sunset Ridge, Suite 601 Rockwall TX 75032
Phillip R. Craddock, AIA
Cell: 214.952.0527 ▪
www.craddockarchitecture.com

Attn:
City of Rockwall planning Department.

Project:
Heritage Christian Academy, Classroom Building
Craddock Architecture, PLLC

The Design intent is to match the Character and design features of the Recently Constructed Gymnasium. We will be using the Same materials that were used on the Gym.



MASONRY VENEER:
ACME Brick:
M1: Westchester Smooth (Modular)
M2: 50/50 Blend of "152/154" (Modular)

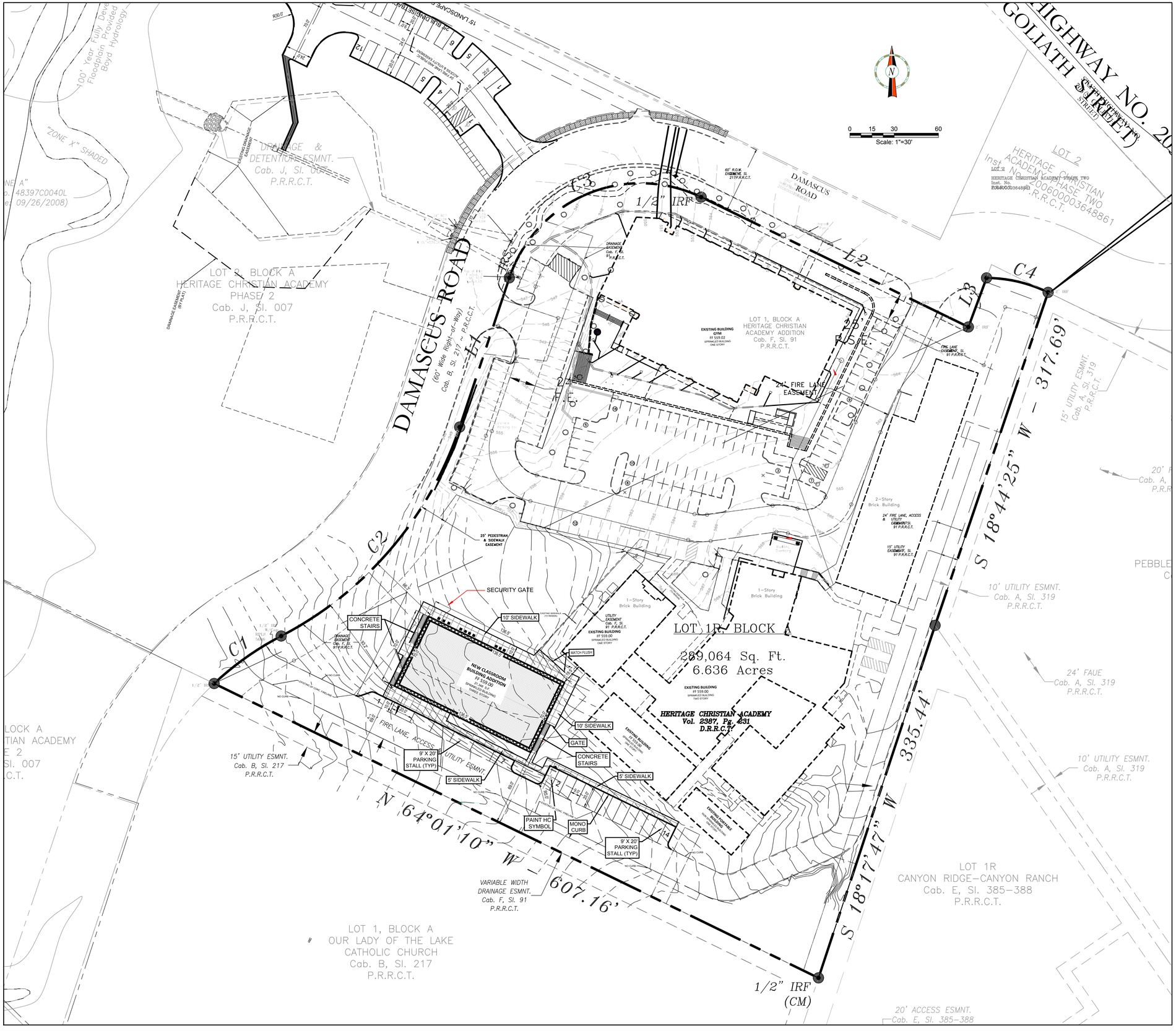
STONE:
Natural Thin Stone Veneer at the base of the Building matching that used on the gym.

Horizontal Metal Siding:
Horizontal Ribbed Metal, Color to match existing on Gym.

Currently no retaining walls are planned. However, in the event any are needed they will match the stacked stone walls on site.







GENERAL SITE NOTES

1. ALL DIMENSIONS ARE FROM FACE OF CURB.
2. ALL FIRE LANES, PARKING STRIPING, HANDICAP PARKING STRIPING & SIGNAGE ARE TO BE IN ACCORDANCE WITH CITY OF ROCKWALL REQUIREMENTS, TYP.
3. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
4. CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL NECESSARY PERMITS, LICENSES, ETC. CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
5. ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, AND DETAILS.
6. IF UNFORESEEN PROBLEMS OR CONFLICTS ARE ENCOUNTERED IN THE CONSTRUCTION, FOR WHICH AN IMMEDIATE SOLUTION IS NOT APPARENT, THE ENGINEER AND OWNER SHALL BE NOTIFIED IMMEDIATELY.
7. IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS, PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
8. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD LOCATING EXISTING UTILITIES AND IMPROVEMENTS PRIOR TO CONSTRUCTION.
9. TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT DESIGN TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW.
10. MARK FIRE LANES TO THE CITY OF ROCKWALL SPECIFICATION. 'NO PARKING FIRE LANE' EVERY 25' WHITE 4" LETTERS ON A 6" RED STRIPED BACKGROUND.
11. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
12. BARRIER FREE RAMPS (BFR) IN PUBLIC R.O.W. SHALL BE PER CITY SPECIFICATIONS.
13. ALL OUTDOOR LIGHTING MUST BE ORIENTED SO THAT LIGHTING LEVELS AT ALL PROPERTY LINES ARE 0.20 FOOT-CANDLE OR LESS.

PAVING LEGEND (EXISTING)

- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE
- CURB INLET

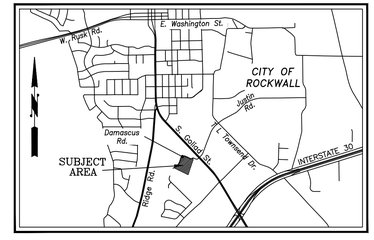
SITE LEGEND (PROPOSED)

- BUILDING
- CONCRETE CURB
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- FENCE
- PROPERTY LINE
- CURB INLET

(PRIVATE) 5" REINFORCED CONCRETE PAVEMENT 3,600 P.S.I. CONCRETE, 6½ SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS OVER 6" COMPACTED SUBGRADE PER GEOTECHNICAL REPORT

(PRIVATE) 6" REINFORCED CONCRETE (NON FIRE LANES) PAVEMENT 3,600 P.S.I. CONCRETE, 6½ SACK HAND FINISH 6 SACK MACHINE FINISH W/ #4 REBARS ON 18" CENTERS EACH WAY OVER 6" COMPACED SUBGRADE PER SOILS REPORT.

VICINITY MAP
Not To Scale



SITE DATA SUMMARY TABLE

EXISTING ZONING	AG
PROPOSED ZONING	AG
USE	PRIVATE SCHOOL
LOT AREA	289,064 S.F. OR 6.636 AC.
BUILDING AREA (FLOOR AREA)	
PROPOSED BASEMENT LEVEL	2,391 S.F.
PROPOSED FIRST FLOOR	9,463 S.F.
PROPOSED SECOND FLOOR	9,494 S.F.
TOTAL BUILDING AREA	21,348 S.F.
TOTAL FLOOR AREA (FIRST FLOOR)	9,500 S.F.
LOT COVERAGE	9,500 S.F./ 289,064 S.F. =03.270%
FLOOR AREA RATIO	0.327:1
TOTAL IMPERVIOUS AREA	196,129 S.F. OR 4.50 AC.
BUILDING HEIGHT	44'- 0" (3 STORY)
STUDENT CAPACITY (K-6) DESIGN	642 STUDENT
STUDENT CAPACITY (K-6) EXISTING	650 STUDENT
TOTAL REQUIRED PARKING (1 PER 25 STUDENTS)	27 SPACES
642 STUDENT / 1 PER 25 STUDENTS = 25.68 (27) SPACES REQUIRED	
PARKING PROVIDED	
PARKING SURFACE	
9.0' x 18.0'	192 SPACES
9.0' x 20.0' PARALLEL	7 SPACES
TOTAL PARKING PROVIDED	199 SPACES

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ___ day of _____, 2022.
WITNESS OUR HANDS, this ___ day of _____, 2022.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

HERITAGE CHRISTIAN ACADEMY ADDITION
LOT 1R, BLOCK A
OUT OF THE
BURWELL J.T. LEWIS SURVEY, ABSTRACT NO. 255
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER/DEVELOPER:	ARCHITECT:	ENGINEER:
HERITAGE CHRISTIAN ACADEMY	CRADDOCK ARCHITECTURE	GLENN ENGINEERING CORP.
1408 S. GOLIAD STREET	P.O. BOX #188	4500 FULLER DR.
ROCKWALL, TEXAS 75087	ROCKWALL, TX 75087	IRVING, TEXAS 75038
(972) 771-0605	(214) 952-0527	(972) 717-5151
CONTACT:		CONTACT: CHERALYN M. ARMIJO

CITY OF ROCKWALL CASE NO. SP2023-000

GLENN ENGINEERING
TEXAS REGISTRATION NUMBER: F-303
PHONE (972) 717-5151
4500 FULLER DRIVE, SUITE 220
IRVING, TEXAS 75038
FAX (972) 717-2176

MIKE GLENN 35059 REGISTERED PROFESSIONAL ENGINEER
The seal appearing on this document was authorized by Mike Glenn, P.E. 35059 August 15, 2023

HCA HERITAGE CHRISTIAN ACADEMY

Heritage Christian Academy
1408 S Goliad St,
Rockwall, TX 75087

Revisions:

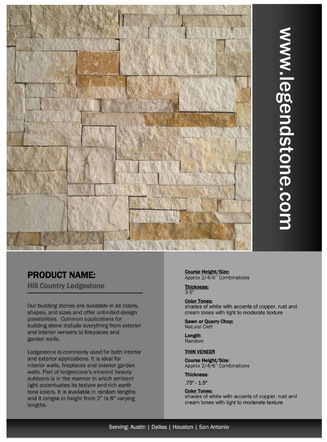
Issue Dates:	
Review:	08/15/23
Permit:	
Construction:	

Drawn By:	RAH
Checked By:	RMR
Project No.:	2000.01

OVERALL SITE PLAN
Sheet
C03.00

MATERIAL CALCULATIONS

		AREA	%
NORTH ELEVATION		4,173	
MASONRY			
	BRICK	2,750	65.9%
	STONE	0	0.0%
METAL PANEL		1,425	34.1%
			100.0%
EAST ELEVATION		2,526	
MASONRY			
	BRICK	1,463	57.9%
	STONE	95	3.8%
METAL PANEL		968	38.3%
			100.0%
SOUTH ELEVATION		5,742	
MASONRY			
	BRICK	2,745	47.8%
	STONE	1,560	27.2%
METAL PANEL		1,435	25.0%
			100.0%
WEST ELEVATION		2,642	
MASONRY			
	BRICK	1,411	53.4%
	STONE	220	8.3%
METAL PANEL		1,012	38.3%
			100.0%

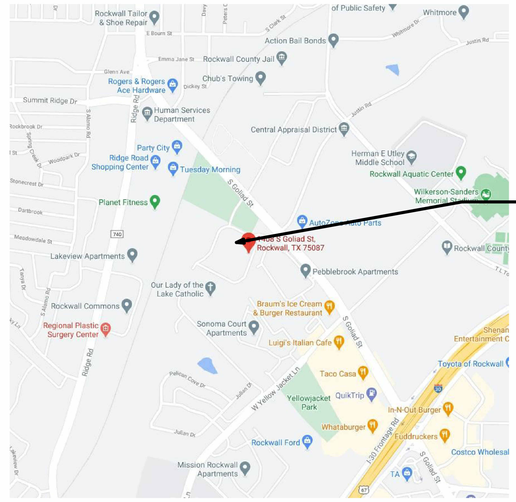


APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____,2023.

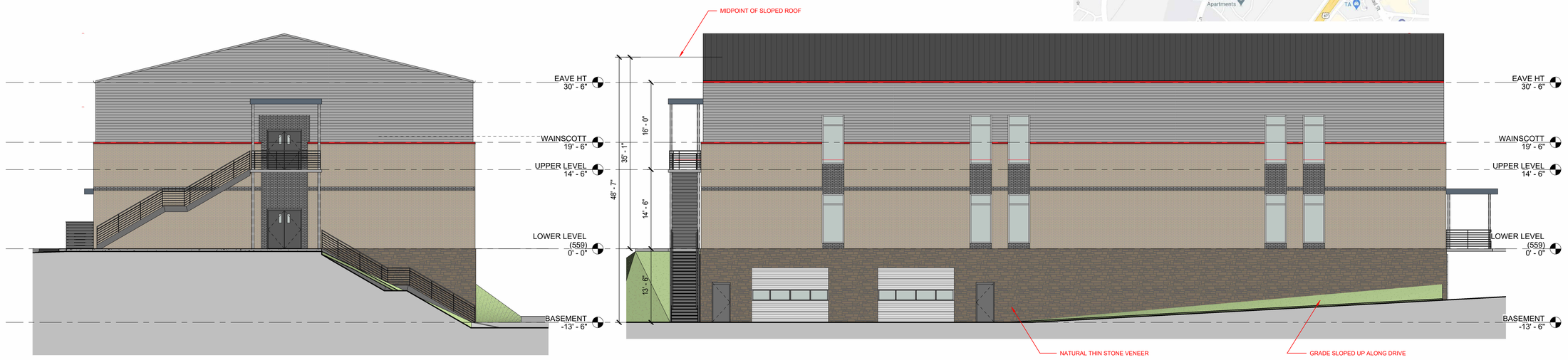
WITNESS OUR HANDS, this ____ day of _____, 2023.

_____ Planning & Zoning Commission, Chairman

_____ Director of Planning and Zoning

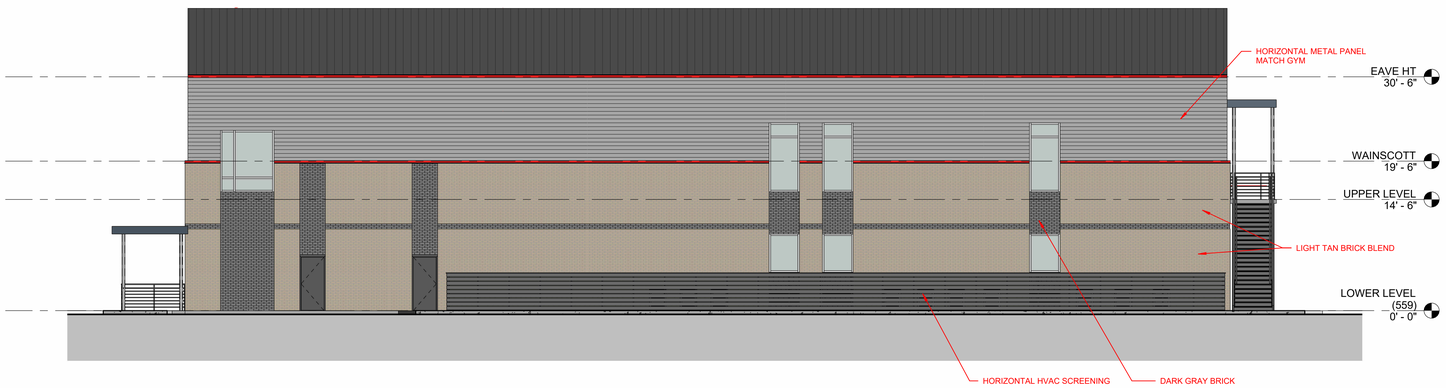


HERITAGE CHRISTIAN ACADEMY



4 WEST ELEVATION
1/8" = 1'-0"

3 SOUTH ELEVATION
1/8" = 1'-0"



8/16/2023 3:16:50 PM

1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

CRADDOCK ARCHITECTURE

REGISTERED ARCHITECT PHILLIP RAY CRADDOCK 9201 STATE OF TEXAS

8.16.2023

ARCHITECT: PHILLIP CRADDOCK

CRADDOCK ARCHITECTURE
P.O. BOX #188 Rockwall, TX 75087 214-852-0527

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HCA

HERITAGE CHRISTIAN ACADEMY

REVISION

#	Revision Date	Revision Description

HCA CLASSROOM BUILDING
1408 S. Goliad St. "BLDG C"
Rockwall, Texas 75087

Project number 2023-014

Date 8/16/2023

EXTERIOR ELEVATIONS

Scale: As indicated

A500

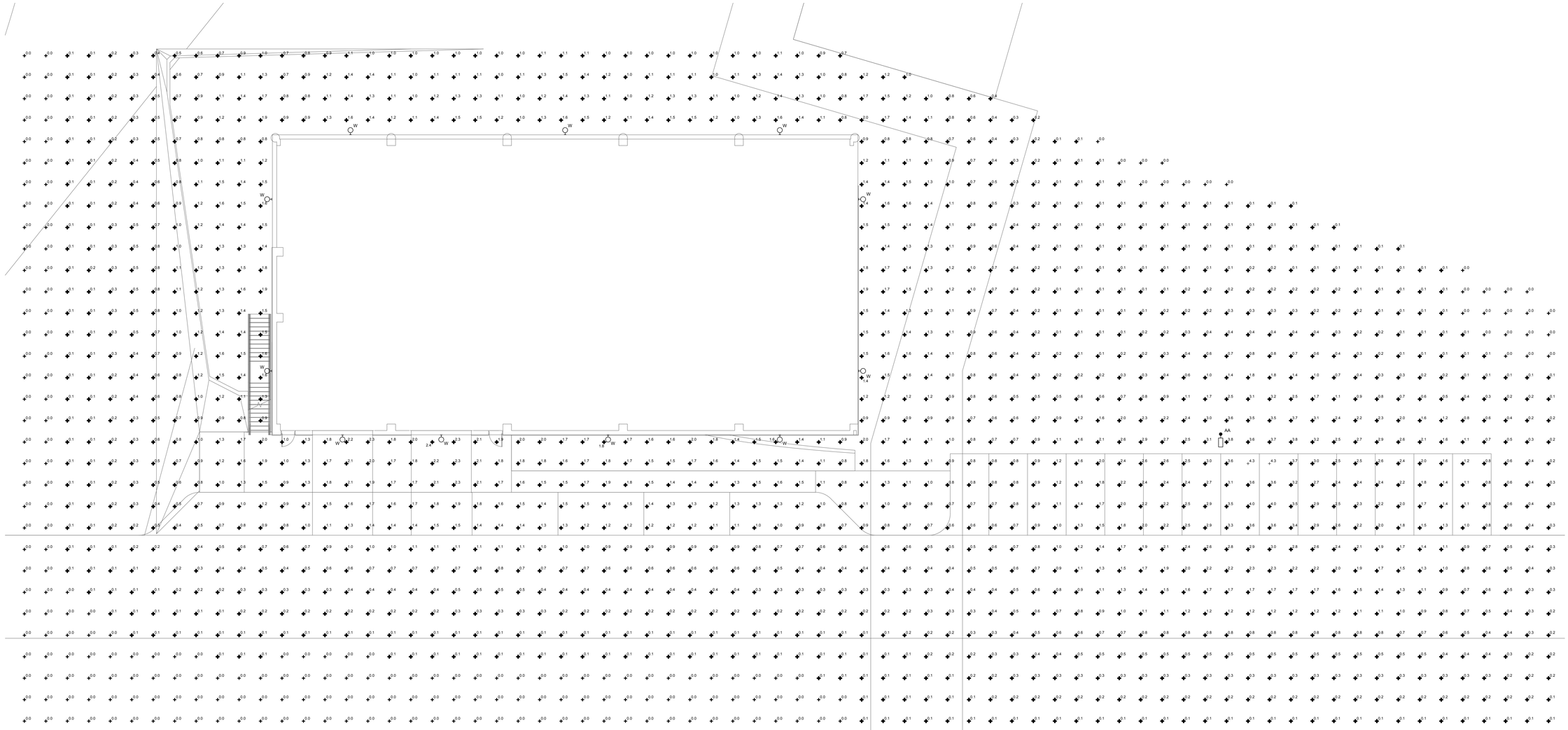
FINCHER ENGINEERING, LLC
TX FIRM #F-16408
5621 114TH ST., SUITE 100
LUBBOCK, TX 79424
PH: 806-701-5109
WWW.FINCHERENG.COM

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	0.7 fc	4.3 fc	0.0 fc	N/A	N/A

Schedule

Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
AA	1	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GLEON-SA3C-740-U-T4W	GALLEON AREA AND ROADWAY LUMINAIRE (3) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV WIDE OPTICS	48	447	0.7	166
W	11	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	IST-SA1B-740-U-T4W	IMPACT ELITE LED TRAPEZOID LUMINAIRE (1) 70 CRI, 4000K, 450mA LIGHTSQUARE WITH 16 LEDS AND TYPE IV WIDE OPTICS	16	215	0.7	25.4



PLAN NORTH
W E S

1 SITE PLAN - PHOTOMETRICS
1" = 10'-0"

CRADDOCK ARCHITECTURE

PRELIMINARY
This document is released for the purpose of interim review under the authority of Kris Stepp, P.E. 93736 on Aug 17, 2023. It is not to be used for construction, bidding, or permit purposes.

HCA HERITAGE CHRISTIAN ACADEMY

CRADDOCK ARCHITECTURE
P.O. BOX #188 Rockwall, TX 75087 214-952-0527

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REVISION

#	Revision Date	Revision Description

HCA CLASSROOM BUILDING
1408 S. Goliad St. "BLDG____"
Rockwall, Texas 75087

Project number 2023-014 Date 08/17/2023

SITE PLAN PHOTOMETRICS

Scale: AS NOTED

ES102

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-026
PROJECT NAME: SIte plan for 2620 Sunset Ridge Drive
SITE ADDRESS/LOCATIONS: 2620 SUNSET RIDGE DR

CASE CAPTION: Discuss and consider a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a Restaurant on a 2.893-acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Erica Papan of Milkshake Concepts on behalf of James Faller of Milkshake Concepts for the approval of an Amended Site Plan for a Restaurant on a 2.893 -acre parcel of land identified as Lot 2, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-026) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Please remove all signage from the building elevation; all signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

_____ _____
Planning & Zoning Commission, Chairman Director of Planning and Zoning

M.6 Site Plan:
(1) A fully developed site plan is required for this amended site plan due to [1] the patio was not captured on the original site plan, rather it was added during the Engineering

process, and [2] the increase of the parking deficiency. In additional, have the extent of the plans cover just be the subject property. (Subsection 03.04. A, of Article 11, UDC)
(2) Please provide the owners name, address, and phone number. They are required to be in the lower right-hand corner left of the title block. (Subsection 03.04. A, of Article 11, UDC)
(3) Please provided the name, address, and phone number of the person or company that prepared the plans. They are required in the lower righthand corner left of the title block (Subsection 03.04. A, of Article 11, UDC)
(4) Please provide a north point, numeric and graphic scale, and a vicinity map. (Subsection 03.04. A, of Article 11, UDC)
(5) Please indicate the total lot area in acreage and square feet. (Subsection 03.04. B, of Article 11, UDC)
(6) Please indicate the perimeter dimensions of the site in feet. (Subsection 03.04. B, of Article 11, UDC)
(7) Please indicate the square footage of all existing and proposed buildings. (Subsection 03.04. B, of Article 11, UDC)
(8) Please indicate the perimeter dimensions of the existing building. (Subsection 03.04. B, of Article 11, UDC)
(9) Please indicate the distance between buildings. (Subsection 03.04. B, of Article 11, UDC)
(10) Please indicate the distance between the building and the property lines. (Subsection 03.04. B, of Article 11, UDC)
(11) Please indicate the property lines. (Subsection 03.04. B, of Article 11, UDC)
(12) Please indicate the building setbacks. (Subsection 03.04. B, of Article 11, UDC)
(13) Please indicate all easements. (Subsection 03.04. B, of Article 11, UDC)
(14) Please indicate the drive turning radii and widths. (Subsection 03.04. B, of Article 11, UDC)
(15) Please indicate all fire lane. (Subsection 03.04. B, of Article 11, UDC)
(16) Please indicate the dimensions of a typical parking space. (Subsection 05.03, of Article 06, UDC)
(17) Please provide a parking table that indicates the total number of required parking spaces by use (Subsection 05.01, of Article 06, UDC)
(18) Based on the previously approved site plan 199 parking spaces were required by the land uses indicated; however, an exception was granted to allow 161 parking spaces. That being said, the patio is required 1 parking space per 4 seats. In this case, an additional 25 parking spaces are required. This means you would be requesting to increase the non-conformity of the parking through an exception. (Table 5, of Article 06)
(19) Will there be an additional roof top units or ground mounted utility equipment? If so, please indicate the subsequent screening. (Subsection 01.05. C, Article 05)

M.7 Building Elevations:
(1) Please provide spec sheets for all of the proposed materials (i.e. paint colors, roof material, brick, shade system). (Subsection 04.01. C, of Article 05, UDC)

I.8 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] parking. Should you decide to request these items as variance(s)/exception(s), please provide a letter that lists the variance(s)/exception(s), why they are being requested, and the subsequent compensatory measures. For each variance/exception requested the UDC requires two (2) compensatory measures (Subsection 09.01, of Article 11). Examples of compensatory measures include the increased use of masonry material or stone, increased articulation, increased architectural elements, more pedestrian amenity, larger landscape planting sizes, etc.

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:
1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

ENGINEERING	Craig Foshee	08/23/2023	Approved

08/25/2023: 1. Verify no easement in project location.
2. Please call out the project location.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

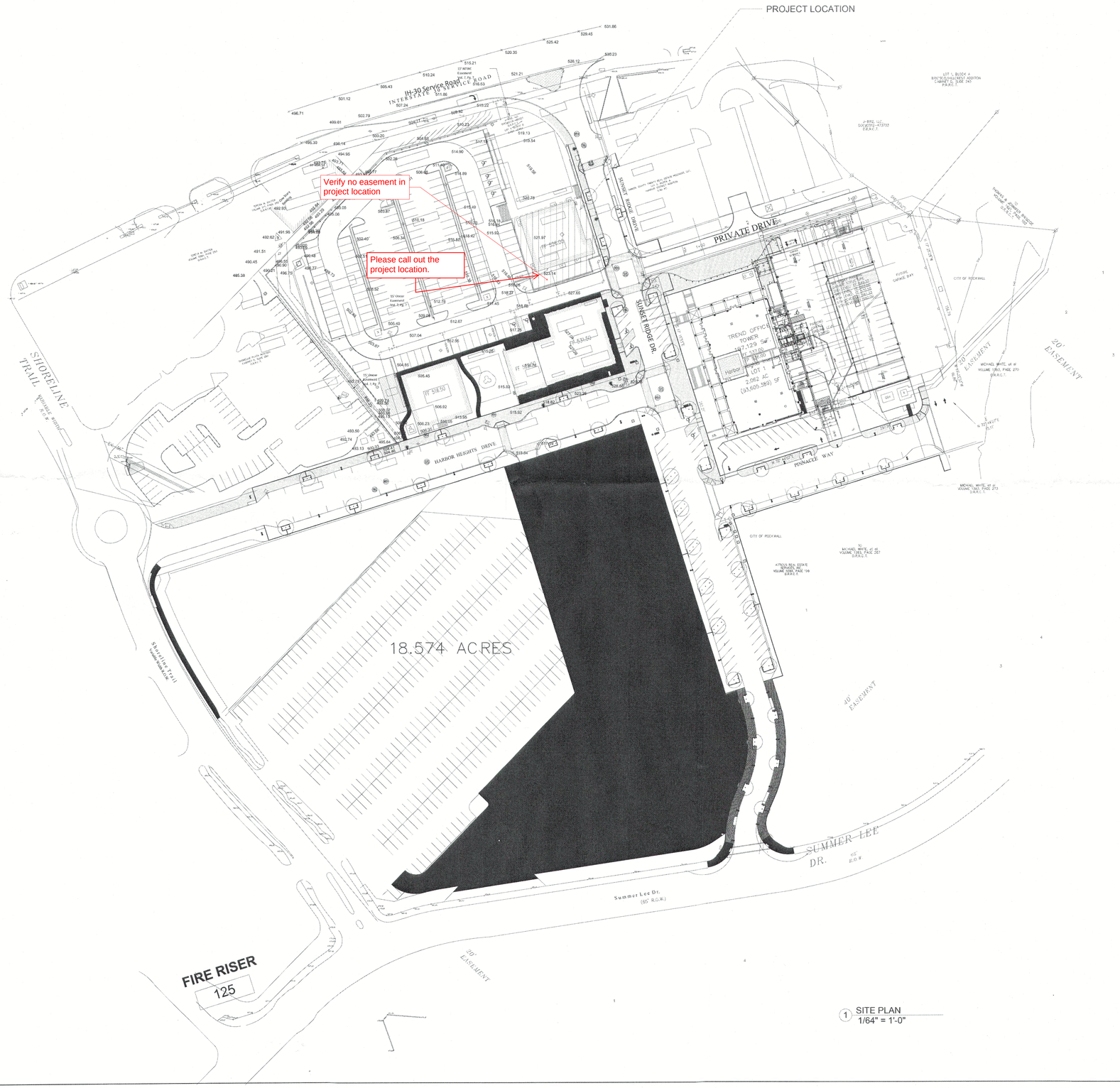
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved

No Comments

PROJECT LOCATION



1 SITE PLAN
1/64" = 1'-0"

VIDORRA ROCKWALL

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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DESIGN CONSULTANT

75 DEGREE DESIGN STUDIO

1408 N RIVERFRONT BLVD #529
DALLAS, TX 75207
TEL:214-356-4949

ISSUE:

REVISIONS:

Date 8/18/2023

SITE PLAN

G000.1

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☑ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	2620 Sunset Ridge Drive, Rockwall, TX 75032				
SUBDIVISION	Harbor District Addition	LOT	2	BLOCK	B
GENERAL LOCATION					

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	F1	CURRENT USE	Retail
PROPOSED ZONING		PROPOSED USE	Retail
ACREAGE	2.893	LOTS [CURRENT]	LOTS [PROPOSED]

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	Milkshake Concepts	☑ APPLICANT	Milkshake Concepts
CONTACT PERSON	James Faller	CONTACT PERSON	Erica Papan
ADDRESS	4000 Elm Street	ADDRESS	4000 Elm Street
CITY, STATE & ZIP	Dallas, TX 75226	CITY, STATE & ZIP	Dallas, TX 75226
PHONE	214-280-0008	PHONE	708-860-7405
E-MAIL	jfaller72@gmail.com	E-MAIL	epapan@milkshakeconcepts.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James Faller [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18th *DAY OF* August, 2023 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

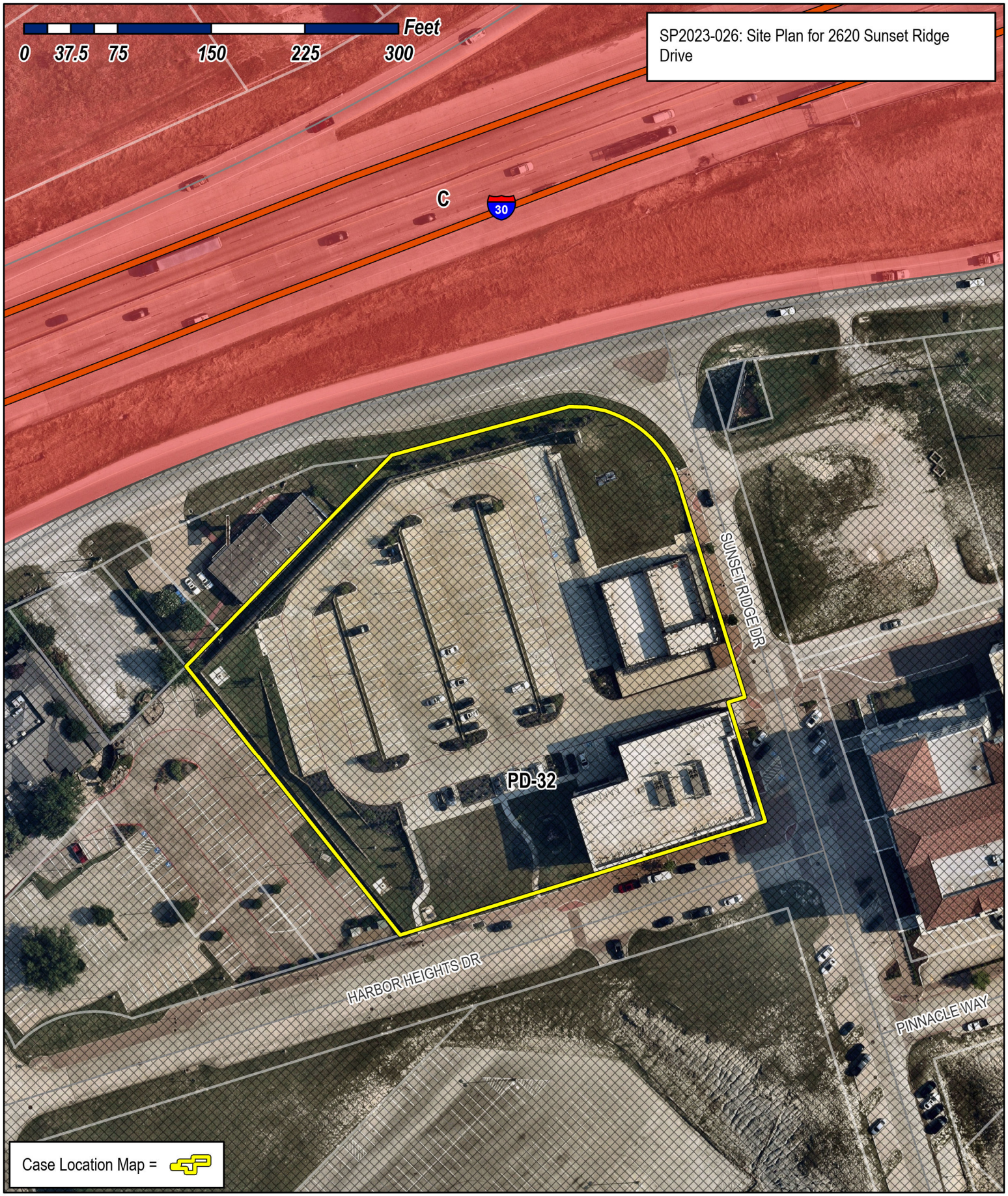
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 *DAY OF* August, 2023.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Avery Lewallen

NOTARY PUBLIC STATE OF TEXAS
AVERY LYN LEWALLEN
Notary ID #133886213
My Commission Expires
August 1, 2026

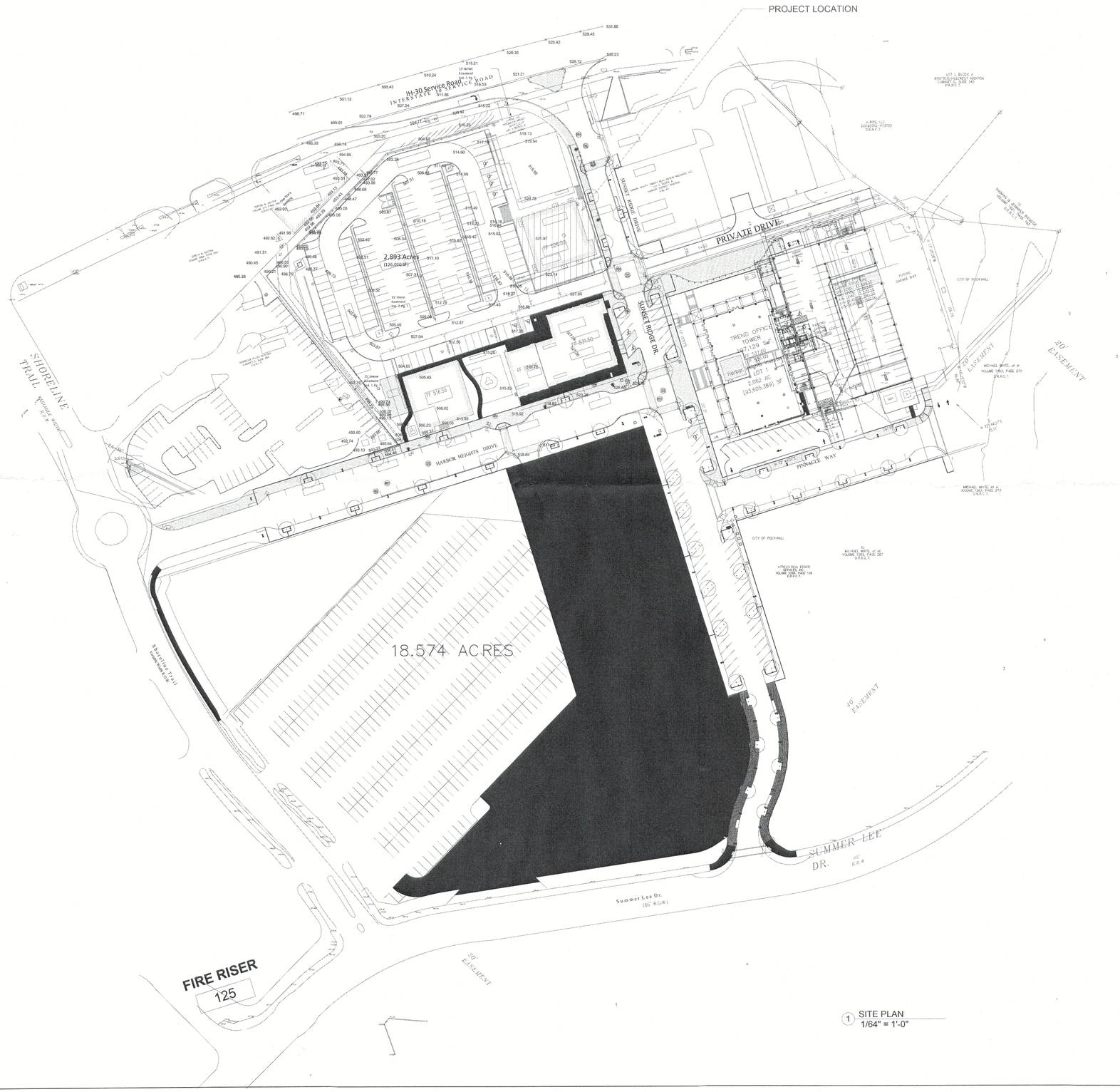
MY COMMISSION EXPIRES August 1, 2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



1 SITE PLAN
1/64" = 1'-0"

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ROCKWALL, TX 75032

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DALLAS, TX 75207
TEL:214-356-4949

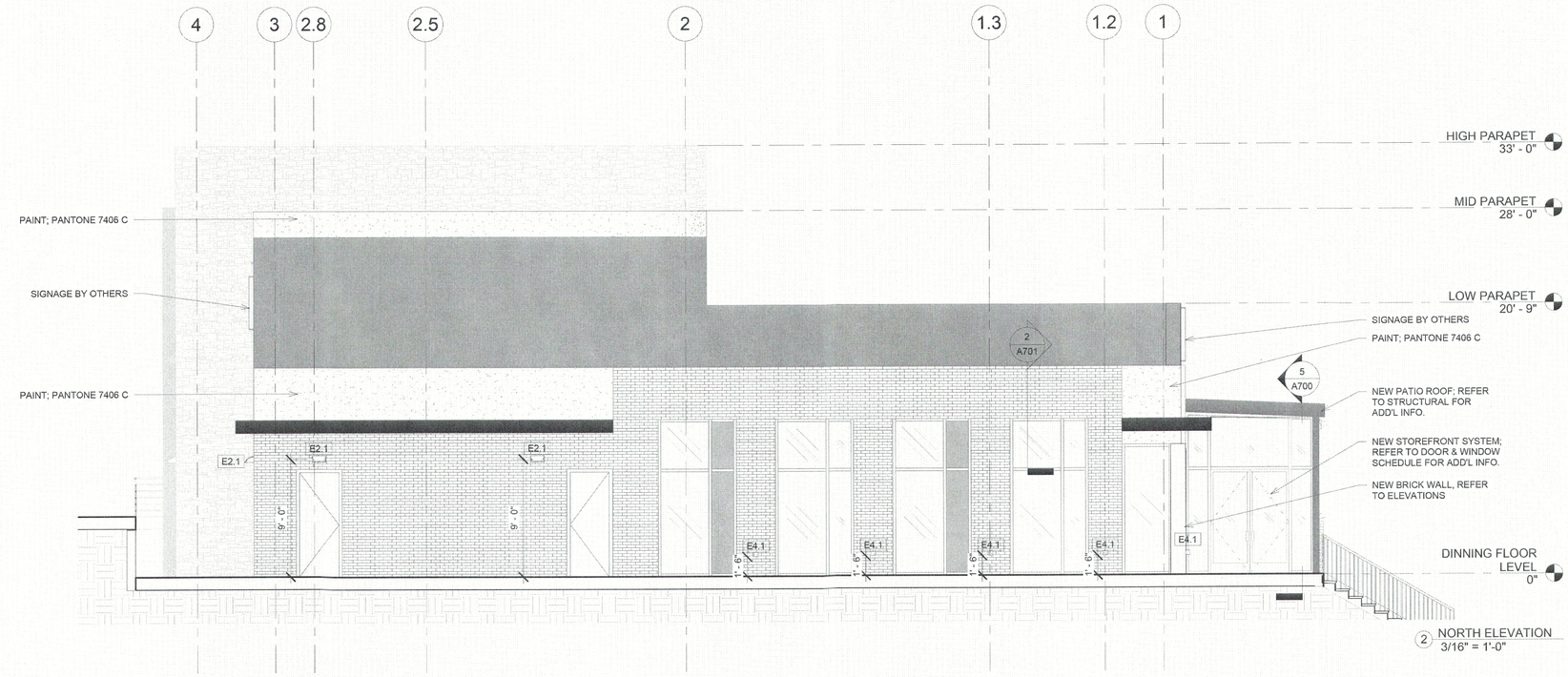
ISSUE:

REVISIONS:

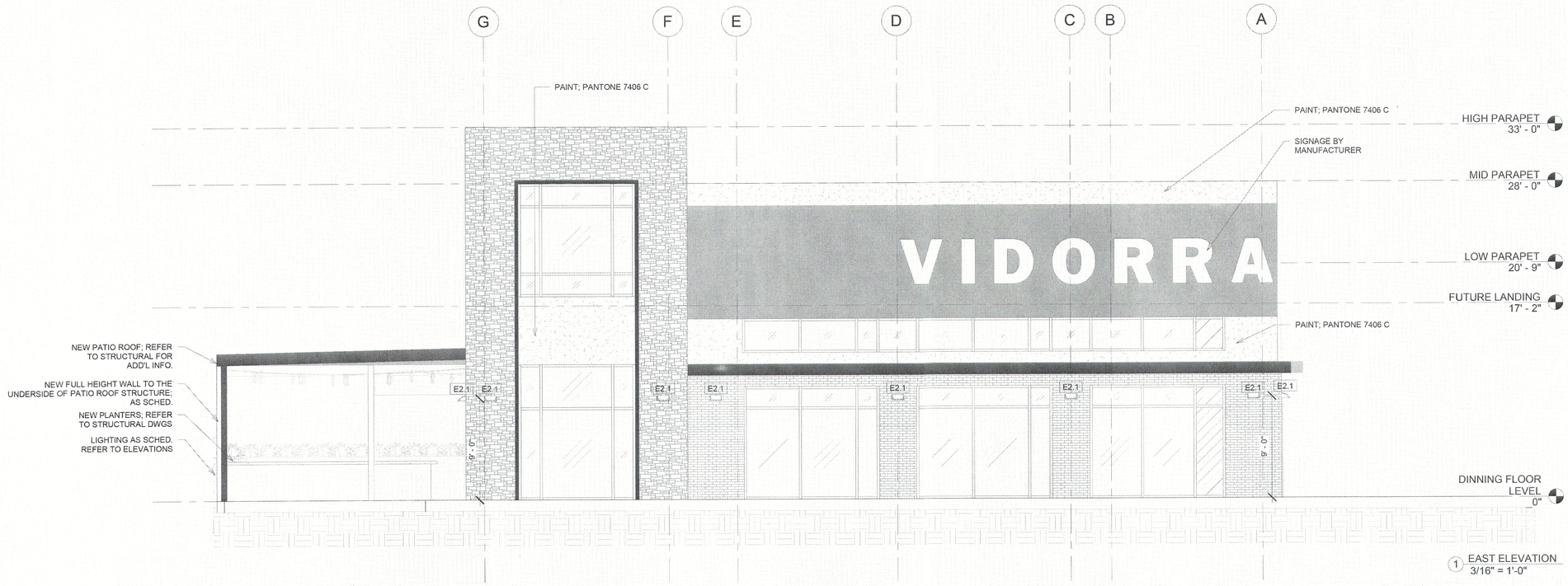
Date 8/18/2023

SITE PLAN

G000.1



2 NORTH ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"

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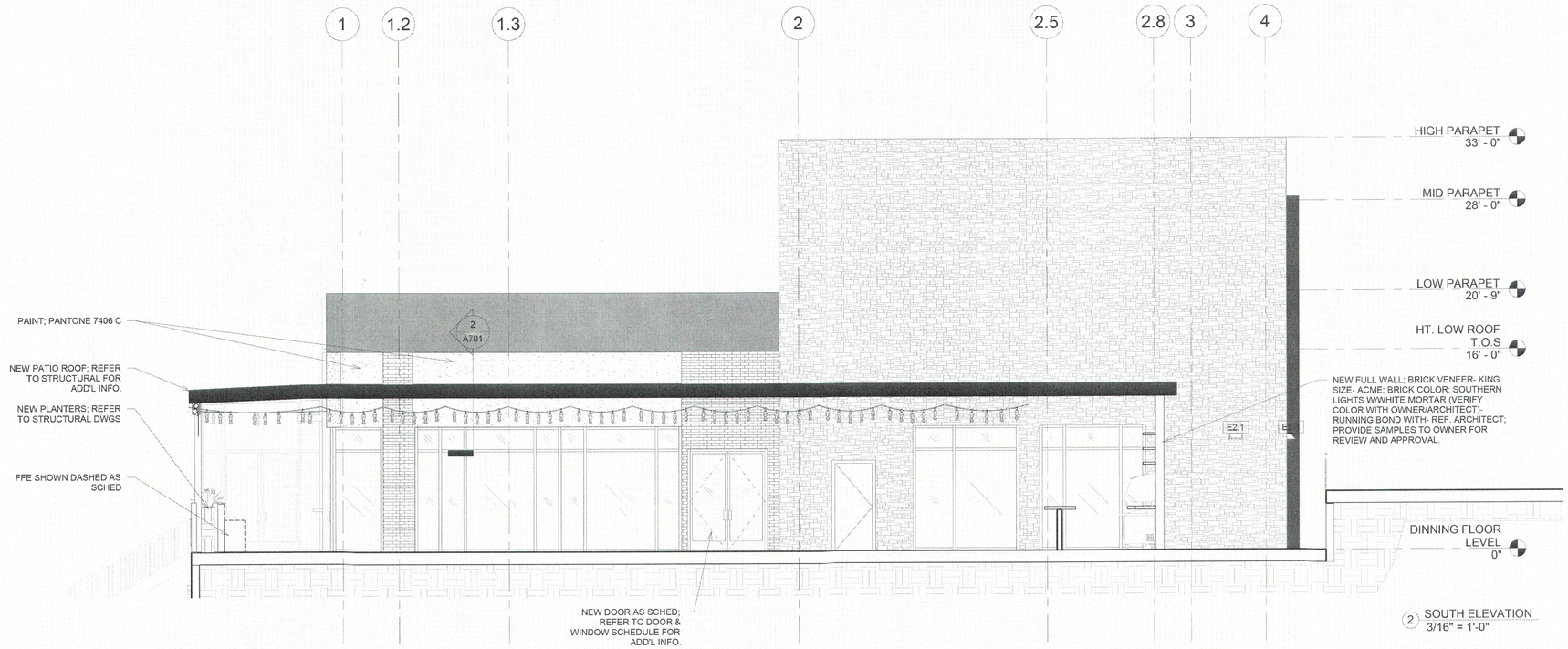
ISSUE:

REVISIONS:

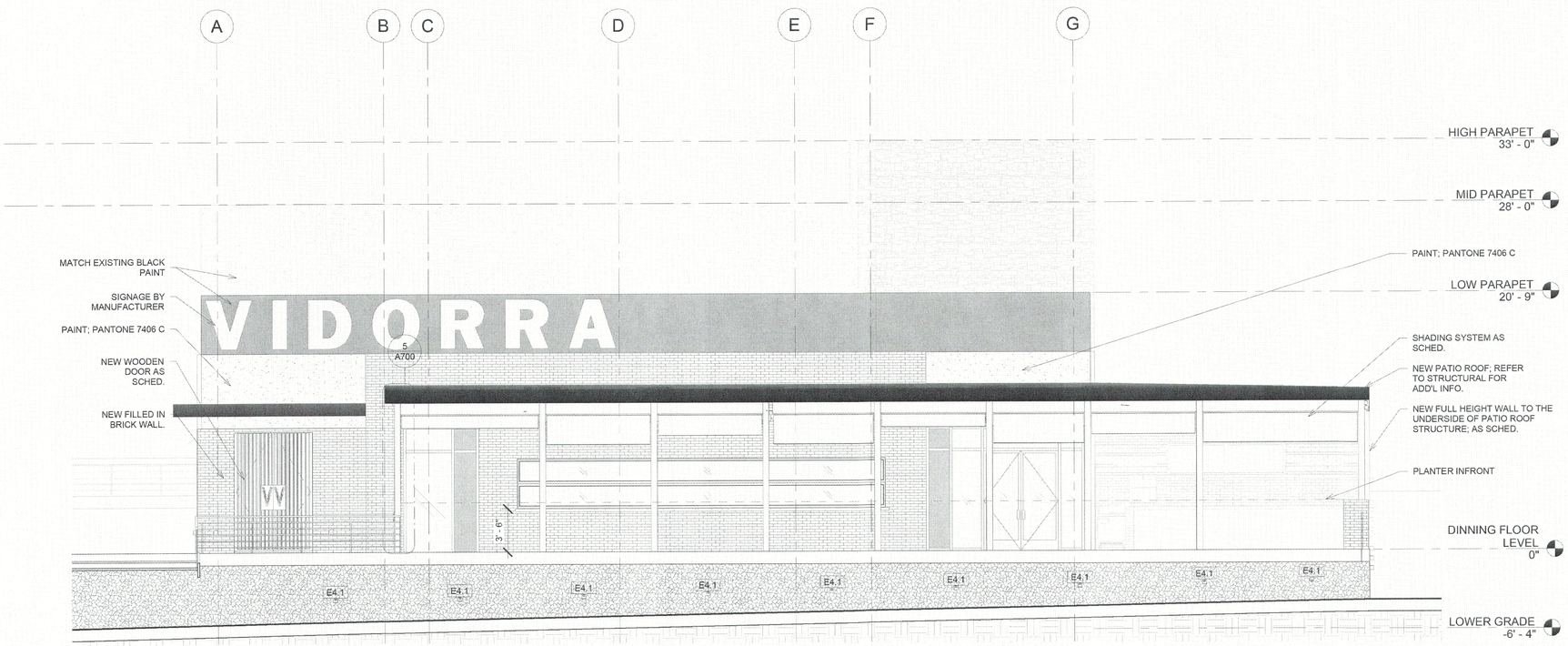
Date 8/18/2

EXTERIOR ELEVATIONS

A200



2 SOUTH ELEVATION
3/16" = 1'-0"



1 WEST ELEVATION
3/16" = 1'-0"

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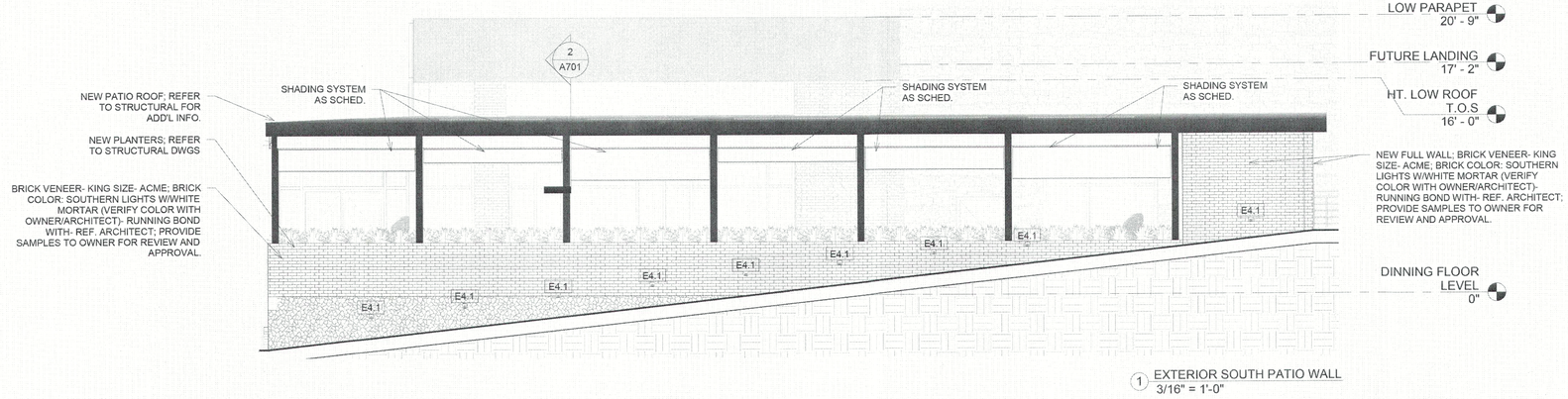
EXTERIOR ELEVATIONS

A201



1 EXTERIOR SOUTH PATIO WALL
3/16" = 1'-0"

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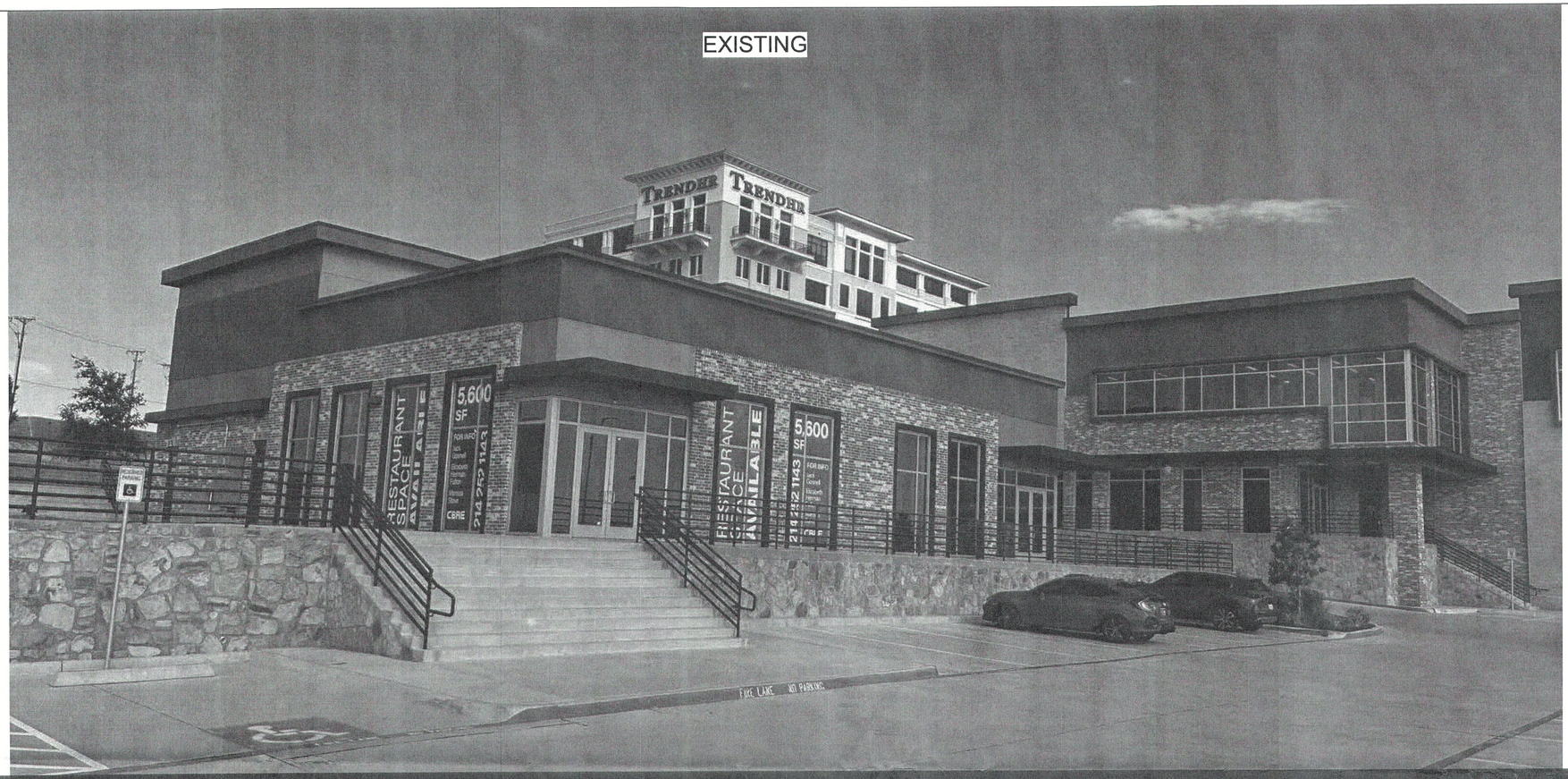
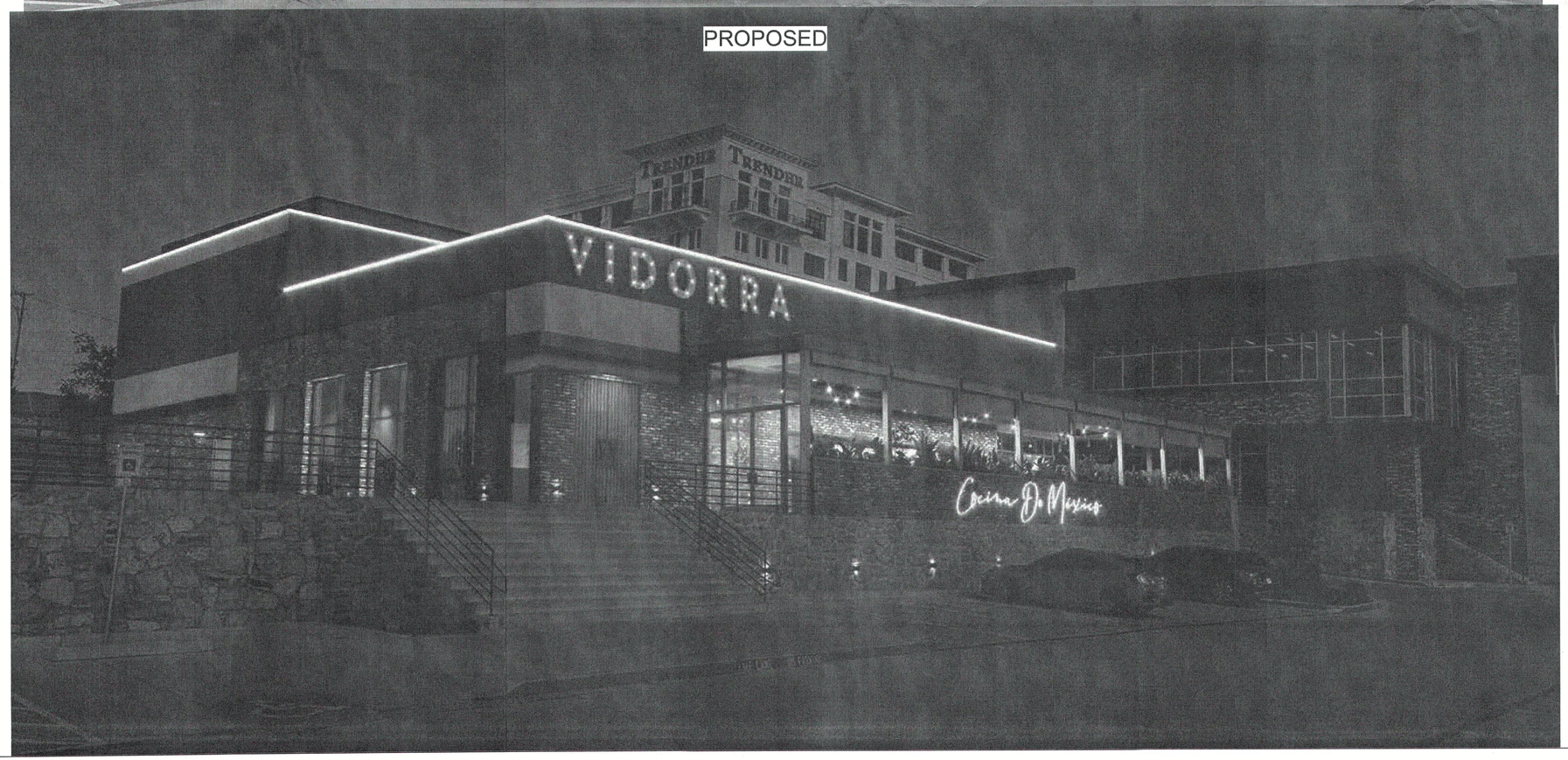
EXTERIOR ELEVATIONS

A202

EXISTING



PROPOSED



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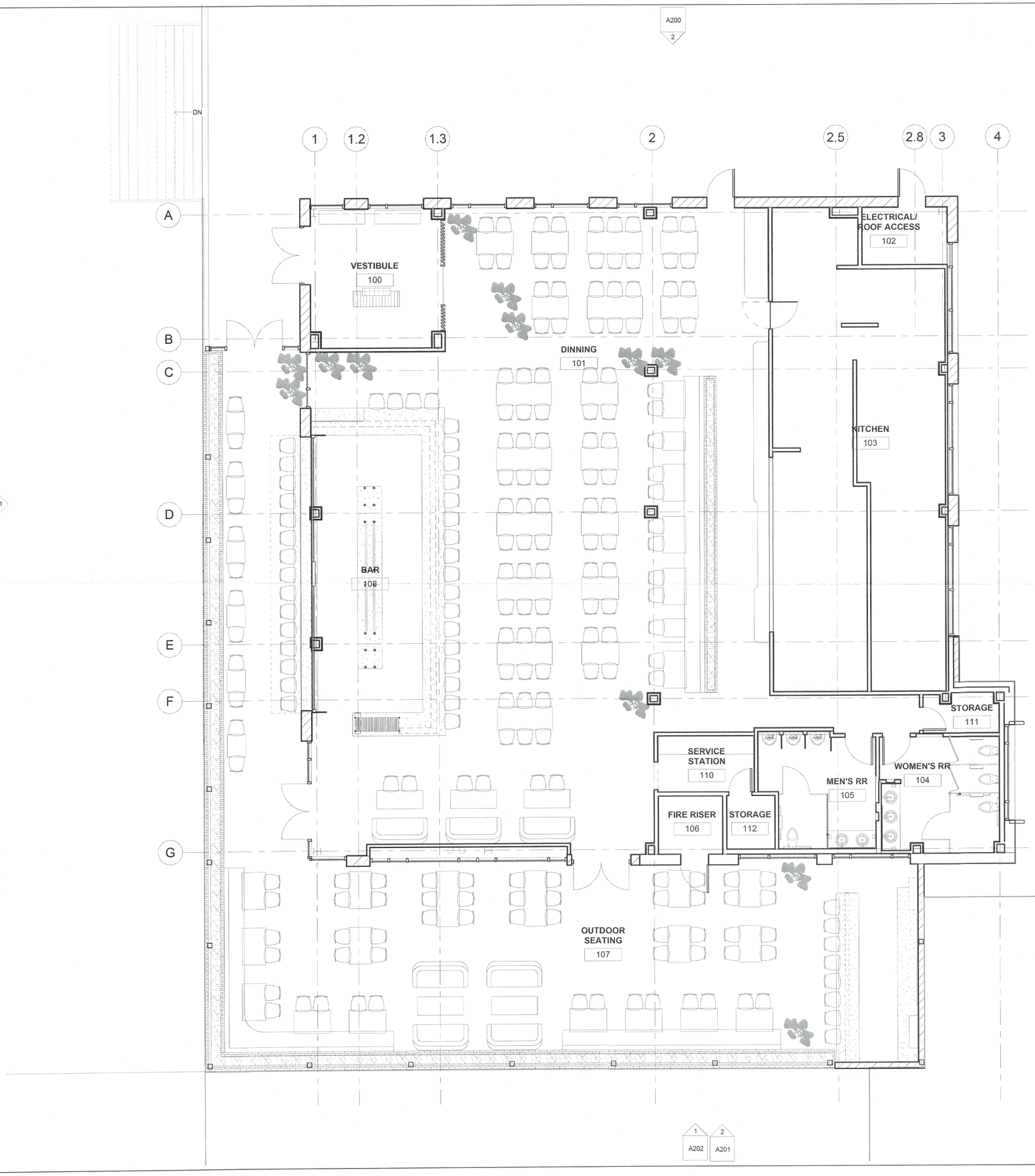
EXISTING AND PROPOSED

G000.2



GENERAL NOTES

THE SCOPE OF THIS WORK IS AN EXTERIOR AND INTERIOR PACKAGE AND INCLUDES INTERIOR WALLS, WALL FRAMING, ROOF AND ALL EXTERIOR ELEMENTS AND SURROUNDING SITE ELEMENTS THAT PERTAIN TO THIS SCOPE FOR THE VIDORRA BUILDING. PLEASE STUDY THESE DOCUMENTS THOROUGHLY PRIOR TO CONSTRUCTION AND PRESENT ALL QUESTIONS IN RFI FORMAT TO 75 DEGREE DESIGN STUDIO. PRESIDING BUILDING CODES TO BE ADHERED UNDER ALL CIRCUMSTANCES.

RFI'S, SUBMITTALS, REQUESTS, AND OTHER COMMUNICATION TO:
KCURTIS@75DESIGNSTUDIO.COM
CC:ERUIZ@75DESIGNSTUDIO.COM

ALL DIMENSIONS TO FACE OF GYPSUM BOARD, UNLESS NOTED OTHERWISE.

ALL METAL STUD FRAMING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. REFER TO WALL SECTIONS FOR ASSEMBLY INFORMATION OF INTERIOR WALLS.

ALL SITE & BUILDING CONDITIONS MUST ADHERE TO THE CURRENT ADA, TAS/TABS REGULATIONS AND STANDARDS INCLUDING SIGNAGE.

ALL EXTERIOR DOORS SHALL NOT EXCEED 8.5 POUNDS OF PRESSURE TO OPERATE.

ALL OPERABLE PARTS, CONTROLS, OF ANY DEVICE NOT TO EXCEED MAXIMUM ADA REACH RANGE OF 48" A.F.F., EXCEPTIONS NOTED PER ADA GUIDELINES AND WITH RESPECT TO HORIZONTAL REACH DISTANCES. ADA REACH RANGE 15" MINIMUM AND 48" MAXIMUM A.F.F.

CONTRACTOR SHALL MAKE NO MATERIAL OR PRODUCT SUBSTITUTIONS WITHOUT SUBMITTING A WRITTEN REQUEST TO 75 DEGREE DESIGN STUDIO.

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ALL FINISH MATERIALS MUST BE SUBMITTED TO 75 DEGREE DESIGN STUDIO FOR REVIEW & APPROVAL.

ALL EQUIPMENT ITEMS SHOWN & REFERENCED ON PLANS SHALL BE INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE.

CONTRACTOR'S RESPONSIBILITY

CONTRACTOR TO PROVIDE FLASHING AT ALL EXTERIOR ENVELOPE PENETRATIONS FOR- BUT NOT LIMITED TO - DOORS, WINDOWS, ROOF PENETRATIONS, ROOF CURBS, THROUGH WALL FLASHING & COUNTER FLASHING WHETHER SHOWN OR NOT SHOWN ON THESE DOCUMENTS, TYPICAL ALL SHEETS.

COMMENCING CONSTRUCTION

CONTRACTOR TO THOROUGHLY STUDY ALL CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. COMMENCING CONSTRUCTION INDICATES AGREEMENT THAT DOCUMENTS HAVE BEEN STUDIED AND ALL QUESTIONS HAVE BEEN ADDRESSED RELATING TO THESE DOCUMENTS.

1 A200

1 FURNITURE PLAN
3/16" = 1'-0"

TRUE NORTH

VIDORR
ROCKWA

2620 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

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75 DEGREE
DESIGN
STUDIO

1408 N RIVERFRONT BLVD
DALLAS, TX 75207
TEL:214-356-4949

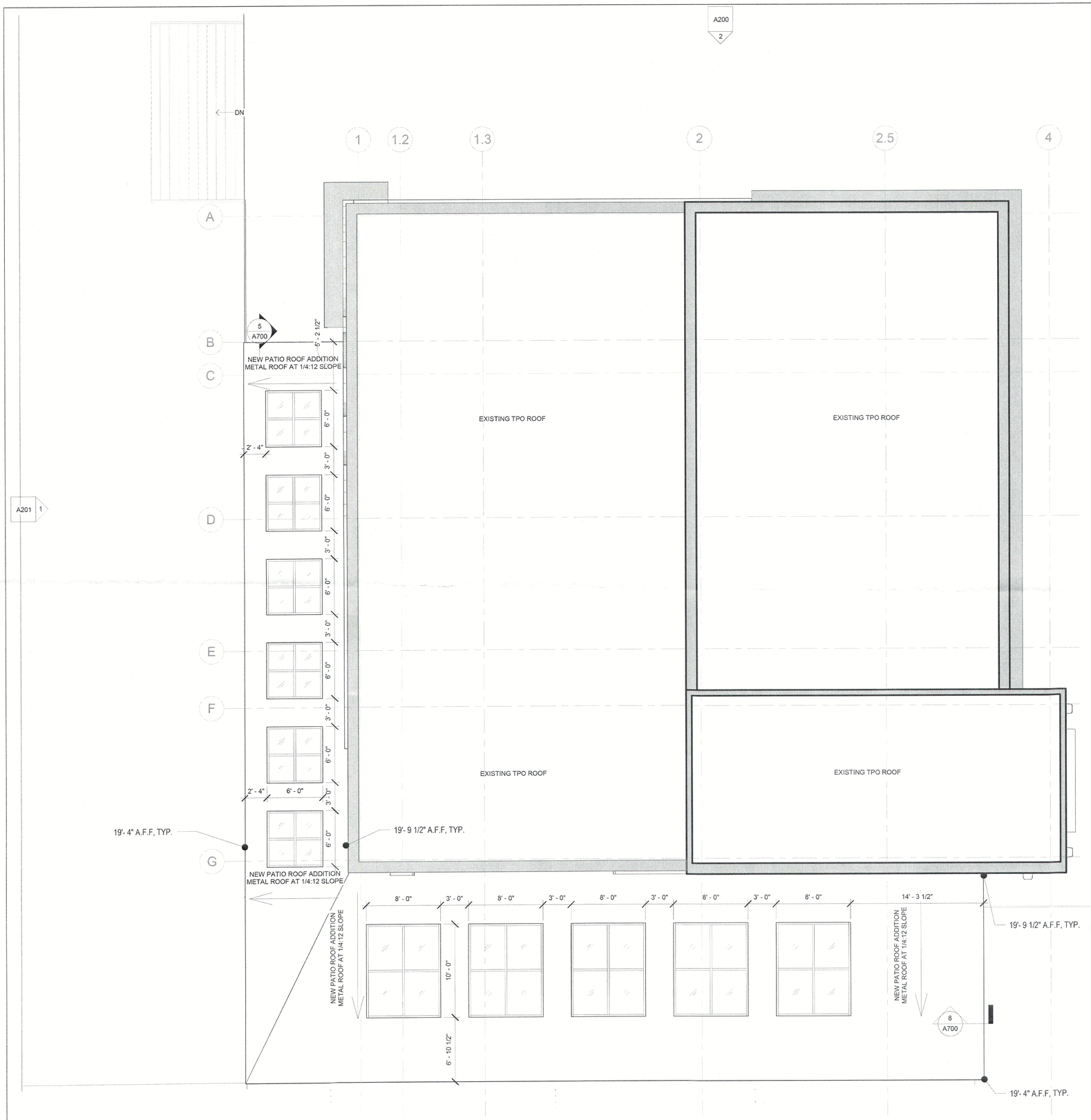
ISSUE:

REVISIONS:

Date 8/

FURNITURE FLO
PLAN

ID100



1 A200

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1 ROOF PLAN
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TRUE NORTH

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DALLAS, TX 75207
TEL:214-356-4949

ISSUE:

REVISIONS:

Date 8/18/2023

ROOF PLAN

A101

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-027
PROJECT NAME: Site Plan for Building 2, 2014-A, Portofino Drive
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an Amended Site Plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC for the approval of an Amended Site Plan for two (2) multi-family apartment buildings on a 6.5995 -acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-027) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Please indicate the dog park as an amenity area on the site plan and landscape plan.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

_____ _____
Planning & Zoning Commission, Chairman Director of Planning and Zoning

M.6 Site Plan:
(1) Please indicate that the dumpster enclosure gates will be self-latching. (Subsection 01.05. B, of Article 05, UDC)

(2) Please indicate the dog park fencing as wrought iron and indicate the height. (Subsection 08.02. F, of Article 08, UDC)

M.7 Landscape Plan:
(1) Please indicate the canopy trees as 4" caliper and not 3" within the landscape table. (Subsection 05.03. B, of Article 08, UDC)
(2) Please provide a note that the irrigation will meet the requirements of the Unified Development Code (Subsection 05.04, of Article 08, UDC)

M.8 Photometric Plan:
(1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
(2) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully shielded. (Subsection 03.03, of Article 07, UDC)

I.9 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:
1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Why is this clouded? Is there a revisions?
2. Are there covers over all of these parking spaces?

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved w/ Comments

08/22/2023: The carport cover shall not extend into the fire lane easement in any manner.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved w/ Comments

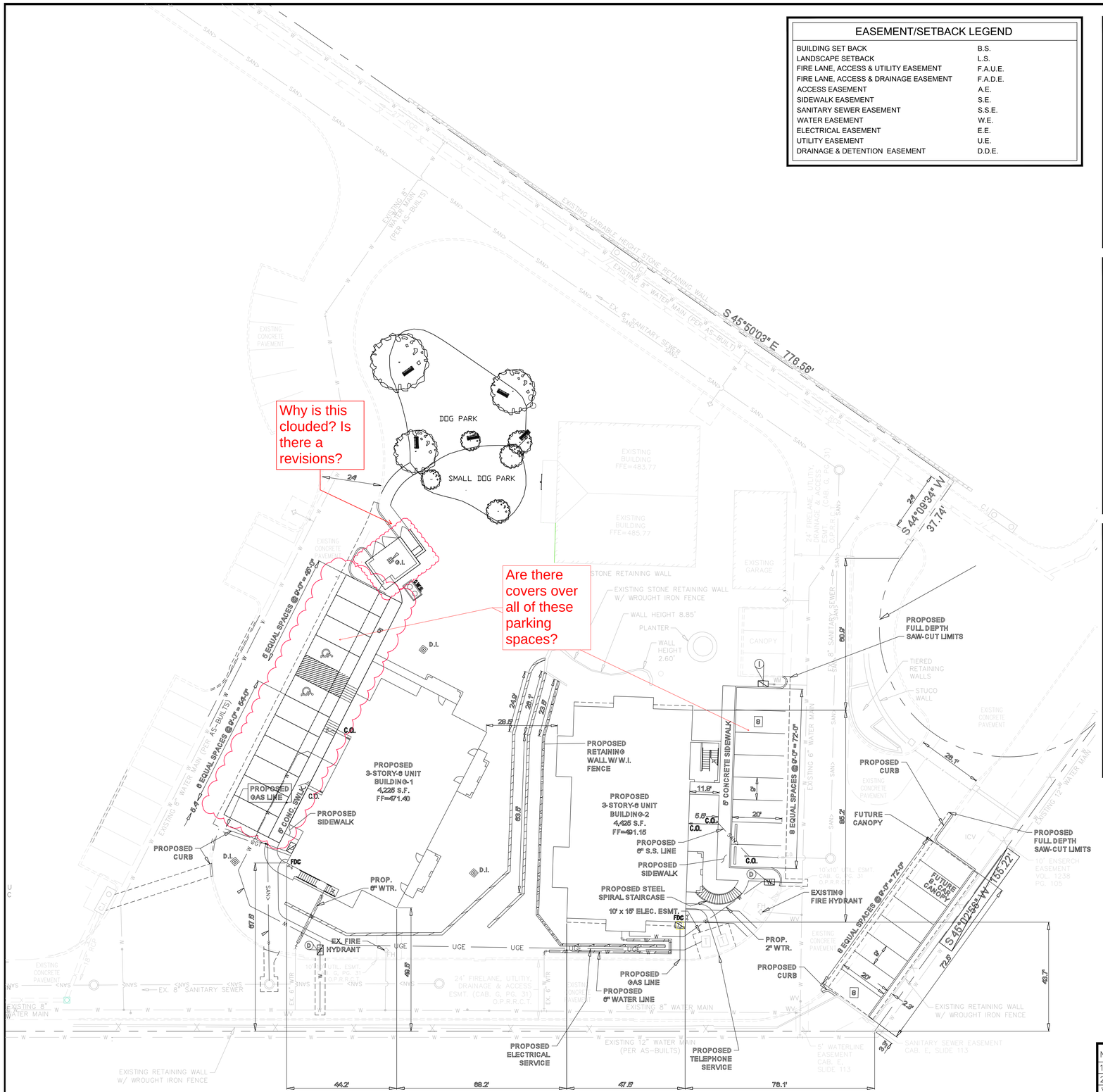
08/21/2023: Shell address is 2014-B PORTOFINO DR, ROCKWALL, TX 75032
Unit numbers are 2028,2030,2032,2034,2036,2038 PORTOFINO DR, ROCKWALL, TX 75032

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

08/21/2023: 1. Live Oak species trees must be 4: caliper minimum
2. Dog Park must adhere to Municipal Code / Chapter 6



EASEMENT/SETBACK LEGEND

BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

EXISTING LEGEND

- 3/8" IR FOUND
- 1/2" IR FOUND
- 1/2" IP FOUND
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- GAS METER
- IRRIGATION VALVE
- LIGHT POLE
- SAN. SEW. CO.
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- STONE COLUMN
- STORM DRAIN MH.
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- WATER VALVE
- ASPHALT
- BARBED WIRE FENCE
- BOUNDARY
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- BUILDING WALL
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- CONCRETE
- COVERED AREA
- EASEMENT
- FIRE LANE STRIPE
- GRAVEL
- GUY WIRE ANCHOR
- HANDICAP SPACE
- HIGHBANK LINE
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- OHU — OVERHEAD UTILITY LINE
- PARKING STRIPE
- PIPE RAIL FENCE
- RETAINING WALL
- STONE
- TILE
- WOOD DECK
- WOOD FENCE

SITE DATA SUMMARY TABLE

PHYSICAL ADDRESS	PORTOFINO DRIVE
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TOTAL PARKING SPACES PROVIDED = 27	
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- SAW-CUT LINE
- FENCE
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NOTE: TREES TO BE 5' AWAY FROM PUBLIC UTILITY LINES LESS THAN 10".
TREES TO BE 10' AWAY FROM PUBLIC UTILITY LINES THAT ARE 10" OR GREATER.

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ OF _____, 2020.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

NO.	DATE	DESCRIPTION	BY
1	11/25/2019	1st CITY SUBMITTAL	KP
2	01/16/2020	2nd CITY SUBMITTAL	KP
3	05/13/2020	3rd CITY SUBMITTAL	KP
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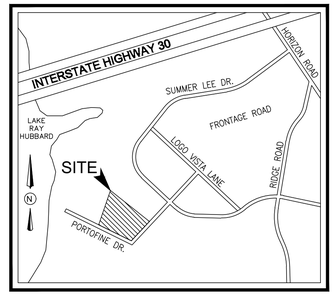
STATE OF TEXAS — KARTAVYA S. PATEL — 97534 — LICENSED PROFESSIONAL ENGINEER
09/04/2020

0 20 40 Feet



VICINITY MAP
N.T.S.

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.

2. A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.

3. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.

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5. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.

6. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.

7. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.

8. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.

9. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

WATER METER & SANITARY SEWER SCHEDULE

ID	TYPE	SIZE	NO.	SAN. SEW.
(D)	DOM.	1 1/2"	2	6"
(I)	IRR.	1"	1	N/A

SP2019-049

SITE PLAN

WATER'S EDGE AT LAKE RAY HUBBARD
PORTOFINO DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC
T: 469.331.8566 F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013
Planning | Civil Engineering | Construction Management

DESIGN	DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	MLM	11/7/2019	SEE SCALE BAR	040-19	3

TX PE FIRM #11525

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☑ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	BUILDING 2, 2014-A, PORTOFINO DR, ROCKWALL TX 75032				
SUBDIVISION	WATERS EDGE AT LAKE RAY HUBBARD	LOT	1	BLOCK	A
GENERAL LOCATION	SUMMER LEE AND PORTOFINO DRIVE				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-22		CURRENT USE	CONDOMINIUMS	
PROPOSED ZONING			PROPOSED USE	CONDOMINIUMS.	
ACREAGE	6.5995	LOTS [CURRENT]	85	LOTS [PROPOSED]	85

☑ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☑ OWNER	PLUTUS 21 DEVELOPMENT IV	☐ APPLICANT	
CONTACT PERSON	DANIYAL AWAN	CONTACT PERSON	
ADDRESS	11455 NEWKIRK ST # 1405	ADDRESS	
CITY, STATE & ZIP	DALLAS TX 75229	CITY, STATE & ZIP	
PHONE	469 853 6007	PHONE	
E-MAIL	dm@plutus21.dev	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniyal Awan [*OWNER*] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100.00 *TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE* 18th *DAY OF* AUGUST, 20 23 *BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18th *DAY OF* August, 2023.

BLAIR CHRISTINE JENNINGS
NOTARY PUBLIC, STATE OF TEXAS
Notary Public, State of Texas
Comm. Expires 03-02-2026
Notary ID 133621400

OWNER'S SIGNATURE

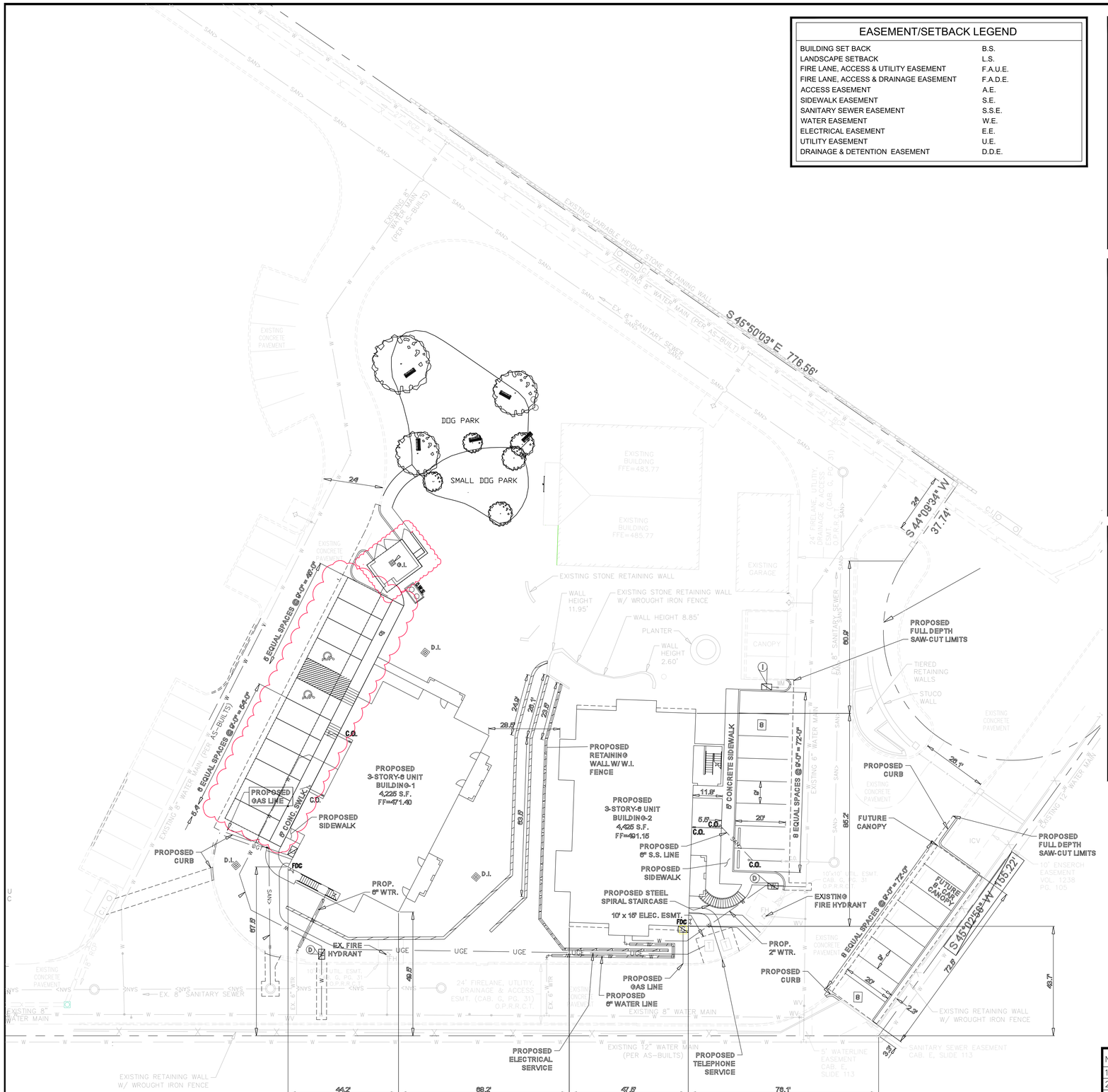
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Blair Christine Jennings *MY COMMISSION EXPIRES* 3-2-2026



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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STATE OF TEXAS — KARTAVYA S. PATEL — 97534 — LICENSED PROFESSIONAL ENGINEER
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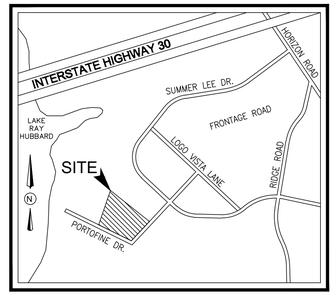

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(I)	IRR.	1"	1	N/A

SP2019-049

SITE PLAN

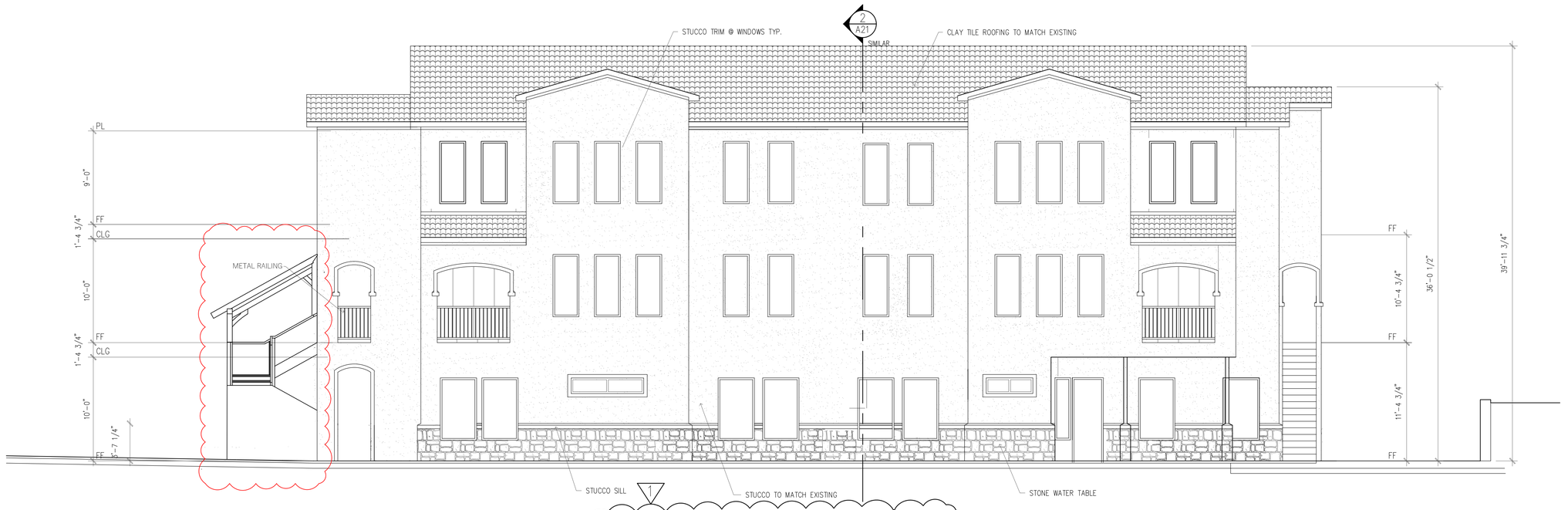
WATER'S EDGE AT LAKE RAY HUBBARD
PORTOFINO DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC
T: 469.331.8566 F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013
Planning | Civil Engineering | Construction Management

DESIGN	DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	MLM	11/7/2019	SEE SCALE BAR	040-19	3

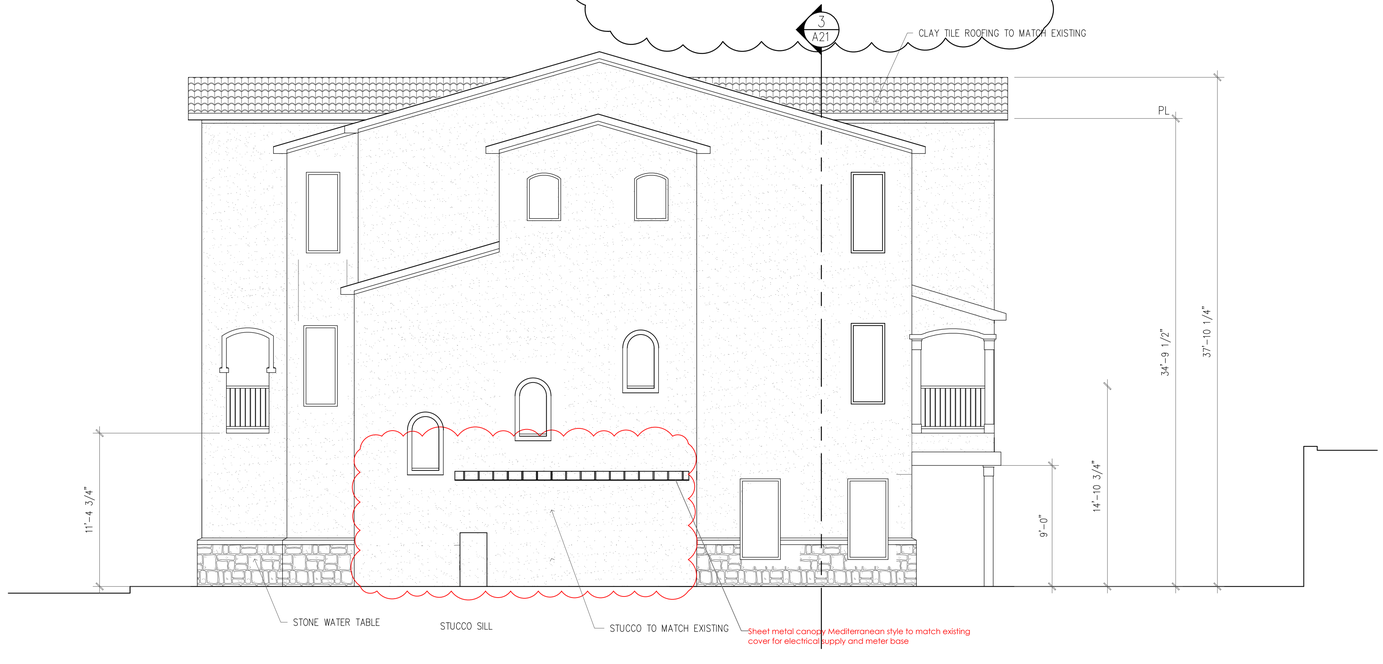
TX PE FIRM #11525

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



NORTH ELEVATION

100% MASONRY 10% STONE 90% STUCCO



WEST ELEVATION

100% MASONRY 9% STONE 91% STUCCO

NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS.
THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER
PLUTUS21 DEVELOPMENT
6116 N. CENTRAL EXPWY #700
DALLAS, TEXAS 75206

CASE #SP2020-000

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MEDICAL COMMERCIAL CHURCHES
RESIDENTIAL RESTAURANTS INSTITUTIONAL
MERSHAWN ARCHITECTS
2015 EAST INTERSTATE 30
ROCKWALL, TEXAS 75087
PHONE: 972-722-9302
FAX : 972-249-2081

No.	Date	Revision	By
1	11.30.20	REV PER CITY COMMENTS	
1	04/21/2023	ELEVATIONS	Hana Khurshid

REGISTERED ARCHITECT WAYNE MERSHAWN 11628 STATE OF TEXAS
10-20-2020

PLUTUS 21
WATER'S EDGE AT LAKE RAY HUBBARD

EXTERIOR ELEVATIONS

Scale:	3/16" = 1'-0"
Date:	04/21/2023
Project No.:	
Designed:	GW
Drawn:	GW
Checked:	WM

SHEET A4 OF 26

CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.



SOUTH ELEVATION

100% MASONRY 10% STONE 90% STUCCO



EAST ELEVATION

100% MASONRY 9% STONE 91% STUCCO

NOTE: ALL NEW BUILDING ELEVATIONS SHALL MATCH COLORS TO THE EXISTING SURROUNDING BUILDINGS.
THIS BUILDING HAS SIX INDIVIDUAL LIVING UNITS.

PRICING & CONSTRUCTION GENERAL NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

OWNER
PLUTUS21 DEVELOPMENT
6116 N. CENTRAL EXPWY #700
DALLAS, TEXAS 75206

CASE #SP2020-000

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2015 EAST INTERSTATE 30
ROCKWALL, TEXAS 75087
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No.	Date	Revision	By
1	04/21/2023	ELEVATIONS	Hana Khurshid

REGISTERED ARCHITECT WAYNE MERSHAWN 11628 STATE OF TEXAS
10-20-2020

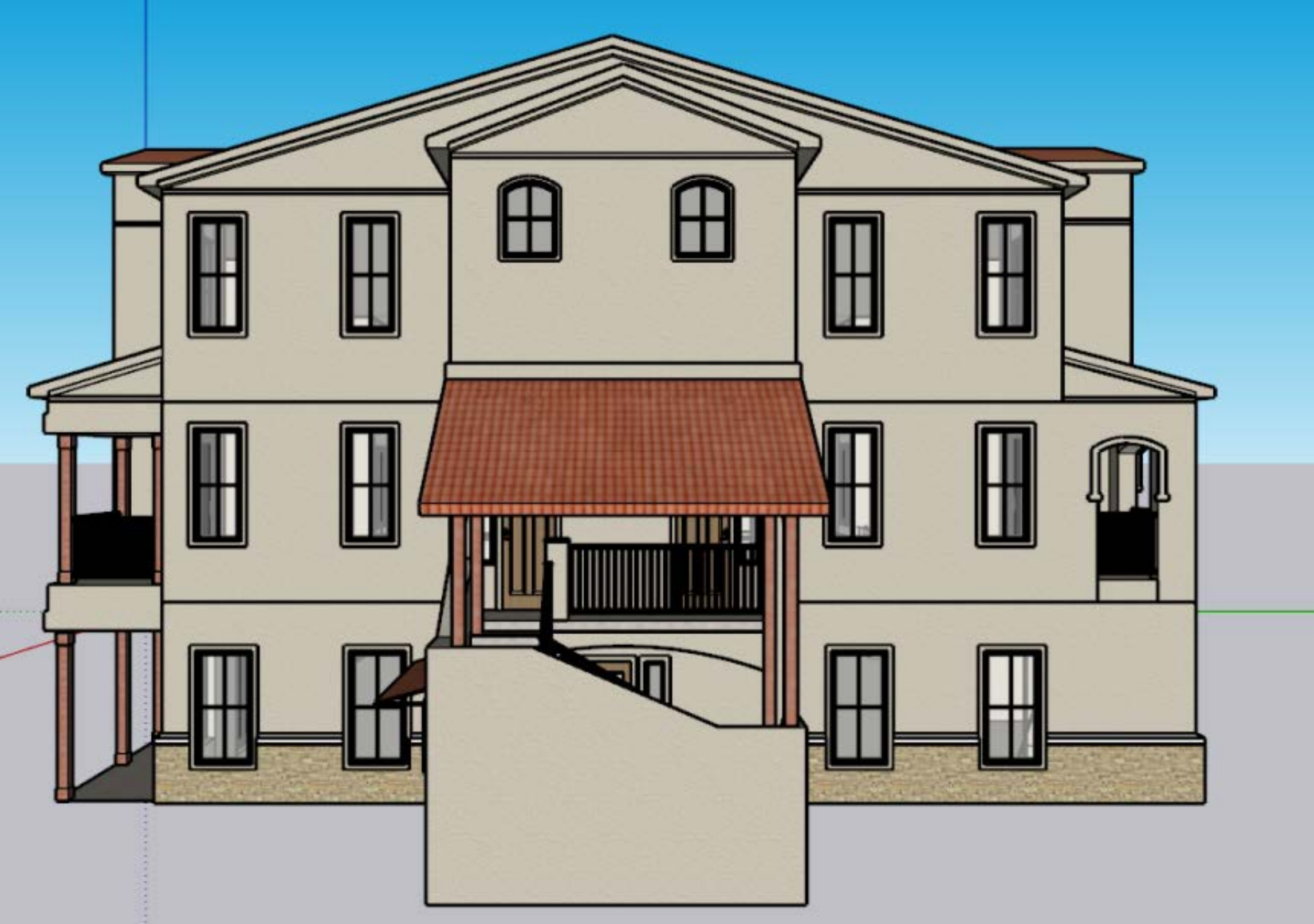
PLUTUS 21
WATER'S EDGE AT LAKE RAY HUBBARD

EXTERIOR ELEVATIONS

Scale:	3/16" = 1'-0"
Date:	04/21/2023
Project No.:	190602
Designed:	GW
Drawn:	GW
Checked:	WM

SHEET A5 OF 26

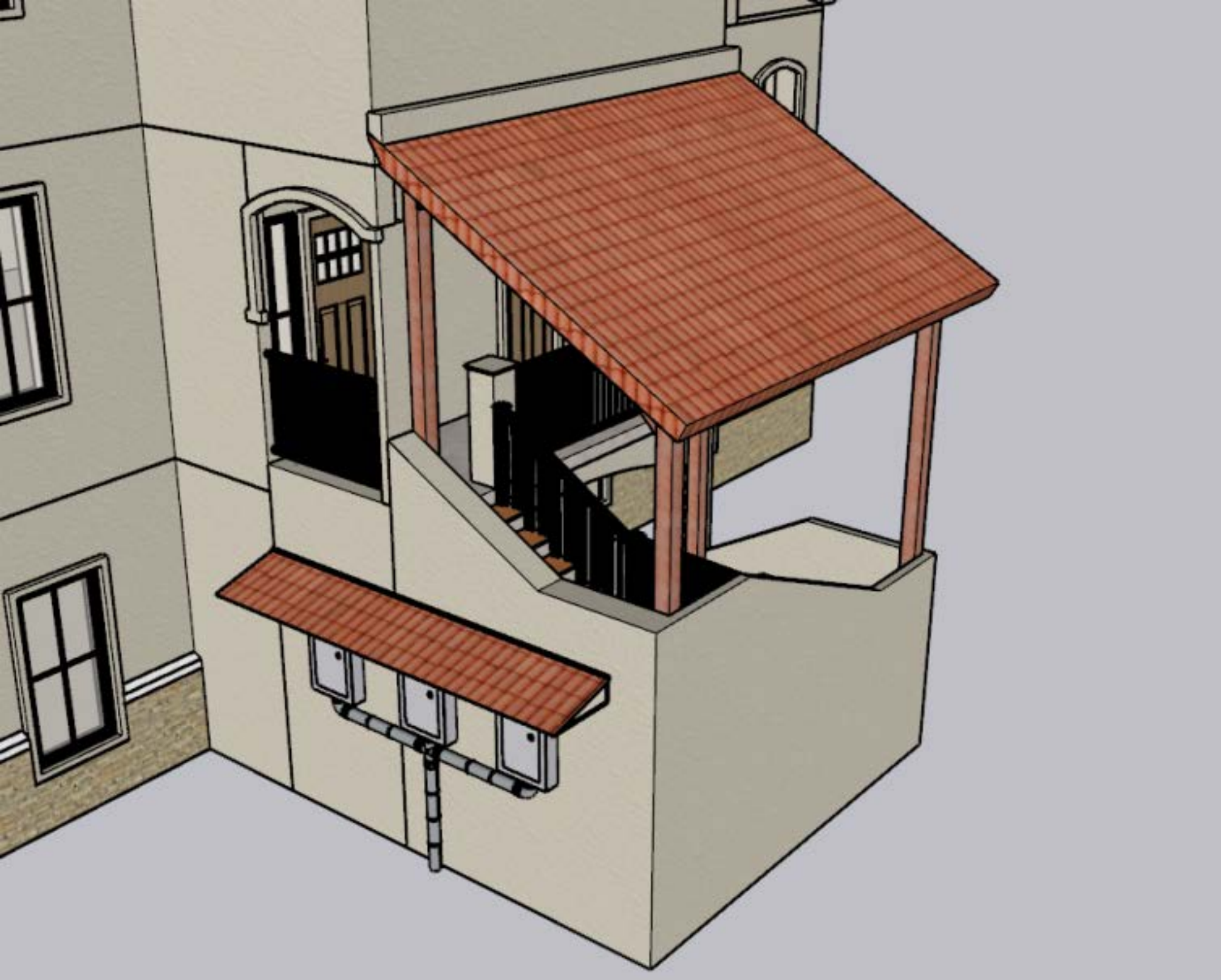


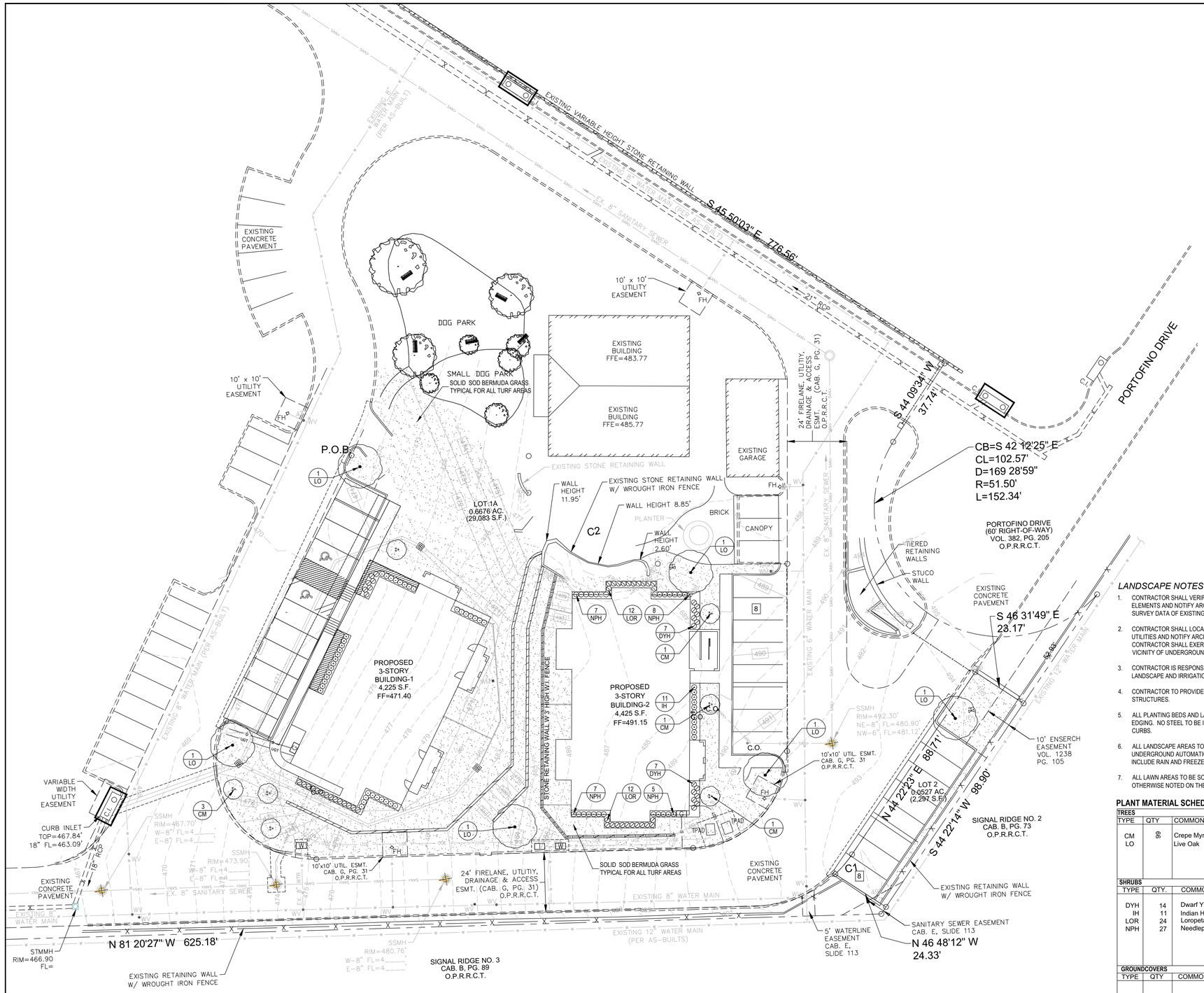


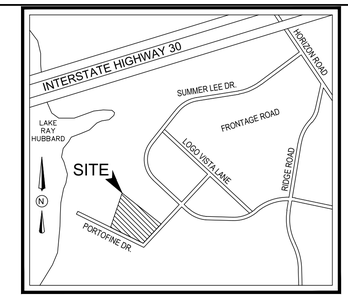












VICINITY MAP
N.T.S.

GENERAL LAWN NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. *ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.*
6. *ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION*
7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

PLANT MATERIAL SCHEDULE

TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES					
CM	99	Crepe Myrtle 'Dallas Red'	*Lagerstroemia indica 'Dallas Red'*	6' ht,	container, 3 or 5 trunks, 4' spread min.,tree form
LO		Live Oak	*Quercus virginiana*	3" cal.	container, 13' ht., 5' spread, 5' clear straight trunk k
SHRUBS					
DYH	14	Dwarf Yaupon Holly	*Ilex vomitoria 'nana'*	5 gal.	container, 18" ht., 18" spread
IH	11	Indian Hawthorn 'Clara'	*Rhaphiolepis indica 'clara'*	5 gal.	container, 20" ht., 20" spread
LOR	24	Loropetalum 'Ruby'	*Loropetalum chinensis 'Ruby'*	5 gal.	container, 20" ht., 20" spread
NPH	27	Needlepoint Holly	*Ilex cornuta "Needlepoint'*	5 gal.	container , 24" ht., 20" spread
GROUNDCOVERS					
		'419' Bermudagrass	*Cynodon dactylon '419'*		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

01 LANDSCAPE PLAN
SCALE 1"=20'-0"
0 10 20 40

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.C

CHRISTOPHER D. CROSBY 2042 REGISTERED LANDSCAPE ARCHITECT STATE OF TEXAS
11.21.2019

WATER'S EDGE AT LAKE RAY HUBBARD

PORTOFINO DRIVE
ROCKWALL, TEXAS

ISSUE:
FOR APPROVAL 11.21.2019

DATE:
11.21.2019

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:
L.1

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.

B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.

C. Texas Association of Nurserymen, Grades and Standards.

D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.

B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.

C. Product Data: Submit complete product data and specifications on all other specified materials.

D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.

E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
   a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
   b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
   c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work

B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

C. Selection of Plant Material:

1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

A. Delivery:

1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.
7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.

B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.

D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.

E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter, Measured six (6") inched above ball.
Nomenclature conforms to the customary nursery usage: for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
2. Physical properties as follows:
   Clay – between 7-27 percent
   Silt – between 15-25 percent
   Sand – less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.

C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.

F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.

B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.

B. Staking Material for Shade Trees:

1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint green.
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum ½ inch inside diameter. Color: Black.

C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.

D. Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

B. All planting areas shall be conditioned as follows:

1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

C. Position the trees and shrubs in their intended location as per plan.

D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.

E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

F. Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants should be thoroughly moist before removing containers.

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect.

I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball, as well as all nylon, plastic string and wire mesh. Container trees will usually be pot bound, if so follow standard nursery practice of 'root scoring'.

J. Do not wrap trees.

K. Do not over prune.

L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.

M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure tree against seasonal prevailing winds.

P. Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by National Arborist Association.

1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.
2. Pruning shall be done with clean, sharp tools.
3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material

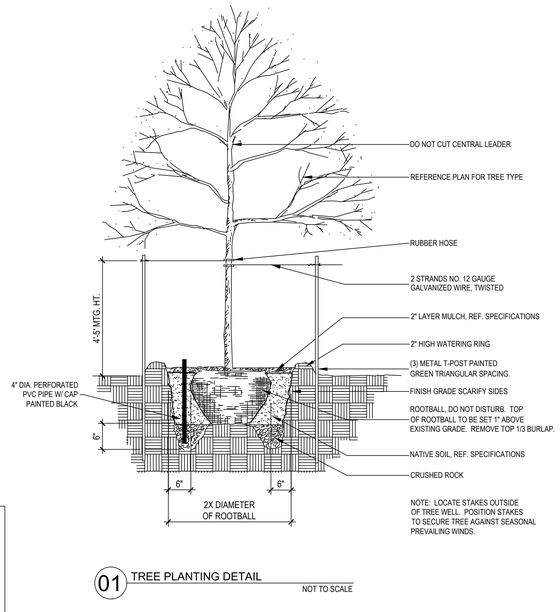
Q. Steel Curbing Installation:

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
2. All steel curbing shall be free of kinks and abrupt bends.
3. Top of curbing shall be 3/4" maximum height above grade.
1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
2. Do not install steel edging along sidewalks.
3. Cut steel edging at 45 degree angle where edging meets sidewalk.

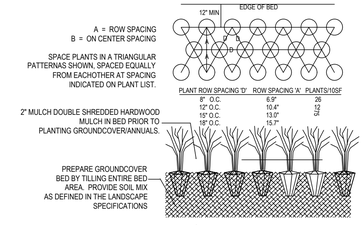
3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

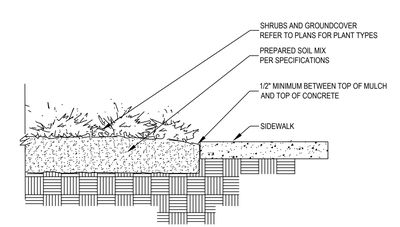
END OF SECTION



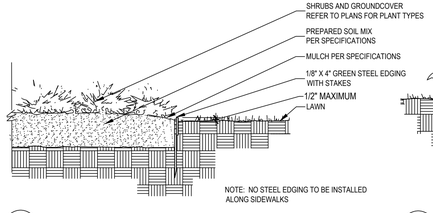
01 TREE PLANTING DETAIL — NOT TO SCALE



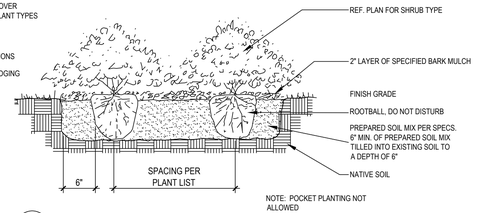
02 GROUNDCOVER PLANTING DETAIL — NOT TO SCALE



03 SIDEWALK / MULCH DETAIL — no steel along sidewalks — NOT TO SCALE



04 STEEL EDGING DETAIL — NOT TO SCALE



05 SHRUB PLANTING DETAIL — NOT TO SCALE

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM

CHRISTOPHER A. KOTTKE — 204.2 — REGISTERED LANDSCAPE ARCHITECT — STATE OF TEXAS

11.21.2019

WATER'S EDGE AT LAKE RAY HUBBARD

PORTOFINO DRIVE
ROCKWALL, TEXAS

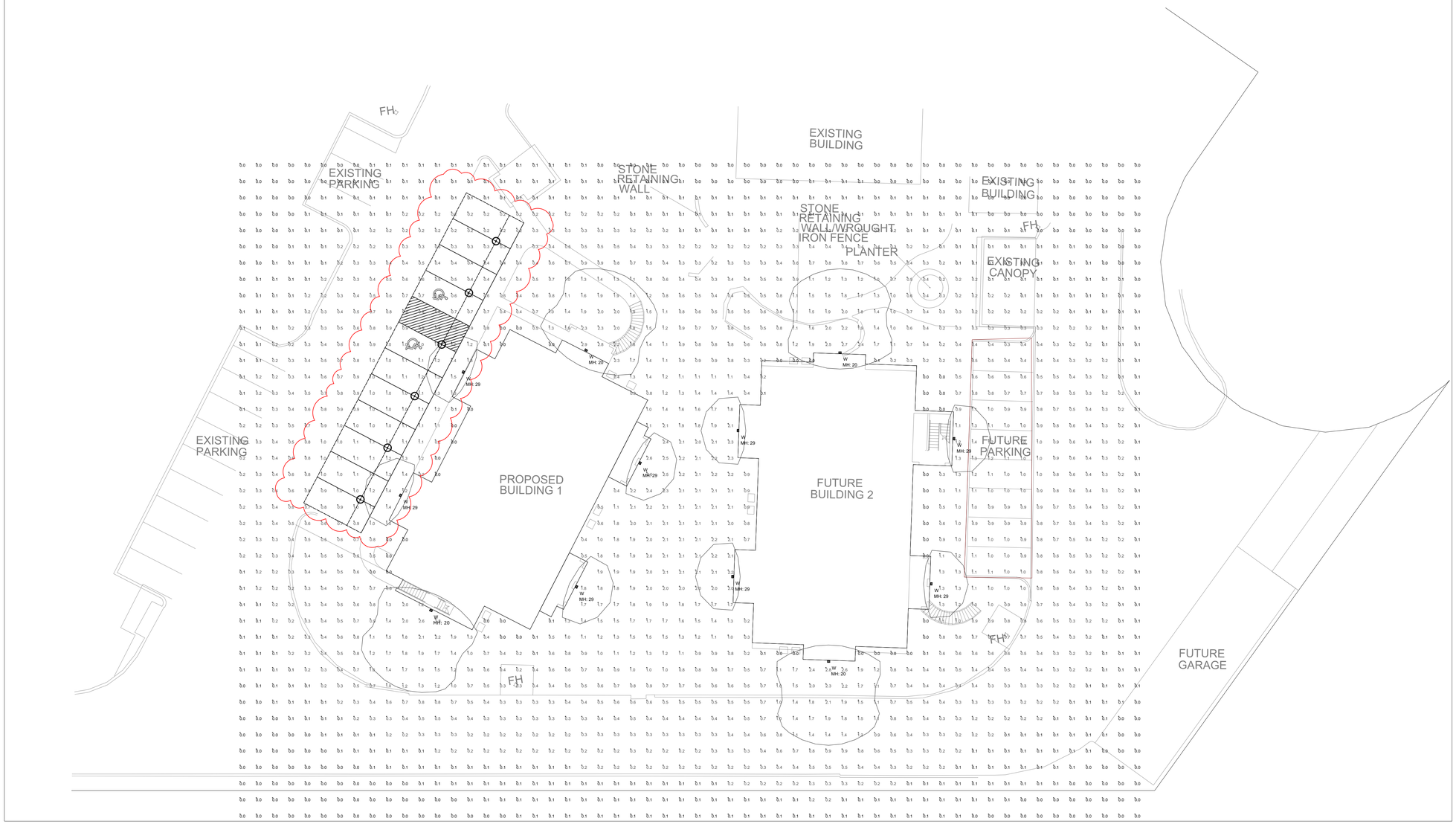
ISSUE:
FOR APPROVAL 11.21.2019

DATE:
11.21.2019

SHEET NAME:
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L.2



Luminaire Schedule								
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
▫	W	12	LITHONIA WDGE2 LED P3 40K 80CRI VW VOLTAGE MOUNTING FINISH	3214	22.55	1.000	0.808	1.000
⊙		6	LUXRITE LED Canopy Light LED 28W 3CCT 3000K	3360	28		0.70	1.000

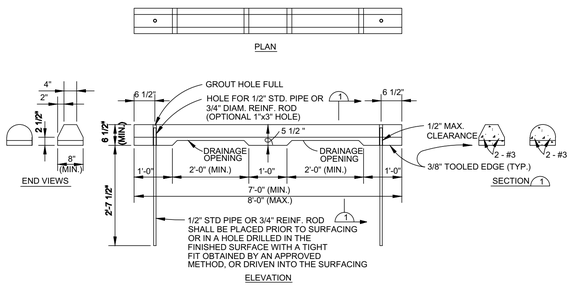
Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.53	2.9	0.0	N.A.
PARKING1		Fc	0.83	1.4	0.1	8.30
PARKING2		Fc	0.90	1.4	0.3	3.00

PARKING1

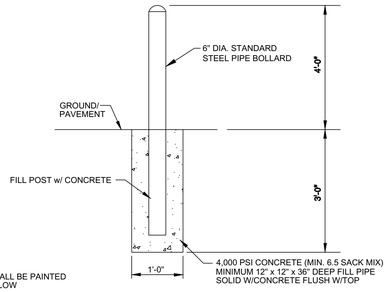
Illuminance (Fc)
Average = 0.83
Maximum = 1.4
Minimum = 0.1
Avg/Min Ratio = 8.30
Max/Min Ratio = 14.00

PARKING2

Illuminance (Fc)
Average = 0.90
Maximum = 1.4
Minimum = 0.3
Avg/Min Ratio = 3.00
Max/Min Ratio = 4.67

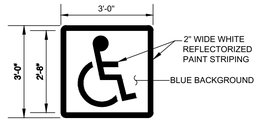


PRECAST CONCRETE WHEEL STOP DETAIL
N.T.S.



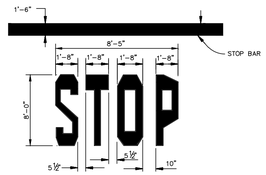
NOTE:
1. ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

PIPE BOLLARD DETAIL
N.T.S.



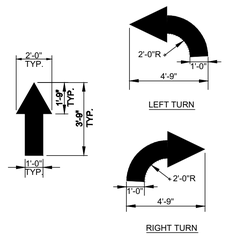
NOTES:
1. STENCIL ONE SYMBOL ONTO PARKING SURFACE IN EACH ACCESSIBLE STALL.
2. LOCATE PER ACCESSIBLE PARKING STALL DETAIL(S)
3. ALL LINES 2" WIDE PAINTED ON WHITE ON BLUE BACKGROUND.

ACCESSIBLE PARKING EMBLEM DETAIL
N.T.S.



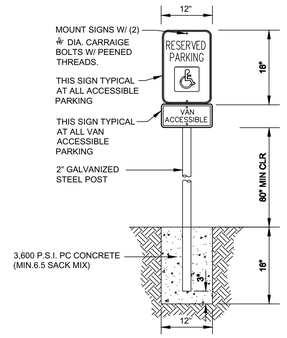
NOTE:
STOP BAR TO BE SOLID YELLOW REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.

STOP BAR DETAIL
N.T.S.

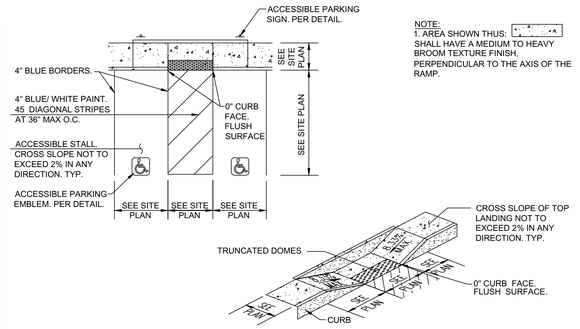


NOTE:
ALL TRAFFIC FLOW ARROWS TO BE SOLID YELLOW REFLECTIVE TRAFFIC PAINT PER DIMENSIONS ABOVE.

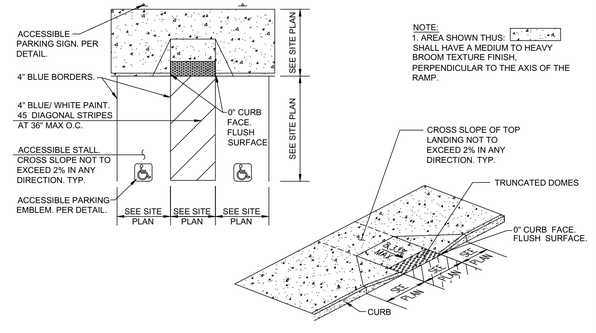
TRAFFIC FLOW ARROW DETAIL
N.T.S.



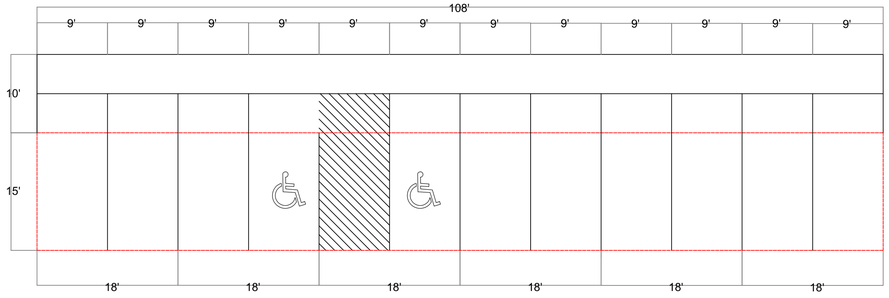
ACCESSIBLE PARKING SIGN DETAIL
N.T.S.

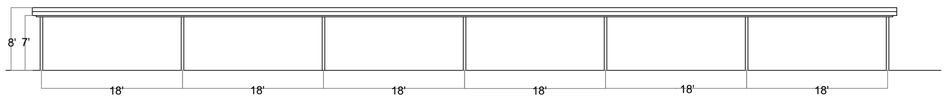


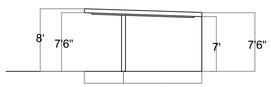
ACCESSIBLE PARKING STALL DETAIL
N.T.S.



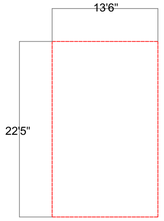
ACCESSIBLE PARKING STALL DETAIL
N.T.S.

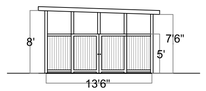


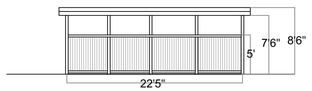




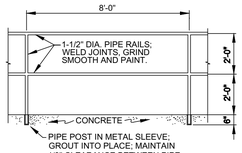
CARPORT DETAIL







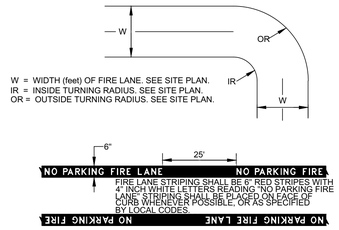
GARBAGE DISPOSAL DETAIL



NOTE:

REFER TO STATE AND LOCAL SPECIFICATIONS FOR MATERIALS, CONSTRUCTION, AND PAINTING.

HANDRAIL DETAIL
N.T.S.



FIRE LANE MARKING

FIRE LANE DETAIL
N.T.S.

NO.	DATE	DESCRIPTION	BY
1	11/25/2019	1st CITY SUBMITTAL	KP
2	01/16/2020	2nd CITY SUBMITTAL	KP
3	05/13/2020	3RD CITY SUBMITTAL	KP
–	–	–	KP

STATE OF TEXAS
KARTAVYA S. PATEL
97534
LICENSED PROFESSIONAL ENGINEER
05/13/2020

SP2019-049

SITE DETAILS

WATER'S EDGE AT LAKE RAY HUBBARD
PORTOFINO DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

TRIANGLE ENGINEERING LLC
T: 214.609.9271 | F: 469.359.6709 | E: kpatel@triangle-engr.com
W: triangle-engr.com | O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013
Planning | Civil Engineering | Construction Management
TX PE FIRM #11525

DESIGN	DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	MLM	11/7/2019	SEE SCALE BAR	040–19	3.1

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-028
PROJECT NAME: Site Plan for 1760 Airport Road
SITE ADDRESS/LOCATIONS: 1760 AIRPORT RD

CASE CAPTION: Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Ryan Miller	08/23/2023	Approved w/ Comments

08/23/2023: SP2023-028; Site Plan for 1760 Airport Road
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Site Plan for a warehouse/office development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, and addressed as 1760 Airport Road.
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rmiller@rockwall.com.
M.3 For reference, include the case number (SP2023-028) in the lower right-hand corner of all pages on future submittals.
I.4 The subject property will be need to be platted after the Engineering Department approves the 80.00% engineering/civil plans and approves the subdivision plat to be submitted.
M.5 Provide the City standard Site Plan Signature Block on all sheets of the plans. Please remove the bracketed wording and leave a blank space for the date.
I.6 If the project is intended to be phased, please submit a phasing plan showing the proposed phasing and timing of each phase of the project.

M.7 Site Plan. Please make the following changes to the Site Plan:
1) Please add a numeric and graphic scale. [Subsection 03.04(A) of Article 11, UDC]
2) Trash/Recycling enclosures shall be four (4) sided. These receptacles shall be screened by a minimum six (6) foot, solid masonry dumpster enclosure that utilizes the same masonry materials as the primary building and incorporates an opaque, self-latching gate. These enclosures shall be located to the side or rear of the primary building, and shall not front on to a public right-of-way. Please provide a detail showing conformance to these requirements. [Subsection 01.05(B) of Article 05, UDC]
3) Indicate the location and proposed screening for all pad mounted equipment (including the AC units for each building and any transformer boxes). [Subsection 01.05(C) of Article 05, UDC]
4) Indicate all easements on the property. There is an easement adjacent to the eastern property line that is not depicted on the Site Plan.

M.8 Landscape Plan. Please make the following changes to the Landscape Plan:
1) All parking spaces shall be within 80-feet of a canopy tree. Please provide an exhibit showing conformance to this requirement [Subsection 05.03(E) of Article 08, UDC]
2) According to the Residential Adjacency Standards any property line adjacent to a residentially zoned -- including the Agricultural (AG) District -- or used property shall be required to be screened. This can include a masonry wall with canopy trees planted on 20-foot centers or three (3) tiered screening (if approved by the Planning and Zoning Commission). Currently, the western and southern property lines all have this adjacency; however, the southern property line is adjacent to an existing railroad right-of-way. Based

on this staff recommends adding a single row of trees along the southern property line and meeting the screening requirements along the western property line (mostly due to the visibility of the bay doors for the proposed building from John King Boulevard). [Subsection 05.02(B) of Article 08, UDC]

M.9 Photometric Plan:
1) The maximum allowable light intensity as measured at a property line of a non-residential property shall be 0.2 of one (1) foot candle adjacent to rights-of-way and non-residential properties and 0.0 of one (1) foot candle at residential property lines. Please indicate the light levels at the property line adjacent to Airport Road. These light levels appear to exceed the maximum allowable light levels. [Subsection 3.03(C) of Article 07, UDC]

M.10 Building Elevations:
1) Provide a numeric and graphic scale. [Subsection 03.04(A) of Article 11, UDC]
2) The garage bay doors for Buildings 6 & 7 are visible from John King Boulevard and require three (3) tiered screening (i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees). Portions of this area are located within the Airport Overlay (AP OV) District, and proper screening cannot be added. Based on this staff recommends that these bay doors be of an upgraded material or appearance to off-set the visibility.
3) The Light Industrial (LI) District requires the use of 90.00% masonry materials, and only allows ten (10) percent secondary materials. In this case, the proposed building elevations do not meet this requirement. [Subsection 06.02(C) of Article 05, UDC]
4) The use of 20% natural or quarried stone is required on each building façade. In this case, the proposed building elevations do not meet this requirement. [Subsection 06.02(C) of Article 05, UDC]
5) The proposed buildings do not meet the primary and secondary articulation standards. [Subsection 05.01(C)(1) of Article 05, UDC]
6) Please show that the parapets will be finished with the same materials on both sides. Currently, the building elevations show metal panel on the back sides of the parapets for all Buildings except Building 1. [Subsection 04.01 of Article 05, UDC]

M.11 Exceptions. Based on the plans submitted, staff has identified the following exceptions for this project:

(1) Building Articulation.

a) Primary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all primary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01(C)(1). In this case the two (2) primary facades do not meet these standards.
b) Secondary Building Facades. According to Article 05, Development Standards, of the Unified Development Code (UDC) all secondary building facades for commercial buildings are required to meet the standards stipulated in Section 04.01(C)(2). In this case the two (2) secondary facades do not meet these standards.

(2) Primary/Secondary Materials. According to Subsection 05.01.A.1(a) of Article 05, Development Standards, of the Unified Development Code (UDC), exterior walls should consist of 90.00% masonry materials and ten (10) percent secondary materials. In this case, the proposed building exceeds the permitted secondary materials and is composed of less than 90.00% primary materials.
(3) Stone. According to Article 05, General Industrial District Standards, of the Unified Development Code (UDC), a minimum of 20.00% natural or quarried stone is required on all building façades.
(4) Screening of Loading Docks. According to Subsection 05.02(A), Loading Docks and Outside Storage Areas, of Article 08, Landscape and Fence Standards, of the of the Unified Development Code (UDC), three (3) tiered screening is required to screen loading docks from adjacent properties.

I.12 In this case, staff has reviewed the proposal and would make the following recommendations: [1] provided upgraded garage bay doors for the garage bay doors facing John King Boulevard, and [2] provide 100.00% primary materials on the northern and southern building façades of Buildings 2-7.

M.13 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance [Subsection 09.02 of Article 11]. Compensatory measures to consider:

(1) Higher caliper trees.
(2) Additional landscaping.
(3) Increased building articulation.

(4) Increased architectural elements.
(5) Building materials conforming to the General Overlay District requirements.

M.14 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.12 Please note the scheduled meetings for this case:

(1) Planning & Zoning Work Session meeting will be held on August 29, 2023
(2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.13 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 PM. The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Please label this 20' drainage easement.
2. Please show the existing 20' water easement, instrument number 20190000018520. You can either:
1) Abandon the 20' water easement and propose a new one throughout your site with the construction of the 12" water main that will stub to the adjacent property.
2)Or - adjust your site to avoid the 20' water easement.
3. Must be 20' to be outside ex. easement.
4. Dimension all parking spaces. Ensure parking is 9'x20'.
5. Make a fire lane/water easement. Sanitary sewer will be private.
6. Show water easements for Fire Hydrants, Domestic and Irrigation Meters.
7. No trees in 20' water line easement.

General Library Comments:
General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
-The property will need to be platted.

Drainage Items:
- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- 12" water main to be constructed from Airport Road to the rail road track if abandoning the ex. 20' water line easement along eastern property line.
- Required to show ex. and proposed water and sewer on site plan

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape plan A0.3 remove all trees from ex. 20' water line easement.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Angelica Guevara	08/25/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Needs Review

08/22/2023: Show location of all fire department connections (FDCs)
FDC shall be within 50 feet of, facing, and visible from the fire lane.
FDC must be within 100 feet of a fire hydrant.
The FDC shall be clear and unobstructed with a minimum of a 5-feet clear all-weather path from fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

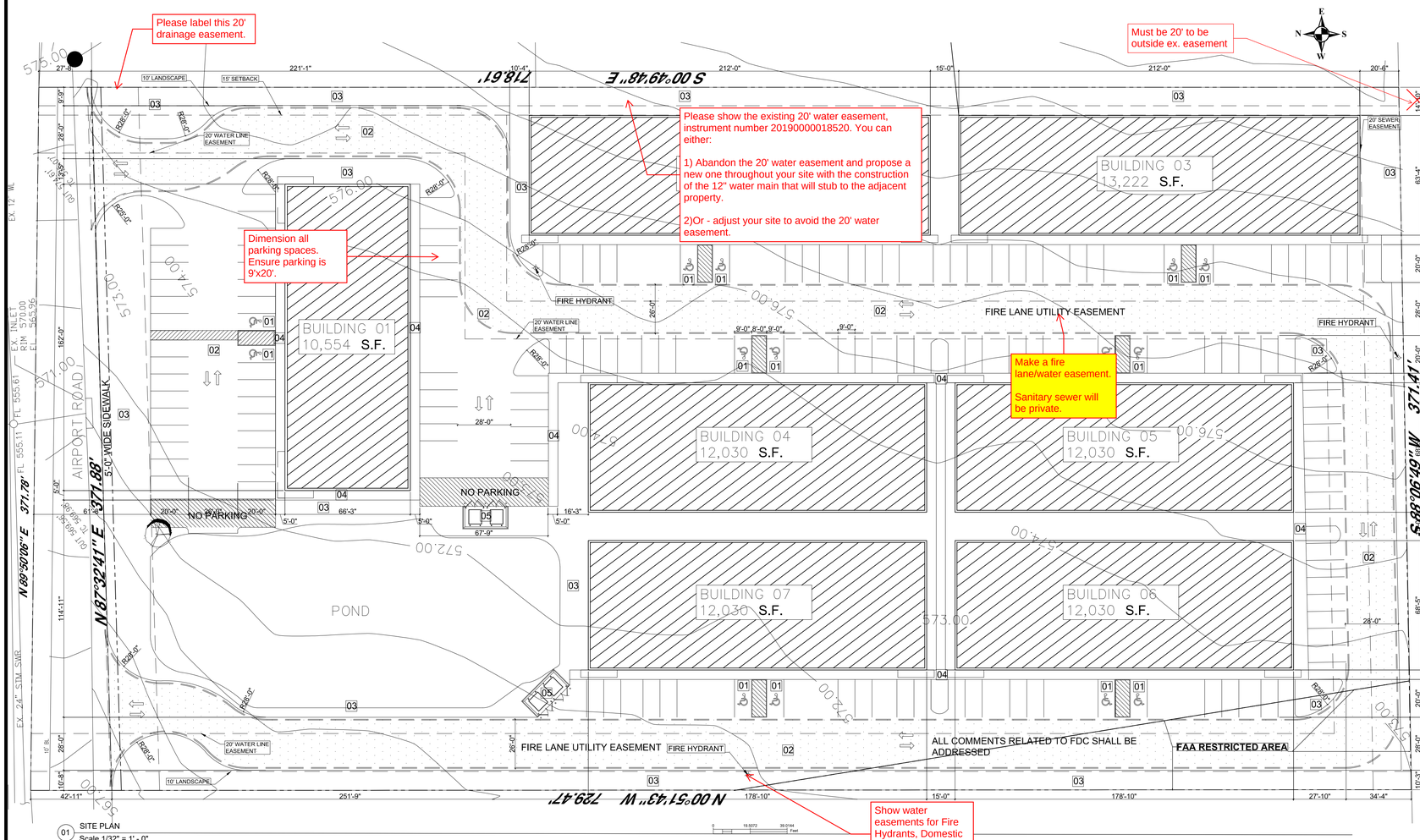
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

08/21/2023: 1. Texas Ash / Fraxnis albicans is a great variety of Ash, but with Emerald Ash Borer / Agrilus planipennis becoming a major issue in the western part of the DFW Metroplex and migrating in all directions you might consider a different tree variety.

2. Please provide a head light glare screen on parking along front of Airport Road. This is evergreen shrubs 24" tall at time of planting and planted 36" on center.



01 SITE PLAN
Scale 1/32" = 1' - 0"

ADA & TAS

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.

FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

FIRE LANE NOTES

CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE

General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
-The property will need to be platted.

Drainage Items:
- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
- Detention ponds must be in a drainage and detention easement.
- No vertical walls in detention ponds
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.
- Dumpster areas/pads must drain to an oil/water separator.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements. Easement width based on size of line and depth.
- 12" water main to be constructed from Airport Road to the rail road track if abandoning the ex. 20' water line easement along eastern property line.
- Required to show ex. and proposed water and sewer on site plan

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- Landscape plan A0.3 remove all trees from ex. 20' water line easement

WATER SUPPLY (FOR FIREFIGHTING)

BUILDING 01

REQUIRED GPM:		2,250
DURATION:		2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED		2REQ / 2PROV
75% REDUCTION	(MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

BUILDING 02 & 03

REQUIRED GPM:		2,500
DURATION:		2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED		3REQ / 3PROV
75% REDUCTION	(MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

BUILDING 04, 05, 06 & 07

REQUIRED GPM:		2,500
DURATION:		2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED		3REQ / 3PROV
75% REDUCTION	(MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
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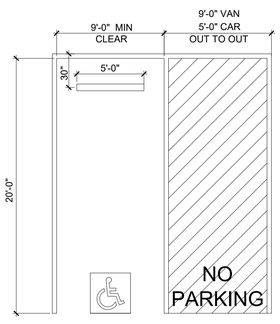
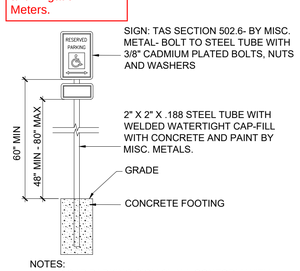
WITNESS OUR HANDS, this _____ day of _____,2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

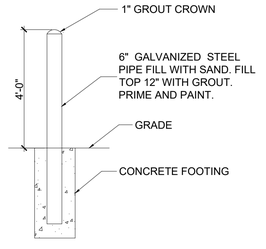


02 HANDICAP SPACE & AISLE
Scale 3/8" = 1'-0"



NOTES:
1.HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL REGULATIONS.
2.2 SIGNS SHALL BE POST MTD. WITH POST LOCATED BETWEEN BUILDING AND SIDEWALK, CENTERED ON PARKING SPACE.
3.2 SIGNS SHALL BE POST MTD. WITH POSTS LOCATED BETWEEN BUILDING AND CURB, CENTERED ON PARKING SPACE.

03 HANDICAP SIGN POST
Scale 3/8" = 1'-0"



04 BOLLARD
Scale 3/8" = 1'-0"

17. ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE", ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.

18. FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.

19. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

RSG ENGINEERING
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
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TBPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE:08/17/23

STATE OF TEXAS
SALIM NAZIH OBEID
118089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

SITE PLAN

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A0.1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

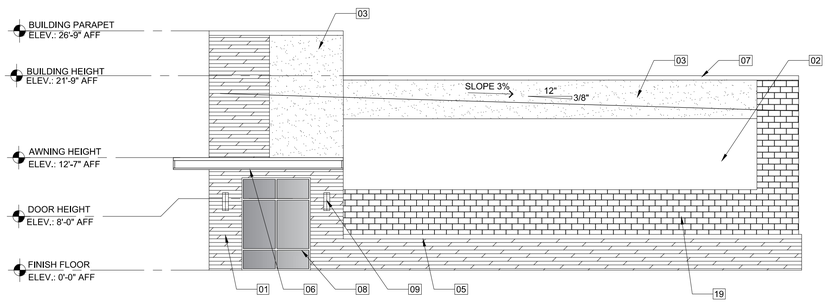
HVAC UNITS TO BE PLACED ON ROOF
SCREENED BY PARAPET ON ALL FOUR SIDES



MATERIAL PERCENTAGES
1 STONE: = 22%
2 3 4 STUCCO: = 50%
19 BRICK: = 28%

01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS



MATERIAL PERCENTAGES
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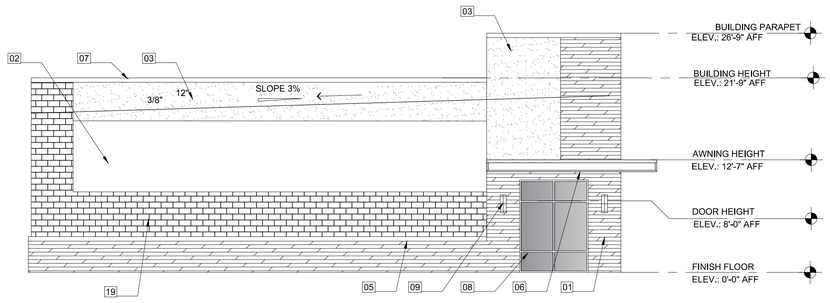
2 3 STUCCO: = 50%
19 BRICK: = 26%

02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"



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2 3 STUCCO: = 50%
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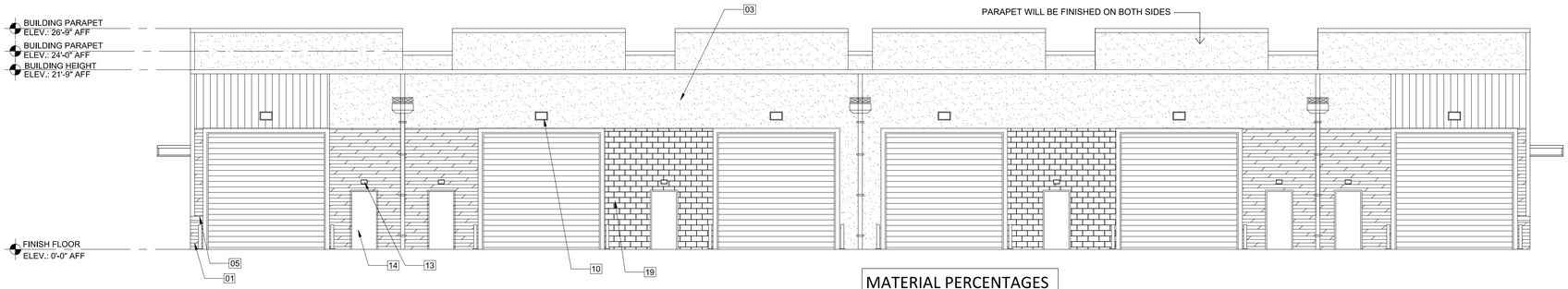
Scale 1/8" = 1' - 0"



MATERIAL PERCENTAGES
1 STONE: = 21%
3 STUCCO: = 50%
19 BRICK: = 20%
18 METAL: = 9%

04 REAR ELEVATION
Scale 1/8" = 1' - 0"

GENERAL NOTES

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2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING . REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

EXTERIOR ELEVATION KEY NOTES

1. NATURAL QUARRIED STONE: COLOR: SW 7066 (GRAY MATTERS)
2. STUCCO COLOR: SW 7074 (SOFTWARE)
3. STUCCO COLOR: SW 7074 (SOFTWARE)
4. STUCCO COLOR: SW 6257 (GIBRALTAR)
5. CAP STONE
6. PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
7. METAL COPING
8. WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
9. WALL SCONCE
10. WALL PACK LIGHT
11. DOWNSPOUT
12. WALL SUPPORT - PROVIDE WHERE IS NECESSARY
13. EXTERIOR WALL-MOUNTED LIGHT
14. PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
15. SCUPPER
16. OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
17. BOLLARDS
18. ½" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
19. ACCENT SMOOTH BRICK, COLOR: SW 7551 (GREEK VILLA)

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project
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ROCKWALL, TX 75087

REVISIONS

ISSUE DATE:08/17/23

BUILDING 01

SALIM NAZIH OBEID
119089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY:

CHECKED:

PROJECT No.
23420.02

SHEET No:
A2.0

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4. ¾" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBRALTAR)
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15. GUTTER
16. OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
17. BOLLARDS
18. ROOF
19. WALL SUPPORT
20. VENTS
21. STUCCO, COLOR: SW 7074 (SOFTWARE)
22. ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT
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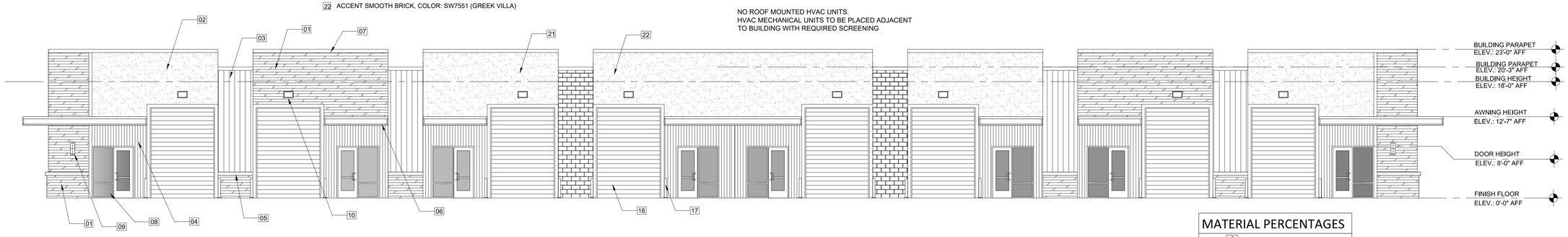
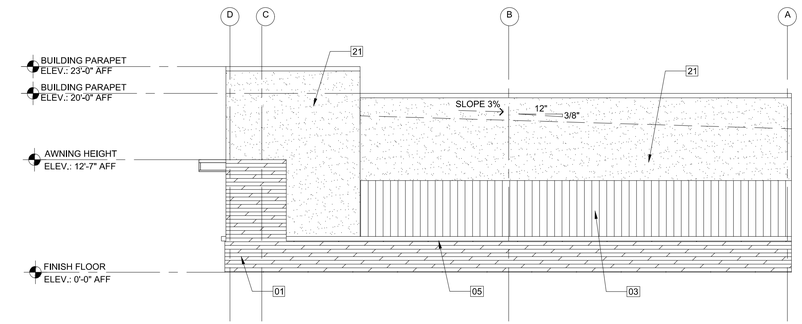


01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

0 4.8768 9.7536 Feet

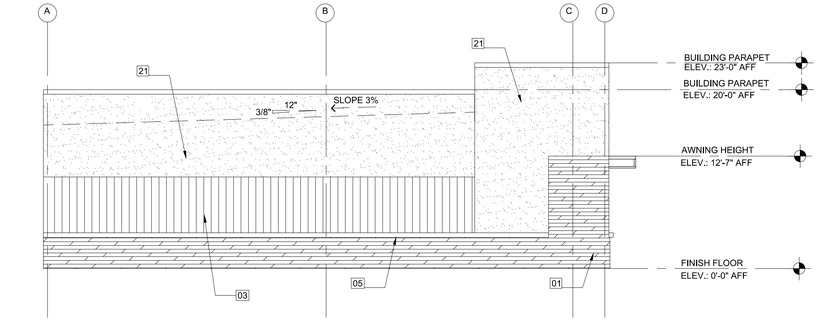
WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS

MATERIAL PERCENTAGES
- 1 STONE: = 25%
- 3 4 METAL SIDING: = 18%
- 21 STUCCO: 50%
- 22 BRICK: 7%



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



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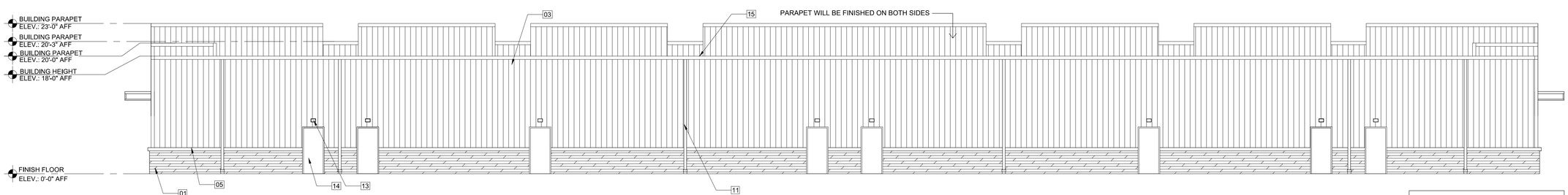

04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
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- 3 METAL SIDING: = 80%

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13501 KATY FREEWAY
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REVISIONS

ISSUE DATE:08/17/23

BUILDINGS 02 & 03

STATE OF TEXAS
SALIM NAZIH OBEID
118989
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A2.0

EXTERIOR ELEVATION KEY NOTES

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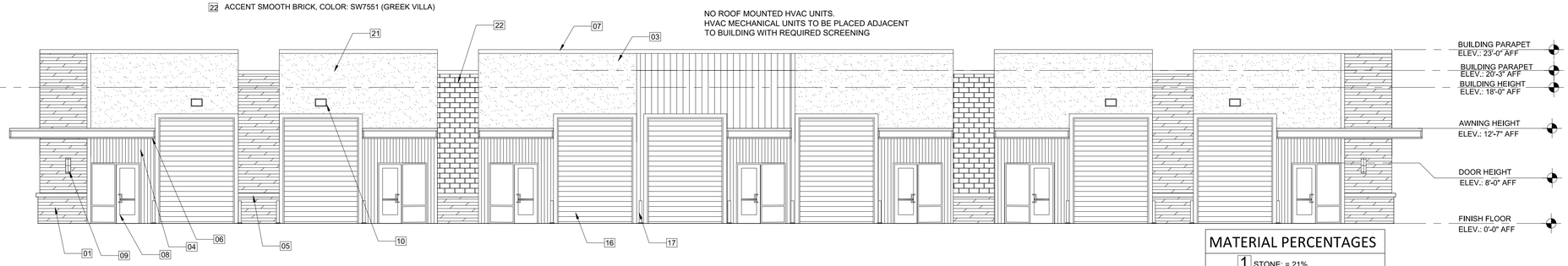

01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

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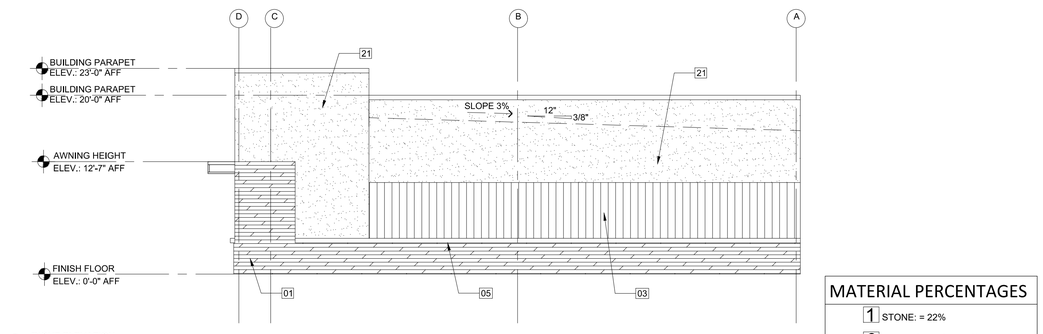
3 4 METAL SIDING: = 27%
21 STUCCO: = 45%
22 BRICK: = 7%

WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

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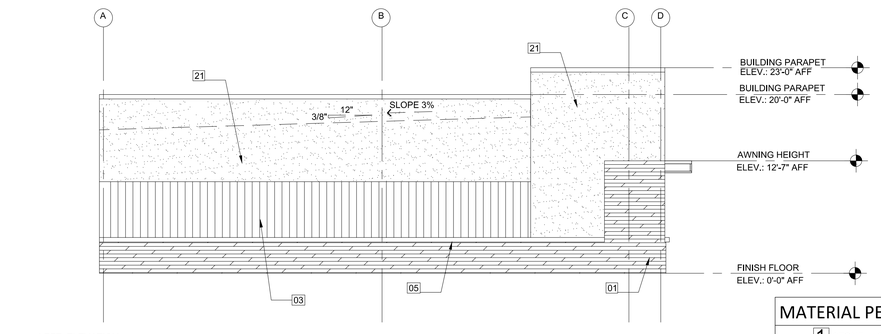
3 METAL SIDING: = 28%
21 STUCCO: 50%



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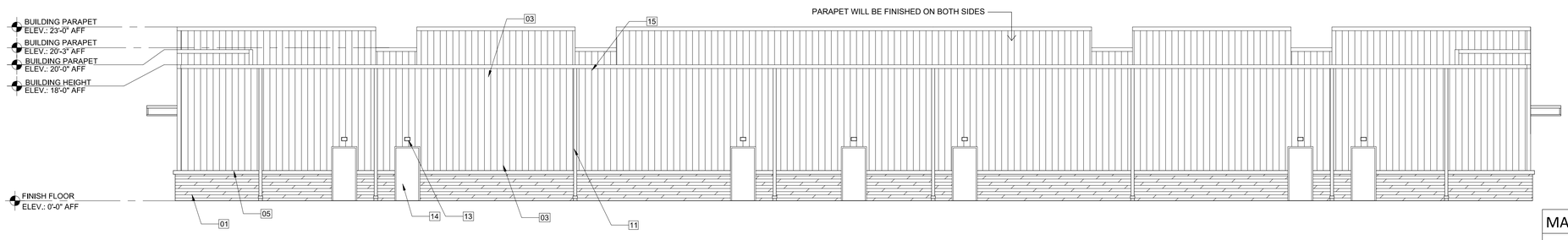

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04, 05, 06 & 07

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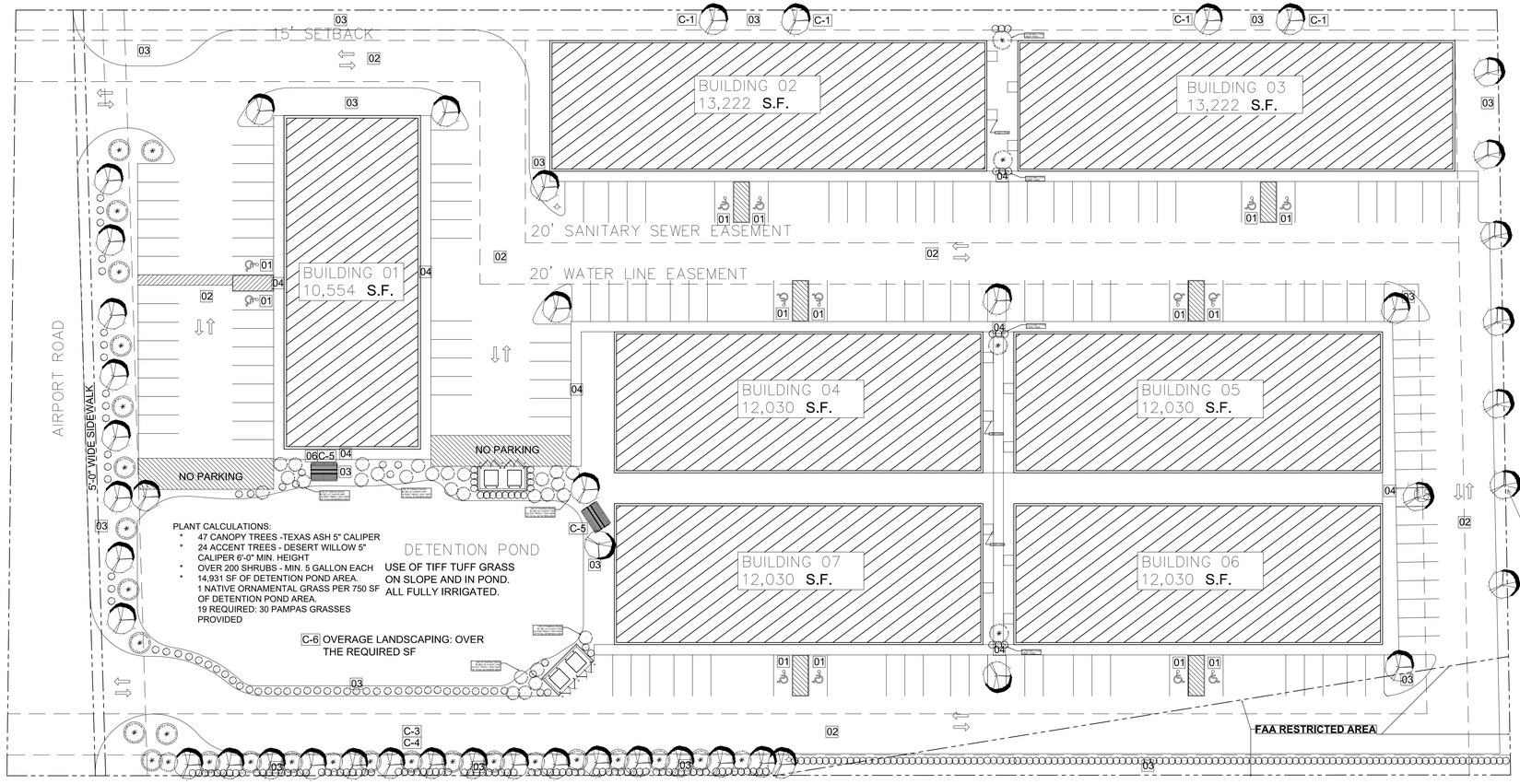
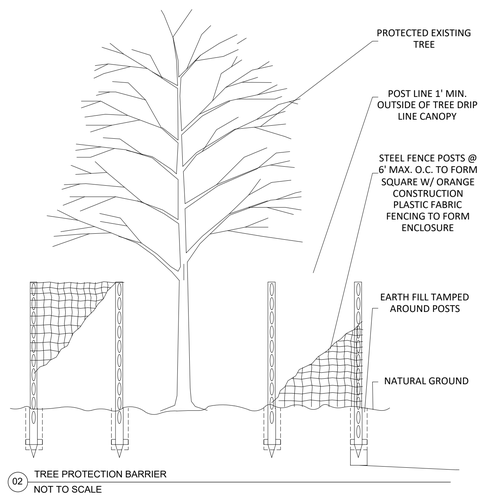
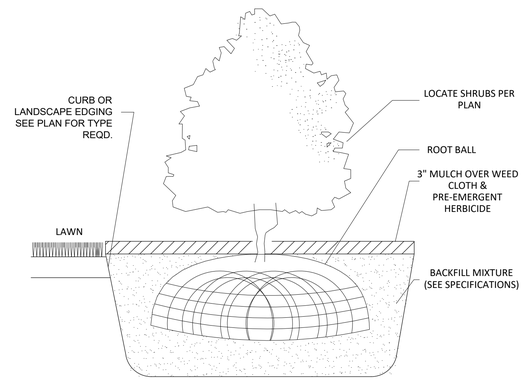


01 SITE PLAN
Scale 1/32" = 1' - 0"

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



02 TREE PROTECTION BARRIER
NOT TO SCALE



03 SHRUB PLANTING
NOT TO SCALE

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

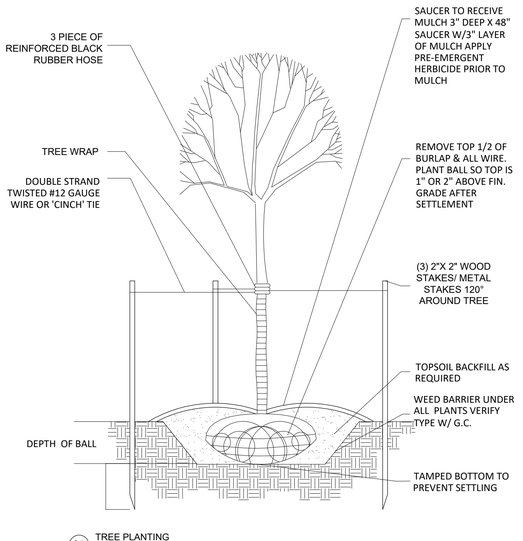
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____,2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



04 TREE PLANTING
NOT TO SCALE

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

KEYED NOTES

01 - HANDICAP SYMBOL & SIGN

02- PAVING

03 - LANDSCAPING

04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE

05 - DUMPSTER

C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE

C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE

C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE

C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE

C-5 - PUBLIC BENCH: COMPENSATORY MEASURE

C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA: 269,076 SF
TOTAL IMPERVIOUS COVER: 205,736 SF
TOTAL PERVIOUS COVER: 63,340 SF
TOTAL % OF IMPERVIOUS COVER: 76.46%

NOTES

1- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.

2- CONTRACTOR SHALL LOCATE ALL L UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.

3- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN RESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

4- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.

5- CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUNDCOVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.

6- CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

7- ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

GENERAL LANDSCAPE NOTES

1 - ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
2- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
3- GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING, OBTAIN OWNER`S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
4- CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
5- ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
6- ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
7- LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
8- GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
9- ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.
15% LANDSCAPING FRONT LOT: 40.380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01:Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RSG ENGINEERING
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777
TBPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS:

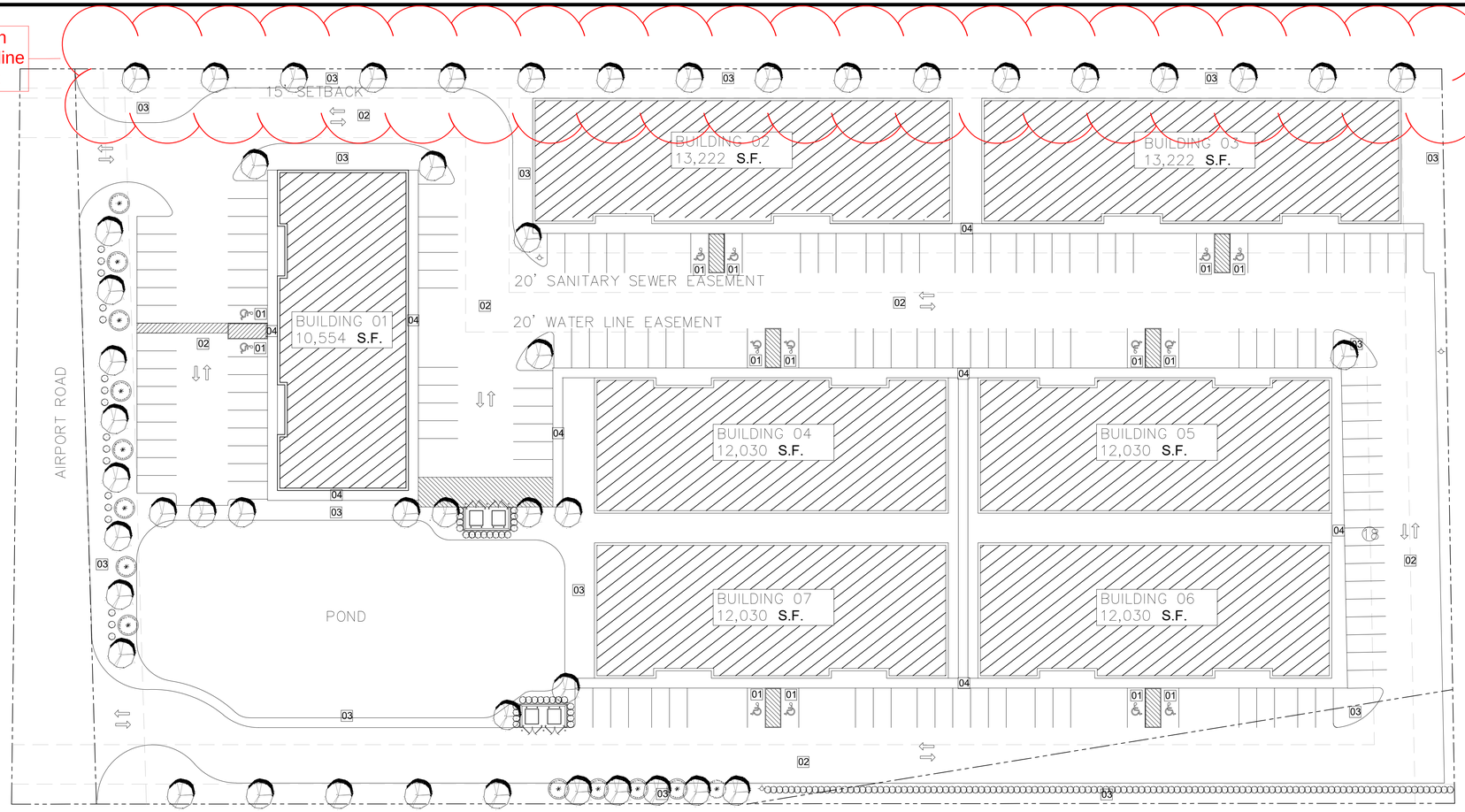
ISSUE DATE:08/17/23

STATE OF TEXAS
SAIM NAJMI OBEID
118089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

LANDSCAPE

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A0.3



01 SITE PLAN
Scale 1/32" = 1' - 0"

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

KEYED NOTES

01 - HANDICAP SYMBOL & SIGN
02 - PAVING
03 - LANDSCAPING
04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
05 - DUMPSTER

NOTE:NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES

NOTES

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10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

Treescape CALCULATIONS

SITE AREA: 6.18 A.C.
15% LANDSCAPING FRONT LOT: 40.380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01:Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

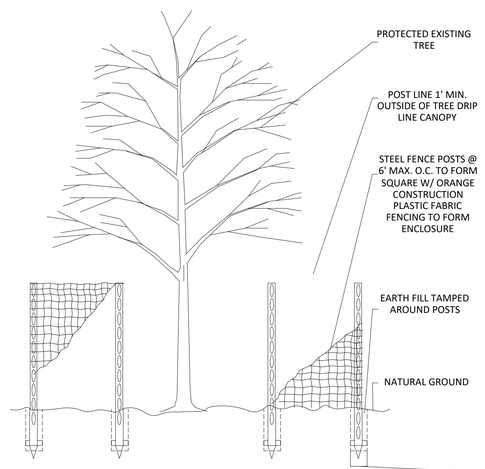
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

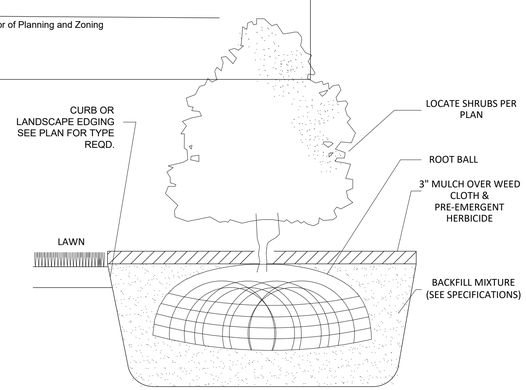
WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

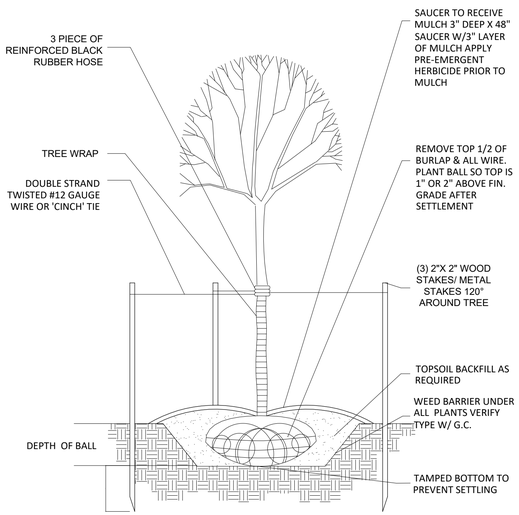
Director of Planning and Zoning



02 TREE PROTECTION BARRIER
NOT TO SCALE



03 SHRUB PLANTING
NOT TO SCALE



04 TREE PLANTING
NOT TO SCALE

RSG ENGINEERING
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777
TBPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

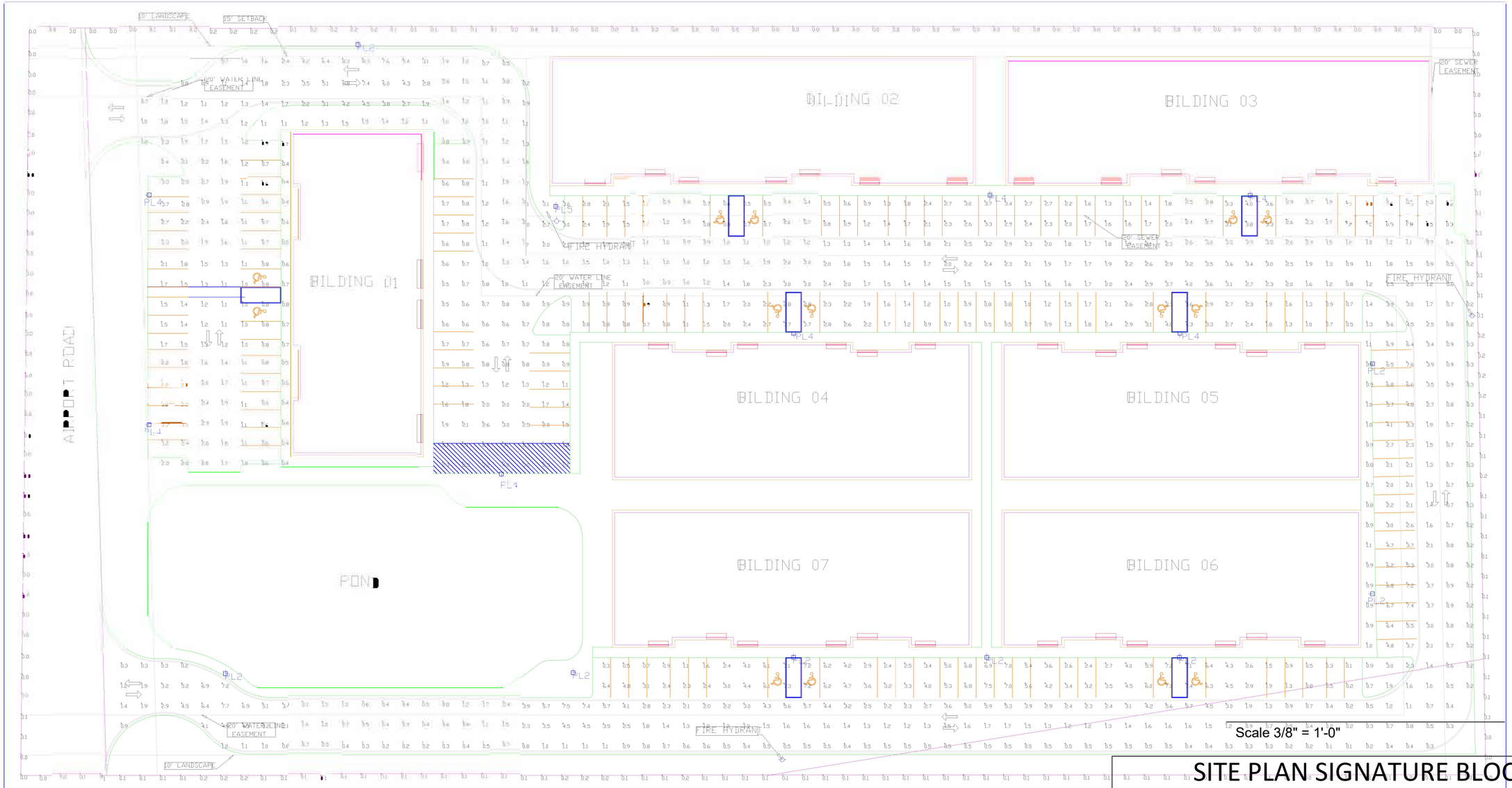
ISSUE DATE:05/19/23

STATE OF TEXAS
SALIM NAZIH OBEID
110989
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

TREESCAPE

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A0.3



Luminaire Schedule

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

Luminaire Location Summary

Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc # Keith Peterson # 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



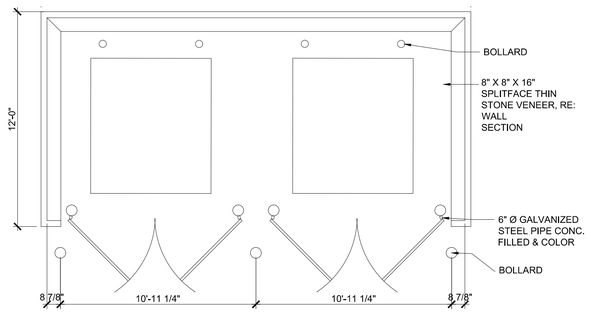
Peterson, Scharck & Associates, Inc.
10855 Tanner Rd.
Houston, TX 77041
applications@psalighting.com

XXX
XXX

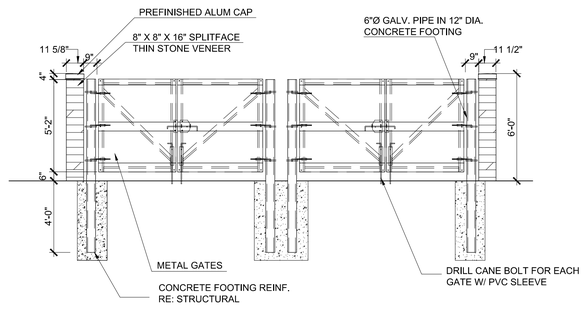
Rockwall Flexspace Center Site Ltg

07-11-23

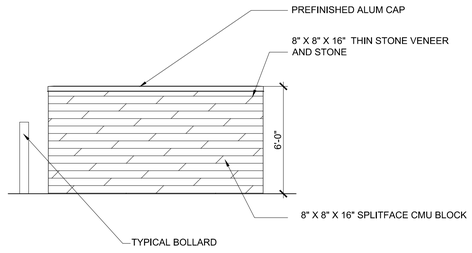
SR



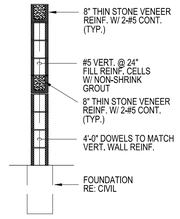
01 DUMPSTER PLAN
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION
Scale 3/8" = 1'-0"

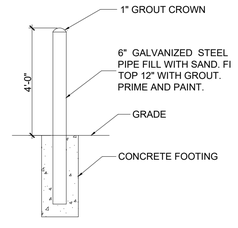
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD
Scale 3/8" = 1'-0"

GENERAL NOTES

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER

RSG ENGINEERING
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777
TBPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE:07/11/23

STATE OF TEXAS
SAIM NIZHE OBEID
118089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

DUMPSTER DETAIL

DRAWN BY:
CHECKED:

PROJECT No:
23420.02

SHEET No:
A0.2

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☒ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1] IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2] A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION: A102, D Harr, Tract 2-01 LOT: BLOCK:

GENERAL LOCATION:

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Light Industrial CURRENT USE: Vacant

PROPOSED ZONING: PROPOSED USE: Light industrial

ACREAGE: 6.18 LOTS [CURRENT]: 1 LOTS [PROPOSED]:

☒ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	FlexSpace Business Parks LLC	☒ APPLICANT	RSG ENGINEERING
CONTACT PERSON	Roy Bhavi	CONTACT PERSON	HIND SAAD
ADDRESS	835 Tillman Dr,	ADDRESS	13501 KATY FREEWAY, STE. 3180
CITY, STATE & ZIP	Allen TX 75013	CITY, STATE & ZIP	Houston, TX 77041
PHONE	972.674.8933	PHONE	281- 248- 6785
E-MAIL	roy.bhavi@flexspacebusinessparks.co	E-MAIL	hind@rsgcompanies.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Roy Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 373, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF August, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

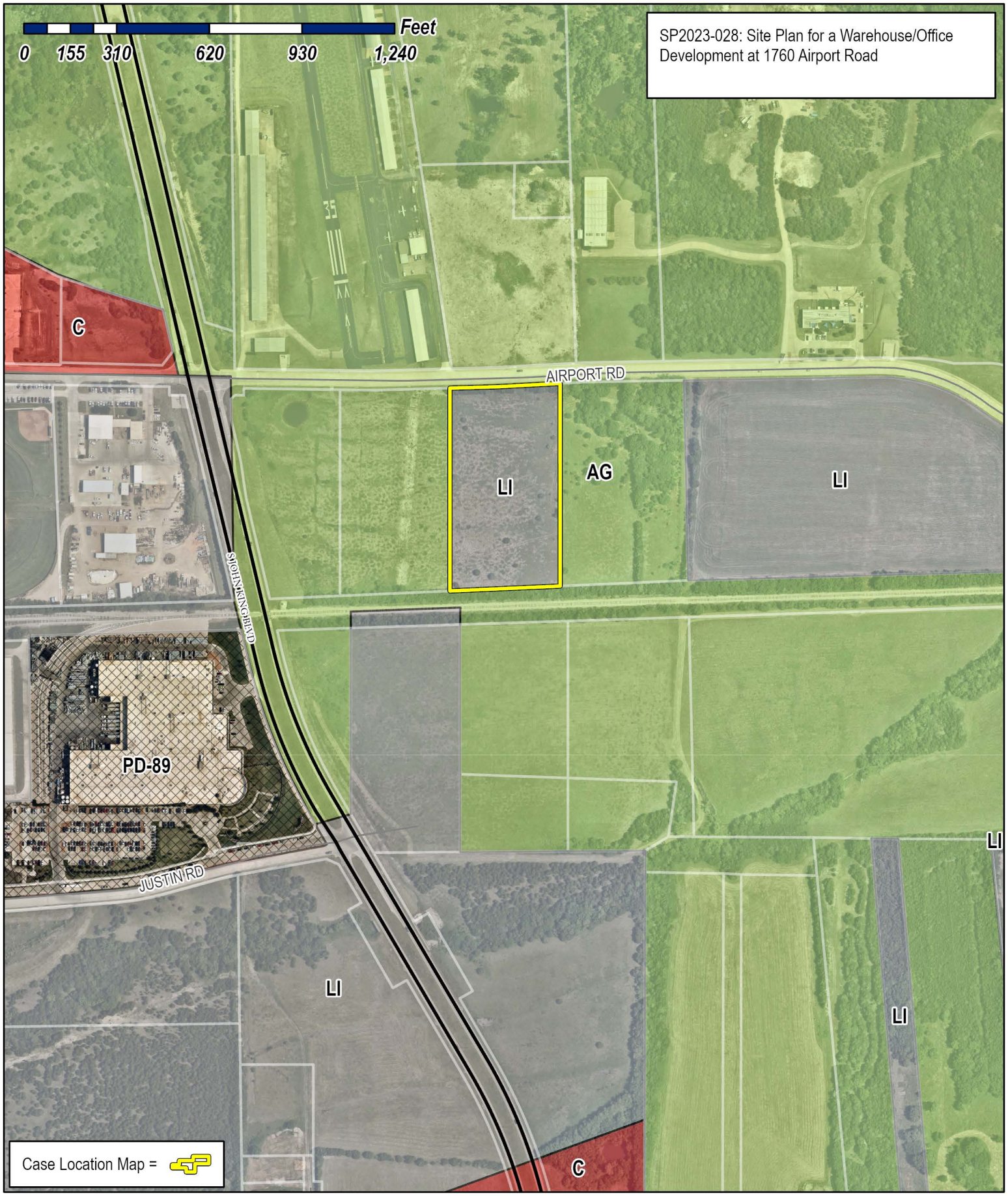
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th *DAY OF* August, 2023

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

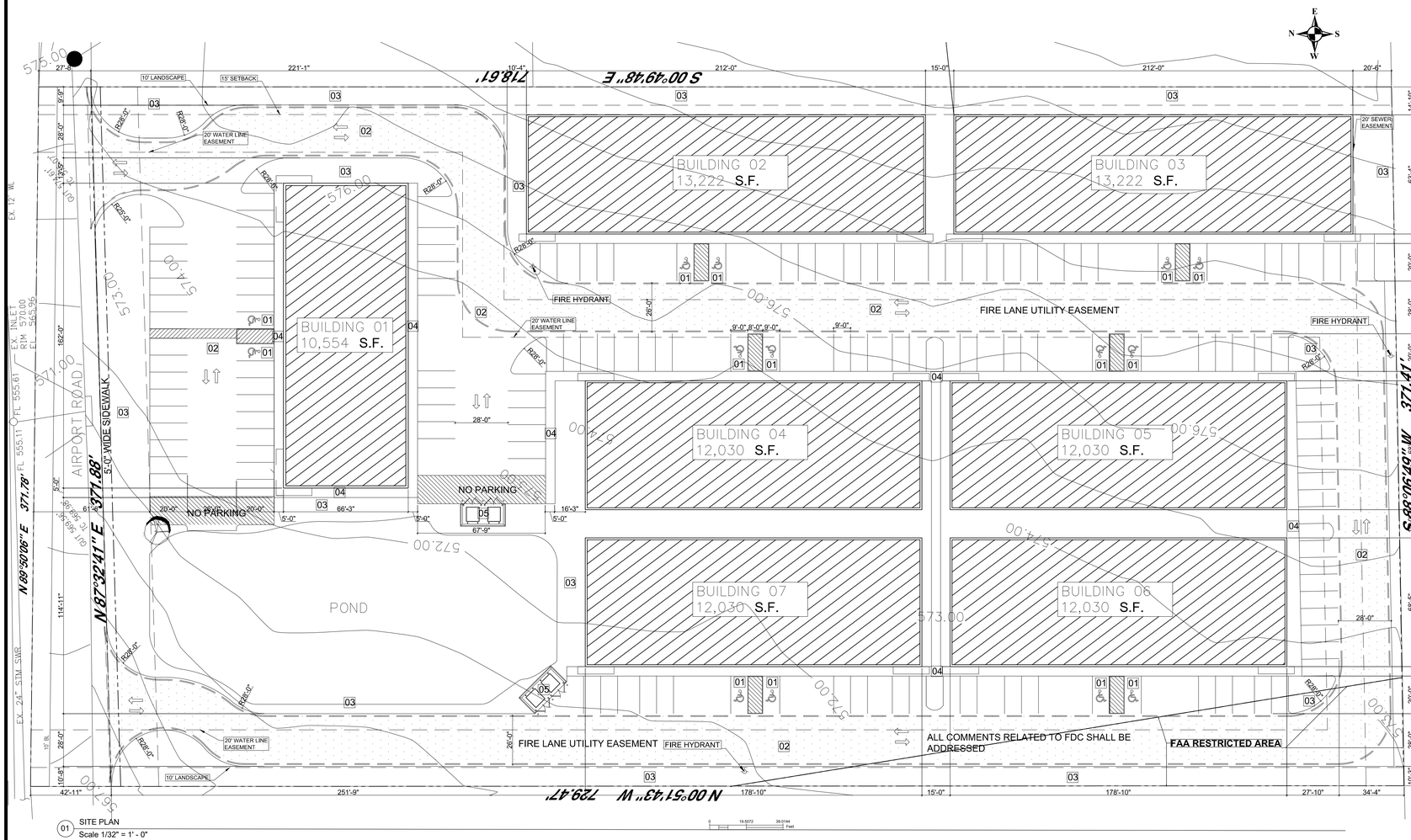
HIND SAMI SAAD
Notary ID #131050128
My Commission Expires
March 17, 2025

MY COMMISSION EXPIRES 3-17-2025



City of Rockwall
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



01 SITE PLAN
Scale 1/32" = 1' - 0"

WATER SUPPLY (FOR FIREFIGHTING)

BUILDING 01

REQUIRED GPM:		2,250
DURATION:		2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED		2REQ / 2PROV
75% REDUCTION	(MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

BUILDING 02 & 03

REQUIRED GPM:		2,500
DURATION:		2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED		3REQ / 3PROV
75% REDUCTION	(MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

BUILDING 04, 05, 06 & 07

REQUIRED GPM:		2,500
DURATION:		2H
NUMBER OF HYDRANTS REQUIRED / PROVIDED		3REQ / 3PROV
75% REDUCTION	(MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

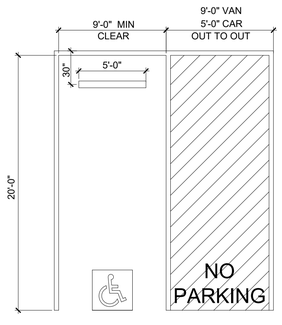
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

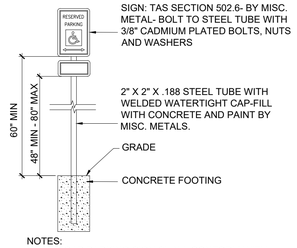
WITNESS OUR HANDS, this _____ day of _____,2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

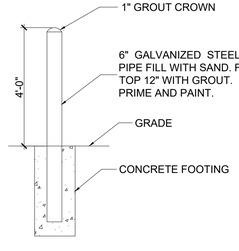


02 HANDICAP SPACE & AISLE
Scale 3/8" = 1'-0"



NOTES:
1.HANDICAP PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL REGULATIONS.
2.2 SIGNS SHALL BE POST MTD. WITH POST LOCATED BETWEEN BUILDING AND SIDEWALK, CENTERED ON PARKING SPACE.
3.2 SIGNS SHALL BE POST MTD. WITH POSTS LOCATED BETWEEN BUILDING AND CURB, CENTERED ON PARKING SPACE.

03 HANDICAP SIGN POST
Scale 3/8" = 1'-0"



04 BOLLARD
Scale 3/8" = 1'-0"

ADA & TAS

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.

FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

FIRE LANE NOTES

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLORED CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVEDTOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.

FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND O HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.

- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH

WHITE LETTERS STATING " FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE -TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY

ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

FIRE LANE

FIRE LANE

PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

NOTE PARKING

NOTE 1:
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20, DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
NOTE 2:
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL(DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTHOF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

PARKING REQUIREMENT

WAREHOUSE TOTAL AREA: 85,118 SF
OFFICES: 9,852 / 300 : 33 SPACES
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

GENERAL NOTES

1. DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
2.CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
3.ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
4.CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES(FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
5. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
6.ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
7.CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
8.CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
9. PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
10. RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES(IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
11.GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
12.ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
13. SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
14. REFER TO CIVIL DRAWING FOR SITE WORK.
15. GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS(IF ANY) IN AREA OF NEW CONSTRUCTION.
16. CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
17. ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE", ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
18. FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
19. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

RSG ENGINEERING
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777
TBPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE:08/17/23

STATE OF TEXAS
SAJID NAZIR OBEID
119089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

SITE PLAN

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A0.1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____,2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

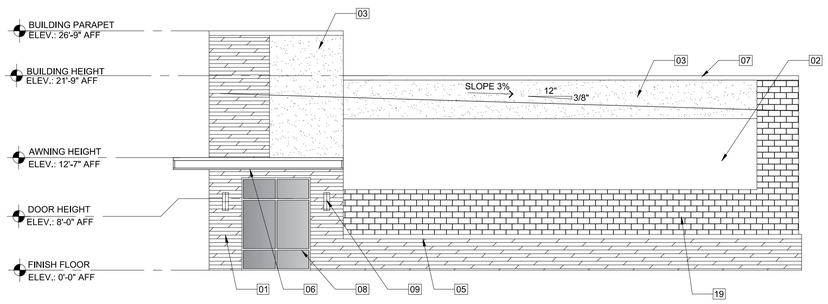
HVAC UNITS TO BE PLACED ON ROOF
SCREENED BY PARAPET ON ALL FOUR SIDES



MATERIAL PERCENTAGES
1 STONE: = 22%
2 3 4 STUCCO: = 50%
19 BRICK: = 28%

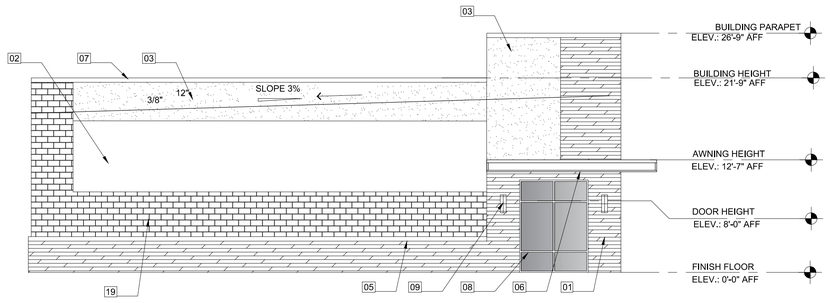
01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS



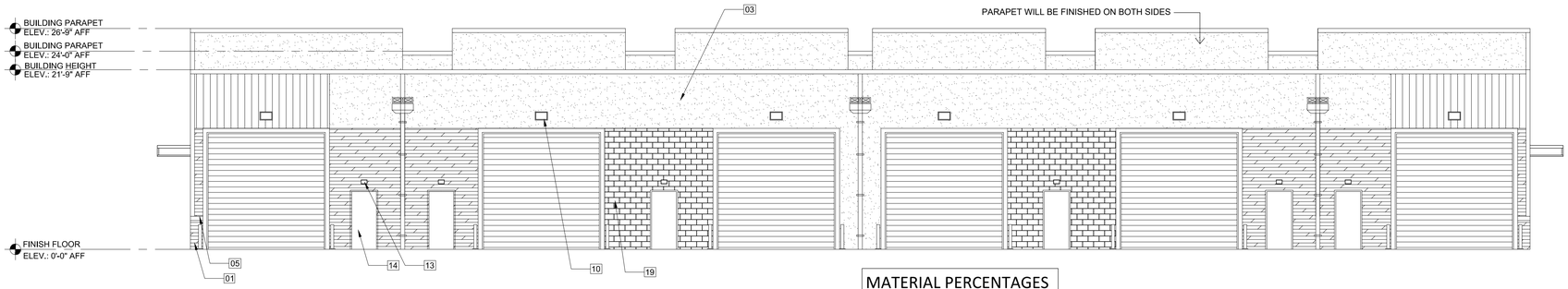
MATERIAL PERCENTAGES
1 STONE: = 24%
2 3 STUCCO: = 50%
19 BRICK: = 26%

02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"



MATERIAL PERCENTAGES
1 STONE: = 24%
2 3 STUCCO: = 50%
19 BRICK: = 26%

03 LEFT ELEVATION
Scale 1/8" = 1' - 0"



MATERIAL PERCENTAGES
1 STONE: = 21%
3 STUCCO: = 50%
19 BRICK: = 20%
18 METAL: = 9%

04 REAR ELEVATION
Scale 1/8" = 1' - 0"

GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING . REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

EXTERIOR ELEVATION KEY NOTES

1. NATURAL QUARRIED STONE: COLOR: SW 7066 (GRAY MATTERS)
2. STUCCO COLOR: SW 7074 (SOFTWARE)
3. STUCCO COLOR: SW 7074 (SOFTWARE)
4. STUCCO COLOR: SW 6257 (GIBRALTAR)
5. CAP STONE
6. PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
7. METAL COPING
8. WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
9. WALL SCONCE
10. WALL PACK LIGHT
11. DOWNSPOUT
12. WALL SUPPORT - PROVIDE WHERE IS NECESSARY
13. EXTERIOR WALL-MOUNTED LIGHT
14. PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
15. SCUPPER
16. OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
17. BOLLARDS
18. ½" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
19. ACCENT SMOOTH BRICK, COLOR: SW 7551 (GREEK VILLA)

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project
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ROCKWALL, TX 75087

REVISIONS

ISSUE DATE:08/17/23

BUILDING 01

SALIM NAZIH OBEID
119089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY:

CHECKED:

PROJECT No.
23420.02

SHEET No:
A2.0

EXTERIOR ELEVATION KEY NOTES

1. NATURAL QUARRIED STONE: COLOR: SW 7066 (GRAY MATTERS)
2. ¾" CORRUGATED METAL SIDING 15", COLOR: SW 7074 (SOFTWARE)
3. ¾" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
4. ¾" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBRALTAR)
5. CAP STONE
6. PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
7. METAL COPING
8. WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
9. WALL SCONCE
10. WALL PACK LIGHT
11. DOWNSPOUT
12. WALL SUPPORT - PROVIDE WHERE IS NECESSARY
13. EXTERIOR WALL-MOUNTED LIGHT
14. PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
15. GUTTER
16. OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
17. BOLLARDS
18. ROOF
19. WALL SUPPORT
20. VENTS
21. STUCCO, COLOR: SW 7074 (SOFTWARE)
22. ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____,2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GENERAL NOTES

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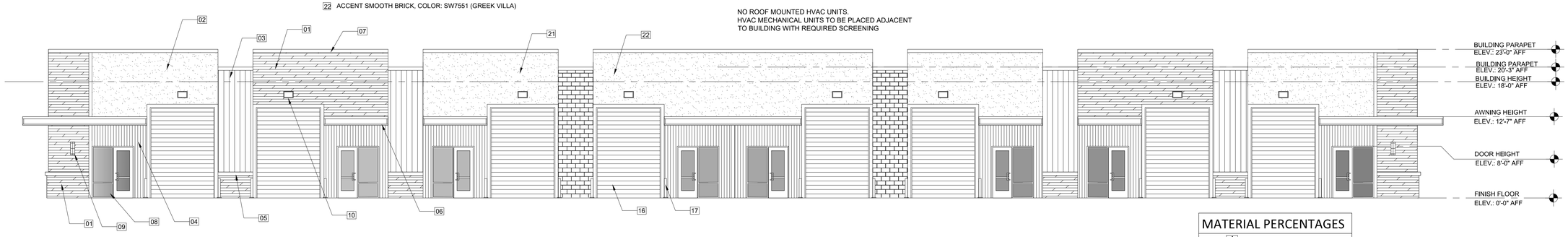
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING . REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT
TO BUILDING WITH REQUIRED SCREENING

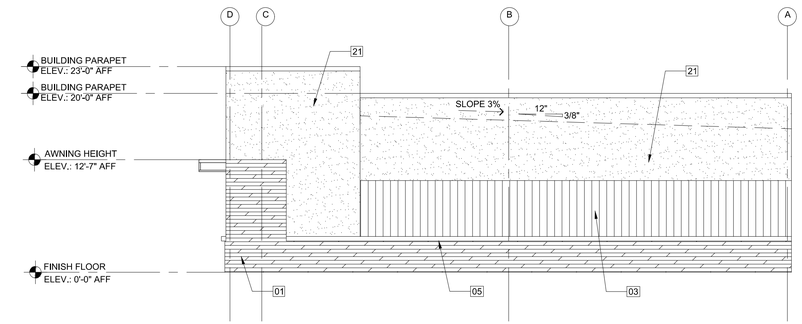


01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

0 4.8768 9.7536 Feet

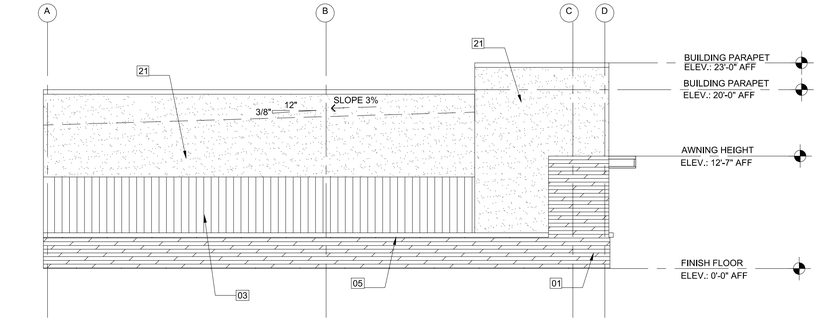
WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS

MATERIAL PERCENTAGES
- 1 STONE: = 25%
- 3 4 METAL SIDING: = 18%
- 21 STUCCO: 50%
- 22 BRICK: 7%



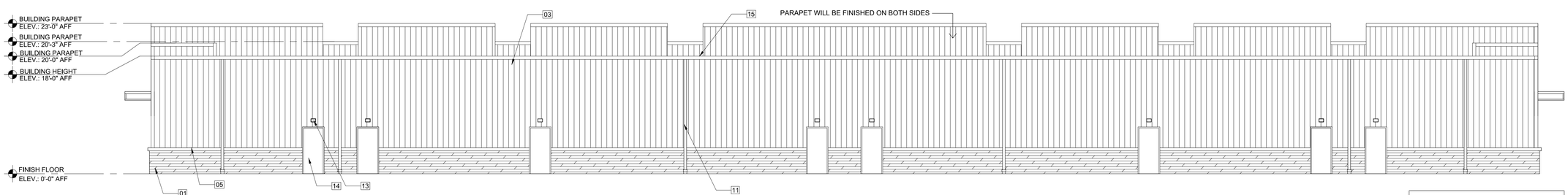
02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
- 1 STONE: = 22%
- 3 METAL SIDING: = 28%
- 21 STUCCO: 50%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
- 1 STONE: = 20%
- 3 METAL SIDING: = 80%

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ISSUE DATE:08/17/23

BUILDINGS 02 & 03

STATE OF TEXAS
SALIM NAZIH OBEID
118989
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A2.0

EXTERIOR ELEVATION KEY NOTES

1. NATURAL QUARRIED STONE: COLOR: SW 7066 (GRAY MATTERS)
2. ¾" CORRUGATED METAL SIDING 15", COLOR: SW 7074 (SOFTWARE)
3. ¾" CORRUGATED METAL SIDING 10", COLOR: SW 7074 (SOFTWARE)
4. ¾" CORRUGATED METAL SIDING 5", COLOR: SW 6257 (GIBRALTAR)
5. CAP STONE
6. PRE-FINISHED METAL CANOPY, COLOR: SW 7076 (CYBERSPACE)
7. METAL COPING
8. WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
9. WALL SCONCE
10. WALL PACK LIGHT
11. DOWNSPOUT
12. WALL SUPPORT - PROVIDE WHERE IS NECESSARY
13. EXTERIOR WALL-MOUNTED LIGHT
14. PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
15. GUTTER
16. OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
17. BOLLARDS
18. ROOF
19. WALL SUPPORT
20. VENTS
21. STUCCO, COLOR: SW 7074 (SOFTWARE)
22. ACCENT SMOOTH BRICK, COLOR: SW7551 (GREEK VILLA)

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____,2023.

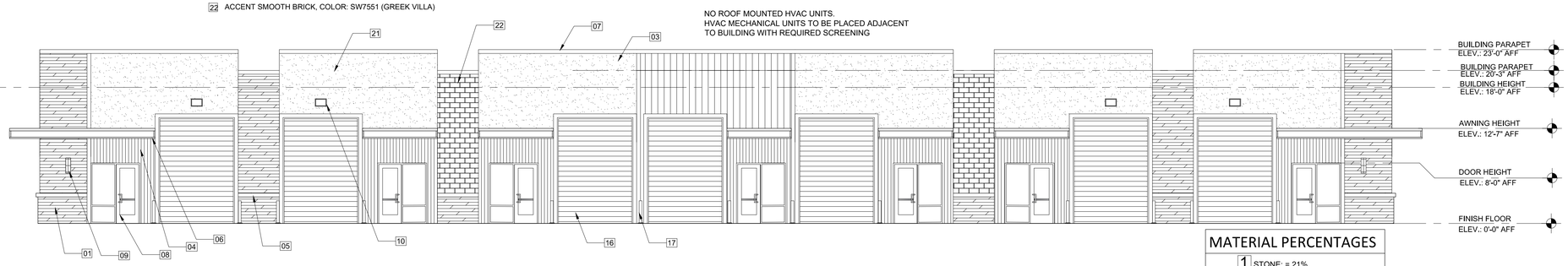
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GENERAL NOTES

1. ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
2. ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
3. VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING . REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
4. CONTRACTOR SHALL SUBMIT MANUFACTURER CUT SHEETS AND SAMPLES FOR ALL SYSTEM MATERIAL FOR REVIEW AND APPROVAL BEFORE PLACING ORDER. SUBSTITUTE PRODUCTS MUST BE EQUAL QUALITY IN FUNCTION AND APPEARANCE, AND MUST BE APPROVED BY DESIGNER AND OWNER.
5. CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORK. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND, THE DESIGNER SHALL BE NOTIFIED IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
6. CONTROL JOINT. NOT TO EXCEED 144 S.F.

NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

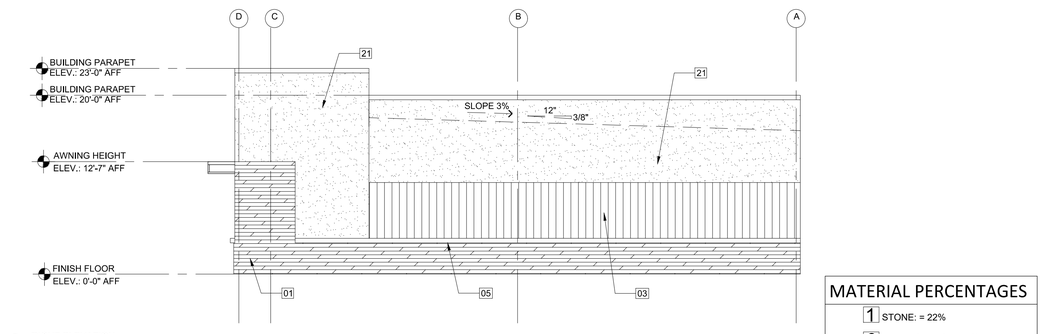


01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

1 STONE: = 21%
3 4 METAL SIDING: = 27%
21 STUCCO: = 45%
22 BRICK: = 7%

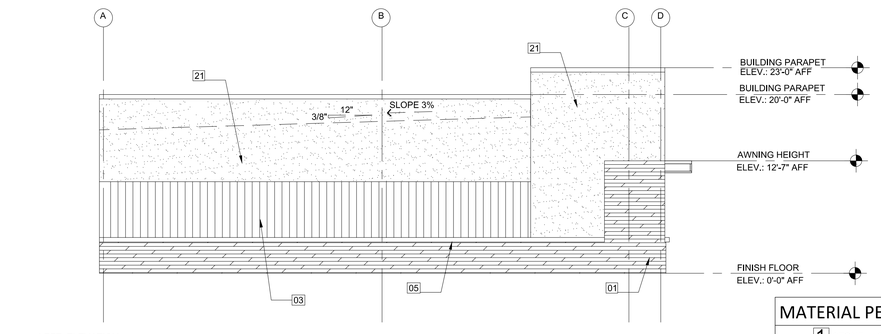
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

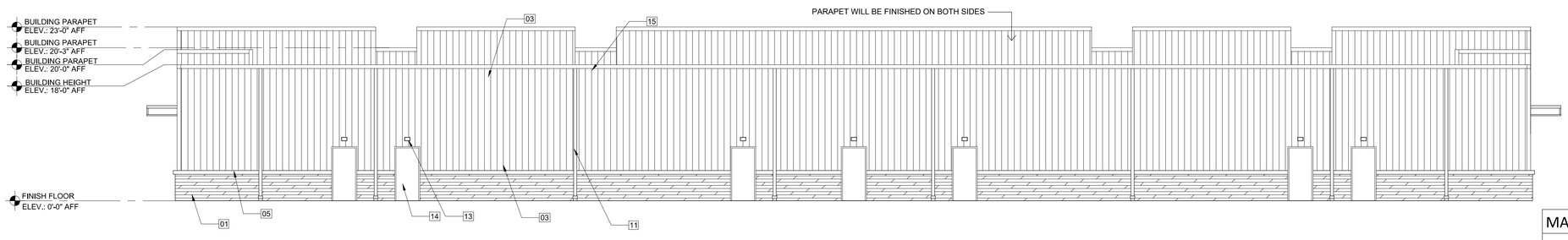
1 STONE: = 22%
3 METAL SIDING: = 28%
21 STUCCO: 50%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

1 STONE: = 22%
3 METAL SIDING: = 28%
21 STUCCO: 50%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

1 STONE: = 20%
3 METAL SIDING: = 80%

RSG ENGINEERING
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777
TBPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE:08/17/23

BUILDINGS
04, 05, 06 & 07

STATE OF TEXAS
SALIM NAZIH OBEID
118989
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

EXTERIOR ELEVATIONS

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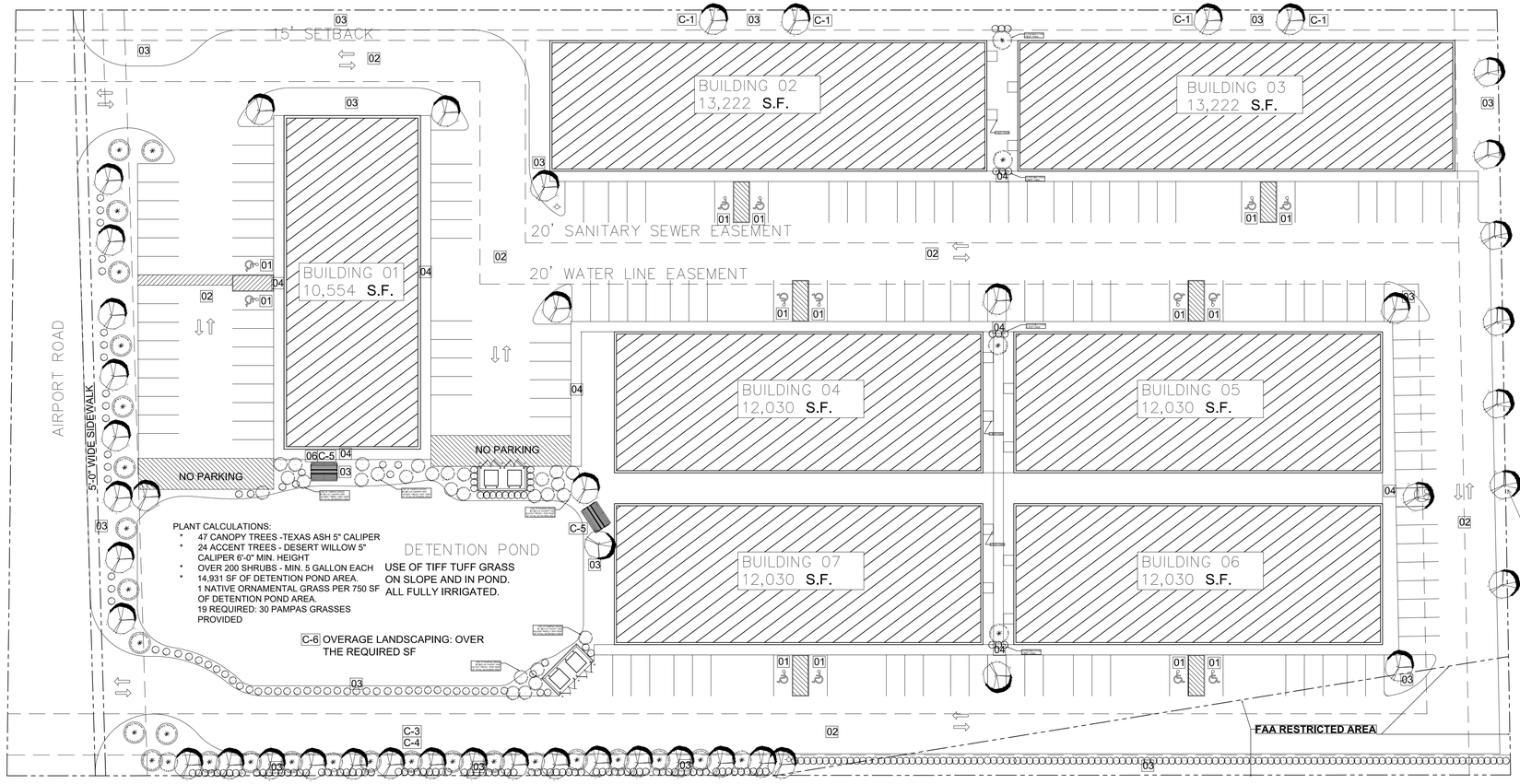
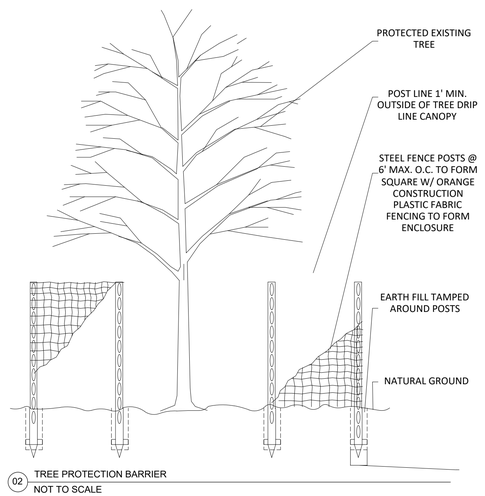
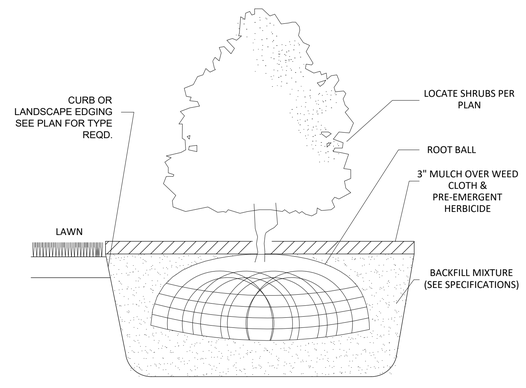


01 SITE PLAN
Scale 1/32" = 1' - 0"

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



02 TREE PROTECTION BARRIER
NOT TO SCALE



03 SHRUB PLANTING
NOT TO SCALE

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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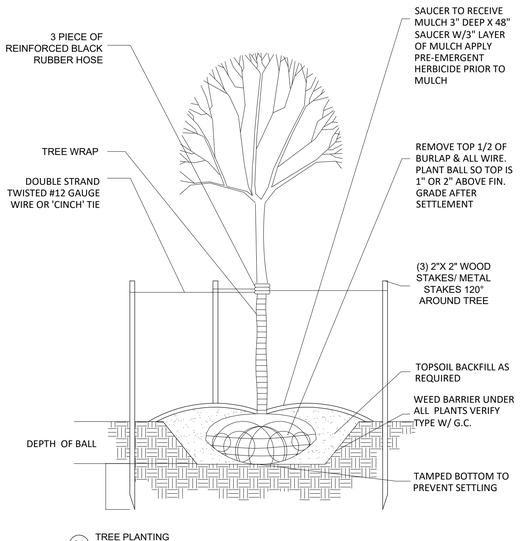
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____,2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



04 TREE PLANTING
NOT TO SCALE

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

KEYED NOTES

01 - HANDICAP SYMBOL & SIGN

02- PAVING

03 - LANDSCAPING

04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE

05 - DUMPSTER

C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE

C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE

C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE

C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE

C-5 - PUBLIC BENCH: COMPENSATORY MEASURE

C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA: 269,076 SF
TOTAL IMPERVIOUS COVER: 205,736 SF
TOTAL PERVIOUS COVER: 63,340 SF
TOTAL % OF IMPERVIOUS COVER: 76.46%

NOTES

1- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.

2- CONTRACTOR SHALL LOCATE ALL L UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.

3- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN RESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

4- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.

5- CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUNDCOVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.

6- CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.

7- ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

GENERAL LANDSCAPE NOTES

1 - ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
2- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
3- GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING, OBTAIN OWNER`S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
4- CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
5- ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
6- ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
7- LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
8- GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
9- ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.
15% LANDSCAPING FRONT LOT: 40.380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01:Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

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REVISIONS:

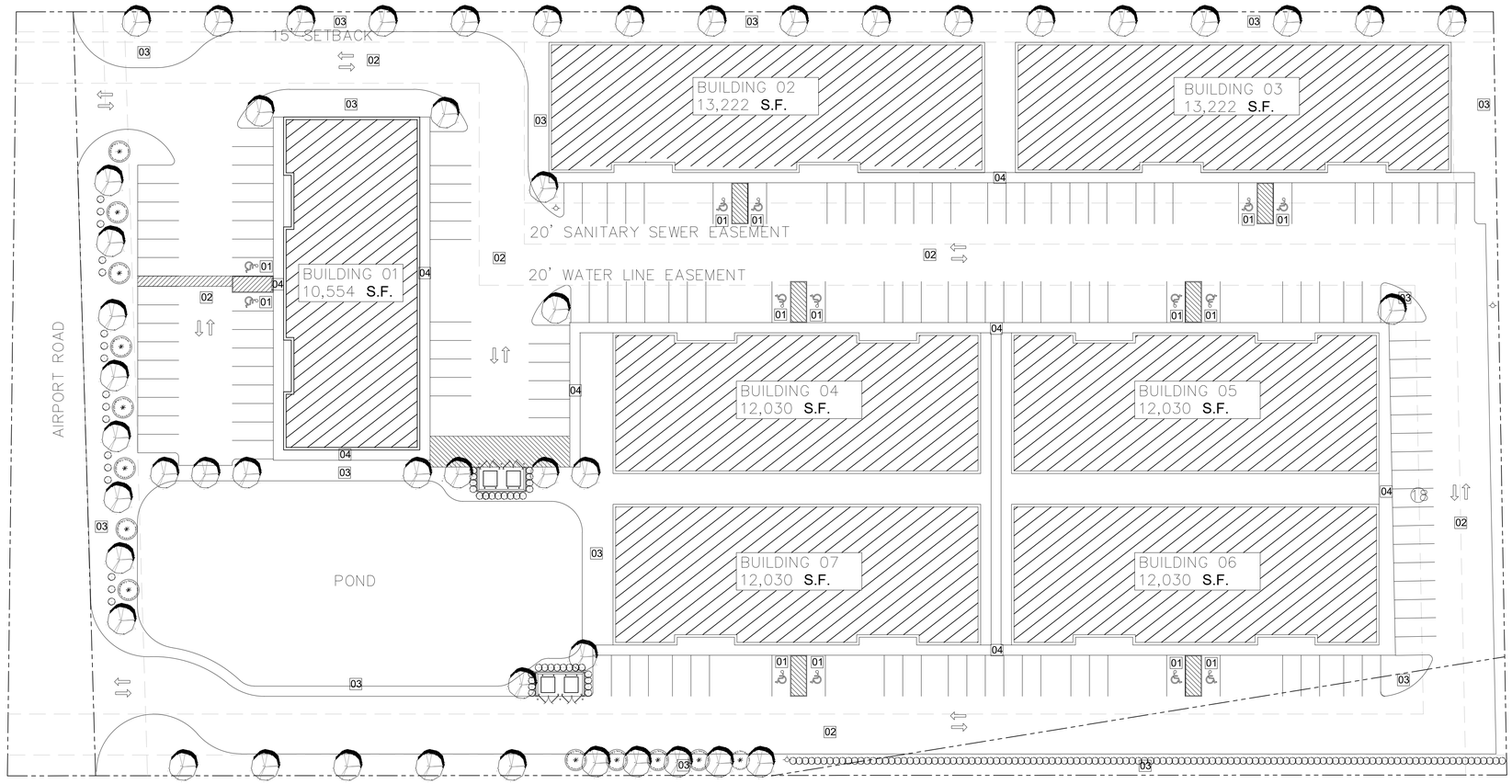
ISSUE DATE:08/17/23

STATE OF TEXAS
SAIM NAJMI OBEID
118089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

LANDSCAPE

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A0.3



01 SITE PLAN
Scale 1/32" = 1' - 0"

SITE PLAN SIGNATURE BLOCK

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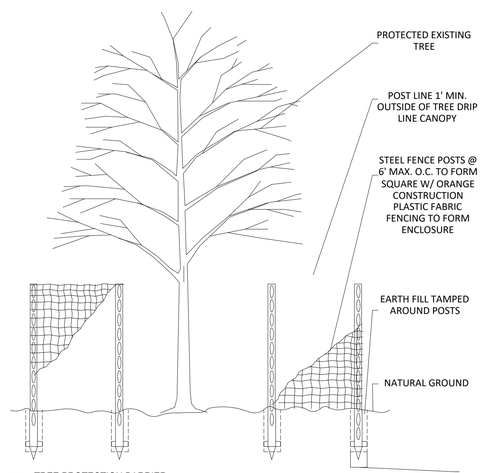
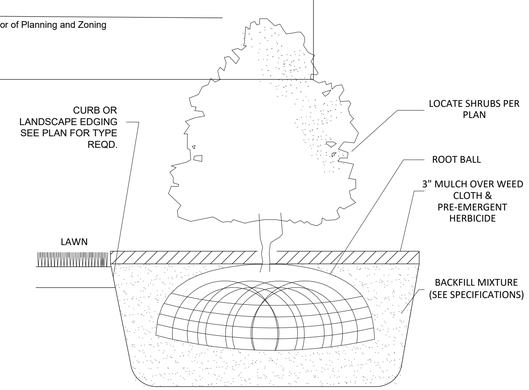
Planning & Zoning Commission, Chairman

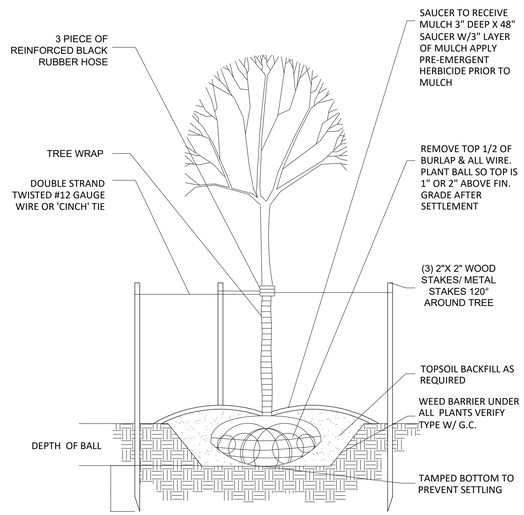
Director of Planning and Zoning



02 TREE PROTECTION BARRIER
NOT TO SCALE



03 SHRUB PLANTING
NOT TO SCALE



04 TREE PLANTING
NOT TO SCALE

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - OCTOBER GLORY MAPLE
- SHRUB

KEYED NOTES

01 - HANDICAP SYMBOL & SIGN
02 - PAVING
03 - LANDSCAPING
04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
05 - DUMPSTER

NOTE:NO EXISTING TREES, LAND IS CLEAR, REFER TO THIS PLAN FOR PROPOSED TREES

NOTES

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9- ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
10 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

Treescape CALCULATIONS

SITE AREA: 6.18 A.C.
15% LANDSCAPING FRONT LOT: 40.380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	8 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	8 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

NOTE 01:Canopy Trees shall be a minimum of four (4) caliper inches at DBH. Accent Trees shall be a minimum of four (4) feet in total height. Shrubs shall be a minimum of three (3) gallons in size

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
114 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	15 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	118 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

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REVISIONS

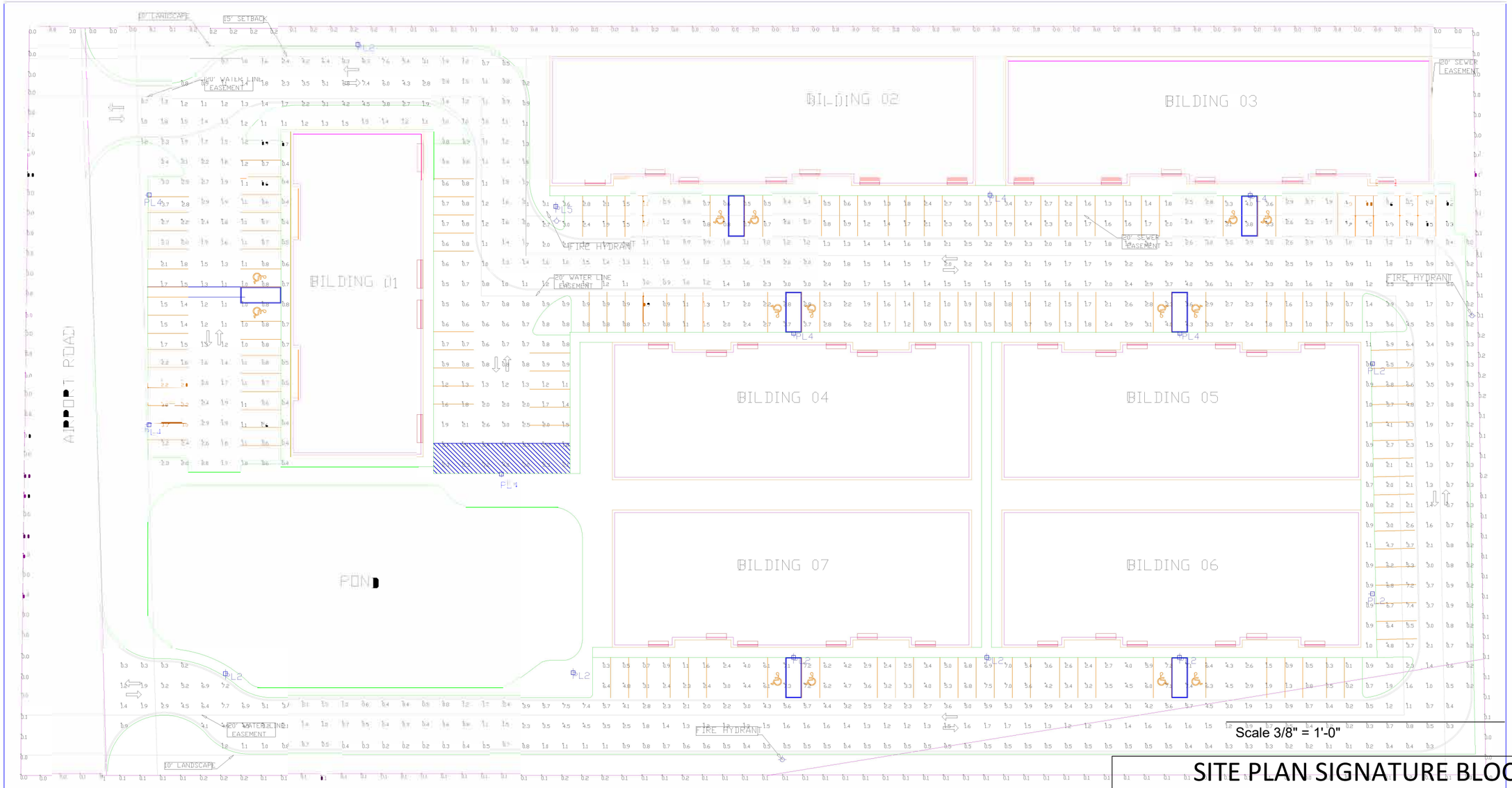
ISSUE DATE:05/19/23

STATE OF TEXAS
SALIM NAZIH OBEID
110989
LICENSED
PROFESSIONAL LANDSCAPE ARCHITECT
05/19/2023

TREESCAPE

DRAWN BY: | CHECKED:

PROJECT No: 23420.02 | SHEET No: A0.3



Luminaire Schedule

Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
	PL2	8	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5WQ-FINISH

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.06	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.94	8.3	0.1	19.40	83.00

Luminaire Location Summary

Label	Mounting HT
PL2	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc # Keith Peterson # 07-11-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



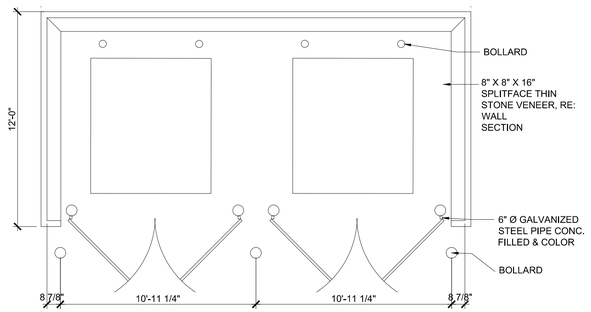
Peterson, Scharck & Associates, Inc.
10855 Tanner Rd.
Houston, TX 77041
applications@psalighting.com

XXX
XXX

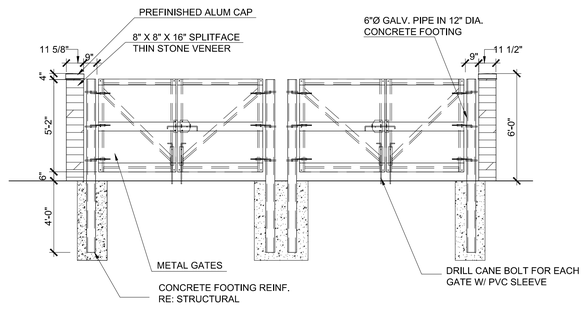
Rockwall Flexspace Center Site Ltg

07-11-23

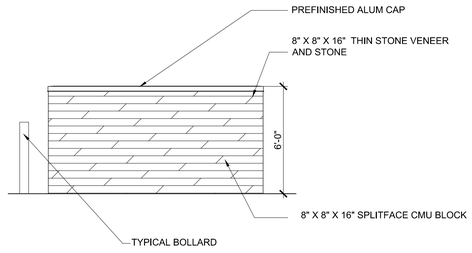
SR



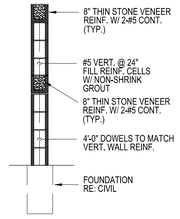
01 DUMPSTER PLAN
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION
Scale 3/8" = 1'-0"

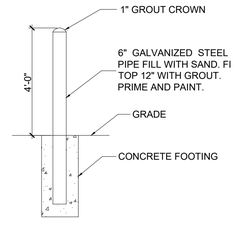
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above foregoing site plan for a development in the City of Rockwall, Texas, was approved by the planning & zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this [DAY] day of [MONTH], [YEAR].

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD
Scale 3/8" = 1'-0"

GENERAL NOTES

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER

RSG ENGINEERING
13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777
TBPE FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE:07/11/23

STATE OF TEXAS
SAIM NIZHE OBEID
118089
LICENSED
PROFESSIONAL ENGINEER
05/19/2023

DUMPSTER DETAIL

DRAWN BY:
CHECKED:

PROJECT No:
23420.02

SHEET No:
A0.2

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-029
PROJECT NAME: Site Plan for Duwest Rockwall
SITE ADDRESS/LOCATIONS:

CASE CAPTION: Discuss and consider a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Bowen Hendrix of DuWest Realty, LLC for the approval of an Amended Site Plan for two (2) Restaurant/Retail Buildings on an 8.63-acre tract of land identified as Tract 3-10 of the S. King Survey, Abstract No. 131, City of Rockwall, Rockwall County, Texas, being zoned Planned Development District 70 (PD-70) for limited General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, generally located at the northeast corner of the intersection of E. Quail Run Road and N. Goliad Street [SH-205].

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-029) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

I.4 As long as none of the easements change, new ones are added, or lot lines change, then a plat will not need to be complete. That being said, there is still an outstanding Final Plat associated with the subject property that has never been filed.

M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

_____ _____
Planning & Zoning Commission, Chairman Director of Planning and Zoning

M.6 Site Plan:
(1) Please indicate the front yard setback, which is 25-feet. It appears that the line is delineated but the label is not there. (Subsection 03.04. B, of Article 11, UDC)
(2) Based on the parking indicated on the site plan, it appears there are 177 provided parking spaces. Please correct the parking table to reflect this. In addition, please correct the building square footages on the site plan to reflect what is shown in the parking table. (Subsection 05.01, of Article 06, UDC)
(3) Please provide a full dumpster enclosure detail. In addition, please indicate that the dumpster enclosure gates will be self-latching (i.e. cane bolts do not satisfy this requirement). (Subsection 01.05. B, of Article 05, UDC)

M.7 Landscape Plan:
(1) All ground mounted utility equipment must be screened with 5-gallon evergreen shrubs; this include transformers. Please correct the landscape plan to reflect this. (Subsection 01.05. C, of Article 05, UDC)
(2) Based on the number of canopy trees indicated in the plant schedule, there are 452” being planted. Given this please update the mitigation table to reflect this. (Subsection 05.03. B, of Article 08, UDC)
(3) All shrubs must be 5-gallon. (Subsection 05.03. B, of Article 08, UDC)

M.8 Treescape Plan:
(1) Based on the treescape table, the follow changes need to be made: [1] there is a total of 1,659 inches being removed that must be mitigated, [2] a mitigation balance of 1,207 is remaining after subtracting the 452 caliper inches being removed, and [3] an alternative tree mitigation settlement agreement must be requested for a total of 1,207 caliper inches, for a fee of $120,700. All that being said, the proposed Treescape Plan is double counting trees that the Chipotle site mitigated for, please correct the treescape table to remove trees that were already mitigated by Chipotle. In addition, there are trees that were to be saved on Chipotle’s treescape table, but marked to be removed on this one and vice versa. Please correct the Treescape Plan to be consistent. This should provide substantial change to the mitigation balance, which may make the fee much less. (Subsection 01.05. C, of Article 05, UDC)

M.9 Photometric Plan:
(1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
(2) Please correct the light levels along the southeast portion of the subject property as they exceed the 0.2 FC at the property line. (Subsection 03.03. G. 2, of Article 07)
(3) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully shielded. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations:
(1) Please provide the material percentages for Building A; both tables are for Building B. (Subsection 06.02, Article 05, UDC)
(2) Please provide a note that back side of the parapet will be finished in the same material as the outward facing façade. (Subsection 06.02, of Article 05, UDC)
(3) Please ghost in the opposite side of the buildings in the elevations. (Subsection 04.01, of Article 05, UDC)
(4) Please cross-hatch any proposed roof top units. (Subsection 04.01. C, of Article 05, UDC)
(5) Based on the articulation requirements for a commercial building located within an overlay district, the following articulation standards are not met: [1] wall length exceeds on north sides (length = 3 x height), [2] wall projection under on south sides (projection = 25% x wall height), and [3] projection height under on north sides (projection height = 25% x wall height). These will be a variance to the articulation requirements. (Subsection 04.01. C. 1, of Article 05, UDC)

I.11 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] articulation. That being said, very similar buildings were approved previously. Please provide a variance letter that requests this variance; it would be important to note that very similar buildings were approved previously, and that the buildings are 100% masonry, with stone greater than the 20% requirement.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:

1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Show both landscape buffer and building setbacks.
2. Call out floodplain and elevations and easement.
3. Suggest shifting dumpster location or orientation so a trash truck only has to pass through the site once.
4. Dumpsters will need oil/water separators that outfall to the storm sewer system.
5. Based on the landscape plan you are proposing trees outside of the site lot line - is this lot line accurate? Confirm there is no required landscape buffer for this side lot line.
6. Monument sign will need proper setback and will need to be properly screened.
7. What is this line? Is this a utility easement? Please label.
8. Fix cut off.
9. Call out drainage easements, floodplain and elevations minimum of every 300' with source information.
10. Page 1, not next.
11. Same as other page.
12. Remove trees from erosion hazard setback area.
13. This proposed tree appears to be in the way of the fire hydrant. Please coordinate the plans and confirm.
14. Site Plan shows this as UGE - please clarify. Confirm trees are planted a minimum of 5' away from utilities.
15. Why are all of these trees being removed if this is outside of the limit of work? Please clarify the true limit of work.

General Library Comments:
General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
-The property will need to be platted.

Drainage Items:
- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
- Must show erosion hazard setback easement.
- Floodplain, erosion hazard setback, and detention ponds must be in a drainage easement with 20' additional easement.
- 100-year WSEL must be called out for detention ponds, and floodplains a minimum of every 300'.
- FFE for all buildings must be called out when adjacent to floodplain and detention ponds. Minimum 2' above 100-year WSEL.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)

- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved w/ Comments

08/21/2023: Building B will be: 159 E QUAIL RUN RD, ROCKWALL, TX 75087
Building C will be: 165 E QUAIL RUN RD, ROCKWALL, TX 75087

*Suite numbers can be looked at during permitting, otherwise they need to be in the 1XX range (i.e. 110,120,130 etc.) per our standards
http://www.rockwall.com/pz/GIS/AddressingStandards.pdf

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

08/21/2023: 1. Tifway 419 is a great turf there are (2) newer varieties that are more shade, wear, cold and drought tolerant. Tif Tuf and Tahoma 31 that you might look into

2. You will probably find that Caddo Maples are no longer available. Autumn Blaze and October Glory are two additional varieties that do well in DFW. Make sure you wrap the trunk for first 12 to 18 months to prevent sun scald.

3. Please review our new tree mitigation ordinance.

Show both landscape buffer and building setbacks.

Call out floodplain and elevations and easement.

Suggest shifting dumpster location or orientation so a trash truck only has to pass through the site once.

Dumpsters will need oil/water separators that outfall to the storm sewer system.

Based on the landscape plan you are proposing trees outside of the site lot line - is this lot line accurate?

Confirm there is no required landscape buffer for this side lot line.

What is this line? Is this a utility easement? Please label.

Monument sign will need proper setback and will need to be properly screened.

MATCHLINE- SEE NEXT PAGE

N 88°24'39" E 291.87'

96.09'

15' SETBACK

S 00°25'24" E 100.02'

N 88°37'10" E 317.71'

S 00°04'29" W 263.13'

S 88°24'29" W 572.94'

S1°35'21"E 258.02'

PERGOLA W/ PICNIC TABLES AND GAMES

BERM WITH 3 TIER SCREENING

PICNIC TABLES (TYP)

CAFE TABLES (TYP)

AMENITY AREA

CHILDREN'S PLAY AREA

PROP. DOUBLE DUMPSTER ENCLOSURE REFER TO ARCH PLANS FOR DETAILS

STOP WHEEL SEE C-22

PROP. TRANSFORMER

8.684 ACRES (378,275 SF)

DRIVE-THRU LANE

FIRE LANE PUBLIC ACCESS AND UTILITY ESMT.

REMOTE FDC

PROP. FH & 20' ESMT

PROP. UGE & 10' ESMT

52 SF RISER RM

BUILDING B

±12,228 SF

150.18'

159 EAST QUAIL RUN RD.
ROCKWALL TX 75087

RETAIL (7,000 SF)

DRIVE-THRU REST. (5,000 SF)

BUILDING C

±10,247 SF

124.77'

165 EAST QUAIL RUN RD.
ROCKWALL TX 75087

RETAIL (5,000 SF)

DRIVE-THRU REST. (5,000 SF)

PATIO 329 SF

PATIO 246 SF

PATIO 469 SF

FLOODLINE

PROP. FH

UTILITY ESMT

3 TIER SCREENING

EX OHE POLE TO BE RELOCATED

EX OHE TO BE REMOVED

50' WIDE MUTUAL ACCESS EASEMENT VOLUME 3306, PAGE 44 O.P.R.R.C.T.

2' BLOCKOUT FOR SAWCUT

433' TO NEXT DRIVE

256' TO NEXT DRIVE

163' TO NEXT DRIVE

PROPOSED SIGN

C1

E. QUAIL RUN RO
RIGHT-OF-WAY VARIE

85' R.O.W.

CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
FL	PROPOSED FIRE LANE, PUBLIC ACCESS ADN UTILITY EASEMENT
	PROPOSED SAWCUT
4	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 AD

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

TBM #1 - ELEV: 507.40
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 489.60
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
-The property will need to be platted.

Drainage Items:
- No detention in 100yr flood plain.
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
- Must show erosion hazard setback easement.
- Floodplain, erosion hazard setback, and detention ponds must be in a drainage easement with 20' additional easement.
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- FFE for all buildings must be called out when adjacent to floodplain and detention ponds. Minimum 2' above 100-year WSEL.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

SITE PLAN (1 OF 2)

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023

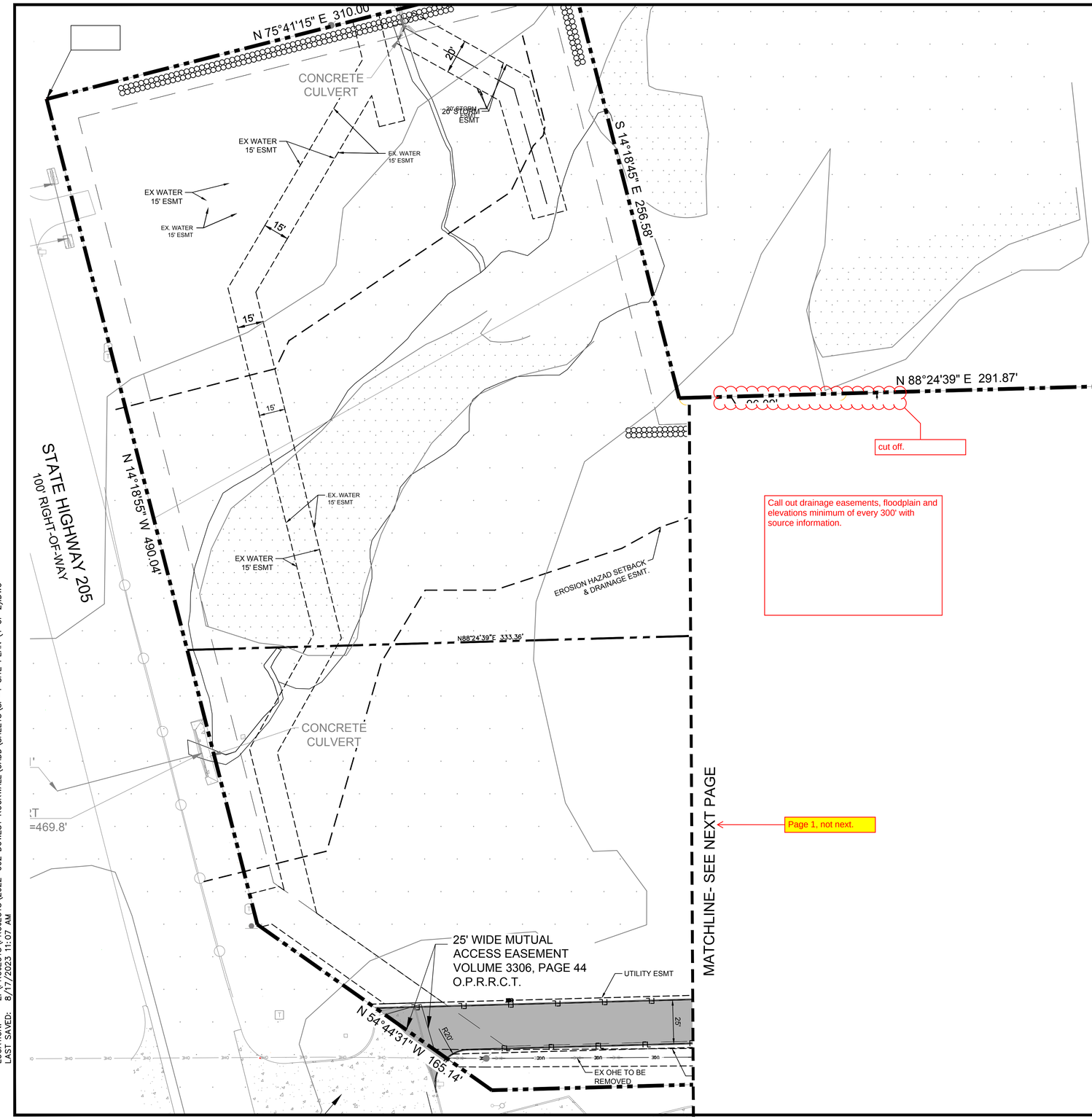
SHEET
SP-1

File No. 2022-002

CASE # SP2022-012

TEXAS REGISTRATION #14100
WWW.CLAYMOORENG.COM
BEDFORD, TX 76021

PLOTTED BY: JAT KRUABUDDA
PLOT DATE: 8/17/2023 11:16 AM
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
LAST SAVED: 8/17/2023 11:07 AM



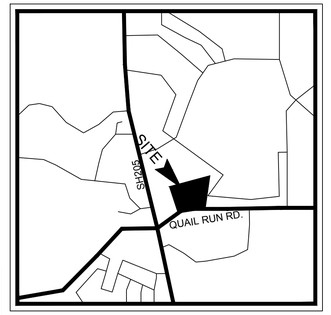
Call out drainage easements, floodplain and elevations minimum of every 300' with source information.

Page 1, not next.

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF
	BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
FL	PROPOSED FIRE LANE, PUBLIC ACCESS ADN UTILITY EASEMENT
	PROPOSED SAWCUT
4	PARKING COUNT

GRAPHIC SCALE
50 0 25 50 100
1 inch = 50 ft.

TBM #1 - ELEV: 507.40
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 489.60
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOORENG.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/17/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

SITE PLAN (2 OF 2)

Same as other page.

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023

SHEET
SP-1

File No 2022-002

CASE # SP2022-012

PLOTTED BY: JAT KRUABUDDA
PLOT DATE: 8/17/2023 11:16 AM
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
LAST SAVED: 8/17/2023 11:07 AM

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED). IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL.	16'-18' HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14`-16` HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14`-16` HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL.	16`-18` HT

ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8` -10` HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8` -10` HT

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL
	26	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1" x $200 = $34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4" x $100 / IN = $26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF
	BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:

DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTAL
ALL NEWLY-PLANTED TREES THA
FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

Scale 1" = 40'

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS
08/11/2023

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM

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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

LANDSCAPE PLANTING PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
LP-1

File No. 2022-002

CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 4:20 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_LP_2023-08-10.DWG
LAST SAVED: 8/11/2023 4:20 PM

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

TREE PROTECTION GENERAL NOTES

(A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
(1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
(2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
(3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.

(B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.

(C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.

(D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.

(E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.

(F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.

(G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.

(H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

EVERGREEN DESIGN GROUP
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15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT — DARCY R. BRANDON — 3423 — STATE OF TEXAS

08/11/2022

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF
	BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x $200 = $41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x $100 / IN = $40,760):	407.6"
TOTAL MITIGATION PROVIDED:	1044.5"

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
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APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
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CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

TREESCAPE PLAN

DESIGN: LRR
DRAWN: LRR
CHECKED: CLC
DATE: 04/05/2022
SHEET
TD-1
File No. 2022-002

CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 2:53 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TD-2022-08-10.DWG
LAST SAVED: 8/11/2023 2:51 PM

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☐ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☑ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: Not Assigned Yet

SUBDIVISION: | LOT: | BLOCK:

GENERAL LOCATION: NEC C Quail Run Road and 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-70	CURRENT USE	Vacant
PROPOSED ZONING	PD-70	PROPOSED USE	Commercial retail
ACREAGE	8.684	LOTS [CURRENT]	LOTS [PROPOSED]

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER		☐ APPLICANT	
CONTACT PERSON	Bowen Hendrix	CONTACT PERSON	Lynn Rowland
ADDRESS	4403 North Central Expressway Suite 200	ADDRESS	1903 Central Drive Suite 406
CITY, STATE & ZIP	Dallas, Tx 75025	CITY, STATE & ZIP	Bedford, Tx
PHONE	214-918-1804	PHONE	817.281.0572
E-MAIL	bowen@duwestrealty.com	E-MAIL	Lynn@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bowen Hendrix [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF August 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 *DAY OF* August *20*23

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

ANDREW S DONOSKY
Notary ID #131835647
My Commission Expires
December 26, 2026

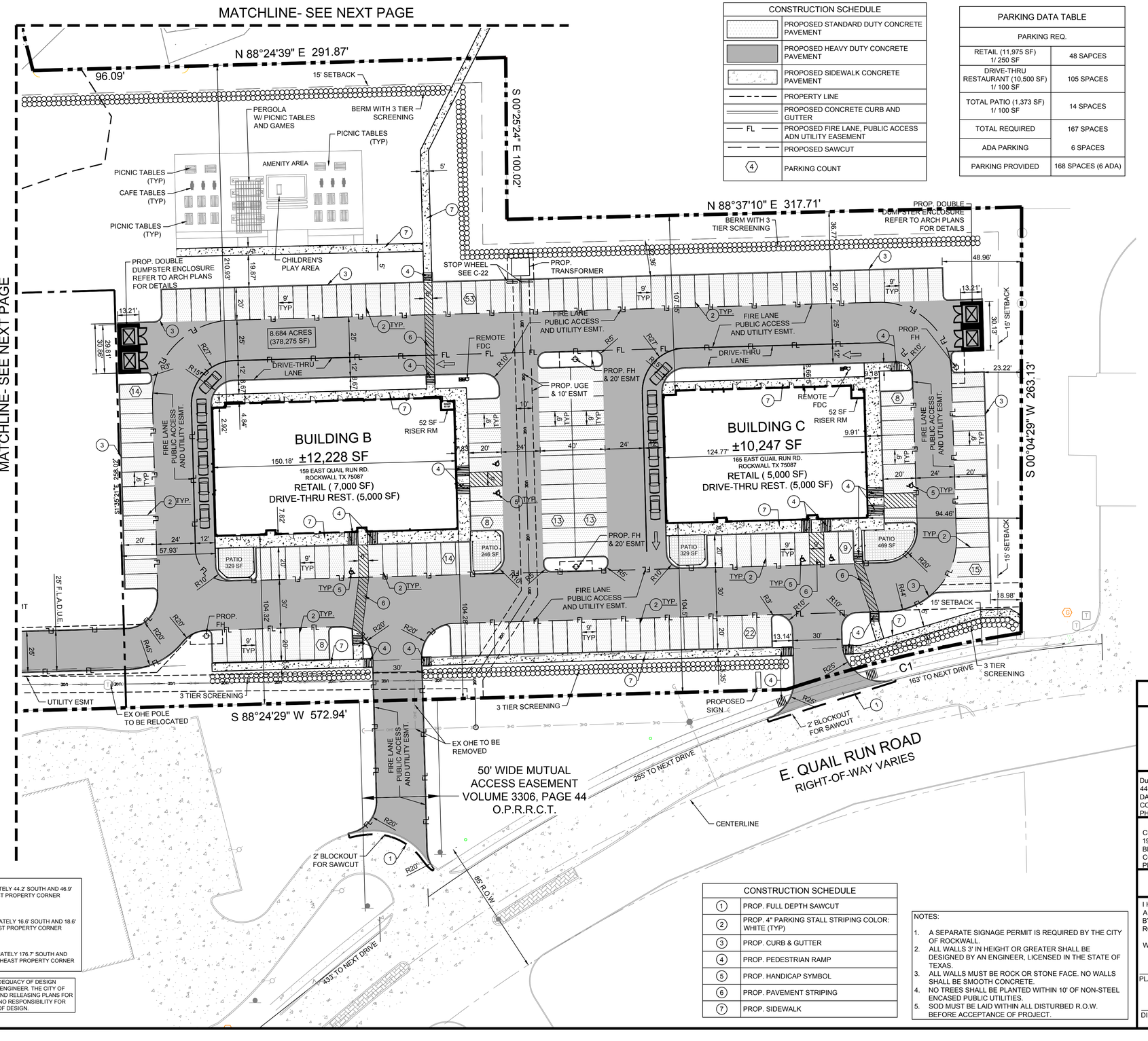
MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
FL	PROPOSED FIRE LANE, PUBLIC ACCESS ADN UTILITY EASEMENT
	PROPOSED SAWCUT
4	PARKING COUNT

PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

GRAPHIC SCALE

30 0 15 30 60

1 inch = 30 ft.



VICINITY MAP
N.T.S.

SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF
	BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

TBM #1 - ELEV: 507.40
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 489.60
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

PLOTTED BY: JAT KRUABUDDA
PLOT DATE: 8/17/2023 11:16 AM
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
LAST SAVED: 8/17/2023 11:07 AM

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
PHONE: 817.281.0572
WWW.CLAYMOORENG.COM
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/17/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023

SHEET
SP-1

File No. 2022-002

SITE PLAN (1 OF 2)

CASE # SP2022-012

NOTES BY NUMBER - MATERIAL ELEVATIONS

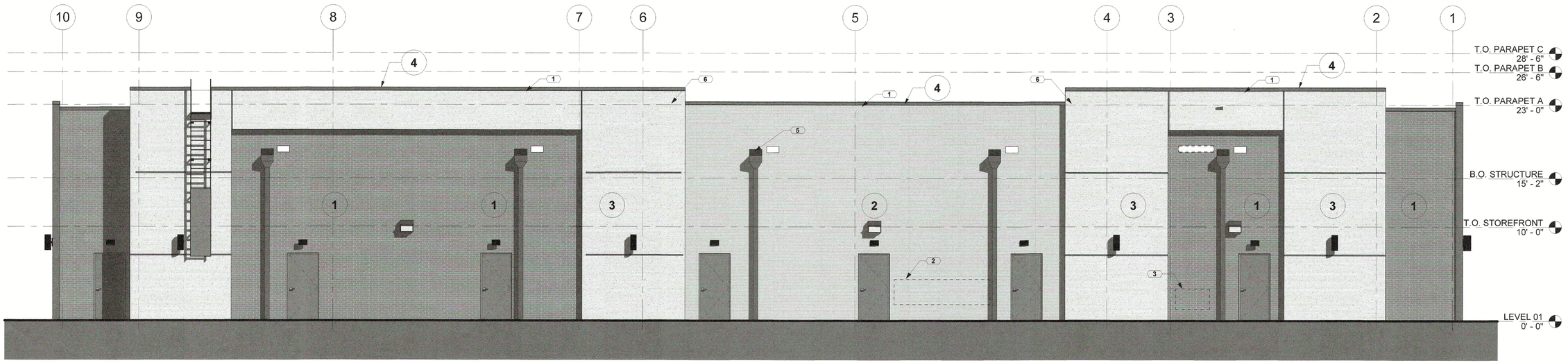
1. PARAPET WILL BE FINISHED ON BOTH SIDES
2. ELECTRICAL WIREWAY, PAINT TO MATCH ADJACENT FINISH
3. GAS MANIFOLD, PAINT TO MATCH ADJACENT FINISH
4. FUTURE DRIVE-THRU WINDOW BY TENANT
5. PREFINISHED METAL DOWNSPOUT, COLOR BLACK
6. STUCCO PLANE 8" PROUD OF STONE AND BRICK STUD

EXTERIOR ELEVATION MATERIAL CALCULATIONS - B

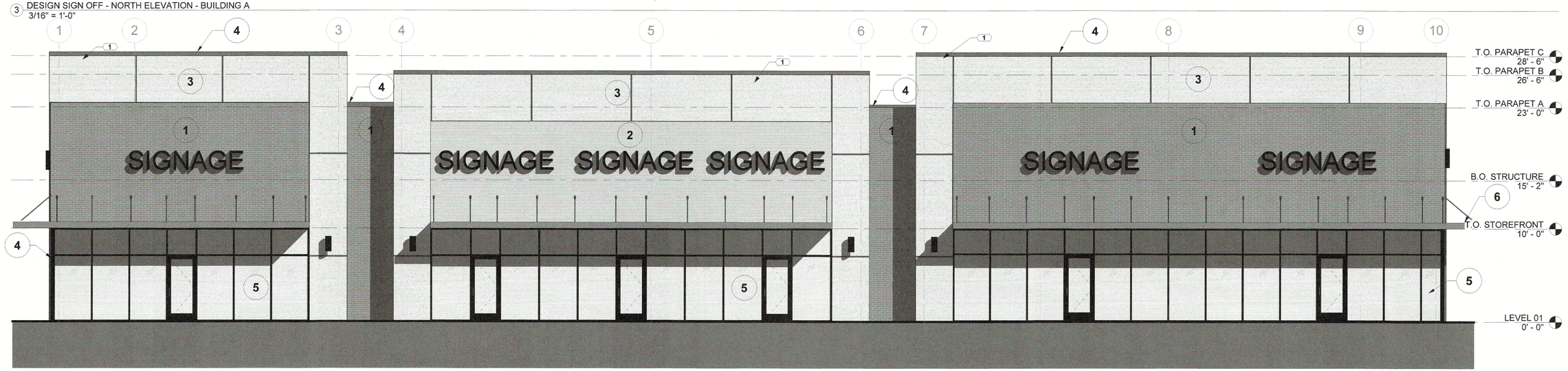
ELEVATION	STONE	BRICK	STUCCO	TOTAL
NORTH	932 SF	836 SF	1163 SF	2931 SF
SOUTH	497 SF	988 SF	939 SF	2424 SF
EAST	610 SF	342 SF	882 SF	1834 SF
WEST	610 SF	342 SF	882 SF	1834 SF
TOTAL	2655 SF	2508 SF	3866 SF	9023 SF

FINISH LEGEND

1. ENDICOTT THINSET BRICK - MANGANESE IRONSPOT
2. SMOOTH DIMENSIONALLY CUT 12", 8", 6" TALL BANDS OF BBCO TINSET LIMESTONE VENEER - NORTHWOOD LIGHT
3. 3 COAT PORTLAND CEMENT PLASTER BOD: CREAM
4. PREFINISHED COPING CAPS
5. STOREFRONT SYSTEM, BLACK ANODIZED
6. PREFINISHED METAL CANOPY



3 DESIGN SIGN OFF - NORTH ELEVATION - BUILDING A
3/16" = 1'-0"



1 DESIGN SIGN OFF - SOUTH ELEVATION - BUILDING A
3/16" = 1'-0"

DUWEST ROCKWALL - RETAIL SHELL

ELEVATIONS - BUILDING A

modus architecture

THIS DRAWING IS CONCEPTUAL AND SHOULD ONLY BE USED AS AN INFORMATIVE REFERENCE. LOD IS NOT AN AS-BUILT DRAWING, DIMENSIONS SHOULD BE FIELD VERIFIED BY TENANT OR TENANT'S REPRESENTATIVE. ALL PLANS AND DRAWINGS ARE INTELLECTUAL PROPERTY OF MODUS ARCHITECTURE.
OVERALL PLAN DIMENSIONS ARE ROUNDED TO THE NEAREST INCH. GROSS LEASABLE AREA DOES NOT INCLUDE RISER ROOM SQUARE FOOTAGE.

DATE: 08/21/23 01 - DESIGN SIGNOFF

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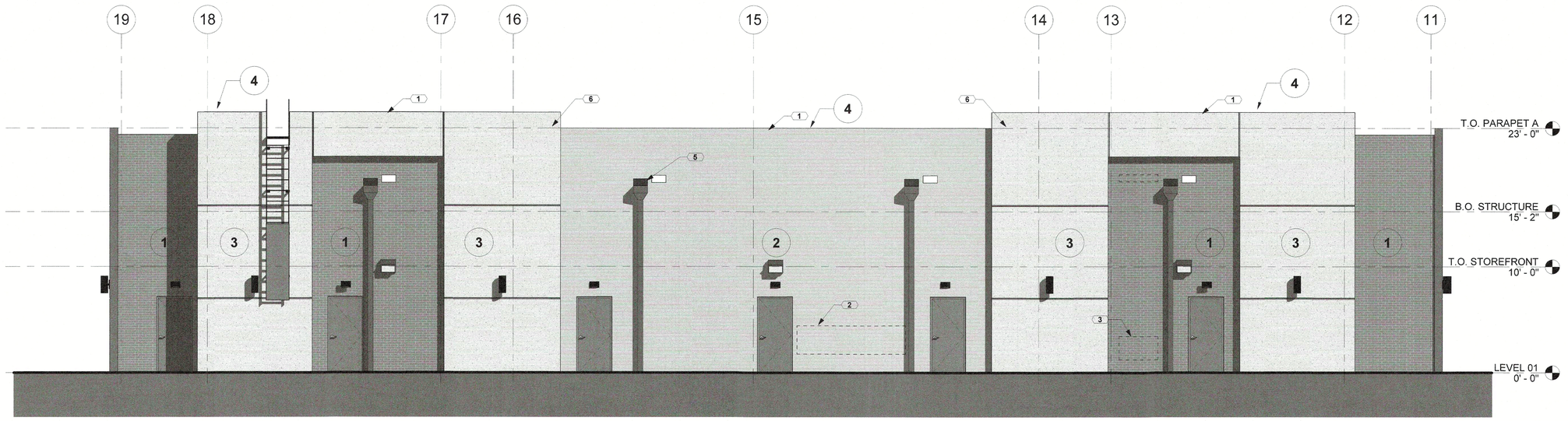
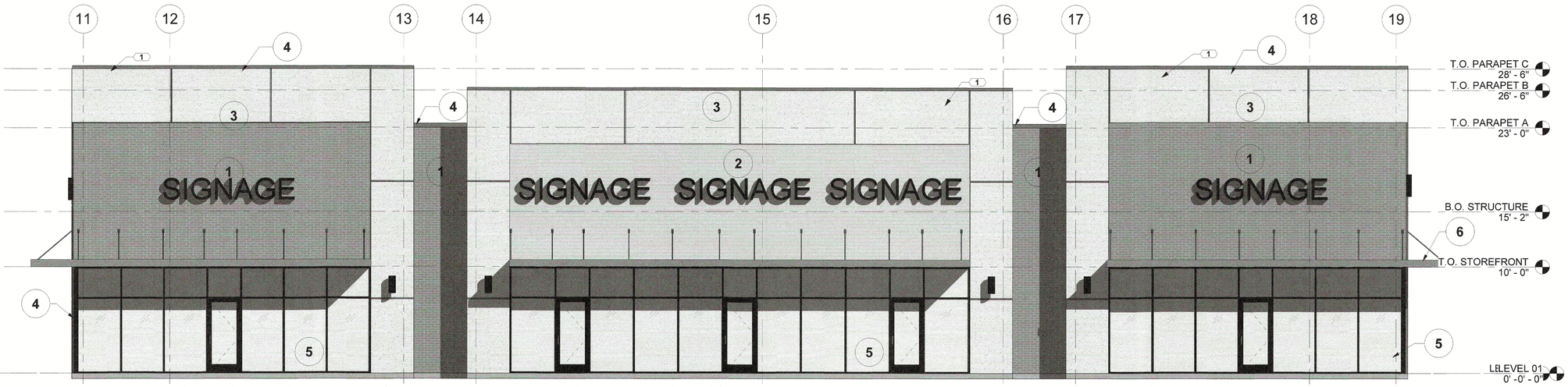


2 DESIGN SIGN OFF - NORTH ELEVATION - BUILDING B
3/16" = 1'-0"



1 DESIGN SIGN OFF - SOUTH ELEVATION - BUILDING B
3/16" = 1'-0"

DUWEST ROCKWALL - RETAIL SHELL

ELEVATIONS - BUILDING B

modus architecture

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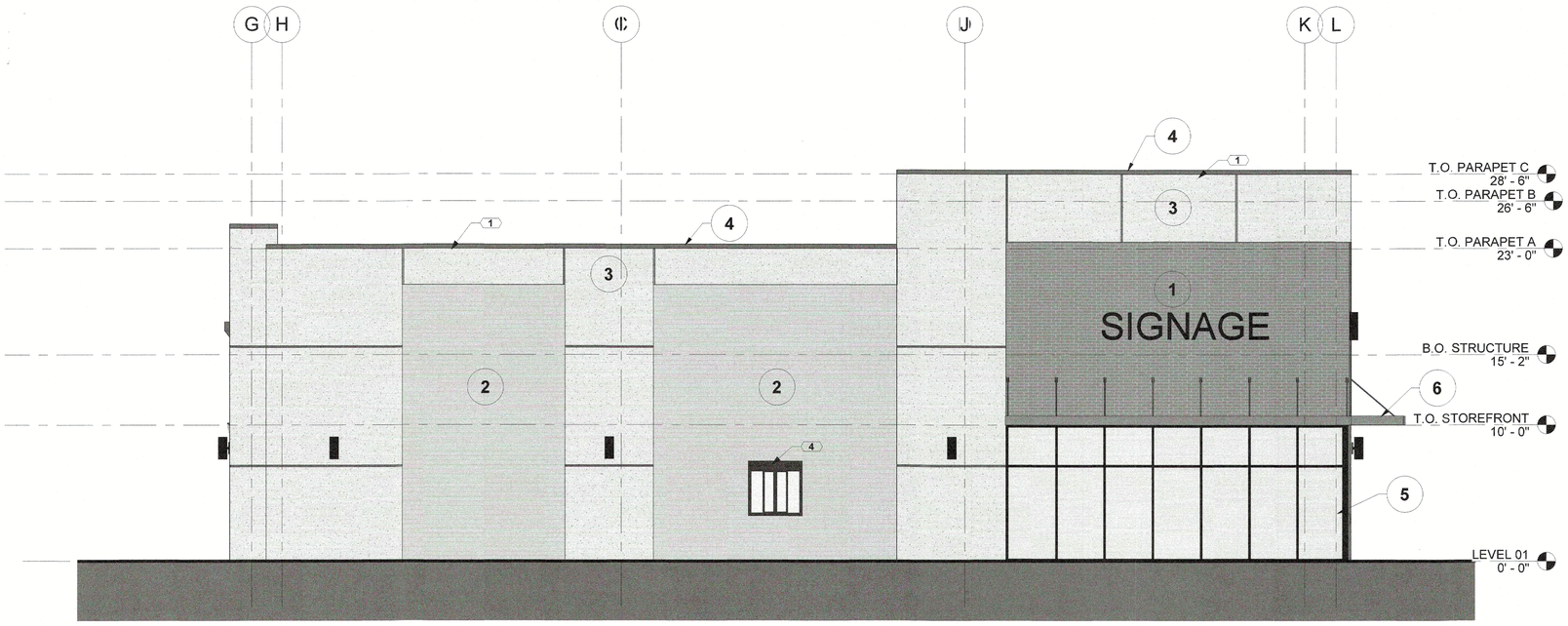
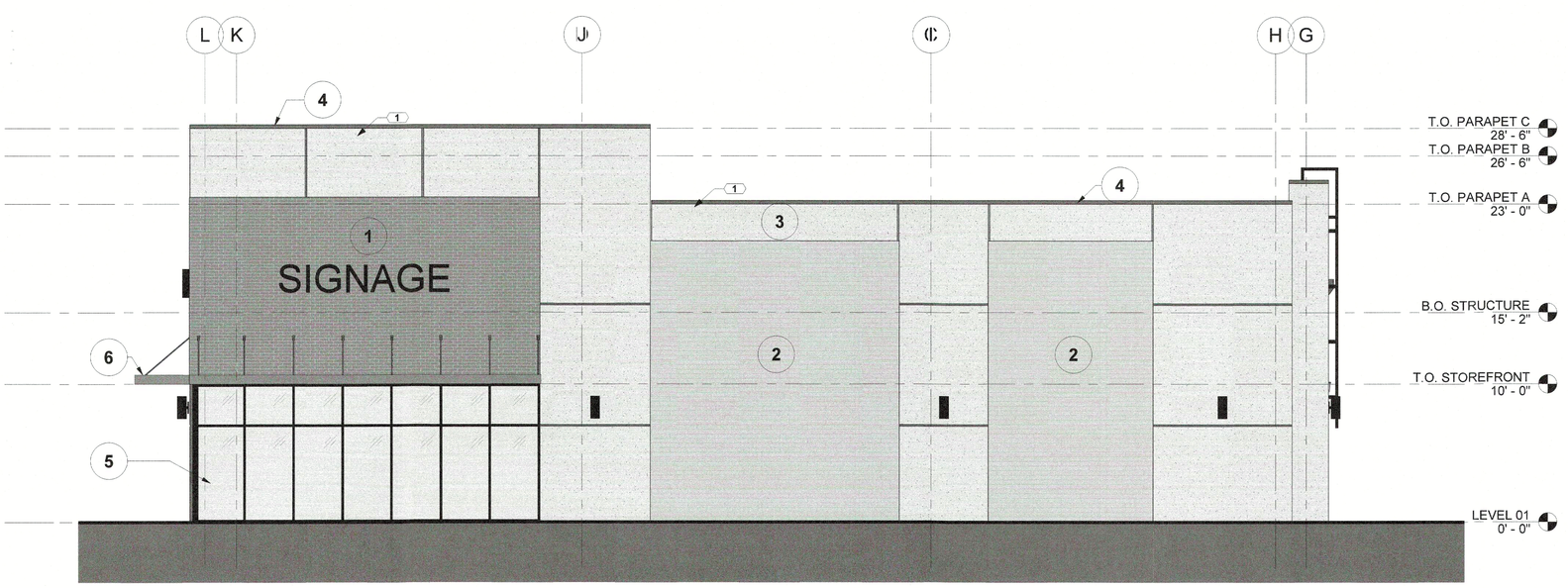
DATE: 08/21/23 | 02 - DESIGN SIGNOFF



2 DESIGN SIGN OFF - WEST ELEVATION
3/16" = 1'-0"



1 DESIGN SIGN OFF - EAST ELEVATION
3/16" = 1'-0"

FINISH LEGEND

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2. SMOOTH DIMENSIONALLY CUT 12", 8", TALL BANDS OF BBCO TINSET LIMEST VENEER - NORTHWOOD LIGHT
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DUWEST ROCKWALL - RETAIL SHELL

ELEVATIONS - BUILDING A/B

modus architectur

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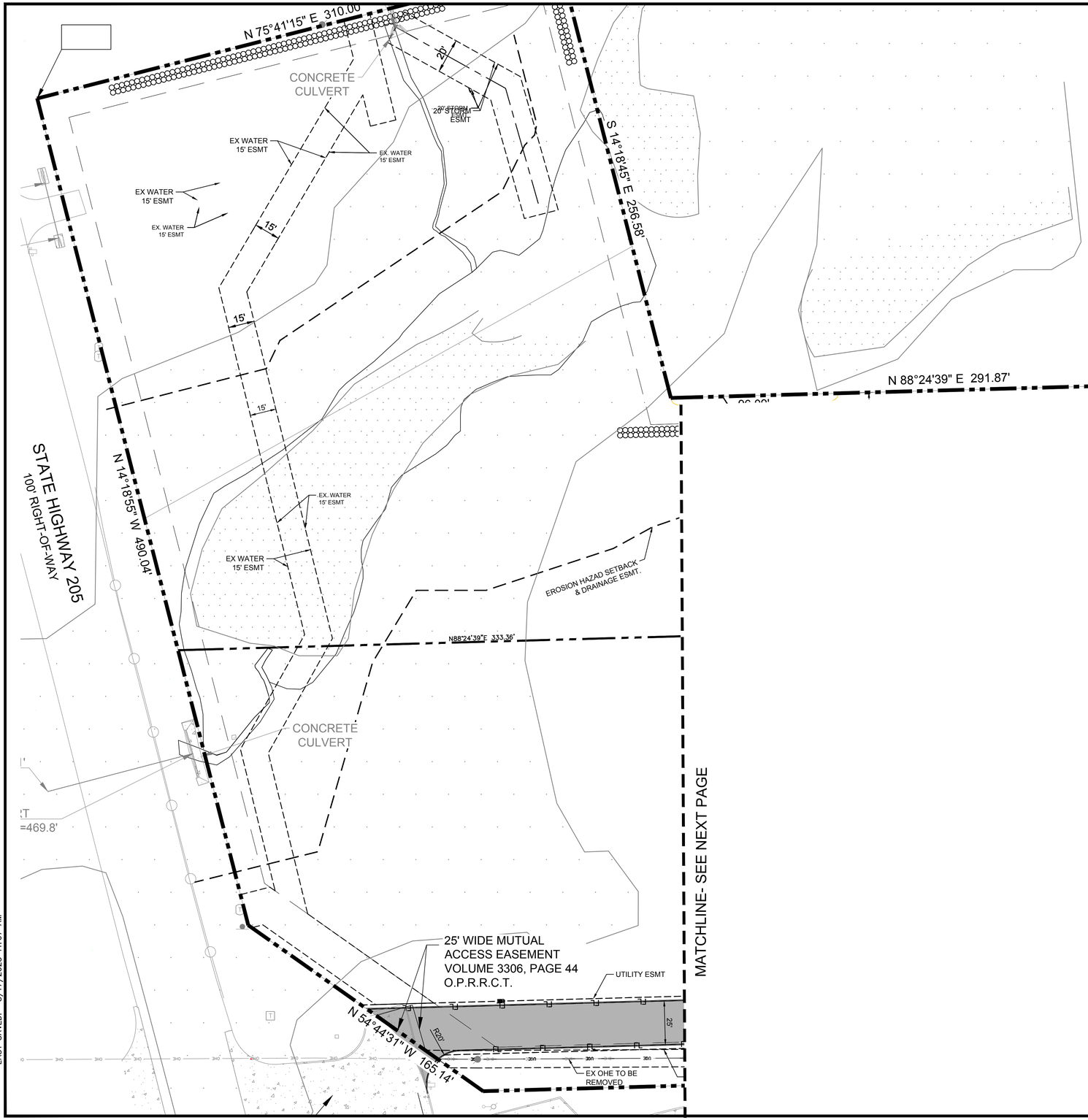
DATE: 08/21/23 03 - DESIGN SIGNO



PARKING DATA TABLE	
PARKING REQ.	
RETAIL (11,975 SF) 1/ 250 SF	48 SAPCES
DRIVE-THRU RESTAURANT (10,500 SF) 1/ 100 SF	105 SPACES
TOTAL PATIO (1,373 SF) 1/ 100 SF	14 SPACES
TOTAL REQUIRED	167 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	168 SPACES (6 ADA)

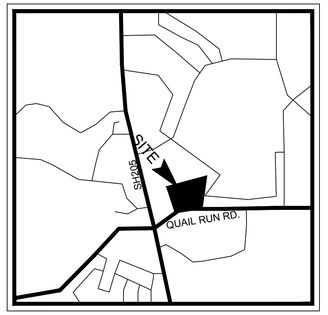
SITE DATA TABLE	
SITE AREA	8.684 AC (378,275 SF)
ZONING	PD-70
PROPOSED USE	RETAIL/ DRIVE-THRU RESTAURANT
BUILDING SIZE	BUILDING B- 12,228 SF
	BUILDING C- 10,247 SF
TOTAL PATIO AREA	1,373 SF
LOT COVERAGE	5.9 %
FLOOR TO AREA RATIO	0.06 : 1
BUILDING HEIGHT	1 STORY
TOTAL IMPERVIOUS	122,404 SF (32.4%)
OPEN SPACE	6.04 AC (69.2%)

CONSTRUCTION SCHEDULE	
1	PROP. FULL DEPTH SAWCUT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CURB & GUTTER
4	PROP. PEDESTRIAN RAMP
5	PROP. HANDICAP SYMBOL
6	PROP. PAVEMENT STRIPING
7	PROP. SIDEWALK

GRAPHIC SCALE

50 0 25 50 100

1 inch = 50 ft.



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
	PROPOSED STANDARD DUTY CONCRETE PAVEMENT
	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED SIDEWALK CONCRETE PAVEMENT
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
FL	PROPOSED FIRE LANE, PUBLIC ACCESS ADN UTILITY EASEMENT
	PROPOSED SAWCUT
4	PARKING COUNT

TBM #1 - ELEV: 507.40
AN "X" CUT SET APPROXIMATELY 44.2' SOUTH AND 46.9' WEST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

TBM #2 - ELEV: 489.60
AND "X" CUT SET APPROXIMATELY 16.6' SOUTH AND 18.6' WEST FROM THE SOUTHWEST PROPERTY CORNER ALONG QUAIL RD.

TBM #3 - ELEV: 486.4
AND "X" CUT SET APPROXIMATELY 176.7' SOUTH AND 103.1' EAST FROM THE SOUTHEAST PROPERTY CORNER ALONG QUAIL RD.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR, SUITE #406
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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/17/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

SITE PLAN (2 OF 2)

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/17/2023

SHEET
SP-1

File No 2022-002

CASE # SP2022-012

PLOTTED BY: JAT KRUABUDDA
PLOT DATE: 8/17/2023 11:16 AM
LOCATION: Z:\PROJECTS\PROJECTS\2022-002 DUWEST ROCKWALL\CADD\SHEETS\SP-1 SITE PLAN (1 OF 2).DWG
LAST SAVED: 8/17/2023 11:07 AM

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED). IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	24	ACER SACCHARUM 'CADDO' CADDO MAPLE	4" CAL.	16'-18' HT
	36	QUERCUS POLYMORPHA MEXICAN WHITE OAK	4" CAL MIN	14`-16` HT
	29	QUERCUS VIRGINIANA LIVE OAK	4" CAL MIN	14`-16` HT
	24	ULMUS CRASSIFOLIA CEDAR ELM	4" CAL.	16`-18` HT

ACCENT TREES	QTY	BOTANICAL / COMMON NAME	CAL	SIZE
	16	CERCIS CANADENSIS EASTERN REDBUD 3-5 STEMS	2" CAL MIN	8` -10` HT
	70	ILEX VOMITORIA YAUPON HOLLY	2" CAL MIN	8` -10` HT

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT
	79	HESPERALOE PARVIFLORA RED YUCCA	3 GAL
	29	ILEX CORNUTA 'DWF. BURFORD' DWARF BURFORD HOLLY	5 GAL
	26	LANTANA X `NEW GOLD` NEW GOLD LANTANA	3 GAL
	82	MYRTUS COMMUNIS 'DON'S DWARF' DON'S DWARF WAX MYRTLE	5 GAL

GROUND COVER	QTY	BOTANICAL / COMMON NAME	CONT
	57,735 SF	CYNODON 'TIFWAY 419' TIFWAY 419 BERMUDA GRASS	SOD

SEE SHEET LP-2 FOR LANDSCAPE STANDARDS

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	865.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (173.1" x $200 = $34,620 PAYMENT INTO THE CITY'S TREE FUND)	173.1"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (264.4" x $100 / IN = $26,440):	264.4"
TOTAL MITIGATION PROVIDED:	865.5"

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF
	BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

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WITNESS OUR HANDS THIS ____ DAY OF _____.

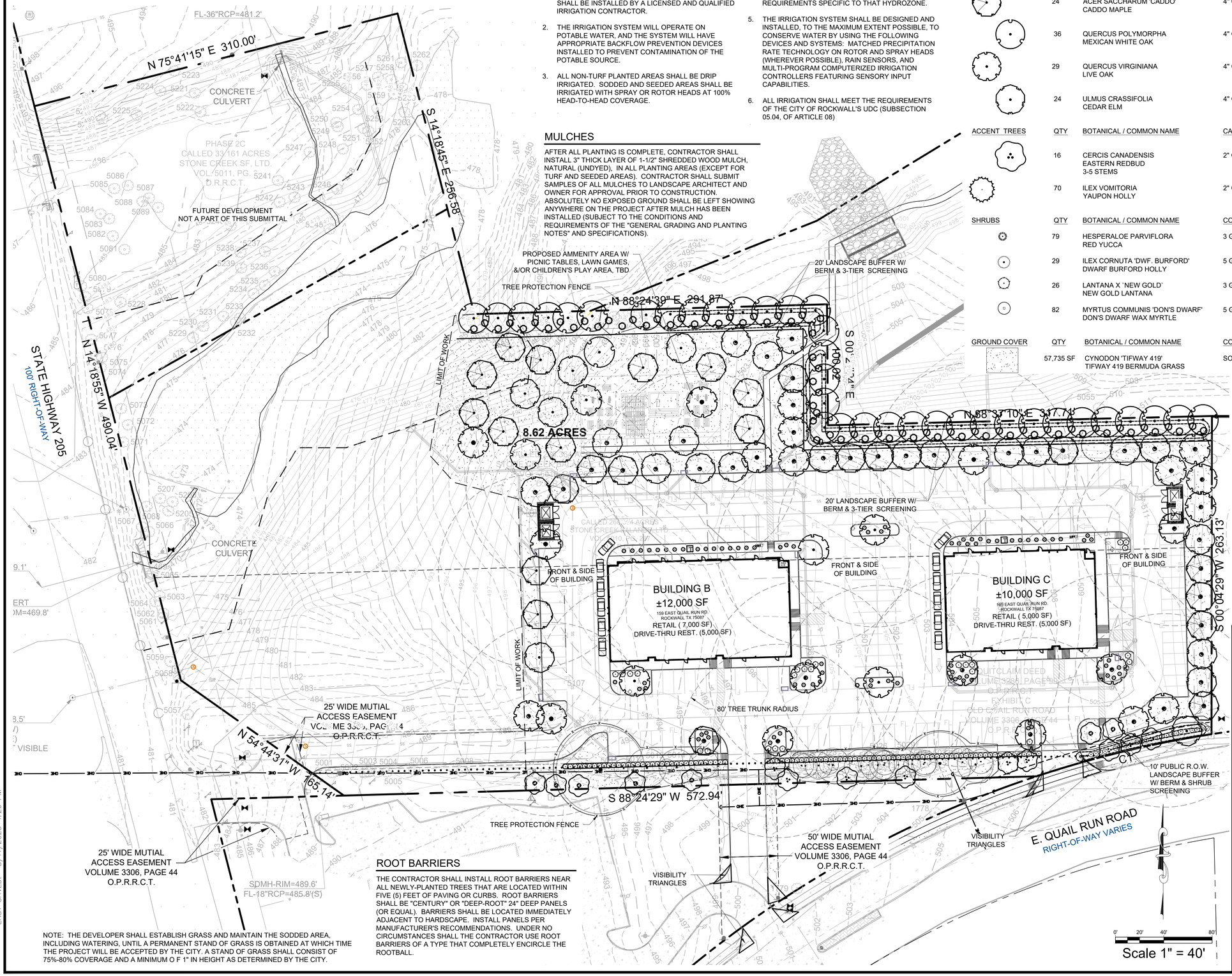
_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.



EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY R. BRANDON
3423
STATE OF TEXAS

08/11/2023

TEXAS REGISTRATION #14199
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Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

LANDSCAPE PLANTING PLAN

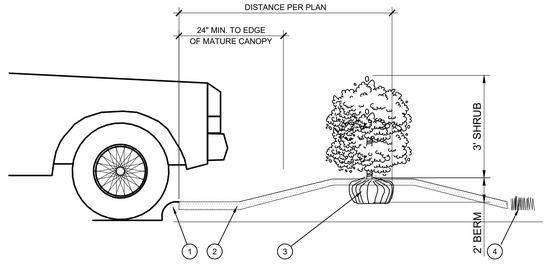
DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
LP-1

File No. 2022-002

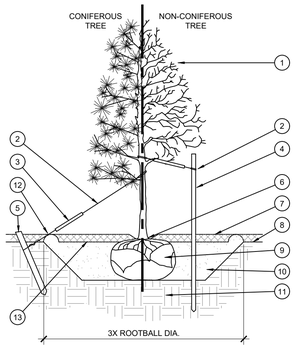
CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 4:20 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_LP_2023-08-10.DWG
LAST SAVED: 8/11/2023 4:20 PM



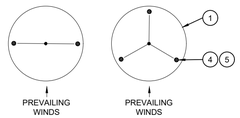
1. CURB.
2. MULCH LAYER.
3. PLANT.
4. TURF (WHERE SHOWN ON PLAN).

D PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



1. TREE CANOPY.
2. CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
3. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
4. GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
5. PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
6. TRUNK FLARE.
7. MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
8. FINISH GRADE.
9. ROOT BALL.
10. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
11. UNDISTURBED NATIVE SOIL.
12. 4" HIGH EARTHEN WATERING BASIN.
13. FINISH GRADE.

STAKING EXAMPLES (PLAN VIEW)

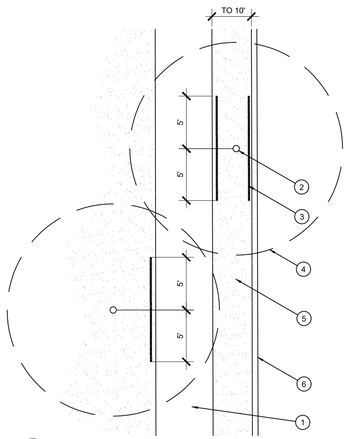


NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
3. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE

OPEN LANDSCAPE

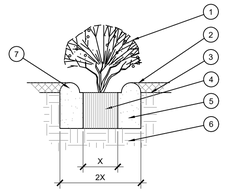
PARKWAY OR ISLAND



1. TYPICAL WALKWAY OR PAVING
2. TREE TRUNK
3. LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
4. TREE CANOPY
5. TYPICAL PLANTING AREA
6. TYPICAL CURB AND GUTTER

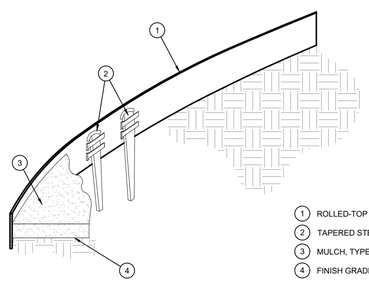
NOTES:
1) INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS.
2) BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

E ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
3. FINISH GRADE.
4. ROOT BALL.
5. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
6. UNDISTURBED NATIVE SOIL.
7. 3" HIGH EARTHEN WATERING BASIN.

B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



1. ROLLED-TOP STEEL EDGING PER PLANS.
2. TAPERED STEEL STAKES.
3. MULCH, TYPE AND DEPTH PER PLANS.
4. FINISH GRADE.

NOTES:
1) INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
2) BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
3) TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

D STEEL EDGING
SCALE: NOT TO SCALE

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL

REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
E. QUAIL RUN RD.: ±149' STREET FRONTAGE	10' WIDE BUFFER REQ. W/ 1 CANOPY + 1 ACCENT TREE PER 50 LIN. FT. OF FRONTAGE; GROUND COVER, BUILT-UP BERM AND SHRUBBERY ALONG ENTIRE FRONTAGE
REQUIRED PLANTING:	3 CANOPY TREES, 3 ACCENT TREES, BERM W/ SHRUBS
PROVIDED 10' BUFFER:	2 EXIST. CANOPY TREES + 1 NEW CANOPY TREE (CEDAR ELM); 3 ACCENT TREES (REDBUD) W/ BERM AND SHRUBS
SOUTH PROPERTY LINE BUFFER:	3-TIERED BUFFER REQ. 10 REDBUDS

05.02 LANDSCAPE SCREENING

REQ. HEADLIGHT SCREENING	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING	TEXAS SAGE SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGES
SCREENING FROM RESIDENTIAL	WROUGHT IRON FENCE W/ 3-TIERED SCREEN OF CANOPY TREES & 2 ROWS OF EVERGREEN ACCENT TREES

05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT

TOTAL SITE AREA:	±311,062 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	62,212.4 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	± 186,529 SF (60%)
LOCATION OF LANDSCAPING:	MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:	61,293 SF (98.5%)
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	NONE PROPOSED
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
PROPOSED PARKING AREA:	±5,011 SF
PROPOSED PARKING LOT LANDSCAPING:	±9,968 SF (9.9%) REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

DUWEST ROCKWALL

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:

DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER

Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

DARCY R BRANDON
REGISTERED LANDSCAPE ARCHITECT
3423
STATE OF TEXAS
08/11/2023

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOORENG.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

LANDSCAPE STANDARDS
PLANTING
DETAILS & NOTES

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
LP-2

File No. 2022-002

CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 4:19 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_LP_2023-08-10.DWG
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PLANTING SPECIFICATIONS

GENERAL

A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
   1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
   2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
   3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.

B. SCOPE OF WORK
   1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
   2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
   3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
   1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS.
   2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
   3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
   4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
   5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
   6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
   7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
   8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
C. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
H. TREE STAKING AND GUYING
   1. STAKES: 6' LONG GREEN METAL T-POSTS.
   2. GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
   3. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COL-MET OR APPROVED EQUAL.
J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

A. SOIL PREPARATION
   1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
   2. SOIL TESTING:
      a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECTS LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
      b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
      c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
      d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
   3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
   4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
      a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
      iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
      i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
      ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
      iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
      iv. IRON SULPHATE - 2 LBS. PER CU. YD.
   5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
      a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
      b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
      c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
      d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
      e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
      f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
   6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

B. SUBMITTALS
   1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
   2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
   3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
   4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
C. GENERAL PLANTING
   1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
   2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
   3. TRENCHING NEAR EXISTING TREES:
      a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
      b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
      c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
      d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH PRUNER TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
D. TREE PLANTING
   1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
   2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
   3. FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
   4. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
   5. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
   6. TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
      a. 1"-2" TREES — TWO STAKES PER TREE
      b. 2-1/2"-4" TREES — THREE STAKES PER TREE
      c. TREES OVER 4" CALIPER — GUY AS NEEDED
      d. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
      e. MULTI-TRUNK TREES — THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
   7. UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
E. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
   1. DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
   2. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
   3. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
F. SODDING
   1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
   2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
   3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
   4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
   5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
G. MULCH
   1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
   2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
H. CLEAN UP
   1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
   2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
I. INSPECTION AND ACCEPTANCE
   1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
   2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
   3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
J. LANDSCAPE MAINTENANCE
   1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES,REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
   2. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
   3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
      a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
      b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
      c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
K. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
   1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
   2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
L. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

REGISTERED LANDSCAPE ARCHITECT — DARCY R. BRANDON — 3423 — STATE OF TEXAS
08/11/2023

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PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date: 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

LANDSCAPE PLANTING SPECIFICATIONS

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
LP-3

File No. 2022-002

CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 4:16 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_LP_2023-08-10.DWG
LAST SAVED: 8/11/2023 4:16 PM

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.

TREE PROTECTION GENERAL NOTES

(A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
(1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
(2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
(3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.

(B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.

(C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.

(D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.

(E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.

(F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.

(G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.

(H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

SITE DATA TABLE

SITE AREA	8.684 AC / 378,275 SF
ZONING	PD-70 (Planned Development) GR (General Retail Dist.)
PROPOSED USE	RETAIL/DRIVE-THRU RESTAURANT
BUILDING SIZE	BLDG. B - 10,000 SF
	BLDG. C - 10,000 SF
PATIO AREA	2,777 SF
LOT COVERAGE	5.2%
FLOOR AREA RATIO	0.05:1
BUILDING HEIGHT	1-STORY
IMPERVIOUS AREA	116,406 SF (30.8%)
OPEN SPACE	6.04 AC (69.2%)

PARKING DATA TABLE

PARKING REQUIRED	
RETAIL (10,000 SF) 1 SPACE / 250 SF	40 SPACES
DRIVE-THRU RESTAURANT (10,000 SF) 1 SPACE / 100 SF	100 SPACES
PATIO (2,777 SF) 1 SPACE / 100 SF	28 SPACES
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES
PARKING PROVIDED	
TOTAL PARKING	168 SPACES
ADA PARKING	6 SPACES

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED:	1044.5"
MITIGATION PROVIDED BY PLANTING 4" CALIPER TREES (107) TO BE PLANTED ONSITE:	428"
MITIGATION PROVIDED BY PURCHASING PRESERVATION CREDITS (20% OF TOTAL): (208.9" x $200 = $41,780 PAYMENT INTO THE CITY'S TREE FUND)	208.9"
ALTERNATIVE TREE MITIGATION SETTLEMENT REQUEST (407.6" x $100 / IN = $40,760):	407.6"
TOTAL MITIGATION PROVIDED:	1044.5"

SEE SHEET TD-2 FOR EXISTING TREE SURVEY TABLES & TREE MITIGATION CALCULATION TABLE
SEE SHEET LP-1 FOR PROPOSED REPLACEMENT TREES FOR MITIGATION.

LEGEND

- TREE TAG NUMBER (5098)
- EXISTING TREES TO BE PROTECTED IN PLACE
- TREE PROTECTION FENCE
- TREE TAG NUMBER (5101)
- EXISTING TREES TO BE REMOVED

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:
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WITNESS OUR HANDS THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
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DARCY R. BRANDON 3423 REGISTERED LANDSCAPE ARCHITECT STATE OF TEXAS
08/11/2022

TEXAS REGISTRATION #14199
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CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

TREESCAPE PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
TD-1

File No. 2022-002
CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 2:53 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TD-2022-08-10.DWG
LAST SAVED: 8/11/2023 2:51 PM

EXISTING TREE SURVEY

TREE TABLE		
TAG	COMMON NAME	DBH (INCHES)
5001	CEDAR ELM	22
5002	CEDAR ELM	10
5003	CEDAR ELM	10
5004	CEDAR ELM	10
5005	HACKBERRY	24
5006	CEDAR ELM	14
5007	HACKBERRY	12
5008	HACKBERRY	16
5009	HACKBERRY	14
5010	CEDAR ELM	36
5011	HACKBERRY**	8
5012	HACKBERRY	16
5013	CEDAR ELM	6
5014	HACKBERRY	15
5015	BOIS D'ARC**	12
5016	BOIS D'ARC**	10
5017	HACKBERRY	16
5018	HACKBERRY	34
5019	HACKBERRY**	10
5020	HACKBERRY**	10
5021	HACKBERRY	11
5022	HACKBERRY**	8
5023	HACKBERRY	14
5024	HACKBERRY	14
5025	HACKBERRY**	8
5026	HACKBERRY	14
5027	HACKBERRY**	10
5028	BOIS D'ARC **	12
5029	HACKBERRY**	8
5030	HACKBERRY**	7
5031	HACKBERRY**	10
5032	HERCULES CLUB	10
5033	HACKBERRY	26
5034	HACKBERRY	12
5035	HACKBERRY	15
5036	BOIS D'ARC**	14
5037	CEDAR ELM	8
5038	HACKBERRY**	10
5039	BOIS D'ARC **	14
5040	HACKBERRY**	10
5041	HACKBERRY**	10
5042	HACKBERRY**	10
5043	HACKBERRY**	10
5044	HACKBERRY	12
5045	CEDAR ELM	36
5046	CEDAR ELM	36
5047	HACKBERRY	16
5048	HACKBERRY	26
5049	HACKBERRY	12
5050	CEDAR ELM	14
5051	CEDAR ELM	30
5052	HACKBERRY	24
5053	HACKBERRY**	10
5054	HACKBERRY	12
5055	HACKBERRY	38
5056	HACKBERRY	18
5057	CEDAR	24
5058	HACKBERRY	12
5059	HACKBERRY	24
5060	ELM	30
5061	ELM	23
5062	HACKBERRY**	8
5063	ELM	7
5064	ELM	25
5065	HACKBERRY	13
5066	PECAN	50
5067	PECAN	20
5068	WILLOW **	13
5069	ELM	13
5071	ELM	15
5072	PECAN	39
5073	PECAN	23
TOTAL CALIPER INCHES		979.5
CALIPER INCHES NON-PROTECTED		236
TOTAL CALIPER INCHES PROTECTED		608.5
TOTAL CAL. IN. DEAD OR POOR COND.		172
TOTAL CALIPER INCHES REMOVED*		186
TOTAL CALIPER INCHES PRESERVED		422.5
MITIGATION REQUIRED		308*
SHADED ROWS INDICATE TREES TO BE REMOVED		

* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
**NON-PROTECTED TREES

TREE TABLE		
TAG	COMMON NAME	DBH (INCHES)
5090	BOIS D'ARC**	30
5091	PECAN	12
5092	ELM	10
5093	ELM	7
5094	HACKBERRY**	8
5095	HACKBERRY**	9
5096	ELM	6
5097	ELM	12
5098	HACKBERRY	11
5099	BOIS D'ARC**	26
5100	CEDAR**	9
5101	WILLOW**	13
5102	HACKBERRY	13
5103	HACKBERRY**	10
5104	HACKBERRY**	6
5105	HACKBERRY	12
5106	HACKBERRY**	9
5107	BOIS D'ARC**	30
5108	HACKBERRY	19
5109	HACKBERRY**	10
5110	ELM	8
5111	ELM	7
5112	HACKBERRY	13
5113	HACKBERRY**	6
5114	HACKBERRY**	9
5115	HERCULES CLUB	6
5116	HACKBERRY**	8
5117	BOIS D'ARC**	36
5118	LOCUST **	12
5119	HACKBERRY	12
5120	BOIS D'ARC**	18
5121	HACKBERRY	14
5122	HACKBERRY**	8
5123	HACKBERRY**	6
5124	BOIS D'ARC **	18
5125	HACKBERRY**	10
5126	HACKBERRY**	10
5127	HACKBERRY**	10
5128	HACKBERRY**	6
5129	HACKBERRY	12
5130	HACKBERRY**	6
5131	HACKBERRY	14
5132	HACKBERRY	12
5133	HACKBERRY**	8
5134	CEDAR	12
5135	CEDAR	12
5136	HACKBERRY	17
5137	BOIS D'ARC**	26
5138	HACKBERRY	14
5139	BOIS D'ARC**	20
5140	CEDAR	14
5141	BOIS D'ARC**	38
5142	HACKBERRY	18
5143	BOIS D'ARC**	14
5144	HACKBERRY	19
5145	BOIS D'ARC**	12
5146	CEDAR**	7
5147	BOIS D'ARC**	10
5148	HACKBERRY**	10
5149	BOIS D'ARC**	10
5150	HACKBERRY**	7
5151	ELM	10
5152	HACKBERRY**	7
5153	CEDAR**	6
5154	BOIS D'ARC**	34
5155	BOIS D'ARC**	36
5156	CEDAR**	10
5157	HACKBERRY	20
5158	BOIS D'ARC**	8
5159	HACKBERRY	13
5160	HACKBERRY	16
5161	HACKBERRY	12
5162	CEDAR**	8
5163	HERCULES CLUB	8
5164	CEDAR**	10
5165	CEDAR**	8
5166	CEDAR**	10
5167	CEDAR	12
5168	BOIS D'ARC**	39
5169	CEDAR**	9
5170	CEDAR**	10
5171	BOIS D'ARC**	40
5172	CEDAR	12
5173	CEDAR**	7
5174	BOIS D'ARC**	31
5175	CEDAR**	8
TOTAL CALIPER INCHES		1,173
CALIPER INCHES NON-PROTECTED		725
TOTAL CALIPER INCHES PROTECTED		416
TOTAL CAL. IN. DEAD OR POOR COND.		0
TOTAL CALIPER INCHES REMOVED*		416
TOTAL CALIPER INCHES PRESERVED		0
MITIGATION REQUIRED		251
SHADED ROWS INDICATE TREES TO BE REMOVED		

* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
**NON-PROTECTED TREES

TREE TABLE		
TAG	COMMON NAME	DBH (INCHES)
5176	HACKBERRY**	8
5177	CEDAR**	6
5178	BOIS D'ARC**	21
5179	HACKBERRY**	8
5180	HACKBERRY**	8
5181	CEDAR**	10
5182	BOIS D'ARC **	14
5183	CEDAR**	6
5184	BOIS D'ARC**	26
5185	HACKBERRY**	10
5186	BOIS D'ARC **	10
5187	HACKBERRY**	9
5188	BOIS D'ARC**	10
5189	BOIS D'ARC **	14
5190	HACKBERRY	16
5191	ELM	10
5192	ELM	8
5193	ELM	6
5194	BOIS D'ARC **	20
5195	BOIS D'ARC**	11
5196	HERCULES CLUB	13
5197	BOIS D'ARC**	33
5198	HACKBERRY**	8
5199	HACKBERRY**	6
5200	ELM	28
5201	CEDAR	12
5202	CEDAR**	10
5203	ELM	25
5204	WILLOW**	30
5205	WILLOW **	13
5207	WILLOW **	12
5208	WILLOW **	16
5209	BOIS D'ARC**	25
5210	HACKBERRY	20
5211	HERCULES CLUB	10
5212	HACKBERRY**	10
5213	BOIS D'ARC**	28
5214	HACKBERRY**	10
5215	HACKBERRY**	10
5216	HACKBERRY**	10
5217	HERCULES CLUB	8
5218	HERCULES CLUB	8
5219	HACKBERRY	12
5220	HACKBERRY	14
TOTAL CALIPER INCHES		1,599
CALIPER INCHES NON-PROTECTED		623
TOTAL CALIPER INCHES PROTECTED		1,165
TOTAL CAL. IN. DEAD OR POOR COND.		68
TOTAL CALIPER INCHES REMOVED*		716
TOTAL CALIPER INCHES PRESERVED		449
MITIGATION REQUIRED		1,058*
SHADED ROWS INDICATE TREES TO BE REMOVED		

* DOES NOT INCLUDE NON-PROTECTED TREES, INCLUDES FEATURE TREES, PRIMARY & SECONDARY PROTECTED TREES
**NON-PROTECTED TREES

TREE MITIGATION CALCULATION TABLE

DESCRIPTION	CALIPER INCHES	FEATURE TREES	FEATURE TREES REMOVED 2:1	PRIMARY PROTECTED TREES	PRIMARY PROTECTED REMOVED 1:1	SECONDARY PROTECTED TREES	SECONDARY PROTECTED REMOVED 0.5:1	NON-PROTECTED TREES
TOTAL TREES ON SITE (NOT INC. DEAD OR POOR CONDITION TREES)	3,511.5	787		777		625.5		1,584
TOTAL PROTECTED TREES	2,189.5							
TREES REMOVED	1,318.0		521		353		444	
TOTAL MITIGATION REQUIRED	1,617.0		1,042		353		222	
20% INTO TREE FUND ($200 / INCH)	323.4							
4" TREES PLANTED FOR MITIGATION (107)	428.0							
BALANCE OF MITIGATION	1189.0	REQUESTING ALTERNATIVE TREE MITIGATION SETTLEMENT ($100 / CALIPER INCH)						

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

REGISTERED LANDSCAPE ARCHITECT
DARCY B. BRANDON
3423
STATE OF TEXAS

08/11/2022

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
WWW.CLAYMOORENG.COM

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

TREESCAPE PLAN
EXISTING TREE INVENTORY

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
TD-2

File No. 2022-002

CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 2:56 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TD-2022-08-10.DWG
LAST SAVED: 8/11/2023 2:56 PM

TREE PROTECTION SPECIFICATIONS

MATERIALS

1. FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
2. POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL 'T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
3. TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE,
4. USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

CONSTRUCTION METHODS

1. ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.

2. EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.

3. PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.

4. PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.

5. THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.

6. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.

7. WITHIN THE CRZ:
   a. DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
   b. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
   c. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
   d. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
   e. DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
   f. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

8. ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

9. WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.

10. THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES

11. REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.

12. TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.

13. ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.

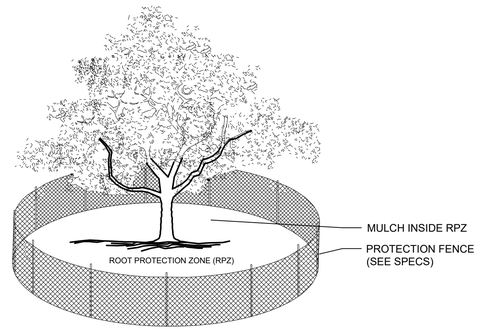
14. COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.

15. IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DUING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

16. WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

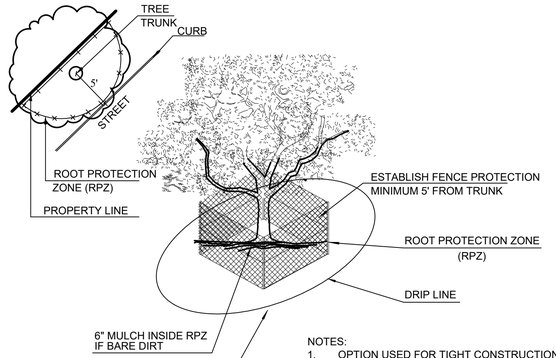
17. WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.

18. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.



NOTES:
1. THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

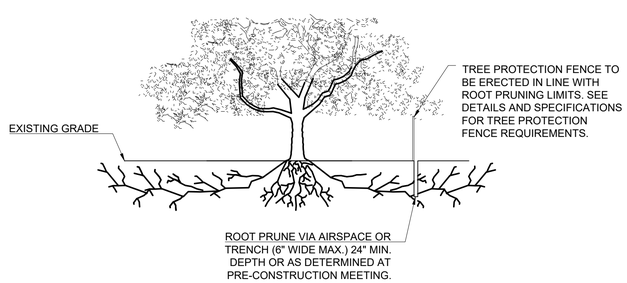
A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



NOTES:
1. OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
2. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

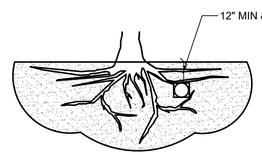
NOTES
1. RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
2. BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
3. EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR .
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
5. ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
6. ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
7. SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



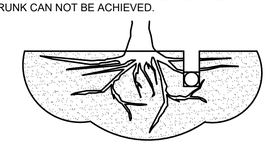
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

TREE PROTECTION GENERAL NOTES

(A) PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
(1) AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
(2) AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
(3) AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.

(B) NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.

(C) DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.

(D) NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.

(E) ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.

(F) PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.

(G) THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.

(H) IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

DUWEST ROCKWALL, TX

LEGAL DESCRIPTION AND OR ADDRESS:

STONE CREEK BALANCE LTD
ABSTRACT. NO 131
8.684 AC (378,275 SF)

OWNER:
DuWEST REALTY, LLC
4403 N.CENTRAL EXWAY SUITE #200
DALLAS, TX 75025
CONTACT: BOWEN HENDRIX
PH: 214.918.1804

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
CONTACT: DREW DONOSKY
PH: 817.281.0572

CASE NUMBER
Z2022-003

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

_____
PLANNING AND ZONING COMMISSION, CHAIRMAN

_____
DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP
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REGISTERED LANDSCAPE ARCHITECT
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STATE OF TEXAS
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ENGINEERING AND PLANNING CONSULTANTS
Engineer: DREW DONOSKY
P.E. No. 125651 Date 8/11/2023

DUWEST ROCKWALL
SH 205 & QUAIL RUN RD
ROCKWALL, TX

TREESCAPE PLAN
DETAILS & SPECIFICATIONS

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	04/05/2022

SHEET
TD-3

File No. 2022-002

CASE # SP2022-012

PLOTTED BY: DARCY BRANDON
PLOT DATE: 8/11/2023 2:57 PM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2022\EDG\DUWEST - ROCKWALL, TX\DUWEST-ROCKWALL_TD-2022-08-10.DWG
LAST SAVED: 8/11/2023 2:56 PM



1 SITE PLAN - PHOTOMETRICS
SCALE: 1" = 20'-0"

LIGHTING SCHEDULE

TYPE	DESCRIPTION	VOLTAGE	LAMP		FIXTURE	
			NO.	TYPE	MOUNTING	MANUFACTURER/ CAT. #
A	LED STRIP LIGHT	120V	1	31W	SURFACE/	DAY-BRITE
	WITH EMERGENCY PER PLAN			LED	CHAIN	FSSEZ440L840-UNV-EMLED / FKR-126
B	WALL MOUNTED LED SCONCE	120V	1	20W	SURFACE	ADVANCED LIGHTING SOLUTIONS
	WITH EMERGENCY PER PLAN			LED		WS-D-30K-BK-U
C	LED WALL PACK	120V	1	27W	SURFACE	ADVANCED LIGHTING SOLUTIONS
	WITH EMERGENCY PER PLAN			LED		WP27-40-FC-DB-U-D-EMB-8W
D	LED CANOPY LIGHT	120V	1	15W	RECESSED	LIGHTOLIER
	WITH EMERGENCY PER PLAN			LED		4RN / Z4RDL15840WOCDZ10U
E1	EXT SIGN WITH DUAL HEAD	120V	2	1W	SURFACE	CHLORIDE
	EMERGENCY LIGHT			LED		VLLCR
SITE LIGHTING						
S1	LED SITE POLE LIGHT	120V	1	150W	SURFACE	ADVANCED LIGHTING SOLUTIONS
				LED	18'AGF	ALV-150-40-T4-SR-DB-U-D
S1A	LED SITE POLE LIGHT	120V	1	150W	POLE	ADVANCED LIGHTING SOLUTIONS
				LED	18'AFG	ALV-150-40-T2-SR-DB-U-D

modus
211 N. ERVAY ST.
SUITE 610
DALLAS, TX 75201
t 314.302.6864
www.modusarchitect.com

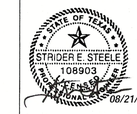
PERMIT SET

DUWEST ROCKWALL - RETAIL SHELL

199 E. QUAIL RUN RD.
ROCKWALL, TX 75089

ISSUE DATE:	08/04/2023
MODUS JOB #:	210409

REVISION DATES:



SHEET NUMBER

PH1.01

SHEET NAME

SITE PLAN
PHOTOMETRICS

V3 CONSULTING ENGINEERS
VIGILANT - VIABLE - VIRTUOUS
TEXAS REGISTRATION # F-20374
V3 PROJECT #: Z2020

PROJECT COMMENTS

CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 8/25/2023

PROJECT NUMBER: SP2023-030
PROJECT NAME: Site Plan for Clay Cooley
SITE ADDRESS/LOCATIONS: 1540 E INTERSTATE 30

CASE CAPTION: Discuss and consider a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site Plan for the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	08/25/2023	Needs Review

08/25/2023: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request by Lynn Rowland of Claymoore Engineering on behalf of Clay Cooley of 1540 East IH-30 Rockwall, LLC for the approval of a Site Plan for the expansion of an existing Motor Vehicle Dealership (i.e. Clay Cooley Hyundai) being a 7.17-acre tract of land identified as Lot 2, Block 1, Rockwall Recreation Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 1540 E. IH-30.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (SP2023-030) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, Unified Development Code [UDC])

M.4 Please remove all signage; all signage will be covered by a separate permit. (Subsection 06.02. F, of Article 05, UDC)

I.5 The subject property will need to replat to establish easements that have changed.

M.6 Please provide a 11x17 material sample board before the Planning and Zoning Work Session meeting. The material sample board is a submittal requirement for a site plan. (Subsection 03.04. A, of Article 11, UDC)

M.7 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11, UDC)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, _____.

WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.8 Site Plan:
(1) Please indicate the perimeter dimensions of the site. (Subsection 03.04. B, of Article 11, UDC)
(2) Please indicate the building dimensions of all existing and proposed buildings. (Subsection 03.04. B, of Article 11, UDC)
(3) Please indicate the distance between buildings. (Subsection 03.04. B, of Article 11, UDC)
(4) Please correct the parking tables; there is a parking table on the site plan and landscape plan. In additional the parking requirement for the service bays is 1 parking space per 2 bays. Given this, the total parking requirement might shift slightly. (Subsection 03.04. B, of Article 11, UDC)
(5) Is there any proposed ground mounted or roof mounted utility equipment? If so, please indicate them (if roof mounted they must be cross-hatched) and the subsequent screening. (Subsection 01.05. C, of Article 05, UDC)
(6) Please indicate that the dumpster enclosure gates will be self-latching (i.e. cane bolts do not satisfy this requirement). (Subsection 01.05. B, of Article 05, UDC)

M.9 Photometric Plan:
(1) Provide the same site data information required in Section 2.1 of the site plan checklist. (See Section 2.1 of the site plan checklist)
(2) Light levels shall not exceed 0.3 FC within the front yard of the development. The remainder will comply with the 0.2 FC at all property lines. (Subsection 03.03. E.2, of Article 07)
(3) Please provide all lighting cutsheets and spec sheets. All lighting must be oriented downward and fully shielded. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations:
(1) Please indicate that the stucco will be 3-part stucco. (Subsection 06.02, Article 05, UDC)
(2) Please cross-hatch any proposed roof top units. (Subsection 04.01. C, of Article 05, UDC)

I.11 Staff has identified the following exception(s) and variance(s) associated with the proposed request: [1] cementitious material, [2] 20% stone, [3] four-sided architecture, [4] articulation, [5] roof pitch, and [6] garage door orientation. That being said, these variances were approved as part of the SUP process.

I.12 Please note that failure to address all comments provided by staff by 3:00 PM on September 6, 2023 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.13 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on September 6, 2023; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the September 12, 2023 Planning & Zoning Meeting.

I.14 Please note the scheduled meetings for this case:
1) Planning & Zoning Work Session meeting will be held on August 29, 2023.
2) Planning & Zoning meeting/public hearing meeting will be held on September 12, 2023.

I.15 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City prefers that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are expected to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	08/25/2023	Approved w/ Comments

08/25/2023: 1. Is this area a drive aisle? If so you'll need to label 24' width and removal of parking stripes.
2. These spaces will need to be re-striped as well - no parking allowed within the minimum 24ft drive aisle.
3. Is the old FAUE going to be abandoned?
4. Dimension the drive aisle of the care wash.
5. Confirm this is the 60' Dedicated street right-of-way per plat.
6. Please label this line.

7. Please show the entire property so we can see where you are tying into the sewer system.
8. Add note regarding the oil/water separator and dumpster drain requirement.
9. Please label this line.
10. Confirm proposed trees are the required distance away from existing and proposed utilities.
11. Also, confirm proposed trees are the required distance away from existing and proposed utilities.

General Library Comments:
General Items:
- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.

Drainage Items:
- Detention is required for additional impervious area.
- Add note that the property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
-No grate inlets allowed
- 100-year WSEL must be called out for detention ponds.
- FFE for all buildings must be called out when adjacent to a detention pond. Minimum 2' above 100-year WSEL.

Water and Wastewater Items:
- Show existing/proposed utility lines (Water, Sewer, etc.)
- Public sewer to be 8" minimum.
- Any water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.

Roadway Paving Items:
- Fire lane to be 24' wide and in a platted easement.
- No dead-end parking.
- Parking to be 20x9' min.
- Sidewalk required along public roadways.

Landscaping:
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	08/23/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	08/22/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	08/21/2023	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	08/21/2023	Approved

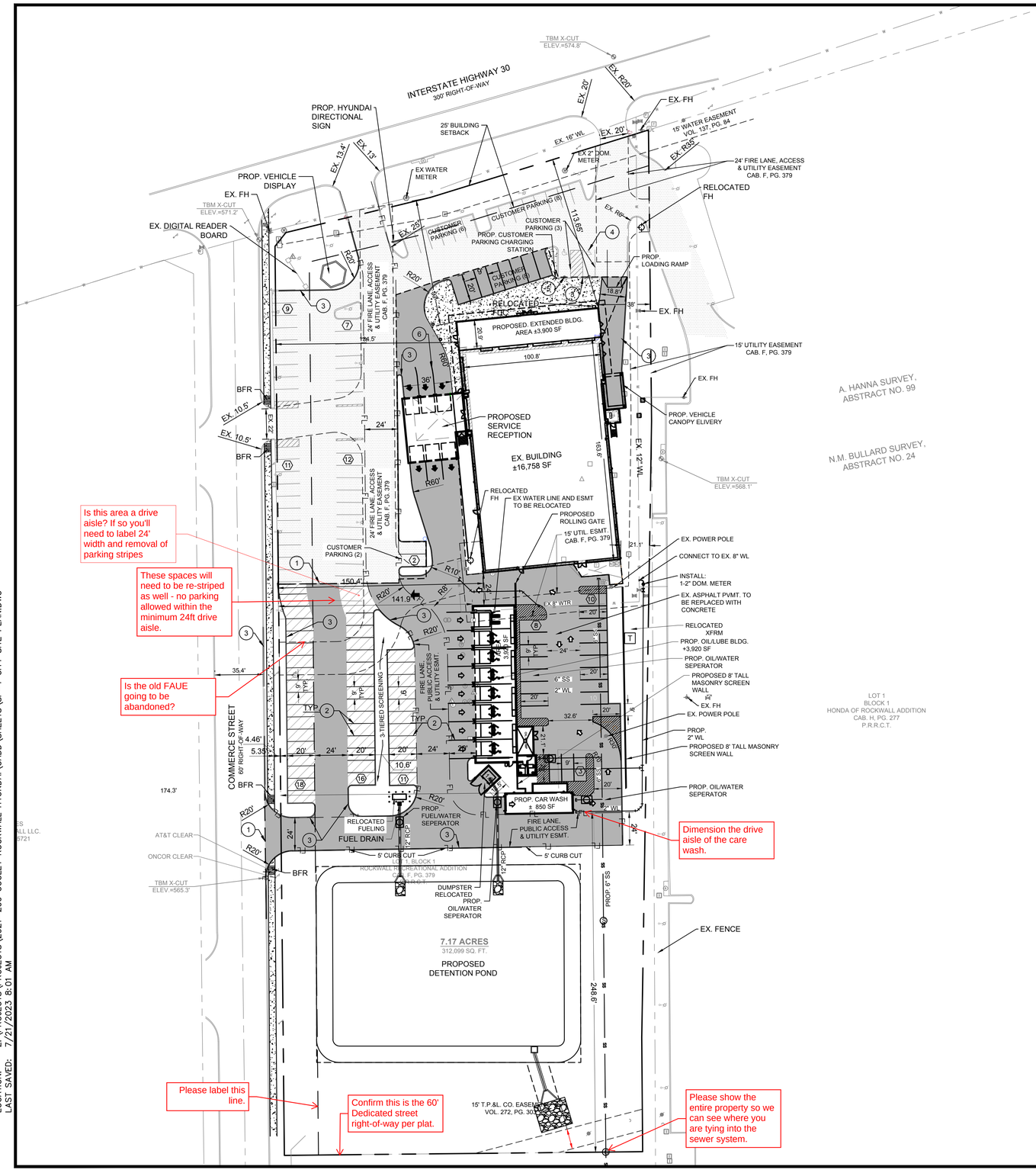
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	08/21/2023	Approved w/ Comments

08/21/2023: 1. All parking spaces must be within 80' of a tree canopy

2. All parking along Commerce Street and I-30 must have a headlight glare screen which is evergreen shrubs 24" tall at time of planting that are planted 36" on center.

3. Tifway 419 is an excellent turf variety but (2) newer variety are Tif Tuf and Tahoma 31 that are more drought, wear, cold and shade tolerant you might want to look at.



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Is the old FAUE going to be abandoned?

Dimension the drive aisle of the care wash.

Please label this line.

Confirm this is the 60' Dedicated street right-of-way per plat.

Please show the entire property so we can see where you are tying into the sewer system.

SITE DA	
SITE AREA	
ZONING	
PROPOSED USE	
BUILDING SIZE	
LOT COVERAGE	
FLOOR TO AREA RATIO	
BUILDING HEIGHT	
SALES FLOOR AREA	
OFFICE AREA	
# OF BAYS	

PARKING DATA	
PARKING RE	
SALES FLOOR 1/ 250 SF	
OFFICE SF 1/ 300 SF	
2 PER 2 BAY	
TOTAL:	
PARKING PROV	
DISPLAY PARKING	
CUSTOMER PARKING	2
SERVICE/STORAGE PARKING	

CONSTRUCTION S	
	EXISTING CONCRE
	FIRE LANE AND DRIVE ASILE 6", 3600 PSI (6.5 SACK/CY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
	PARKING 5", 3600 PSI (6.5 SACK/CY), #3 ON 24" ON 6" LIME STABLIZED SUBGRADE
	PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK
	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-16
	PROPERTY LINE
	PROPOSED CONCRETE CURB AND GUTTER
FL	PROPOSED FIRE LANE
	PROPOSED SAWCUT
4	PARKING COUNT

General Items:
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Landscaping:
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- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".

7. ADDITIONAL LANDSCAPING SHALL BE ADDED AS A COMPENSATORY MEASURE FOR THE SITE PLAN VARIANCES.

CLAY COOLEY HYUNDAI
ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:

ROCKWALL RECREATION ADDITION
LOT 1 BLOCK 1
7.17 AC (312,099 SF)

OWNER:

CLAY COOLEY AUTO
1251 E. AIRPORT FREEWAY
IRVING, TX 75062

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CASE NUMBER

Z2021-049

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
PHONE: 817.281.0572
WWW.CLAYMOREENG.COM
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021

STATE OF TEXAS
DREW DONOSKY
125651
LICENSED
PROFESSIONAL ENGINEER
8/18/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

CITY SITE PLAN

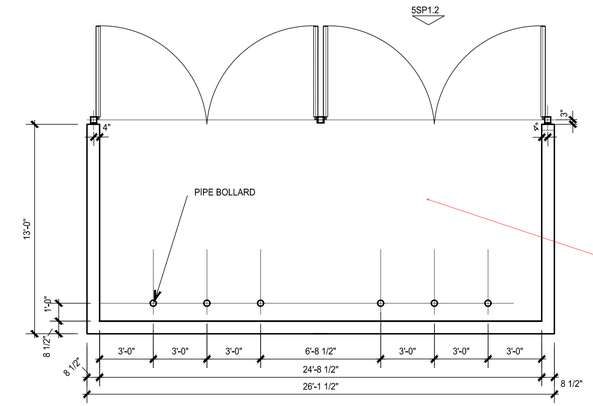
DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/18/2023

SHEET
SP-1

File No. 2020-021

PLOTTED BY: LYNN ROWLAND
PLOT DATE: 8/18/2023 12:02 PM
LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG
LAST SAVED: 7/21/2023 8:01 AM

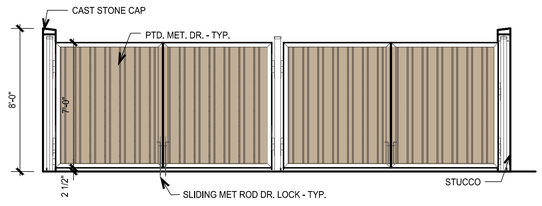
(SP2023-032)



Add note regarding the oil/water separator and dumpster drain requirment

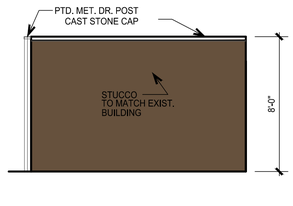
4 DUMPSTER PLAN

SCALE: 1/4" = 1'-0"



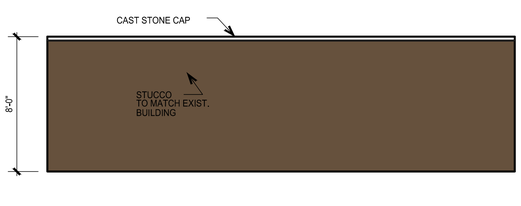
1 DUMPSTER FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 DUMPSTER SIDE ELEVATION

SCALE: 1/4" = 1'-0"



3 DUMPSTER REAR ELEVATION

SCALE: 1/4" = 1'-0"

KLINE HARDIN
ARCHITECTURE · PLANNING · INTERIORS
701 CANYON DRIVE · SUITE 110
COPPELL · TX 75019
972 · 331 · 5699

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING
1903 CENTRAL DR. SUITE #406
BEDFORD, TX 76021 WWW.CLAYMOORENG.COM
PHONE 817.281.0572

REGISTERED ARCHITECT
JAMES R. HARDIN
71546
STATE OF TEXAS

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

2020-021

PLOTTED BY: 014-MIKE
PLOT DATE: 8/18/2023 11:09 AM
LOCATION: Z:\ARCHTURE\ACTIVE\CLAY COOLEY\21034J CLAY COOLEY HYUNDAI OF ROCKWALL SERVICE\DRAWING FILES\CONSULTANTS\CIVIL\ELEVATIONS FOR SITE SUBMISSION 2023-08-09\21034 CC HYUNDAI ROCKWALL S&S A4.01 ELEVATIONS_2023-08-09.DWG
LAST SAVED: 8/14/2023 11:28 AM

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADES PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LA… ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIG… TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE ME… MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEG… CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT… THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS), … PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE UDC. (ARTICLE 08, SUBSECTION 05.04)

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

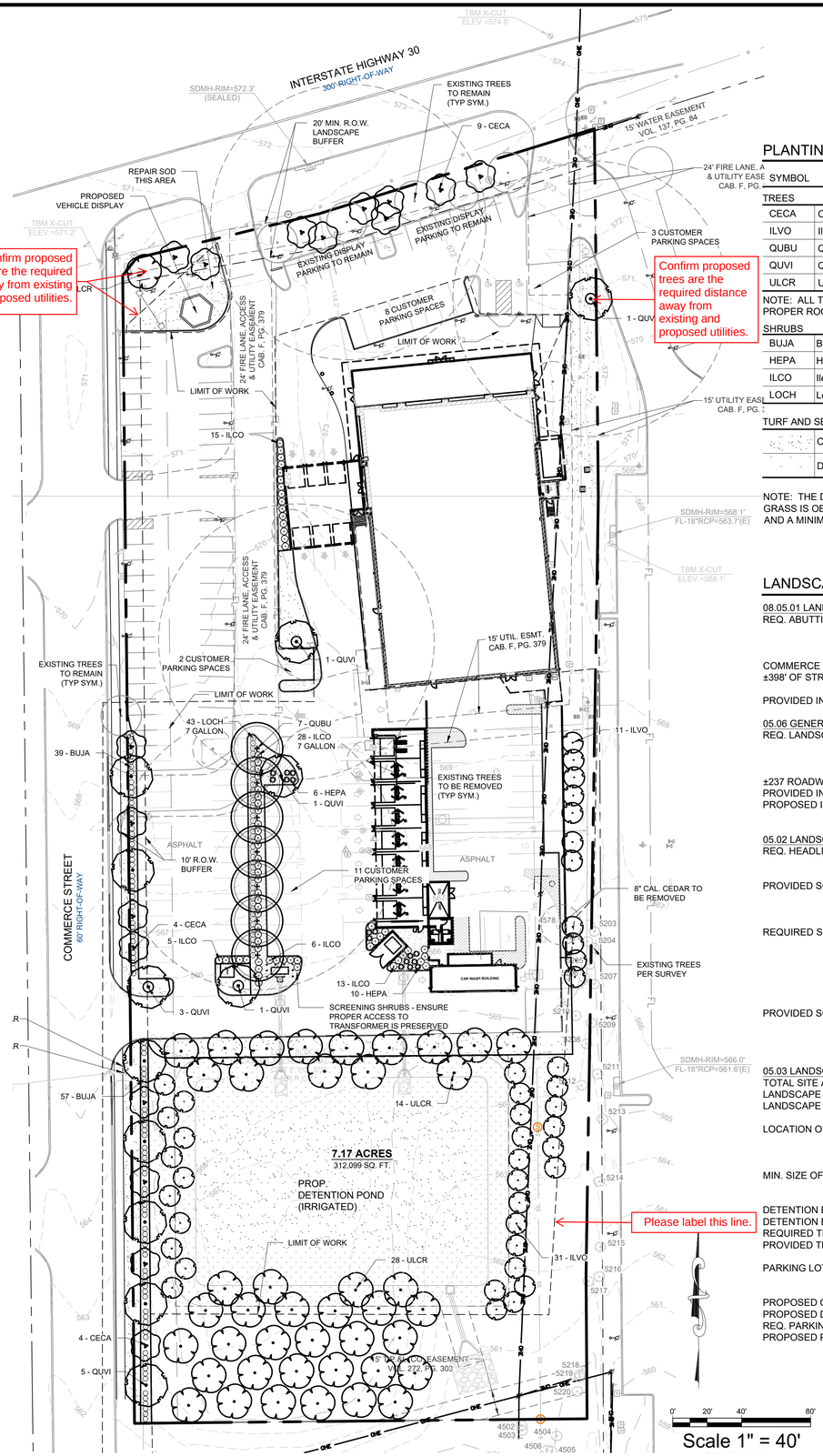
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE DATA TABLE

SITE AREA	7.71 AC / 312,099 SF
ZONING	LI (Light Industrial)
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CAR WASH)
	1,175 SF (OIL/LUBE)
LOT COVERAGE	0.07%
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1-STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE

PARKING REQUIRED	
SALES FLOOR 1/250 SF	16 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 SPACE PER 2 BAY	6 PARKING
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	87 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES



PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CECA	Cercis canadensis 'Texana'	Texas Redbud	6'-8' high	Per plan	17	Accent Tree
ILVO	Ilex vomitoria	Yaupon Holly	6'-8' high	Per plan	42	Accent Tree
QUBU	Quercus buckleyi	Texas Red Oak	5" cal., 12'-15' high	Per plan	7	Canopy Tree
QUVI	Quercus virginiana	Live Oak	5" cal., 12'-15' high	Per plan	12	Canopy Tree
ULCR	Ulmus crassifolia	Cedar Elm	5" cal., 12'-15' high	Per plan	43	Canopy Tree
SHRUBS						
BUJA	Buxus micro. japonica 'Green Beauty'	Green Beauty Boxwood	5 gallon	3' o.c.	96	
HEPA	Hesperaloe parviflora 'Brakelights'	Red Yucca	5 gallon	4' o.c.	16	
ILCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon / 7 gallon	4' o.c.	39 / 28	See plan for 7 gal. locations
LOCH	Loropetalum chinense 'PIILC-III'	Purple Daydream Loropetalum	7 gallon	3' o.c.	43	
TURF AND SEED						
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	- - -	~ 24,885 SF	
	Dam Slope Mix (Contact Native American Seed)		Hydromulch	20 lbs / acre	~ 20,481 SF	

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.

LANDSCAPE STANDARDS

08.05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL

REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
COMMERCE STREET: ±398' OF STREET FRONTAGE	10' WIDE BUFFER REQUIRED W/ 1 CANOPY & 1 ACCENT TREE PER 50' OF FRONTAGE
PROVIDED IN 10' BUFFER:	8 OAKS, 8 REDBUDS, SHRUBS, & GROUND COVER

05.06 GENERAL OVERLAY DISTRICT STANDARDS - IH-30 OVERLAY

REQ. LANDSCAPE BUFFER:	20' WIDE W/ GROUND COVER & BUILT-UP BERM & SHRUBBERY ALONG ENTIRE LENGTH OF FRONTAGE, 30"-48" HIGH; 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FT. OF PRIMARY ROADWAY
±237 ROADWAY FRONTAGE REQ. PLANTING:	4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES
PROVIDED IN 20' BUFFER, EXISTING:	4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY
PROPOSED IN 20' BUFFER:	1 CEDAR ELM + 9 REDBUDS

05.02 LANDSCAPE SCREENING

REQ. HEADLIGHT SCREENING:	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING:	BOXWOOD SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGE TO MATCH EXISTING SHRUBS
REQUIRED SCREENING OF SERVICE BAYS:	A WROUGHT IRON FENCE AND THREE (3) TIERED SCREENING (I.E. SMALL TO MID-SIZED SHRUBS, LARGE SHRUBS OR ACCENT TREES, AND CANOPY TREES) ALONG THE ENTIRE LENGTH OF THE ADJACENCY. THE CANOPY TREES SHALL BE PLACED ON 20-FOOT CENTERS.
PROVIDED SCREENING:	TEXAS RED OAK TREES, DWARD BURFORD HOLLY, AND PURPLE DAYDREAM LOROPETALUM ARE PROPOSED TO PROVIDE THE THREE-TIER PLANTING SCREEN.

05.03 LANDSCAPE REQUIREMENTS - L-1 DISTRICT

TOTAL SITE AREA:	312,099 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	62,420 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±79,574 SF (25%)
LOCATION OF LANDSCAPING:	MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	MIN. 1 CANOPY & 1 ACCENT TREE PER 750 SF
DETENTION BASIN AREA:	±31,539 SF
REQUIRED TREES:	42 CANOPY TREES & 42 ACCENT TREES
PROVIDED TREES:	42 CEDAR ELM & 42 YAUPON HOLLY
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
PROPOSED CUSTOMER PARKING AREA:	27 (2 ADA) SPACES, ±20,759 SF
PROPOSED DISPLAY PARKING AREA:	87 SPACES, ±27,124 SF
REQ. PARKING LOT LANDSCAPING:	1,038 SF (5%)
PROPOSED PARKING LOT LANDSCAPING:	3,734 SF (18%)
	REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

REGISTERED LANDSCAPE ARCHITECT — DARCY R BRANDON — 3423 — STATE OF TEXAS

07/21/2023

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

TEXAS REGISTRATION #14199
CLAYMOORE ENGINEERING
PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 7/21/2023
7/21/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

LANDSCAPE PLANTING PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	02-02-2000

SHEET
LP-1

File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 7/21/2023 9:14 AM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2021\EDG\COOLEY HYUNDAI – ROCKWALL, TX\COOLEY HYUNDAI–ROCKWALL LP_2023-07-20.DWG
LAST SAVED: 7/21/2023 9:14 AM

DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: *THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.*

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:
- ☐ MASTER PLAT ($100.00 + $15.00 ACRE) [1]
- ☐ PRELIMINARY PLAT ($200.00 + $15.00 ACRE) [1]
- ☐ FINAL PLAT ($300.00 + $20.00 ACRE) [1]
- ☐ REPLAT ($300.00 + $20.00 ACRE) [1]
- ☐ AMENDING OR MINOR PLAT ($150.00)
- ☐ PLAT REINSTATEMENT REQUEST ($100.00)

SITE PLAN APPLICATION FEES:
- ☑ SITE PLAN ($250.00 + $20.00 ACRE) [1]
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN ($100.00)

ZONING APPLICATION FEES:
- ☐ ZONING CHANGE ($200.00 + $15.00 ACRE) [1]
- ☐ SPECIFIC USE PERMIT ($200.00 + $15.00 ACRE) [1 & 2]
- ☐ PD DEVELOPMENT PLANS ($200.00 + $15.00 ACRE) [1]

OTHER APPLICATION FEES:
- ☐ TREE REMOVAL ($75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS ($100.00) [2]

NOTES:
[1]: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
[2]: A ***$1,000.00*** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1540 I-30 Rockwall, Tx				
SUBDIVISION	Rockwall Recreational Addition	LOT	1&2	BLOCK	1
GENERAL LOCATION	IH30 & Clay Cooley Drive				

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	F1	CURRENT USE	Auto Deal
PROPOSED ZONING		PROPOSED USE	Auto Dealer
ACREAGE	7.17	LOTS [CURRENT]	LOTS [PROPOSED]

☐ ***SITE PLANS AND PLATS:*** *BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.*

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER	1540 East IH 30 Rockwall LLC	☐ APPLICANT	ClayMoore Engineering
CONTACT PERSON	Chase Cooley	CONTACT PERSON	Lynn Rowland
ADDRESS	PO Box 570809	ADDRESS	1903 Central Drive Suite 406
CITY, STATE & ZIP	Dallas, Tx 75357	CITY, STATE & ZIP	Bedford, Tx
PHONE	214.597.8697	PHONE	817.281.0572
E-MAIL		E-MAIL	Lynn@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chase Cooley [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF $_____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18th DAY OF August, 20 23. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

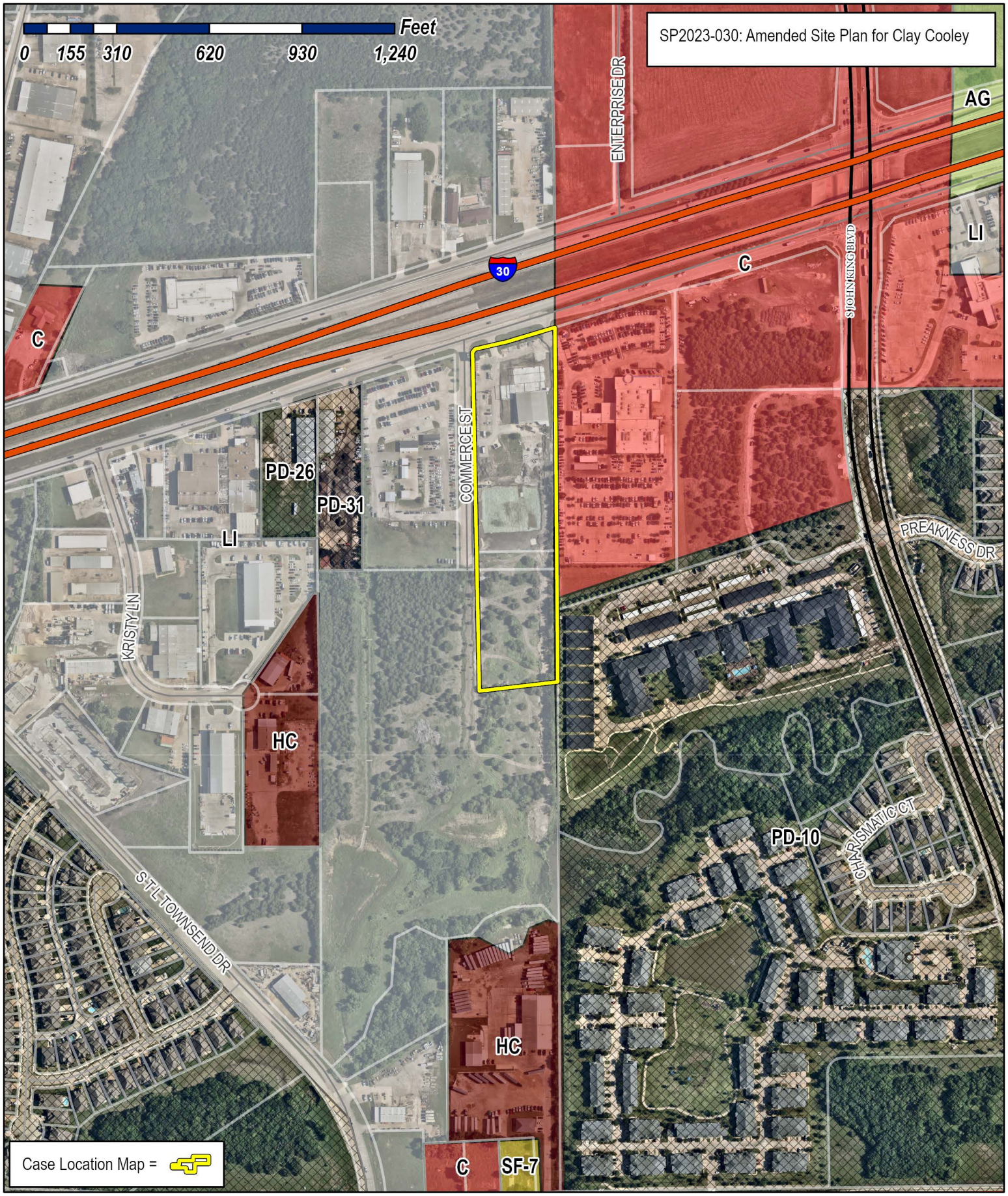
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF August, 20 23

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

NOTARY PUBLIC STATE OF TEXAS
ANDREW S DONOSKY
Notary ID #131835647
My Commission Expires
December 26, 2026

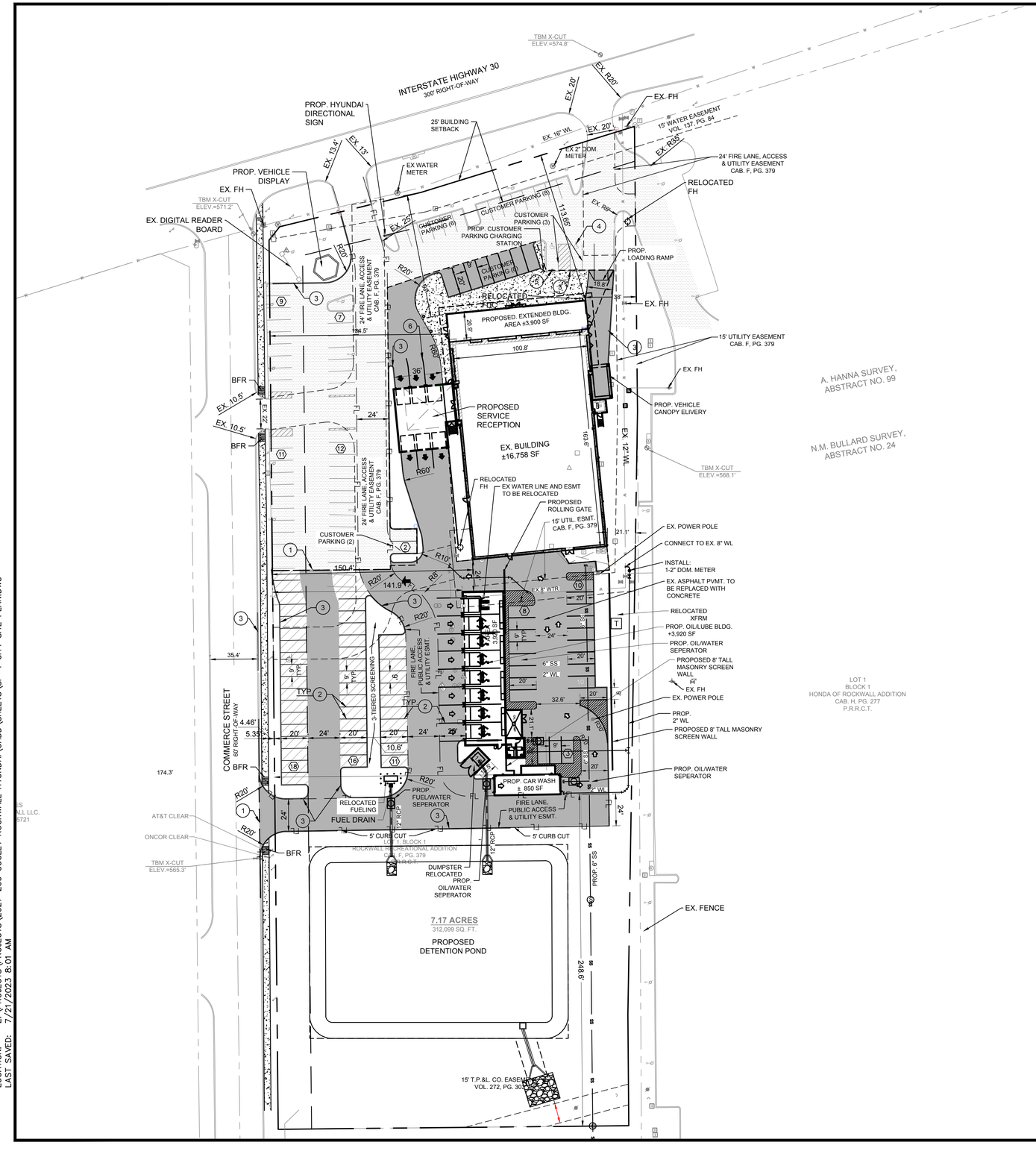
MY COMMISSION EXPIRES 12-26-26



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



SITE DATA TABLE	
SITE AREA	7.71 AC (312,099 SF)
ZONING	L1
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CARWASH)
	3,920 SF (OIL/LUBE)
LOT COVERAGE	0.07 %
FLOOR TO AREA RATIO	0.07 : 1
BUILDING HEIGHT	1 STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

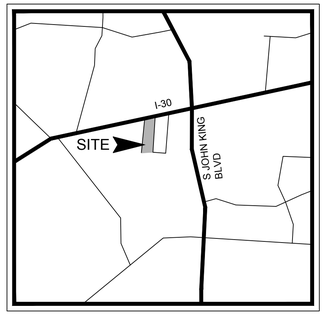
PARKING DATA TABLE	
PARKING REQ.	
SALES FLOOR 1/ 250 SF	16 SAPCES
OFFICE SF 1/ 300 SF	5 SPACES
2 PER 2 BAY	16 SPACES
TOTAL:	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	66 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES
SERVICE/STORAGE PARKING	21 SPACES

CONSTRUCTION SCHEDULE	
	EXISTING CONCRETE PAVEMENT
	FIRE LANE AND DRIVE ASILE 6", 3600 PSI (6.5 SACK/CY), #3 ON 18" ON 6" LIME STABILIZED SUBGRADE
	PARKING 5", 3600 PSI (6.5 SACK/CY), #3 ON 24" ON 6" LIME STABLIZED SUBGRADE
	PROPOSED DUMPSTER ENCLOSURE MIN. 7" THICK
	PROPOSED CONCRETE SIDEWALK PER DETAIL SHEET C-16
	PROPERTY LINE
FL	PROPOSED CONCRETE CURB AND GUTTER
FL	PROPOSED FIRE LANE
	PROPOSED SAWCUT
4	PARKING COUNT

GRAPHIC SCALE

40 0 20 40 80

1 inch = 40 ft.



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE	
1	PROP.SAW CUT FULL DEPTH EXISTING PAVEMENT
2	PROP. 4" PARKING STALL STRIPING COLOR: WHITE (TYP)
3	PROP. CONCRETE CURB & GUTTER
4	EX. HANDICAP SYMBOL
5	EX. HANDICAP SIGN
6	PROP. PAVEMENT STRIPING
7	PROP. PROPOSED BOLLARD

NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.
6. ALL DUMPSTERS TO HAVE SELF LATCHING GATES.
7. ADDITIONAL LANDSCAPING SHALL BE ADDED AS A COMPENSATORY MEASURE FOR THE SITE PLAN VARIANCES.

CLAY COOLEY HYUNDAI
ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:

ROCKWALL RECREATION ADDITION
LOT 1 BLOCK 1
7.17 AC (312,099 SF)

OWNER:

CLAY COOLEY AUTO
1251 E. AIRPORT FREEWAY
IRVING, TX 75062

APPLICANT:

CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

CASE NUMBER

Z2021-049

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

TEXAS REGISTRATION #14199

CLAYMOORE ENGINEERING

PHONE: 817.281.0572
WWW.CLAYMOOREENG.COM
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021

STATE OF TEXAS
DREW DONOSKY
125651
LICENSED
PROFESSIONAL ENGINEER

8/18/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

CITY SITE PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	8/18/2023

SHEET
SP-1

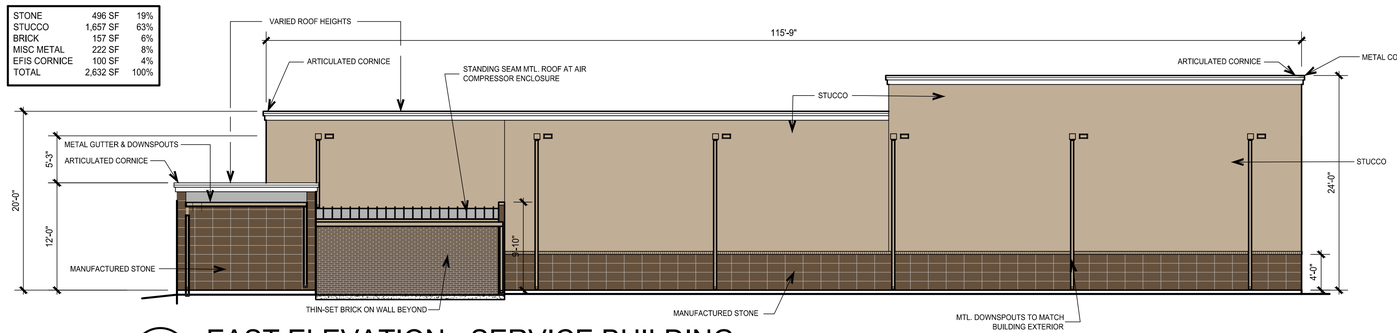
File No. 2020-021

(SP2023-032)

PLOTTED BY: LYNN ROWLAND
PLOT DATE: 8/18/2023 12:02 PM
LOCATION: Z:\PROJECTS\PROJECTS\2021-200 COOLEY ROCKWALL HYUNDAI\CADD\SHEETS\SP-1 CITY SITE PLAN.DWG
LAST SAVED: 7/21/2023 8:01 AM

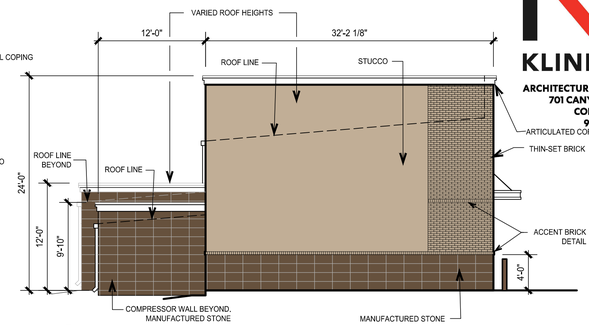
PLOTTED BY: O14-MIKE
PLOT DATE: 8/18/2023 11:09 AM
LOCATION: Z:\ARCHITURE\ACTIVE\CLAY COOLEY\21034J CLAY COOLEY HYUNDAI OF ROCKWALL SERVICE\DRAWING FILES\CONSULTANT'S\CIVIL\ELEVATIONS FOR SITE SUBMISSION 2023-08-09\21034 CC HYUNDAI ROCKWALL S&S A4.01 ELEVATIONS_2023-08-09.DWG
LAST SAVED: 8/14/2023 11:28 AM

STONE	496 SF	19%
STUCCO	1,657 SF	63%
BRICK	157 SF	6%
MISC METAL	222 SF	8%
EFIS CORNICE	100 SF	4%
TOTAL	2,632 SF	100%



8 EAST ELEVATION - SERVICE BUILDING

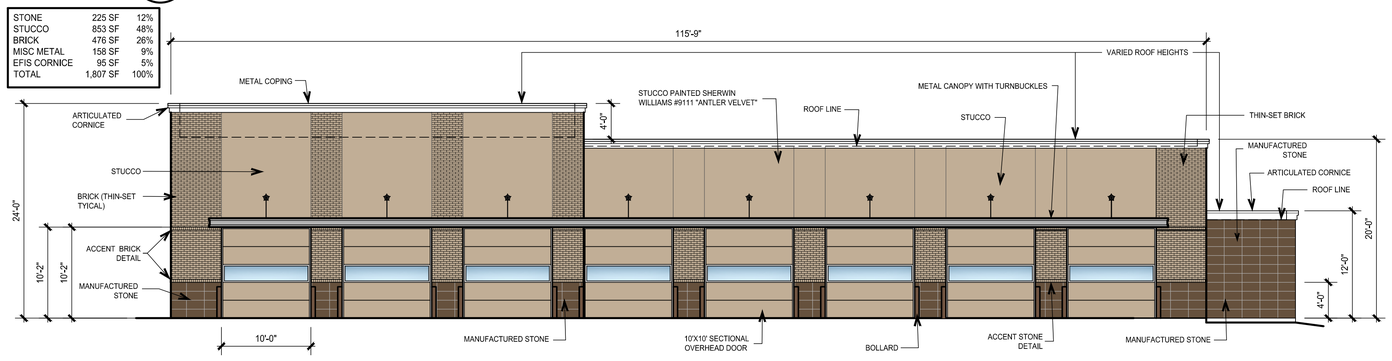
SCALE 1/8"=1'-0"



7 NORTH ELEVATION - SERVICE BUILDING

SCALE 1/8"=1'-0"

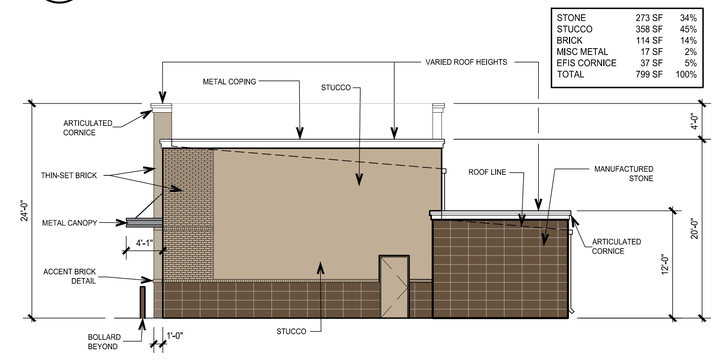
STONE	225 SF	12%
STUCCO	853 SF	48%
BRICK	476 SF	26%
MISC METAL	158 SF	9%
EFIS CORNICE	95 SF	5%
TOTAL	1,807 SF	100%



6 WEST ELEVATION - SERVICE BUILDING - FACES COMMERCE STREET

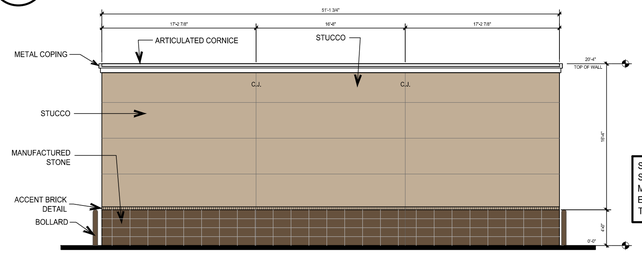
SCALE 1/8"=1'-0"

STONE	273 SF	34%
STUCCO	358 SF	45%
BRICK	114 SF	14%
MISC METAL	17 SF	2%
EFIS CORNICE	37 SF	5%
TOTAL	799 SF	100%



5 SOUTH ELEVATION - SERVICE BUILDING

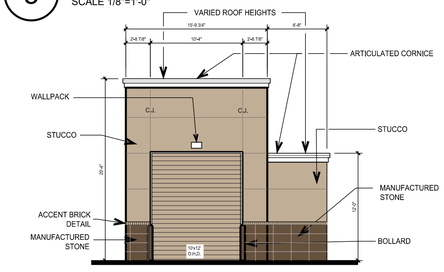
SCALE 1/8"=1'-0"



STONE	205 SF	20%
STUCCO	784 SF	75%
MISC METAL	12 SF	1%
EFIS CORNICE	39 SF	4%
TOTAL	1,040 SF	100%

4 SOUTH ELEVATION - CAR WASH

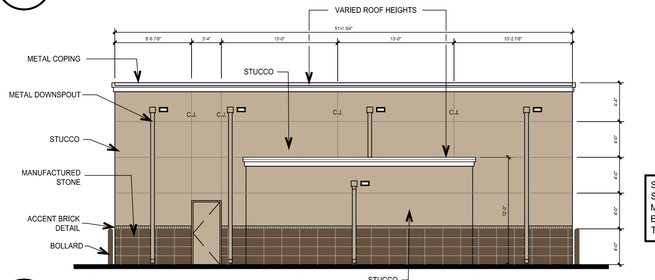
SCALE 1/8"=1'-0"



STONE	47 SF	17%
STUCCO	204 SF	74%
MISC METAL	8 SF	3%
EFIS CORNICE	17 SF	6%
TOTAL	276 SF	100%

3 EAST ELEVATION - CAR WASH

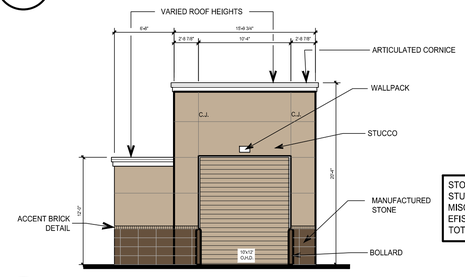
SCALE 1/8"=1'-0"



STONE	185 SF	18%
STUCCO	723 SF	71%
MISC METAL	50 SF	5%
EFIS CORNICE	58 SF	6%
TOTAL	1,016 SF	100%

2 NORTH ELEVATION - CAR WASH

SCALE 1/8"=1'-0"



STONE	47 SF	17%
STUCCO	204 SF	74%
MISC METAL	8 SF	3%
EFIS CORNICE	17 SF	6%
TOTAL	276 SF	100%

1 WEST ELEVATION - CAR WASH

SCALE 1/8"=1'-0"

KLINE HARDIN
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COPPELL · TX 75019
972 · 331 · 5699

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING
1903 CENTRAL DR, SUITE #406
BEDFORD, TX 76021
PHONE: 817.281.0572
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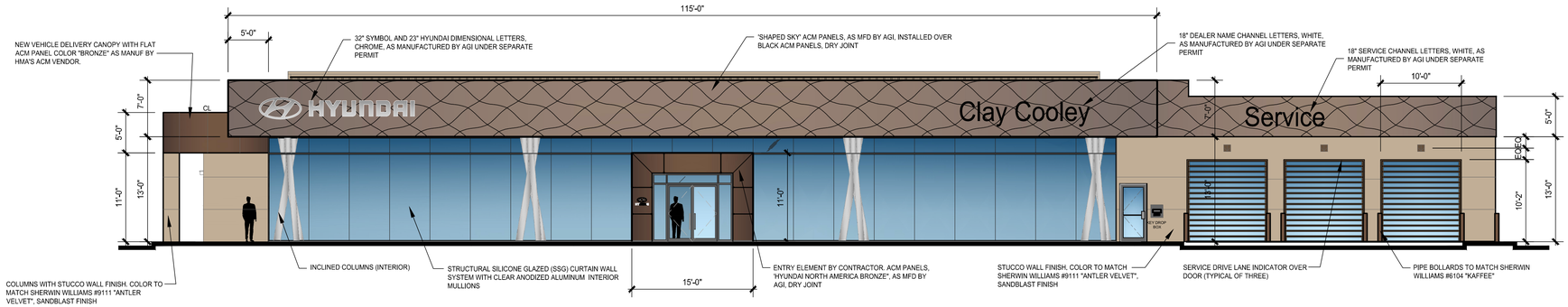
REGISTERED ARCHITECT
JAMES R. RAARDON
17546
STATE OF TEXAS

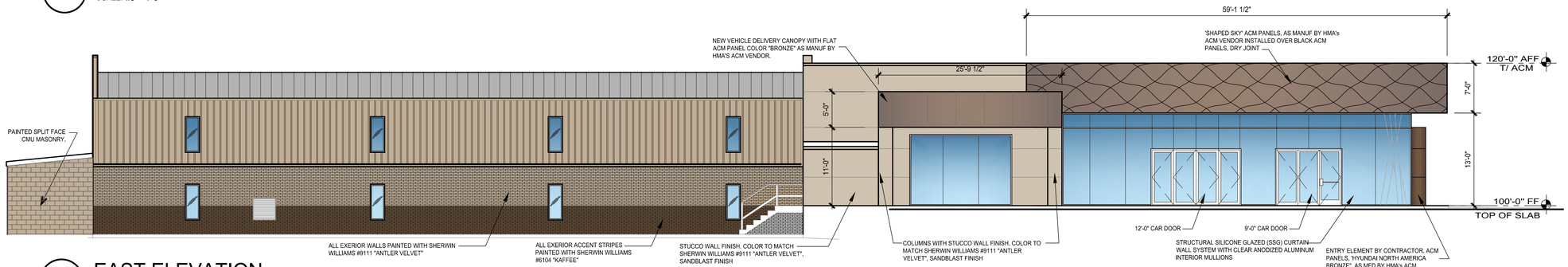
CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

2020-021



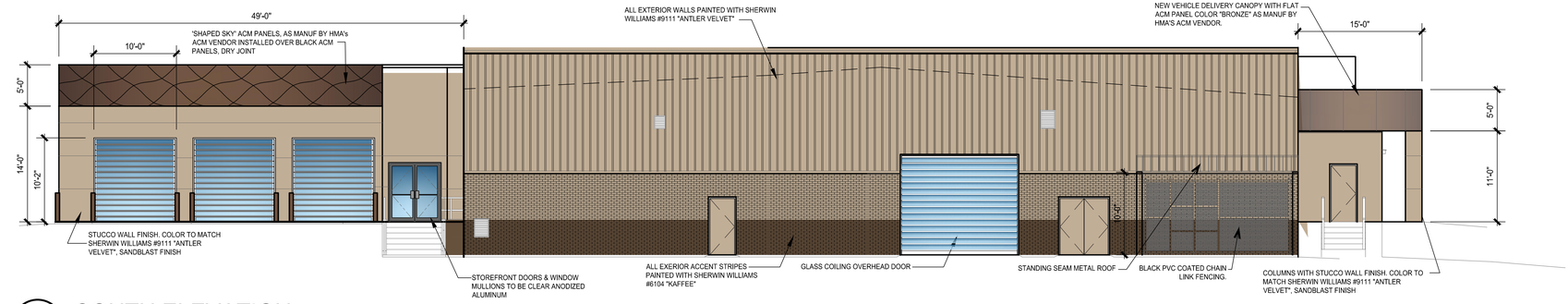
4 NORTH ELEVATION - FACES I-30

SCALE: 1/8" = 1'-0"



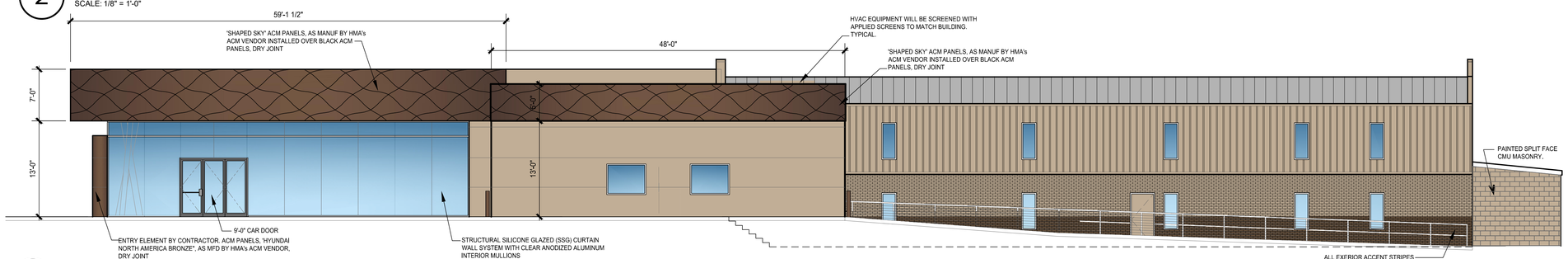
3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 WEST ELEVATION - FACES COMMERCE STREET

SCALE: 1/8" = 1'-0"

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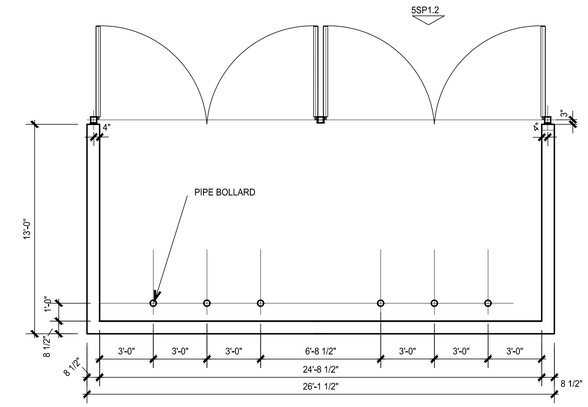
JAMES R. HARDIN
11546
STATE OF TEXAS

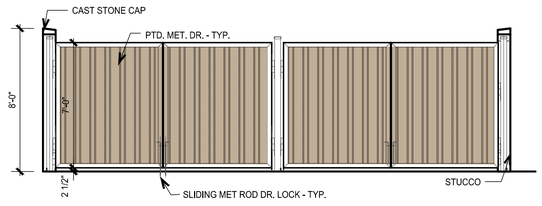
CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

2020-021

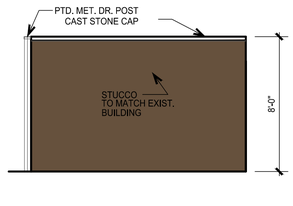
PLOTTED BY: 014-MIKE
PLOT DATE: 8/18/2023 11:09 AM
LOCATION: Z:\ARCHTURE\ACTIVE\CLAY COOLEY\21034 CLAY COOLEY HYUNDAI OF ROCKWALL SERVICE\DRAWING FILES\CONSULTANTS\CIVIL\ELEVATIONS FOR SITE SUBMISSION 2023-08-09\21034 CC HYUNDAI ROCKWALL S&S A4.01 ELEVATIONS_2023-08-09.DWG
LAST SAVED: 8/14/2023 11:28 AM



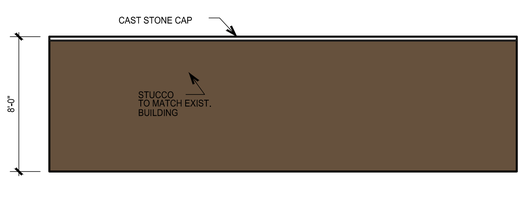
4 DUMPSTER PLAN
SCALE: 1/4" = 1'-0"



1 DUMPSTER FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 DUMPSTER SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 DUMPSTER REAR ELEVATION
SCALE: 1/4" = 1'-0"

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LAST SAVED: 8/14/2023 11:28 AM

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
3. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
   a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
   b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
   c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
   d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE. IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
   f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
   a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
   b. **NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
   c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
   REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE UDC. (ARTICLE 08, SUBSECTION 05.04)

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

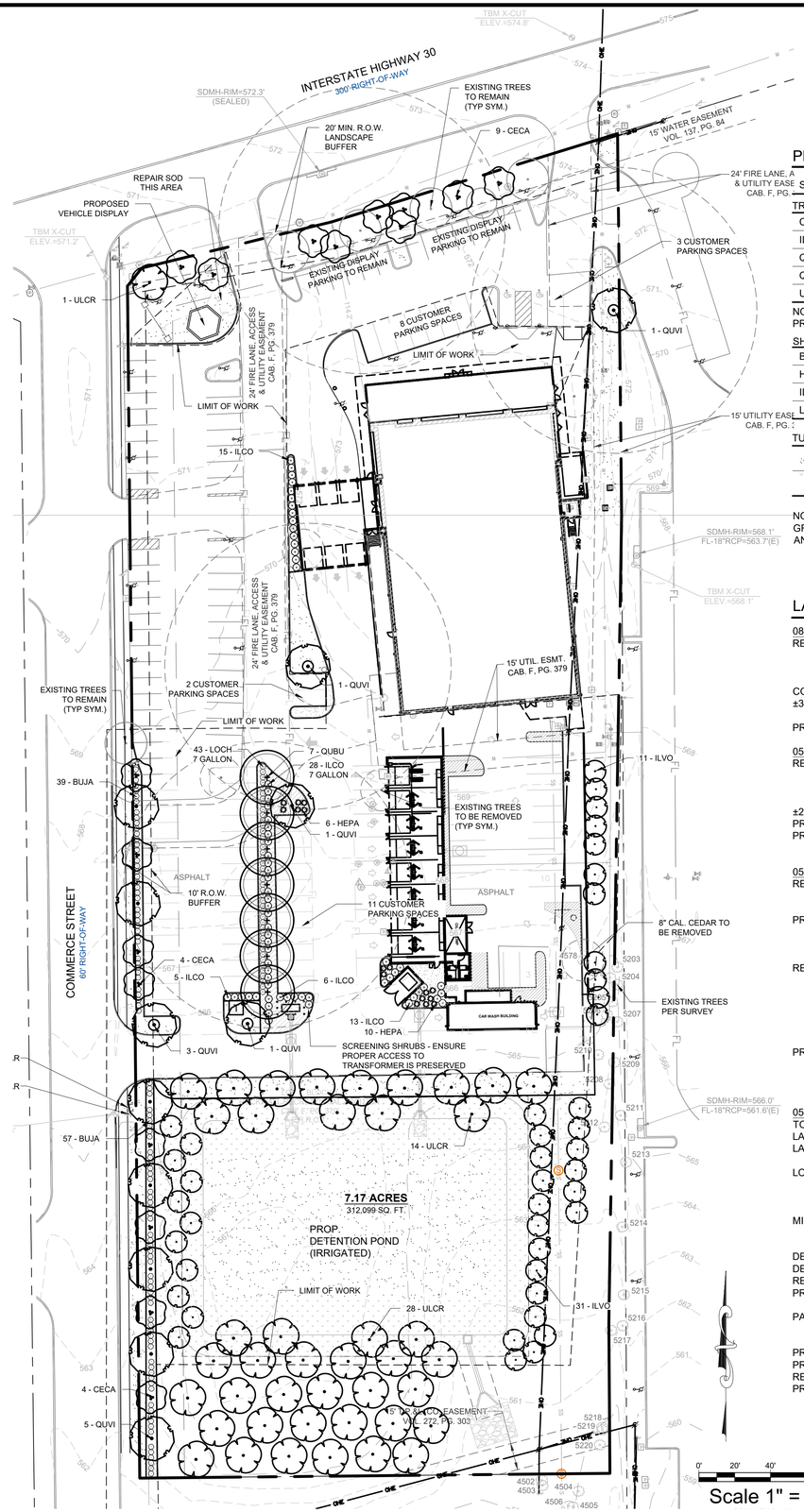
AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

SITE DATA TABLE

SITE AREA	7.71 AC / 312,099 SF
ZONING	LI (Light Industrial)
PROPOSED USE	AUTO DEALER
BUILDING SIZE	20,658 SF (DEALERSHIP)
	850 SF (CAR WASH)
	1,175 SF (OIL/LUBE)
LOT COVERAGE	0.07%
FLOOR TO AREA RATIO	0.07:1
BUILDING HEIGHT	1-STORY
SALES FLOOR AREA	3,928 SF
OFFICE AREA	1,303 SF
# OF BAYS	12

PARKING DATA TABLE

PARKING REQUIRED	
SALES FLOOR 1/250 SF	16 SPACES
OFFICE SF 1/300 SF	5 SPACES
1 SPACE PER 2 BAY	6 PARKING
TOTAL	27 SPACES
PARKING PROVIDED	
DISPLAY PARKING	87 SPACES
CUSTOMER PARKING	27 (2 ADA) SPACES



PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CECA	Cercis canadensis 'Texana'	Texas Redbud	6'-8' high	Per plan	17	Accent Tree
ILVO	Ilex vomitoria	Yaupon Holly	6'-8' high	Per plan	42	Accent Tree
QUBU	Quercus buckleyi	Texas Red Oak	5" cal., 12'-15' high	Per plan	7	Canopy Tree
QUVI	Quercus virginiana	Live Oak	5" cal., 12'-15' high	Per plan	12	Canopy Tree
ULCR	Ulmus crassifolia	Cedar Elm	5" cal., 12'-15' high	Per plan	43	Canopy Tree

NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
SHRUBS						
BUJA	Buxus micro. japonica 'Green Beauty'	Green Beauty Boxwood	5 gallon	3' o.c.	96	
HEPA	Hesperaloe parviflora 'Brakelights'	Red Yucca	5 gallon	4' o.c.	16	
ILCO	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 gallon / 7 gallon	4' o.c.	39 / 28	See plan for 7 gal. locations
LOCH	Loropetalum chinense 'PIILC-III'	Purple Daydream Loropetalum	7 gallon	3' o.c.	43	
TURF AND SEED						
	Cynodon 'Tifway 419'	Tifway Hybrid Bermuda Grass	Sod	- - -	~ 24,885 SF	
	Dam Slope Mix (Contact Native American Seed)		Hydromulch	20 lbs / acre	~ 20,481 SF	

NOTE: THE DEVELOPER SHALL ESTABLISH GRASS AND MAINTAIN THE SODDED AREA, INCLUDING WATERING, UNTIL A PERMANENT STAND OF GRASS IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A STAND OF GRASS SHALL CONSIST OF 75%-80% COVERAGE AND A MINIMUM O F 1" IN HEIGHT AS DETERMINED BY THE CITY.

LANDSCAPE STANDARDS

08.05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL

REQ. ABUTTING A PUBLIC RIGHT-OF-WAY:	10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE
COMMERCE STREET: ±398' OF STREET FRONTAGE	10' WIDE BUFFER REQUIRED W/ 1 CANOPY & 1 ACCENT TREE PER 50' OF FRONTAGE
PROVIDED IN 10' BUFFER:	8 OAKS, 8 REDBUDS, SHRUBS, & GROUND COVER

05.06 GENERAL OVERLAY DISTRICT STANDARDS - IH-30 OVERLAY

REQ. LANDSCAPE BUFFER:	20' WIDE W/ GROUND COVER & BUILT-UP BERM & SHRUBBERY ALONG ENTIRE LENGTH OF FRONTAGE, 30"-48" HIGH; 2 CANOPY TREES + 4 ACCENT TREES PER 100 LIN. FT. OF PRIMARY ROADWAY
±237 ROADWAY FRONTAGE REQ. PLANTING:	4.7 (5) CANOPY TREES + 9.5 (10) ACCENT TREES
PROVIDED IN 20' BUFFER, EXISTING:	4 CANOPY TREES + 1 ACCENT TREE; SHRUBBERY
PROPOSED IN 20' BUFFER:	1 CEDAR ELM + 9 REDBUDS

05.02 LANDSCAPE SCREENING

REQ. HEADLIGHT SCREENING:	HEAD-IN PARKING ADJ. TO STREET SHALL INCORP. MIN. 2' BERM W/ MATURE EVERGREEN SHRUBS ALONG ENTIRE PARKING AREAS
PROVIDED SCREENING:	BOXWOOD SHRUBS PROVIDED IN FRONT OF PARKING SPACES LOCATED ALONG STREET FRONTAGE TO MATCH EXISTING SHRUBS
REQUIRED SCREENING OF SERVICE BAYS:	A WROUGHT IRON FENCE AND THREE (3) TIERED SCREENING (I.E. SMALL TO MID-SIZED SHRUBS, LARGE SHRUBS OR ACCENT TREES, AND CANOPY TREES) ALONG THE ENTIRE LENGTH OF THE ADJACENCY. THE CANOPY TREES SHALL BE PLACED ON 20-FOOT CENTERS.
PROVIDED SCREENING:	TEXAS RED OAK TREES, DWARD BURFORD HOLLY, AND PURPLE DAYDREAM LOROPETALUM ARE PROPOSED TO PROVIDE THE THREE-TIER PLANTING SCREEN.

05.03 LANDSCAPE REQUIREMENTS - L-1 DISTRICT

TOTAL SITE AREA:	312,099 SF
LANDSCAPE AREA REQUIRED TOTAL SITE:	62,420 SF (20%)
LANDSCAPE PROVIDED, TOTAL SITE:	±79,574 SF (25%)
LOCATION OF LANDSCAPING:	MIN. 100% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
MIN. SIZE OF AREAS	ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA
DETENTION BASINS	MIN. 1 CANOPY & 1 ACCENT TREE PER 750 SF
DETENTION BASIN AREA:	±31,539 SF
REQUIRED TREES:	42 CANOPY TREES & 42 ACCENT TREES
PROVIDED TREES:	42 CEDAR ELM & 42 YAUPON HOLLY
PARKING LOT LANDSCAPING	MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF THE PARKING LOT AREA.
PROPOSED CUSTOMER PARKING AREA:	27 (2 ADA) SPACES, ±20,759 SF
PROPOSED DISPLAY PARKING AREA:	87 SPACES, ±27,124 SF
REQ. PARKING LOT LANDSCAPING:	1,038 SF (5%)
PROPOSED PARKING LOT LANDSCAPING:	3,734 SF (18%)
	REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK

REGISTERED LANDSCAPE ARCHITECT — DARCY R BRANDON — 3423 — STATE OF TEXAS

07/21/2023

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS ____ DAY OF _____

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

EVERGREEN DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
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BEDFORD, TX 76021

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FOR REVIEW ONLY
Not for construction purposes.
CLAYMOORE ENGINEERING
ENGINEERING AND PLANNING CONSULTANTS
Engineer DREW DONOSKY
P.E. No. 125651 Date 7/21/2023
7/21/2023

CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

LANDSCAPE PLANTING PLAN

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	02-02-2000

SHEET
LP-1

File No. 2020-021

PLOTTED BY: DARCY BRANDON
PLOT DATE: 7/21/2023 9:14 AM
LOCATION: C:\USERS\DARCY\DOCUMENTS\DBLA_PROJECTS\2021\EDG\COOLEY HYUNDAI - ROCKWALL, TX\COOLEY HYUNDAI-ROCKWALL LP_2023-07-20.DWG
LAST SAVED: 7/21/2023 9:14 AM

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A-IH-24	12	LSI INDUSTRIES, INC.	MRM-LED-24L-SIL-FTA-50-70CRI-IH	1	19613	.9	176
	B-IH-07	2	LSI INDUSTRIES, INC.	MRM-LED-07L-SIL-AM 50-70CRI-IH	1	5944	.9	48
	C-IL-24	8	LSI INDUSTRIES, INC.	MRM-LED-24L-SIL-FT-50--70CRI-IL	1	16438	.9	176
	D-36	2	LSI INDUSTRIES, INC.	MRM-LED-36L-SIL-FT-50--70CRI	1	38298	.9	288
	D-IL-36	1	LSI INDUSTRIES, INC.	MRM-LED-36L-SIL-FT-50--70CRI-IL	1	24246	.9	288
	F-FGS-12	2	LSI INDUSTRIES, INC.	PFL-LED-12L-PC-MF-50-80-FGS FLOOD LIGHT MOUNTED @ 45 DEGREE ROTATION	1	12380	.9	102
	W	10	LSI INDUSTRIES, INC.	XWM-FT-LED-03L-50	1	3296	.9	23

Statistics

Description	Symbol	Avg	Max	Min	Mounting Heights
Calc Zone #1	+	3.4 fc	37.8 fc	0.1 fc	24'

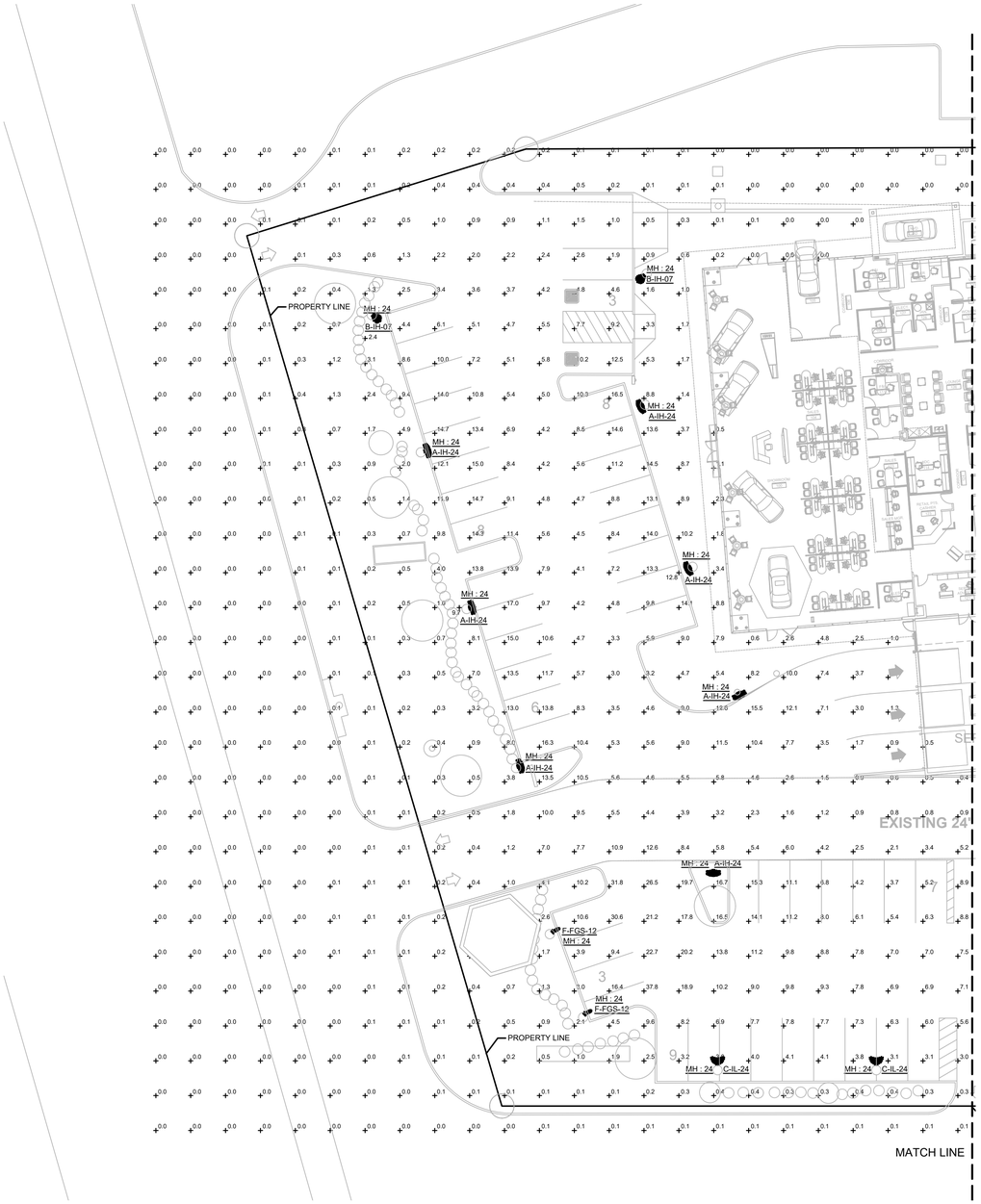
NOTES:

1. ALL SITE LIGHTING SHALL COMPLY WITH CITY OF ROCKWALL EXTERIOR ILLUMINATION ORDINANCES AND REGULATIONS.

2. ALL EXTERIOR LIGHTING SHALL COMPLY WITH 2018 IECC REQUIREMENTS AND REGULATIONS.

3. PHOTOMETRIC CALCULATIONS INCLUDE NEW LIGHT POLES, ALONG WITH REPLACEMENT LED HEADS ON EXISTING POLES.

4. ALL PARKING LOT POLE LIGHTING SHALL BE LED.



1 SITE PLAN - PHOTOMETRICS - AREA A

SCALE: 1" = 20'-0"

TEXAS REGISTRATION #14199

CLAY MOORE ENGINEERING

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STATE OF TEXAS
EDWARD S. HAN
124675
LICENSED
PROFESSIONAL ENGINEER

08/18/2023

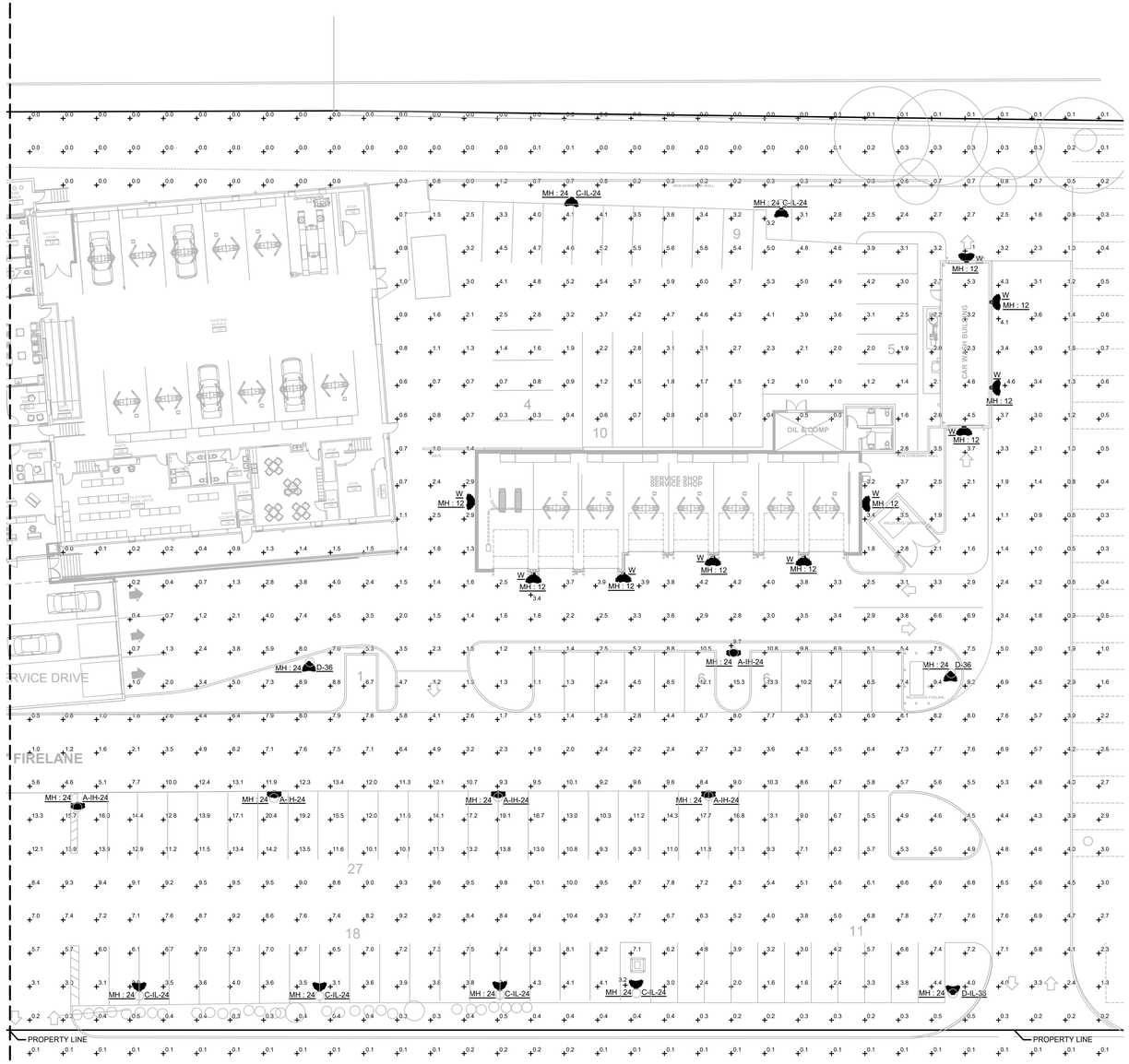
CLAY COOLEY HYUNDAI
1540 I-30
ROCKWALL, TX 75087

COUNSEL
MEP Engineering Services
5757 Alpha Rd., Suite 450
Dallas, Texas 75240
972.707.3540
TX Firm No. F-18994
CE #21070

DESIGN:
DRAWN:
CHECKED:
DATE: 08/18/2023

SHEET
E1.02A

File No.



SITE PLAN - PHOTOMETRICS - AREA B

1

SCALE: 1" = 20'-0"

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COUNSEL
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CE #21070

DESIGN:	
DRAWN:	
CHECKED:	
DATE:	08/18/2023

SHEET

E1.02B